

**COUNCIL ASSESSMENT PANEL MEETING**  
**10 June 2020**  
**AGENDA – 9.3**

<b>Applicant:</b> Goodhouse Pty Ltd	<b>Landowner:</b> R D Routley
<b>Agent:</b> N/A	<b>Originating Officer:</b> Doug Samardzija
<b>Development Application:</b>	19/1054/473
<b>Application Description:</b> Two storey dwelling alterations & additions, deck (maximum height 3m)	
<b>Subject Land:</b> Lot:1 Sec: P88 DP:79759 CT:6031/117	<b>General Location:</b> 7 Beadnell Crescent Bridgewater  <b>Attachment – Locality Plan</b>
<b>Development Plan Consolidated :</b> 8 August 2020 <b>Map AdHi/1 , 30 &amp; 74</b>	<b>Zone/Policy Area:</b> Country Living Zone & Country Living (Bridgewater) Policy Area
<b>Form of Development:</b> Merit	<b>Site Area:</b> 3200m <sup>2</sup>
<b>Public Notice Category:</b> Category 2 Merit -	<b>Representations Received:</b> 1  <b>Representations to be Heard:</b> 1

**1. EXECUTIVE SUMMARY**

The purpose of this application is to construct a two storey addition to an existing single storey dwelling. The proposal includes a two storey addition above the northern end of the dwelling. The addition will include alterations to the ground floor plan by changing one of the bedrooms into an entry point and a stairwell. The upper level will include a master bedroom, additional living area and a small balcony.

The subject land is located within the Country Living Zone and the Country Living (Bridgewater) Policy Area and the proposal is a merit form of development. One representation in opposition was received during the Category 2 public notification period.

As per the CAP delegations, the CAP is the relevant authority for Category 2 applications where representors wish to be heard.

The main issues relating to the proposal are overlooking, stormwater management and impact on the character of the locality.

In consideration of all the information presented, and following an assessment against the relevant Policy Area, Zone and Council Wide provisions within the Development Plan, staff are recommending that the proposal be **GRANTED** Development Plan Consent, subject to conditions:

**2. DESCRIPTION OF THE PROPOSAL**

The proposal is for the following:

- Two storey addition predominantly above the northern end of the existing single storey dwelling
- Maximum wall height of 6m with the overall height of 8.4m to the apex of the roof
- External finishes include a mixture of timber cladding and Hiland Tray cladding in Colorbond Monument for the walls and Hiland Tray cladding in Colorbond Monument for the roof
- Dwelling is set 30 m away from front allotment boundary, 19m from the northern boundary, 16m from the southern boundary and 35m from the rear allotment boundary
- North facing balcony with a maximum height of 3 metres
- Alteration to the ground floor layout with one of the bedrooms altered to become an entry point with a stairwell to the upper level. The upper level will include a master bedroom, additional living area and a small balcony

The proposed plans are included as **Attachment – Proposal Plans** with other information included as **Attachment – Application Information** and **Attachment – Applicant’s Professional Reports**.

The Land Management Agreement registered over the land is included as **Attachment – Land Management Agreement**.

### 3. BACKGROUND AND HISTORY

APPROVAL DATE	APPLICATION NUMBER	DESCRIPTION OF PROPOSAL
31 January 2018	17/1018/473	Masonry Front Fence (maximum height 2m) associated with existing dwelling
08 July 2014	14/442/473	Domestic outbuilding (garage and study) 12m x 9m x 2.6m wall height
16 September 2008	07/D33/473	Land division-boundary realignment

A Land Management Agreement (LMA) is registered over the subject land which relates to the retention of trees and a building envelope on 9 Beadnell Crescent, Bridgewater.

### 4. REFERRAL RESPONSES

No referrals were required for this application.

### 5. CONSULTATION

The application was categorised as a Category 2 form of development in accordance with Country Living Zone Public Notification table requiring formal public notification. One (1) representation was received opposing the proposal. The representation that was received was from an adjacent property.

The following representor wishes to be heard:

Name of Representor	Representor's Property Address	Nominated Speaker
Helen Thompson	9 Beadnell Crescent, Bridgewater	Helen Thompson

The applicant and the owner may be in attendance.

The issues contained in the representation can be briefly summarised as follows:

- Excessive building height and visual impacts
- Overlooking
- Stormwater management

These issues are discussed in detail in the following sections of the report.

A copy of the submission is included as **Attachment – Representations** and the response is provided in **Attachment – Applicant's Response to Representations**. Copies of the plans which were provided for notification are included as **Attachment– Publically Notified Plans**.

## 6. PLANNING & TECHNICAL CONSIDERATIONS

This application has been evaluated in accordance with the following matters:

- The Site's Physical Characteristics

The subject land is an irregular shaped allotment of approximately 3,200m<sup>2</sup> in area located on the low side of Beadnell Crescent and sloping west to east. The property is service by SA Water mains water and sewer. Current site improvements include a single storey dwelling in the middle of the property, a large domestic outbuilding to the north of the dwelling, a masonry front fence, a small gazebo to the rear of the dwelling and a bitumised internal driveway and access track. With the exception of a small lawn area on the northern side of the dwelling, the remainder of the rear of the property is predominantly covered with trees and dense vegetation. Small portion of the rear allotment is also located in a 1 in 100 and 1 in 10 year flood plain due to Cox Creek traversing through the rear of the allotment.
- The Surrounding Area

The locality is characterised by a mixture of allotment sizes ranging from as small as 1,500m<sup>2</sup> to allotments as large as 6,300m<sup>2</sup>. With the exception of the large recreation land to the north east of the subject land all of the other properties within the locality are used for residential purposes. The area is characterised by a wooded character with a mixture of single and two storey dwellings predominantly maintaining deep setbacks from the road. Cox Creek traverses through a number of properties within the locality with all of those properties being subject to a 1 in 100 or 1 in 10 year flood plain.

iii. Development Plan Policy considerations

a) *Policy Area/Zone Provisions*

The subject land lies within the Country Living Zone and the Country Living (Bridgewater) Policy Area and these provisions seek:

- *Development that contributes to the desired character of the policy area and zone*
- *Residential development sensitive to the particular topography of the area and which has minimal visual and environment impacts*

The following are considered to be the relevant Policy Area provisions:

*Objectives: 1*

*PDCs: 1 & 2*

Objective 1 and PDC 1 of the policy area seek for development to be consistent with the desired character of the policy area. The desired character statement for the Bridgewater Policy area details that the design of buildings will vary considerably within the policy area and that the built form in residential areas will be characterised by relatively modest one or two storey dwellings. This statement also seeks that dwellings generally be of brick veneer construction with front verandahs and tiled or pre-coated metal pitched roofs. The proposed development is considered to be sufficiently consistent with the desired character statement in that it is a maximum of two storeys and whilst the walls of the addition are not of brick veneer, they will be of pre-coated dark tone metal finish and timber cladding which will blend into, and complement the locality.

PDC 2 of the policy area refers to the setbacks from property boundaries. Considering that the existing dwelling is well setback from all boundaries and the proposed addition is predominantly over the existing footprint of the dwelling it easily satisfies all of the setback requirements and is therefore consistent with PDC 2.

The following are considered to be the relevant Zone provisions:

*Objectives: 1, 2 & 3*

*PDCs: 6, 7, 9, 10 & 11*

Objectives 3 and PDC 6 seek for development to contribute to the desired character of the zone. The desired character statement acknowledges that the zone contains traditional designs and materials but envisages that new dwellings will incorporate modern designs and building materials. Whilst this is an addition onto an existing dwelling it still satisfies the intent of the desired character statement in that it will incorporate modern design elements and materials which will still be of appropriate colours to complement the landscape. This statement also acknowledges that there a significant number of two storey dwellings scattered throughout the zone and as such the proposed two storey addition is considered to contribute to the character of the zone and is therefore in accordance with Objective 3 and PDC 6.

PDC 7 seeks for development to be designed and sited to relate to the slope of the land so that the bulk and scale of the built-form does not dominate the landscape, that the earthworks are kept to a minimum and the visual impact to adjoining dwellings and public spaces are minimised. As detailed above, the majority of the proposed works will occur above the northern section of the existing single storey dwelling meaning that there will be no additional earthworks required and as such the proposed development satisfies the desired character statement and PDC 7 (b). In relation to the bulk and scale, whilst it is acknowledged that the proposed works are going to increase the bulk and scale of the dwelling, it is important to note that the allotment is located on the lower side of the road and the ridge cap at 8.4m will still be below the road level. It will also be consistent with PDC 9 which states that maximum building height from natural ground level can be up to two storeys and 9 metres. As such, it is considered that the bulk and scale of the proposed addition is not going to dominate the landscape within the locality and is therefore consistent with PDC 7(a).

In relation to impacts on views from adjoining dwellings, it is considered that proposed development will have some level of impact as this is unavoidable due to the two storey nature of the proposed works. In taking into account the location of the neighbouring property to the south, the fact that it is below the floor level of the subject dwelling and also considering the separation distance of approximately 25 metres, it is considered that these visual impacts will be minimal. In addition considering the orientation and location of the adjacent dwelling and the majority of the private open space its predominant views are considered to be towards north-east, east and south-west. As such, the views that are being impacted upon are not the one's which are predominantly enjoyed by adjoining property. As such, it is considered that proposed development is not contrary to PDC 7(c).

PDC 10 seeks that existing vegetation should screen buildings and excavation from view. Whilst it is not considered possible to fully block all of the views of the proposed two storey addition, it is considered that existing vegetation along the front and rear of the property will provide some level of screening.

PDC 11 seeks that proposed two storey dwellings or additions to take into account the bulk and scale relative to adjoining dwellings by incorporating a stepping in the design in accordance with the slope of the land and where possible setting the upper level further away from the boundaries. Considering that the proposed addition is going to be set on the lower side of Beadnell Crescent and is going to be set 20m away from the front allotment boundary and 19m from the closest side boundary, it is considered to be sufficiently consistent with PDC 11.

*b) Council Wide provisions*

The Council Wide provisions of relevance to this proposal seek (in summary):

- *Development of a high design standard and appearance that responds to and reinforces positive aspect of the local environment and built form*
- *Orderly and economic development that creates a safe, convenient and pleasant environment in which to live in*

- *A diverse range of dwelling types and sizes available to cater for changing demographics, particularly smaller household sizes and supported accommodation*

#### Design and Appearance

Objectives: 1

PDCs: 1, 3, 7, 8, 9 & 18

Objective 1 seeks that development is of a high design standard, whilst PDC 1 seeks for proposed buildings to reflect the desired character of the locality whilst incorporating contemporary designs which have regard for mass and proportion, external materials, roof pitch and façade articulations and detailing. It is considered that the proposed addition is of high design standard which incorporates the use non-reflective finishes and darker natural tones that will blend in with the locality. The use of darker tones in the finishes also ensures that it is consistent with PDC 3. Whilst the contemporary barn style design is not commonly seen in this locality it has become a common design style throughout the hills. The neighbour has raised concerns about the bulk and scale of the addition and from their perspective it will appear as a relatively large structure. In saying that, neighbouring property is located below the subject land and as such this is unavoidable. As mentioned earlier in the report, from a streetscape perspective the bulk and scale is acceptable and is also consistent with all quantitative requirements pertaining to setbacks and height stipulated in the policy area and zone. The proposal is therefore sufficiently consistent with Objective and PDC 1.

Concerns were also raised by the representor in regards to the impacts on the views from their property. It is considered that the addition is well setback (19m) from the shared boundary and based on the orientation of the neighbouring dwelling, and it being significantly lower, it is considered that the proposal will not have any significant impact on the views from this neighbouring property. As such, the proposal is considered to be consistent with PDC 7 (a).

Considering the design and style of existing dwelling in comparison with the proposed addition, it is considered that the addition does not fully complement the character of the existing dwelling, and is therefore inconsistent with PDC 8. However, noting the positioning of the addition is to one end of the existing dwelling, it could be argued that the two different designs/styles are to a degree separated and are therefore of less consequence. In addition considering the setbacks from the boundaries and the fact that the dwelling and proposed additions will be below the road level, the failure to satisfy PDC 8 is not considered to be detrimental to the proposal.

PDC 18 seeks that development minimises direct overlooking of the main internal living areas and areas of private open space of neighbouring properties by offsetting the location of balconies and windows so that the views are oblique rather than direct, by setting the building away from boundaries and incorporating screening where appropriate. Overlooking from the upper level living area was raised as a concern by the adjoining neighbour. It is acknowledged that there will be some views into neighbouring property from the upper level north elevation window of the living area to the north-eastern side of the neighbouring dwelling. However, the

Environment, Resources and Development Court generally refer to the Good Residential Design SA guidelines for further practical guidance on what is considered 'direct overlooking'. Noting that the proposed upper level window is approximately 25m (on an angle) away from the shared side boundary, it is considered that the view from this window would be sufficiently distant and oblique, and therefore not considered as direct overlooking into areas of private open space on the adjoining property. The proposal is therefore considered to be consistent with PDC 18.

#### Infrastructure

Objectives: 1

PDCs: 1

Objective 1 seeks that infrastructure be provided in an economical and environmentally sensitive manner whilst PDC 1 states that development should only occur where it has access to adequate utilities and services such as drainage and stormwater system. In the representation received the representor has stressed concerns with current stormwater management and trespass of stormwater from the subject land into their property. In the response to the representation, the applicant has outlined the changes that were made to the stormwater management system on the subject land and this has also been depicted on the amended site plan provided. Essentially, this indicates that all stormwater is being discharged to the watercourse located at the rear of the property. The applicant has also indicated that the proposal adds an additional 10m<sup>2</sup> of roof catchment area which is not considered to be of a scale which would result in significant increase in stormwater runoff from the site. As such it is considered that proposal is consistent with the Objective 1 and PDC 1.

#### Orderly and Sustainable Development

Objectives: 1 & 4

PDCs: 1 & 9

The subject land is located in Country Living Zone (Bridgewater) Policy area which anticipates residential use of land in the form of single and two storey dwellings. The proposal is therefore considered to be consistent with Objectives 1 and 4, and PDC 1. PDC 9 states that development should take place on land which is suitable for the intended use having regard to the location and the condition of that land. As mentioned earlier, this zone is designated for residential purposes and the land is currently being used for such purposes. Other issues which have been identified such as bulk and scale and overlooking have been considered and are not considered to be of significant considering the topography of the land and the distances from neighbouring properties. In addition, the proposed works will be above the footprint of the existing dwelling which would mean that there would be no additional earthworks required to accommodate the proposed works. The proposal is therefore considered to be consistent with PDC 9.

### Residential Development

Objectives: 1 & 2

PDCs: 27

Objective 1 seeks safe, convenient, sustainable and healthy living environment whilst Objective 2 seeks a diverse range of dwelling types and sizes to cater for a changing demographic. The proposed addition is considered to achieve both of these objectives by ensuring continued residential use and also incorporating a contemporary dwelling addition design to provide a more modern open plan living. PDC 27 refers to visual privacy similar to the aforementioned provision and also seeks that upper level windows have a sill height 1.5m above the floor level or by having the windows installed with obscured glass up to that height if direct overlooking is created. As discussed earlier in the report, given the separation distance it is considered that there is no need for additional privacy measures.

### Sitting and Visibility

Objectives: 1

PDCs: 3, 6, 7 & 10

PDC 3 seeks that that buildings outside urban areas and in undulating landscapes be sited in an unobtrusive location, be well setback from public roads, with a roof line below the road when located on the lower side of the road and constructed of materials and colours which complement the surrounding development. At the same time PDC 6 seeks that structures be designed to minimise their visual impact by having a low profile and by having the roofline complement the contours of the land. The subject land is located on the lower side of Beadnell Crescent with the existing dwelling set 29 metres away from the front allotment boundary. The proposed two storey addition will be located below the road level and is therefore considered to be unobtrusive in the locality. External colours are darker tones which will complement the locality. The proposal is therefore considered to be consistent with PDCs 3 and 7. As mentioned, the proposal is not entirely consistent with PDC 6 given the barn style design of the second storey addition and a 40 degree roof pitch and as such the profile of the dwelling is higher than it would have been with a traditional roof or skillion roof design.

PDC 10 states that development should be screened by the establishment of landscaping surrounding buildings and along property boundaries. As mentioned above, given the setback distances and the fact that addition is still going to be below the road level there will be no significant visual impacts when viewing the property from the road. There is significant vegetation along the southern boundary as well as the rear of the property. This vegetation will ensure that the second storey is well screened from passing traffic from the south and also from the immediate neighbouring property. Whilst the addition is still going to be visible from the representor's site, these views are significantly reduced by landscaping along the boundary. The only exception is the view towards the proposed two storey addition when standing directly in front of neighbour's house. Having said that, given the elevation difference between the two properties it would be hard to effectively plant landscaping along the boundary which would effectively block the entire two storey



addition. The proposal is therefore considered to be sufficiently consistent with PDC 10.

## 7. SUMMARY & CONCLUSION

The development proposal is to construct a two storey addition to an existing single storey dwelling. The proposal will not have an adverse impact on the locality or neighbouring properties, nor will it be readily visible from public realm.

The property is located on the lower side of the road with existing dwelling set well below the road level and a sufficient distance from property boundaries. The two storey addition which satisfies all of the quantitative requirements of the development plan will also be below the road level. Whilst some visual impacts are anticipated for the neighbouring property to the south-east, this is unavoidable due to this property being located below the subject land. However the addition is well setback from the property boundary and as such the visual impacts are reduced and are going to be distant.

Concerns in relation to overlooking have been carefully considered and based on the separation distance, existing landscaping along the boundaries, it was considered that the upper level addition will not create significant overlooking into the neighbouring property.

The proposal is sufficiently consistent with the relevant provisions of the Development Plan, and it is considered the proposal is not seriously at variance with the Development Plan. In the view of staff, the proposal has sufficient merit to warrant consent. Staff therefore recommend that Development Plan Consent be **GRANTED**, subject to conditions.

## 8. RECOMMENDATION

**That the Council Assessment Panel considers that the proposal is not seriously at variance with the relevant provisions of the Adelaide Hills Council Development Plan, and GRANTS Development Plan Consent to Development Application 19/1054/473 by Goodhouse Pty Ltd for Two storey dwelling alterations & additions, deck (maximum height 3m) at 7 Beadnell Crescent Bridgewater subject to the following conditions:**

### (1) Development In Accordance With The Plans

The development herein approved shall be undertaken in accordance with the following plans, details and written submissions accompanying the application, unless varied by a separate condition:

- Amended site plan prepared by Goodhouse, drawing number A1.0, dated 18/05/2020
- Amended existing house floor plan prepared by Goodhouse, drawing number A1.1, dated 10/12/2019 and date stamped by Council 24/02/2020
- Amended proposed ground floor plan prepared by Goodhouse, drawing number A1.2, dated 10/12/2019 and date stamped by Council 24/02/2020
- Amended upper level floor plan prepared by Goodhouse, drawing number A1.2.1, dated 10/12/2019 and date stamped by Council 24/02/2020
- Amended roof plan prepared by Goodhouse, drawing number A1.3 dated 10/12/2019 and date stamped by Council 24/02/2020
- Amended north and east elevation drawings prepared by Goodhouse, drawing number A2.0, dated 10/12/2019 and date stamped by Council 24/02/2020

- **Amended south and west elevation drawings prepared by Goodhouse, drawing number A2.1, dated 10/12/2019 and date stamped by Council 24/02/2020**

**REASON:** To ensure the proposed development is undertaken in accordance with the approved plans.

**(2) Residential Lighting**

**All external lighting shall be directed away from residential development and, shielded if necessary to prevent light spill causing nuisance to the occupiers of those residential properties.**

**REASON:** Lighting shall not detrimentally affect the residential amenity of the locality.

**(3) External Finishes**

**The external finishes to the building herein approved shall be as follows**

**WALLS: Mixture of timber cladding and Hiland Tray cladding in Colorbond Monument or similar**

**ROOF: Hiland Tray cladding in Colorbond Monument or similar**

**REASON:** The external materials of buildings should have surfaces which are of a low light-reflective nature and blend with the natural rural landscape and minimise visual intrusion.

**(4) Firefighting Water Supply - Mains Water Supply Available**

**A supply of water independent of reticulated mains supply shall be available at all times for fire fighting purposes:**

- **A minimum supply of 2,000 (two thousand) litres of water shall be available for fighting purposes at all times; and**
- **The water supply shall be located such that it provides the required water; and**
- **The water supply shall be fitted with domestic fittings (standard household taps that enable an occupier to access a supply of water with domestic hoses or buckets for extinguishing minor fires); and**
- **The water supply outlet shall be located at least 400mm above ground level for a distance of 200mm either side of the outlet; and**
- **A water storage facility connected to mains water shall have an automatic float switch to maintain full capacity; and**
- **Where the water storage facility is an above-ground water tank, the tank (including any support structure) shall be constructed of non-combustible material.**

**REASON:** To minimise the threat and impact of fire on life and property as your property is located in a MEDIUM Bushfire Prone Area.

**(5) Stormwater Overflow Directed To Water Course**

**All roof runoff generated by the development hereby approved shall be directed to a rainwater tank with overflow directed via a sealed system to the watercourse at the rear of the property to the satisfaction of Council within one month of the roof cladding being installed. Erosion protection shall be provided at the stormwater discharge point. All roof and hard paved water runoff shall be managed to prevent trespass onto adjoining properties.**

**REASON: To minimise erosion, protect the environment and to ensure no ponding of stormwater resulting from development occurs on adjacent sites.**

**NOTES**

**(1) Development Plan Consent Expiry**

This Development Plan Consent (DPC) is valid for a period of twelve (12) months commencing from the date of the decision (or if an appeal has been commenced the date on which it is determined, whichever is later). Building Rules Consent must be applied for prior to the expiry of the DPC, or a fresh development application will be required. The twelve (12) month time period may be further extended by Council agreement following written request and payment of the relevant fee.

Please refer to page two (2) of this form (Notes for Applicant blue box) for information on changes to the planning system and potential changes to extensions of time requests.

**(2) EPA Environmental Duty**

The applicant is reminded of his/her general environmental duty, as required by Section 25 of the Environment Protection Act 1993, to take all reasonable and practical measures to ensure that the activities on the whole site, including during construction, do not pollute the environment in a way which causes, or may cause, environmental harm.

**(3) Erosion Control During Construction**

Management of the property during construction shall be undertaken in such a manner as to prevent denudation, erosion or pollution of the environment.

**9. ATTACHMENTS**

Locality Plan  
Proposal Plans  
Representation  
Applicant's response to representations  
Publically Notified Plans

Respectfully submitted

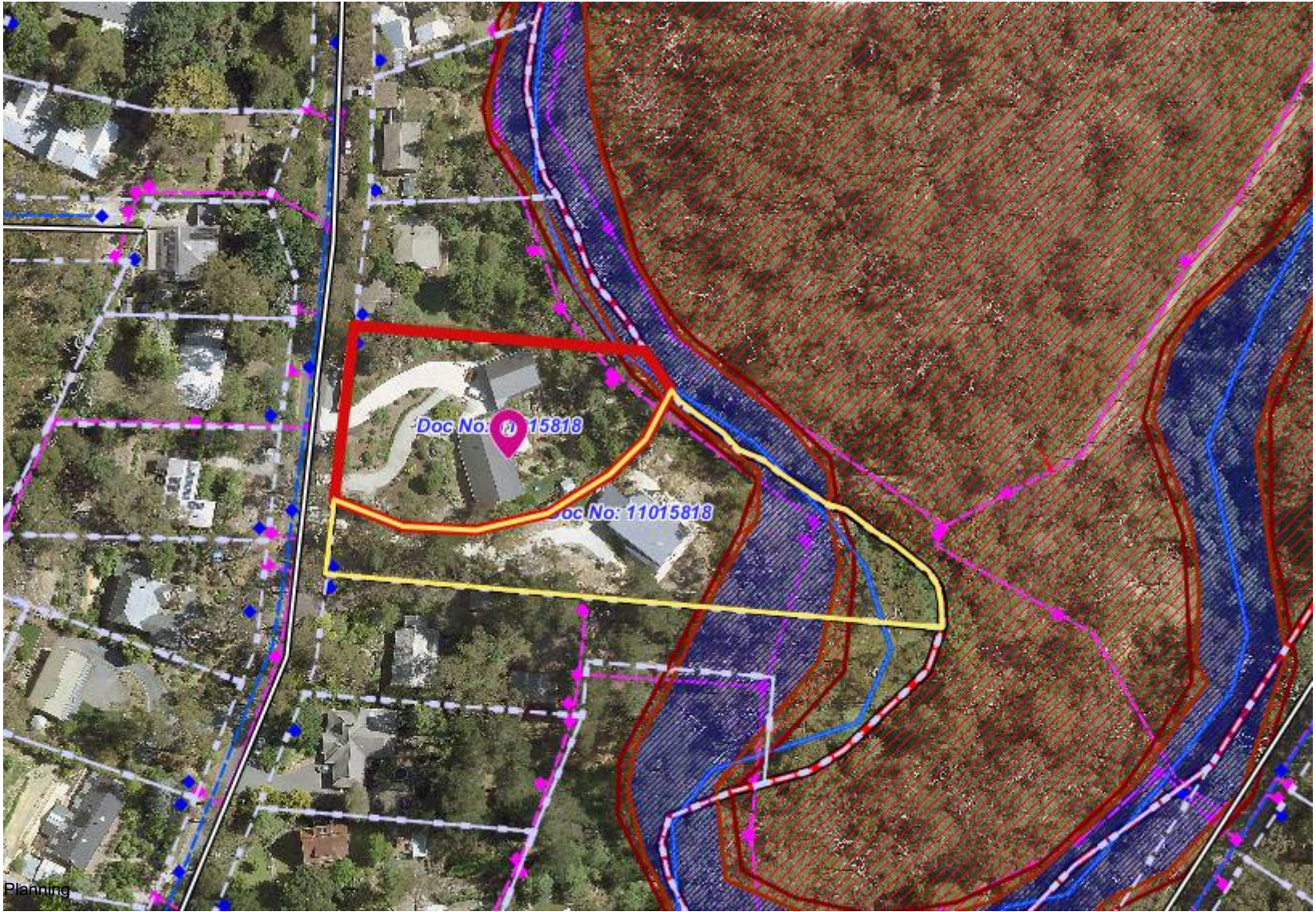
Concurrence

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**Doug Samardzija**  
Statutory Planner

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**Deryn Atkinson**  
Manager Development Services



**Annotations**

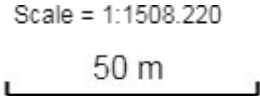
-  Representor
-  Subject land

Planning

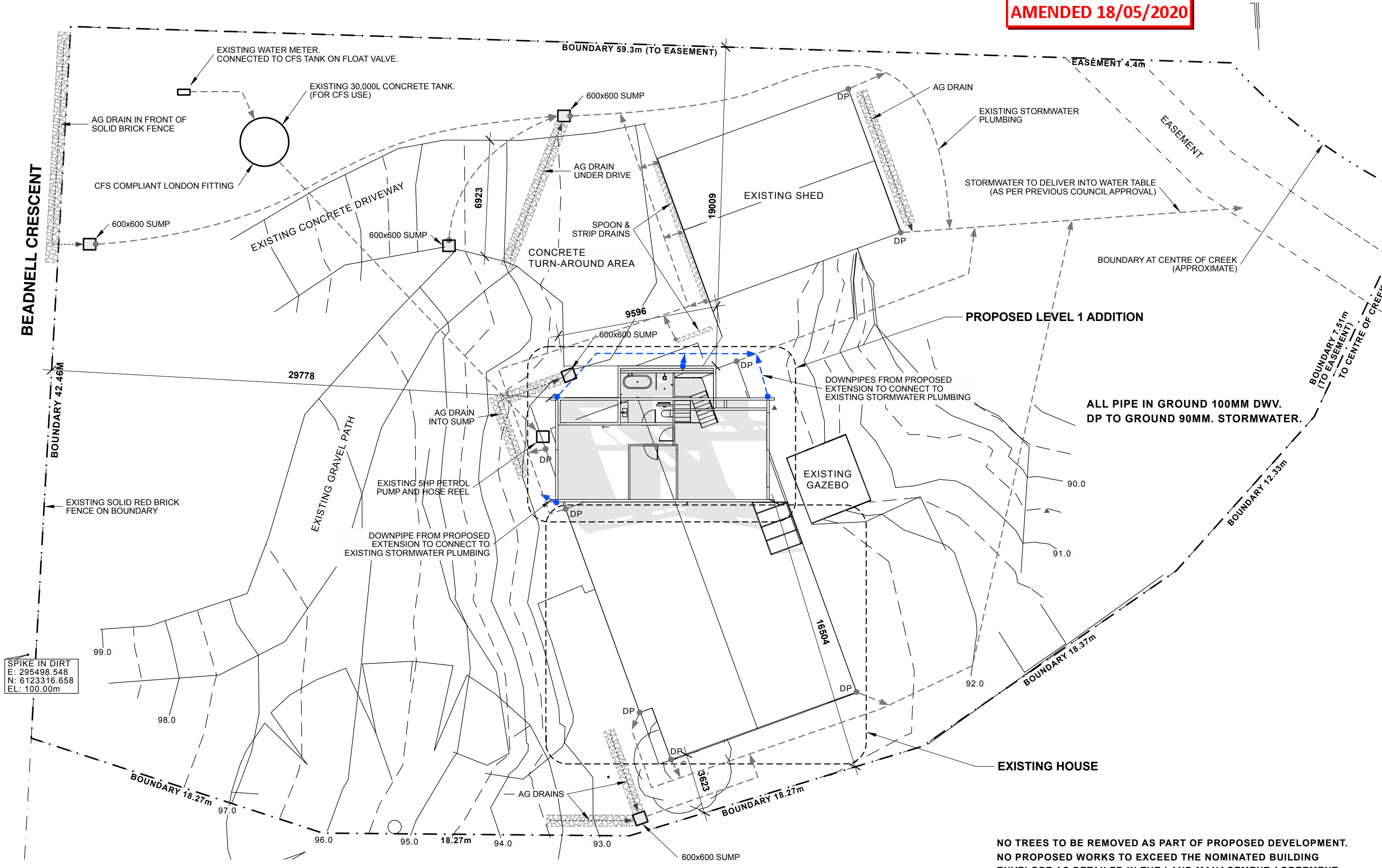
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**AMENDED 18/05/2020**

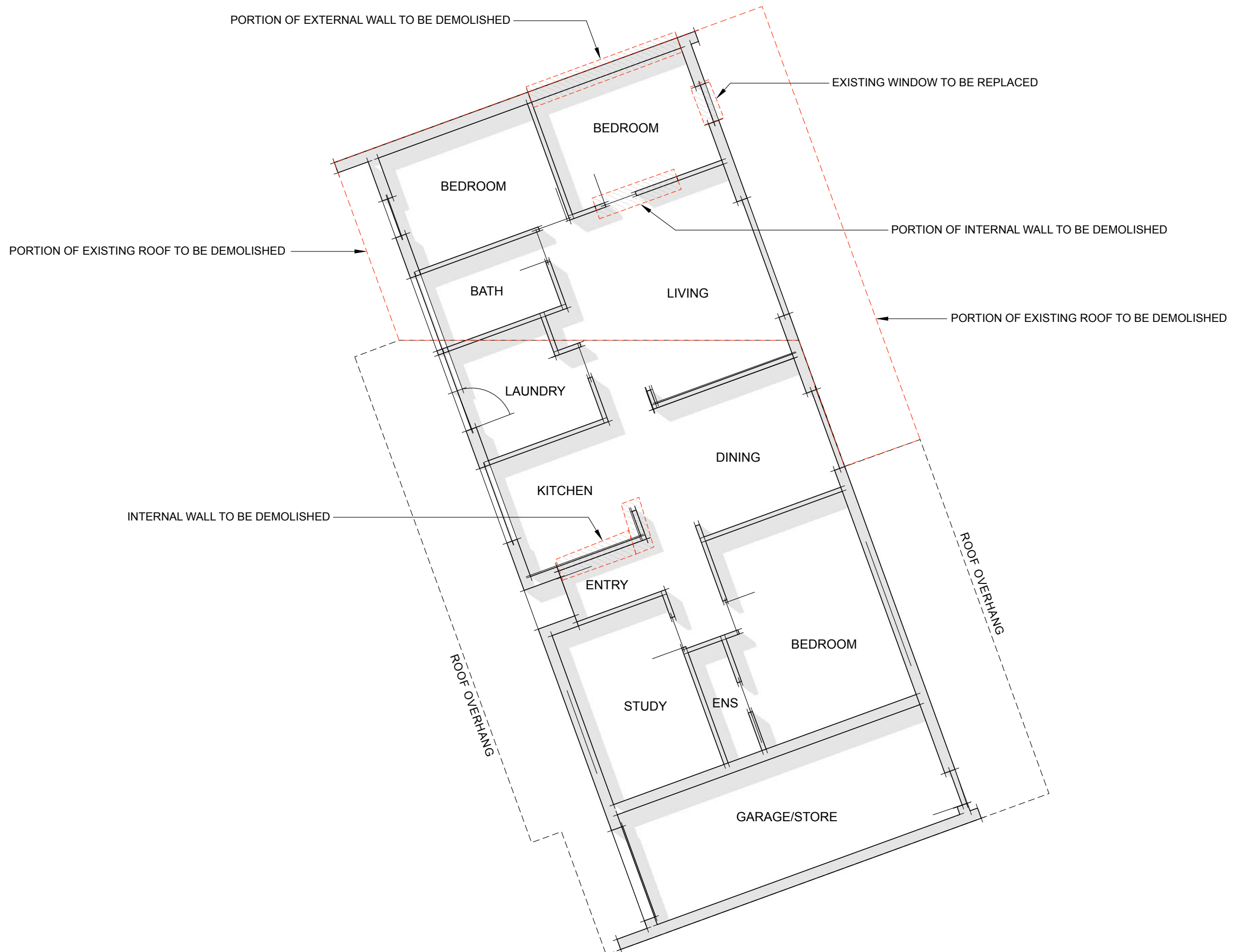


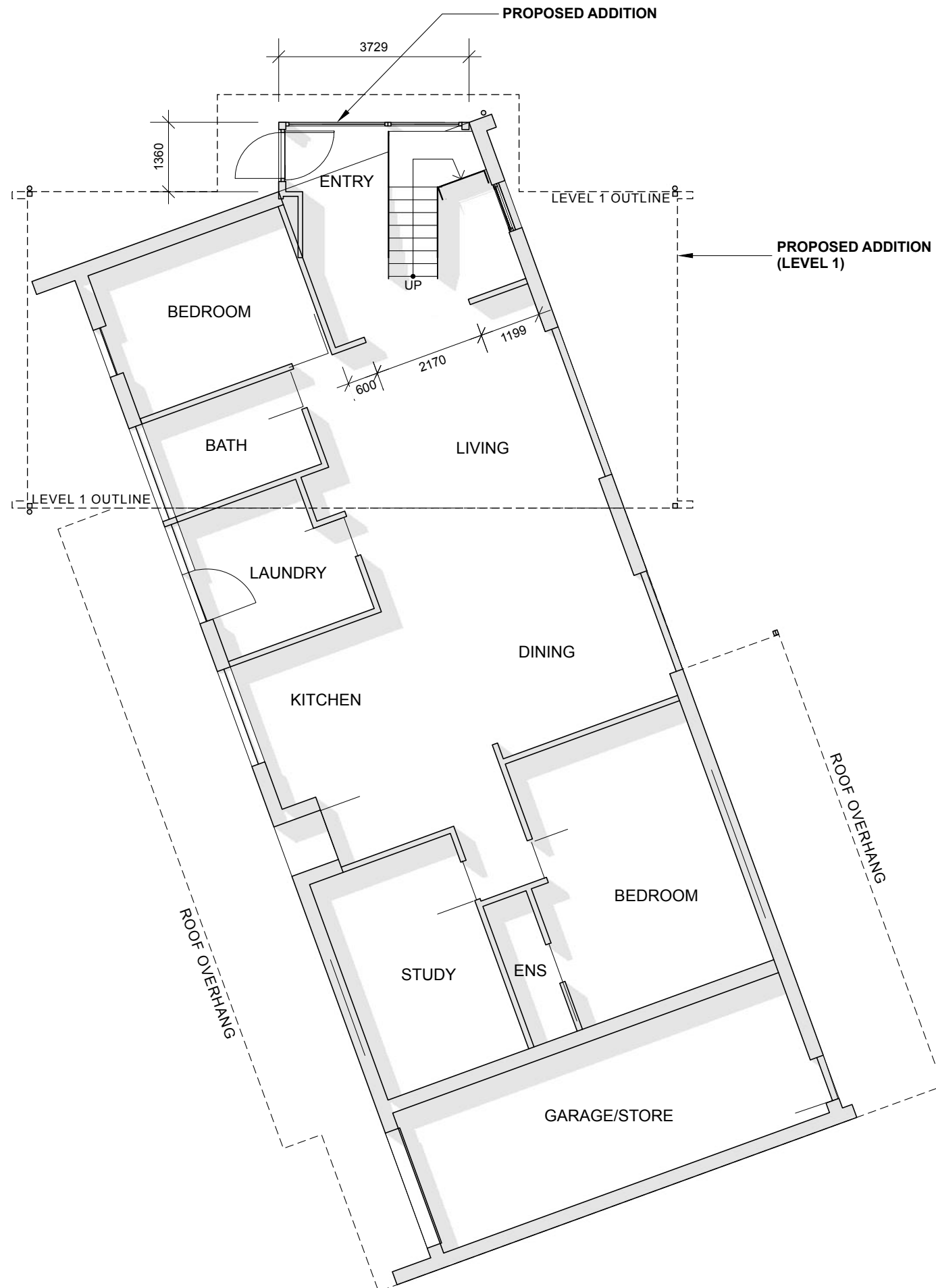
SPIKE IN DIRT  
E: 295498.548  
N: 6123316.658  
EL: 100.00m

**NO TREES TO BE REMOVED AS PART OF PROPOSED DEVELOPMENT.  
NO PROPOSED WORKS TO EXCEED THE NOMINATED BUILDING  
ENVELOPE AS DETAILED IN THE LAND MANAGEMENT AGREEMENT.**

<b>GOODHOUSE</b> GH_ROUTLEY_DPC.layout 18/05/2020	GOODHOUSE PTY. LTD. 35 Kensington Road, Norwood 5067 mark@goodhouse.co 0447 753 469	CLIENT ASHLEE & RICHARD ROUTLEY	ADDRESS 7 BEADNELL CRES, BRIDGEWATER SA 5155	PROJECT GH ROUTLEY	PAPER SIZE A3	ORIGINAL ISSUE DATE 10/12/2019	NORTH 	SCALE 1:200	DRAWING DESCRIPTION SITE PLAN	<b>A1.0</b>
						CURRENT ISSUE DPC	REV. 2	DATE 18/05/2020		

DO NOT SCALE OFF DRAWINGS, CHECK DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES BETWEEN DRAWINGS TO THE OFFICE FOR VERIFICATION BEFORE PROCEEDING. REFER TO ENGINEER'S REPORT FOR ALL STRUCTURAL DETAILS.  
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**TOTAL GROUND FLOOR AREA: 166.5 M2**

**GOODHOUSE**

GOODHOUSE PTY. LTD.  
35 Kensington Road, Norwood 5067  
mark@goodhouse.co  
0447 753 469

CLIENT  
ASHLEE & RICHARD  
ROUTLEY

ADDRESS  
7 BEADNELL CRES,  
BRIDGEWATER SA 5155

PROJECT  
GH ROUTLEY

PAPER SIZE  
A3

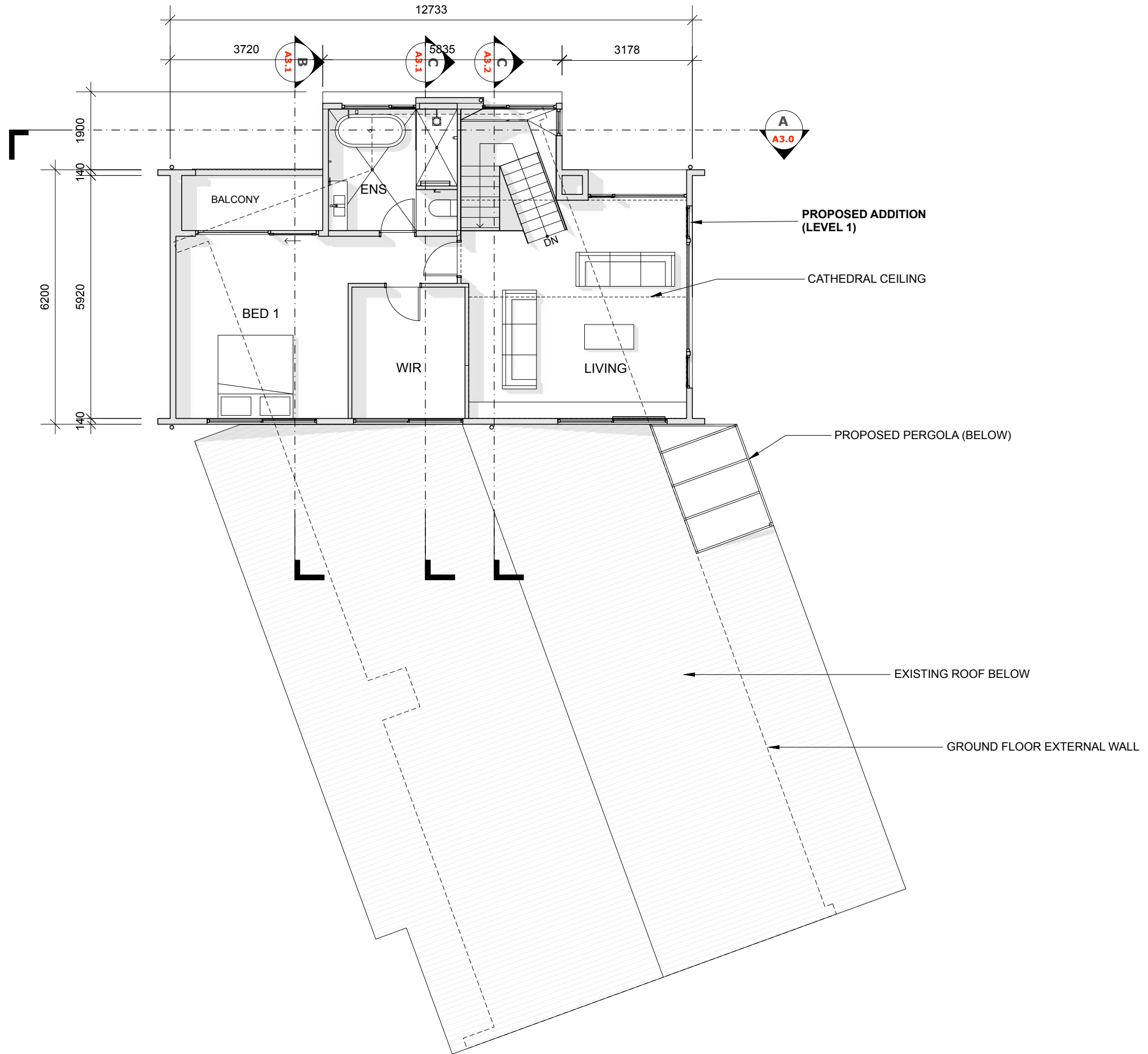
ORIGINAL ISSUE DATE	10/12/2019
CURRENT ISSUE	REV. DATE
DPC	0 10/12/2019

NORTH

SCALE  
1:100

DRAWING DESCRIPTION  
FLOOR PLAN

**A1.2**



**TOTAL FLOOR AREA: 84 M2**

**GOODHOUSE**

GH\_ROUTLEY\_DPC.layout 24/02/2020

GOODHOUSE PTY. LTD.  
35 Kensington Road, Norwood 5067  
mark@goodhouse.co  
0447 753 469

CLIENT  
ASHLEE & RICHARD  
ROUTLEY

ADDRESS  
7 BEADNELL CRES,  
BRIDGEWATER SA 5155

PROJECT  
GH ROUTLEY

PAPER SIZE  
A3

ORIGINAL ISSUE DATE 10/12/2019  
CURRENT ISSUE REV. DATE  
DPC 0 10/12/2019

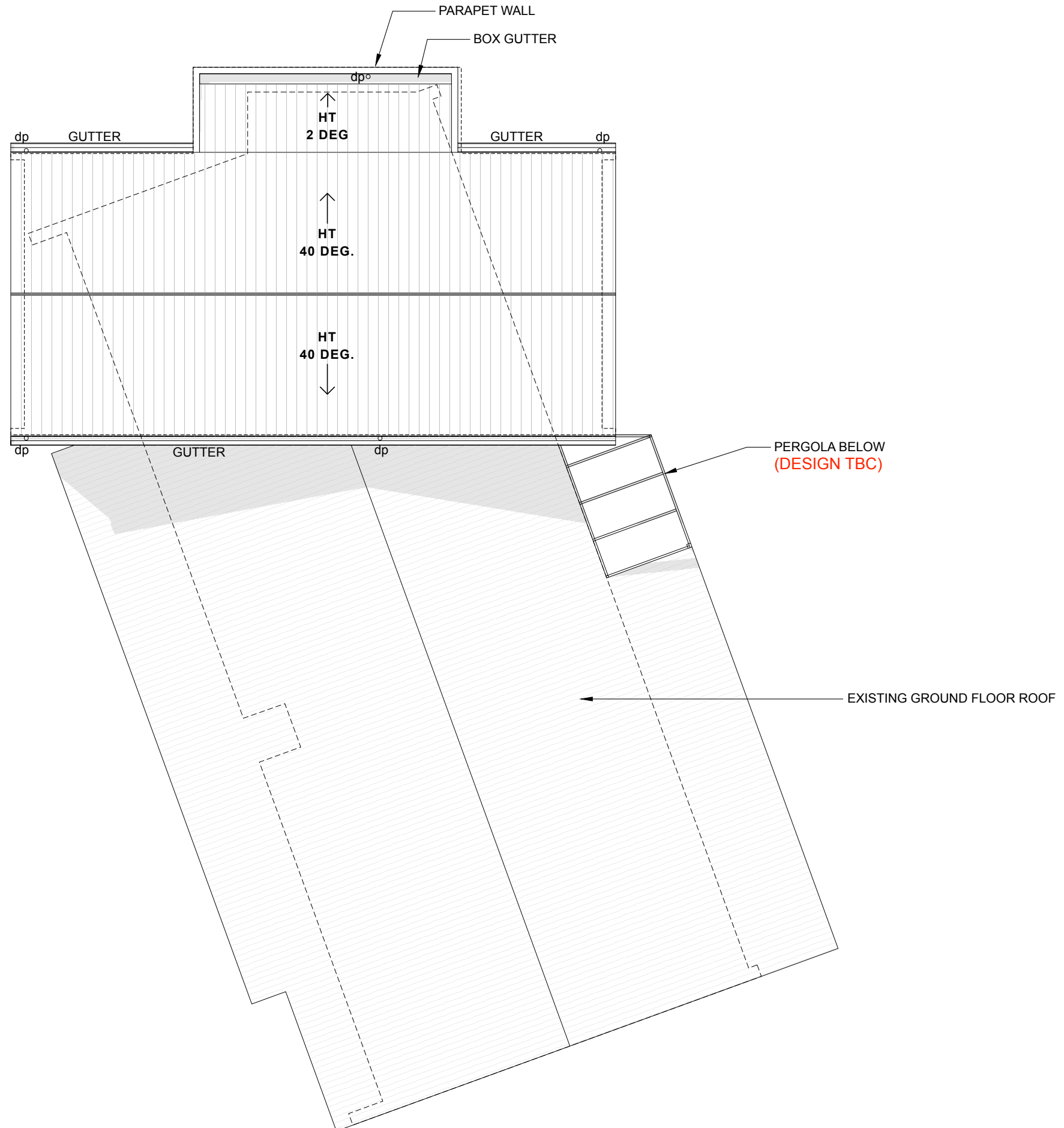


SCALE  
1:100

DRAWING DESCRIPTION  
FLOOR PLAN -  
LEVEL 1

**A1.2.1**






LEGEND (REFER TO SPEC. SCHEDULE)	
HT	STRATCO HILAND TRAY ROOFING, COLORBOND MONUMENT

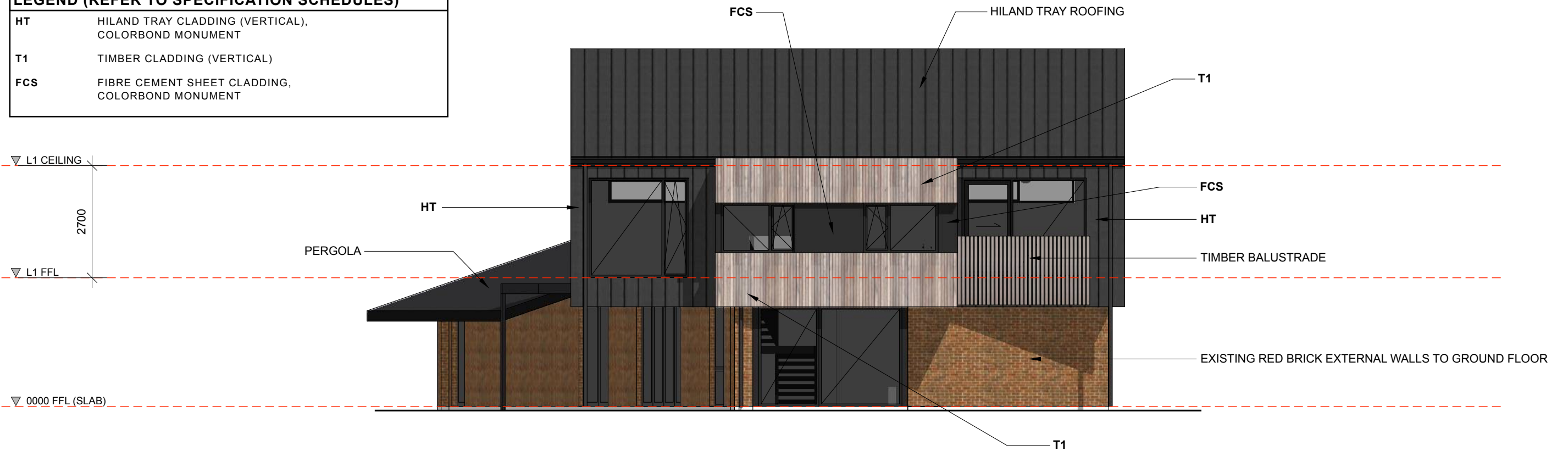
ADJUSTABLE SHADING DEVICE TO ALL PERGOLAS (BY OWNER)  
UNLESS NOTED OTHERWISE

ALL GUTTERS, DOWNPIPE SYSTEMS AND SURFACE STORMWATER  
TO BE CONSTRUCTED IN ACCORDANCE WITH AS 3500

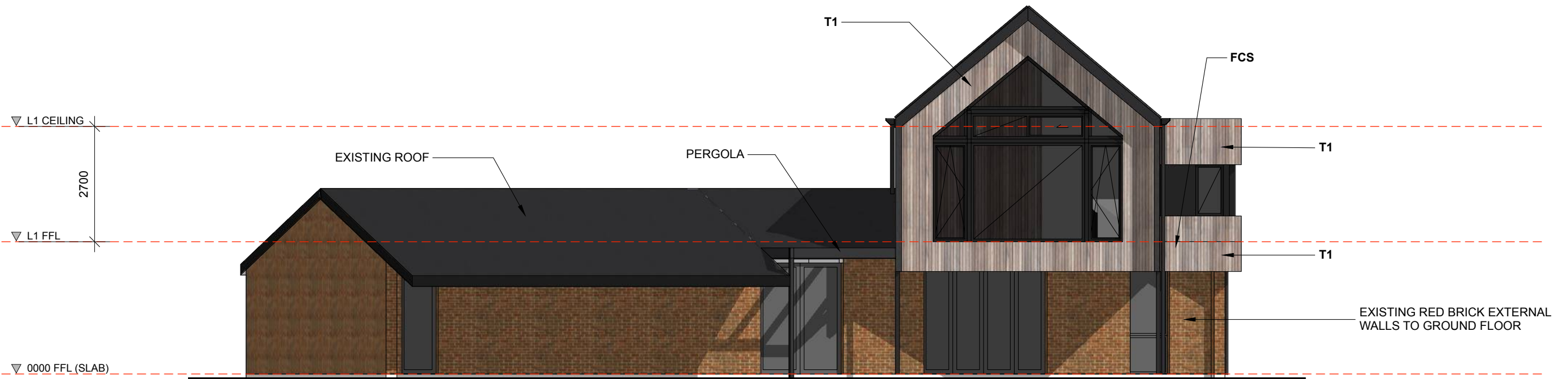
**TOTAL ROOF AREA: 298 M2**

<b>GOODHOUSE</b> <small>GH_ROUTLEY_DPC.layout 24/02/2020</small>	GOODHOUSE PTY. LTD. 35 Kensington Road, Norwood 5067 mark@goodhouse.co 0447 753 469	CLIENT ASHLEE & RICHARD ROUTLEY	ADDRESS 7 BEADNELL CRES, BRIDGEWATER SA 5155	PROJECT GH ROUTLEY	PAPER SIZE A3	ORIGINAL ISSUE DATE 10/12/2019	NORTH 	SCALE 1:100	DRAWING DESCRIPTION ROOF PLAN	<b>A1.3</b>
						CURRENT ISSUE DPC				

LEGEND (REFER TO SPECIFICATION SCHEDULES)	
HT	HILAND TRAY CLADDING (VERTICAL), COLORBOND MONUMENT
T1	TIMBER CLADDING (VERTICAL)
FCS	FIBRE CEMENT SHEET CLADDING, COLORBOND MONUMENT



North Elevation  
1:100



East Elevation  
1:100

LEGEND (REFER TO SPECIFICATION SCHEDULES)	
HT	HILAND TRAY CLADDING (VERTICAL), COLORBOND MONUMENT
T1	TIMBER CLADDING (VERTICAL)
FCS	FIBRE CEMENT SHEET CLADDING, COLORBOND MONUMENT



South Elevation  
1:100



West Elevation  
1:100

SOUTH AUSTRALIAN DEVELOPMENT ACT, 1993  
REPRESENTATION ON APPLICATION – CATEGORY 2 NOTIFICATION

Development Number: 19/1054/473

My Name: HELEN THOMPSON

Postal Address: PLEASE EMAIL AS LETTERBOX NOT FUNCTIONING

Contact No: [REDACTED]

Email: [REDACTED]

(by providing an email address you agree to receive any related future correspondence electronically)

This representation is in relation to the application by: Goodhouse Pty Ltd

Nature of Development: Two storey dwelling alterations & additions, deck (maximum height 3m) & associated earthworks

Proposed to be located at: 7 Beadnell Crescent Bridgewater SA 5155

My representation: (cross out whichever does not apply below)  
~~Supports the proposed development~~ OR Opposes the proposed development

My interests are: (cross out whichever does not apply below)  
owner of local property OR occupier of local property  
~~a representative of a company OR other~~  
organisation affected by the proposal OR a private citizen

The address of the property affected is:

9 BEADNELL CRES BRIDGEWATER SA Postcode: 5155

The specific aspects of the application to which I make representation are:

PLEASE SEE ATTACHED DOCUMENT  
(2 PAGES)

My objections (if any) could be overcome by:

PLEASE SEE ATTACHED DOCUMENT  
(2 PAGES)

(cross out whichever does not apply below)

I do wish to be heard in support of my representation by appearing personally or being represented by the following person.

~~I do not wish to be heard in support of my representation.~~

"Please note that, in accordance with Section 38 (10)(a) of the *Development Act 1993*, the Council Assessment Panel may, in its absolute discretion, allow a person who made a representation to appear personally or by representative before it to be heard in support of the representation."

Please note that *no right of appeal* to the Environment, Resources and Development Court exists for a person or body who submit a Category 2 r [REDACTED]

Date: 26/3/20 S [REDACTED]

The closing time and date for Representations is 5.00pm on 26 March 2020.

"Please note that in accordance with Section 38(8) of the *Development Act 1993*, a copy of this representation is forwarded to the Applicant for their information and response. Further a copy of your representation (including your name and address) will become public and can be viewed on the web."

**Representation against the proposed development at 7 Beadnell Crescent, Bridgewater**

1. The proposal's excessive building height, large roof form, and steep pitch are not commonly seen within the locality. In my opinion the proposal is not in keeping with the character of the existing built form within the locality.

I believe this aspect could be overcome by reducing the overall height, altering the roof pitch and reducing the mass of the proposed development. Also, matching the dwelling's addition outline to the lower storey's existing footprint could likely result in a reduction of visual amenity impact.

Additionally, the enlargement of the eaves or the installation of window screens could go some way to align with the character of the locality.

2. The main living area of the proposal is orientated directly easterly which will result in direct overlooking into my private open spaces.

It is acknowledged that my neighbour's property contains existing vegetation however given the lifecycle of the existing trees, during the summer months the trees have dense foliage, conversely during the winter months some of the foliage dies and there is a clear line of sight from the applicant's property through to my property.

The applicant has attempted to plant a screen along the fence line, however the trees along that part of the fence that face the front of my home are not tall enough to provide adequate screening. There are also breaks in the planting to accommodate the applicant's vegetable patch and shed, which may result in overlooking into the private open space at the front of my home.

Along other parts of the fence line, plants do not appear to be growing effectively. In my view this could be due to the plants being planted into soil with a high rock content and in areas shaded during the main growing season. For these reasons the screening plants are not effective.

In my opinion the overlooking impacts could be overcome by any of the following measures:

- Increasing the height of the eastern window sill to 1.5m above the finished floor level of level 1.
- Reorienting the second storey addition so that the addition is in line with the current dwelling's north eastern orientation.
- Installing obscured glass and setting the window back within the frame.

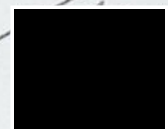
I believe any of the above measures would thereby restrict the direct views onto my property.

3. The scale and overall height of the proposed dwelling has a significant visual impact in the landscape as the profile of the building does not complement the natural form of the land and is bulky in appearance. The design does not attempt to reduce its visual impact.

In my opinion the above aspect could be overcome by reducing the height and pitch of the roofline, reducing the overall building mass, and enlarging the eaves.

4. On site stormwater management is currently an issue for the applicant's site. I currently experience stormwater flowing from my neighbour's property onto my property. On review of the site plan there is no indication of rainwater tanks or details of stormwater management. How does the applicant intend to cater for the increased stormwater catchment from the proposed large roof area?

10F2



5. The locality is subject to existing underground springs. The land owner of 7 Beadnell Crescent previously disturbed the rock shelf of the underground spring during the construction of their shed. I experienced increased groundwater seepage following the construction. The proposed plans do not account for this spring. I have concerns in regards to how the applicant intends to accommodate for the increased groundwater run-off likely to result from this development proposal.
6. The scale and overall height of the proposed dwelling will obscure my current view towards the foliage rich tree line above/behind the applicant's house, from the private open space at the front of my home.

I believe this aspect could be overcome by reducing the overall height, altering the roof pitch and reducing the mass of the proposed development. This would likely result in making the development less visually obstructive.

7. The design of the development does not address the view the public is likely to see when walking along Beadnell Cres, of areas of uninterrupted wall.

I believe this aspect could be overcome by the reduction in height and mass of the development and the addition of large windows on the western elevation.





**Photo 2**





Photo 3

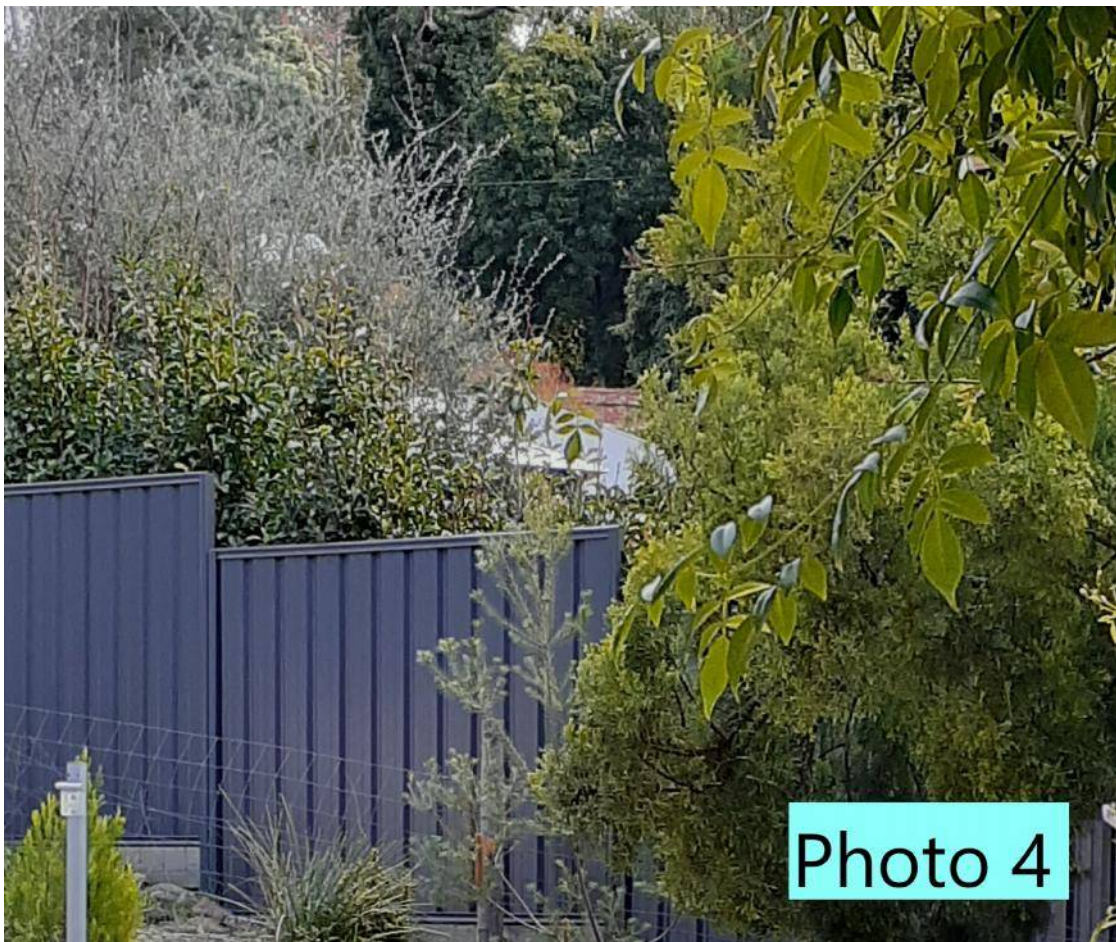


Photo 4



Photo 5



Photo 6

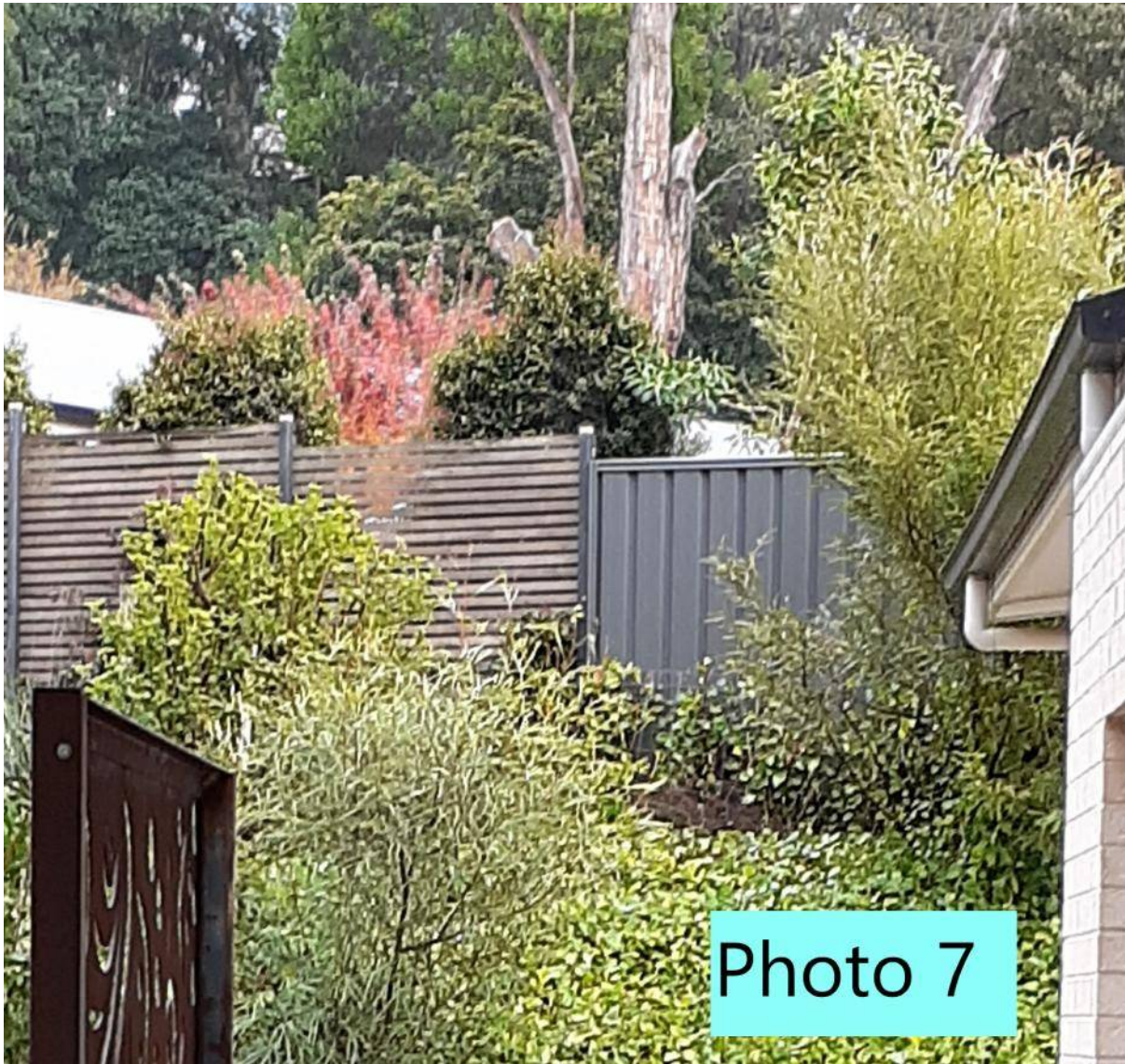


Photo 7

Photo 8 Collage



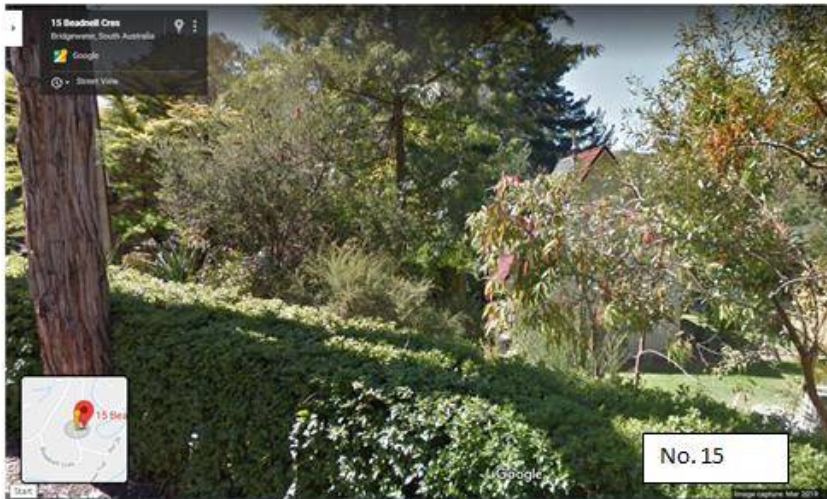




Photo 9

Photo 10



Photo 11







Photo 12



Photo 13

Photo 11a



Monday, 6 April 2020

## **Response to Representation for 7 Beadnell Cres Bridgewater; Development Number 19/1054/473**

Dear Doug,

Please find below our *response (blue italics)* to Representation from Helen Thompson.

*Firstly, we would like to thank Ms Thompson for her considered response to the proposed development. It would be great if all citizens were so engaged with what goes on in our local Built Environment. We welcome feedback and are happy to respond. We believe that our design response has already considered most points raised and trust that our explanations and comments will help alleviate Ms Thompsons concerns.*

### **Representation against the proposed development at 7 Beadnell Crescent, Bridgewater**

1. The proposal's excessive building height, large roof form, and steep pitch are not commonly seen within the locality. In my opinion the proposal is not in keeping with the character of the existing built form within the locality.

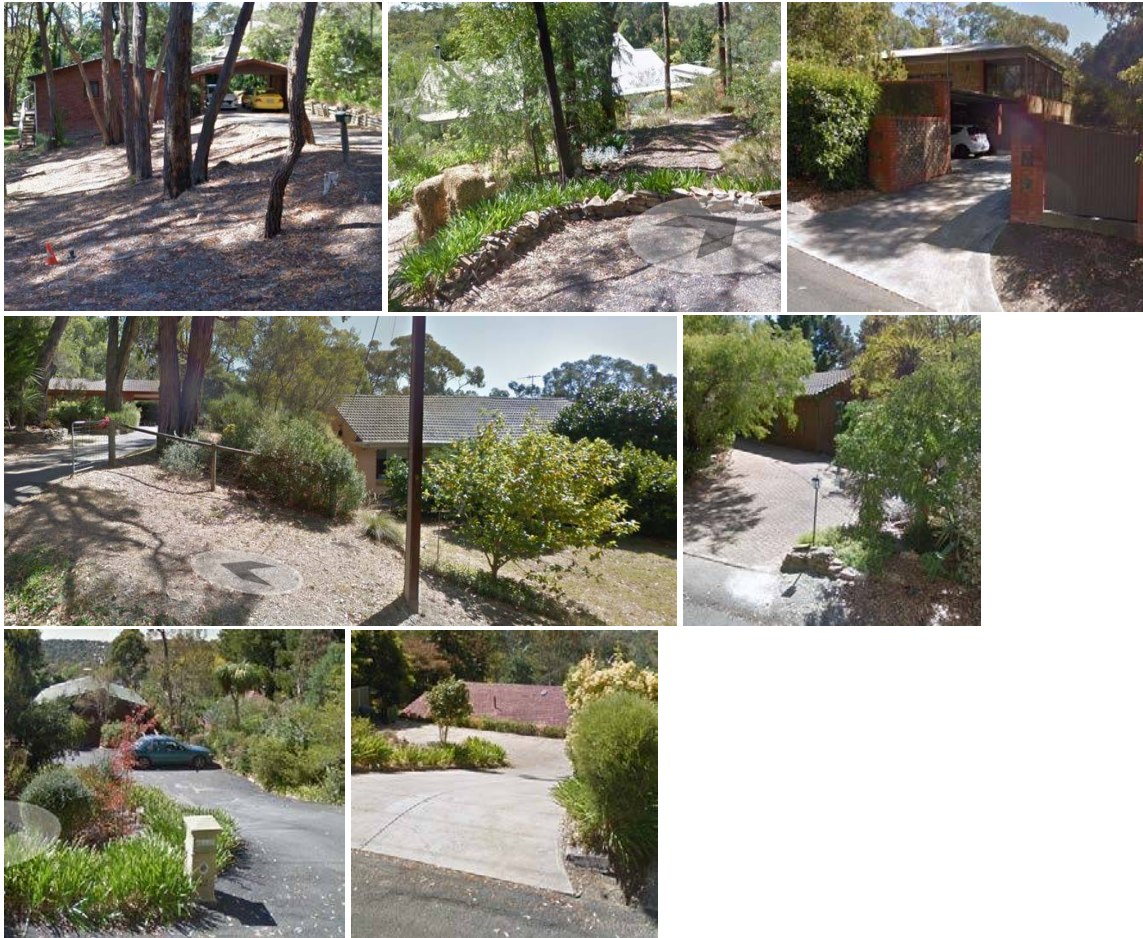
*We don't believe that 8.4m to the ridge cap is an excessive building height for a two-storey development. This height is arguably fairly standard. Both Ground level and Level one only have 2700 ceilings.*

*The style of roof form and pitch is also fairly standard, particularly for this location. If we look at a snapshot of even just Beadnell Crescent (images below), a range of 1960s through to 1980s homes present a variety of forms and architectural vernacular. Roof forms are mostly gable and some are actually quite steep. The location provides for great variation of house position, elevation, angle and form. This proposed 84m2 extension will not appear to be out of place in this area.*

*Beadnell Crescent house images. Screenshots from GOOGLE MAPS STREET VIEW accessed 8<sup>th</sup> April 2020.*



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RECEIVED 14/04/2020**



I believe this aspect could be overcome by reducing the overall height, altering the roof pitch and reducing the mass of the proposed development. Also, matching the dwelling's addition outline to the lower storey's existing footprint could likely result in a reduction of visual amenity impact.

Additionally, the enlargement of the eaves or the installation of window screens could go some way to align with the character of the locality.

*We don't believe this issue to be requiring any design alteration. If it did require changes, slight rotation and roof pitch change would make very little difference to the overall aesthetic. Larger eaves and window treatments would actually increase the scale of the built form.*

*A note about the eaves, or perceived lack of eaves. This extension has been designed to manage solar gain effectively through the 'setting in' of exposed windows.*

2. The main living area of the proposal is orientated directly easterly which will result in direct overlooking into my private open spaces.

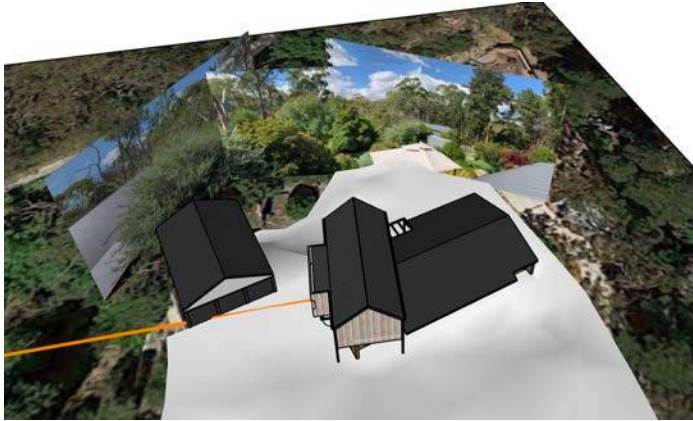
*We acknowledge that this is a very important element of concern. Much time and consideration has gone into the Eastern fenestration. Understandably, our client is very keen to maximise the visual connection to the glorious view down the valley. The reality is that there is NO effective overlooking into Ms Thompson's property, let alone her outdoor living area.*

# GOODHOUSE

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Level 1, 35 Kensington Road, Norwood  
PO Box 4184, Norwood South SA 5067  
Mark +61(0)447 753 469

*The combination of; a. The elevation difference; b. The angle of view; c. The existing screening; and d. The position of Ms Thompson's outdoor living area, all combine to provide privacy for both parties.*

*We have taken photos from the proposed Level 1 FFL (on current roof) and imported these into our 3D modelling. The photos have been positioned using satellite photos... generating a good level of accuracy.*



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It is acknowledged that my neighbour's property contains existing vegetation however given the lifecycle of the existing trees, during the summer months the trees have dense foliage, conversely during the winter months some of the foliage dies and there is a clear line of sight from the applicant's property through to my property.

*Our client has planted 150 screening plants right around his property. Currently the boundary connection between Ms Thompson's property and our client's property looks like this:*



*View from proposed level 1 extension.*



*Views from ground level.*

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RECEIVED 14/04/2020**

*These screening plantings include species such as Photinia Robusta, Lilly Pilly Resilience, mixed pittosporums and will continue to grow and fill out. Most are evergreen.*

The applicant has attempted to plant a screen along the fence line, however the trees along that part of the fence that face the front of my home are not tall enough to provide adequate screening. There are also breaks in the planting to accommodate the applicant's vegetable patch and shed, which may result in overlooking into the private open space at the front of my home.

*As the photos show, there is no view into the front or the rear of Ms Thompson's yard.*

Along other parts of the fence line, plants do not appear to be growing effectively. In my view this could be due to the plants being planted into soil with a high rock content and in areas shaded during the main growing season. For these reasons the screening plants are not effective.

*My client has planted 150 screening plants on his property in an attempt to benefit all parties. These plants are growing very well and will continue to do so. Our client originally sought the advice of Valley Nursery and Frazer Gardens and landscaping when planning the landscaping and screening plant choice. Our client is also very aware of the soil type and proximity of rock.*

In my opinion the overlooking impacts could be overcome by any of the following measures:

- a. Increasing the height of the eastern window sill to 1.8m above the finished floor level of level 1.

*This is unacceptable to our client. It is unnecessary and would significantly impact on the extension amenity.*

- b. Reorienting the second storey addition so that the addition is in line with the current dwelling's north eastern orientation.

*This would make minimal difference to the perceived overlooking issue anyway. It would only make winter solar access and summer shading much harder to manage.*



- c. Installing obscured glass and setting the window back within the frame.

*This is unacceptable to our client. It is unnecessary and would significantly impact on the extension amenity.*

*One thing that must be mentioned is that it is our intention to design some solar management slats on this eastern window for the summer condition. This **could** be something that will give Ms Thompson some peace of mind. The structure is likely to be operable vertical slats. These could be limited to only pivot to the North, hence also acting as visual screens to the South.*



*View from the SE.*



*Slats open to the East.*

*Slats pivoted to the North – providing internal shade.*

I believe any of the above measures would thereby restrict the direct views onto my property.

3. The scale and overall height of the proposed dwelling has a significant visual impact in the landscape as the profile of the building does not complement the natural form of the land and is bulky in appearance. The design does not attempt to reduce its visual impact.

In my opinion the above aspect could be overcome by reducing the height and pitch of the roofline, reducing the overall building mass, and enlarging the eaves.

*We believe that point 3 is largely the same as point 1. Our response is therefore the same, with one additional comment.*

*GOODHOUSE has been involved in many Hills developments now and our approach is consistent. We aim to deliver a site appropriate and sustainable solution for all of our clients. We also take great pride in delivering aesthetically appropriate responses to the local environs. We use a variety of forms that sit within their settings and choose materials and colours that complement the environment. This may not be evident through our drawings as there is no context shown.*



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*Below you can see 3 recent GOODHOUSE builds that together paint a picture of how we approach site, form and materiality. Darker "shadow" colours always recede, and natural textures like timber cladding helps settle the bulk of the building into the site.*



GH13



GH31

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GH37

4. On site stormwater management is currently an issue for the applicant's site. I currently experience stormwater flowing from my neighbour's property onto my property. On review of the site plan there is no indication of rainwater tanks or details of stormwater management. How does the applicant intend to cater for the increased stormwater catchment from the proposed large roof area?

*My client is very aware of the stormwater management issues of this area. When undertaking the last development on site (shed and driveway), in conjunction with a hydraulic Engineer, my client installed an extensive stormwater system consisting of 50 lengths of 100mm DWV, 4 x 600mm square sumps, 10m of strip drain, and 6 French drains with an outlet directly to the creek below as per Council approved documentation.*

*The stormwater management solution currently operational on my client's site more than adequately addresses all on site stormwater and allows none onto 9 Beadnell Crescent. We would welcome a site inspection to assess.*

*The proposed development adds under 10m<sup>2</sup> of roof catchment area. All roof water will be connected to the existing RW tank system. The existing stormwater solution is more than adequate to deal with this very slight increase.*

5. The locality is subject to existing underground springs. The land owner of 7 Beadnell Crescent previously disturbed the rock shelf of the underground spring during the construction of their shed. I experienced increased groundwater seepage following the construction. The proposed plans do not account for this spring. I have concerns in regards to how the applicant intends to accommodate for the increased groundwater run-off likely to result from this development proposal.

*The proposed plans do not affect the current ground water status.*

*The previous Shed and Driveway development is not up for review with this Application, however we will address this concern by stating the following.*

- 1. The shed base was built up NOT cut in to the site and is on the other side of the property. You can see in the image below that the contours run East down to the creek. Shed is circled in red. You can see the natural slope fo the land indicated by the white arrows... nowhere near number 9 Beadnell Crescent.*



2. *My client actually assisted Ms Thompson with the development and construction of her driveway. It is noted that Ms Thompson's house is built into the site utilising a significant cut. Underground water will always flow out of such cuts and require significant on site drainage solutions.*

6. The scale and overall height of the proposed dwelling will obscure my current view towards the foliage rich tree line above/behind the applicant's house, from the private open space at the front of my home.

*The proposal will be **just** visible from the front of Ms Thompson's house through the screening plantings. It will not break the tree line beyond. The very top of the proposed roof is only 1.5m above Beadnell Terrace road surface. The trees along Beadnell Terrace are significant.*

I believe this aspect could be overcome by reducing the overall height, altering the roof pitch and reducing the mass of the proposed development. This would likely result in making the development less visually obstructive.

7. The design of the development does not address the view the public is likely to see when walking along Beadnell Cres, of areas of uninterrupted wall.

*The view of the proposed development will be very similar to the image below. We are confident that it will comfortably sit into the site.*



I believe this aspect could be overcome by the reduction in height and mass of the development and the addition of large windows on the western elevation.

*Large western windows are not an option when considering the environmental conditions of the site. This would quite simply make the upper rooms unliveable in summer. Western windows would also significantly reduce the privacy of my clients as this western room is the proposed main bedroom.*

Sincerely,



Mark Thomas

Director/Architect

**ADELAIDE HILLS COUNCIL  
RECEIVED 14/04/2020**

# GOODHOUSE

ROUTLEY  
7 BEADNELL CRES,  
BRIDGEWATER  
SA 5155

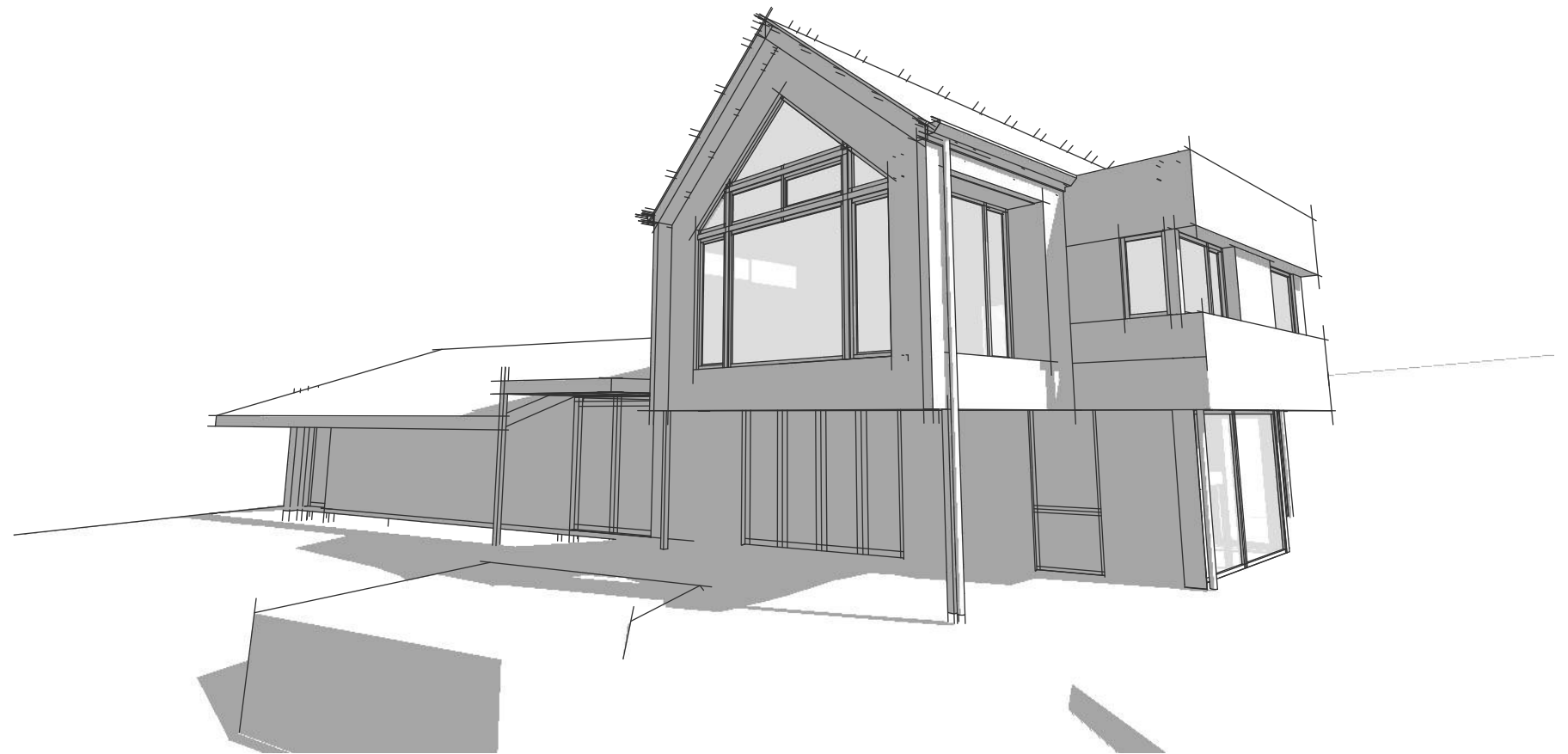
## DEVELOPMENT PLAN CONSENT

### NOTES:

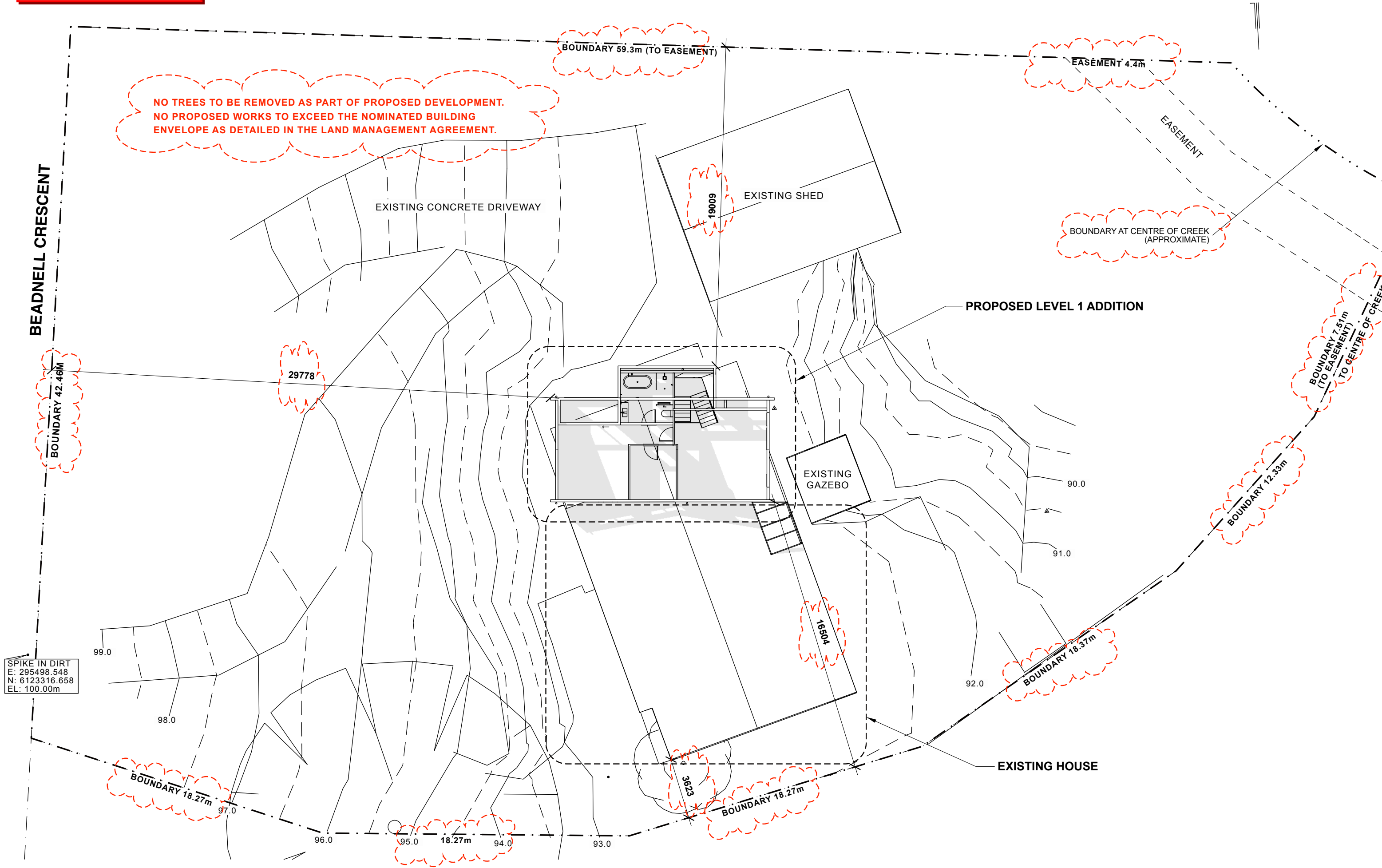
ALL CONSTRUCTION TO COMPLY WITH AS3959 AND TO BE IN ACCORDANCE WITH MINISTER'S SPEC SA78.

THE PROPOSED DEVELOPMENT ON THIS PROPERTY IS DESIGNED WITH CAREFUL CONSIDERATION TO THE SITE LIMITATIONS, ACCESS AND THE NEIGHBOURING HOUSES. 3D MODELLING HAS BEEN USED TO ASSESS OVERLOOKING AND PRIVACY ISSUES; WINDOWS AND SCREENING ARE POSITIONED ACCORDINGLY.

THE PROPOSED DEVELOPMENT ADDRESSES ISSUES OF SUSTAINABILITY. PASSIVE NORTHERN SOLAR ACCESS IS MAXIMISED WHERE POSSIBLE. DOUBLE GLAZING AND HIGH LEVELS OF INSULATION WILL ASSIST IN HEAT RETENTION IN WINTER AND HEAT EXCLUSION IN SUMMER. EXTENSIVE SHADING AND SOLAR SCREENING IS UTILISED AROUND THE BUILDING.



PAGE	NO.	ISSUE	REV	DATE
COVER	A0.0	DPC	1	24/02/2020
SITE PLAN	A1.0	DPC	1	24/02/2020
FLOOR PLAN - DEMO	A1.1	DPC	0	10/12/2019
FLOOR PLAN	A1.2	DPC	0	10/12/2019
FLOOR PLAN - LEVEL 1	A1.2	DPC	0	10/12/2019
ROOF PLAN	A1.3	DPC	0	10/12/2019
ELEVATIONS 1	A2.0	DPC	0	10/12/2019
ELEVATIONS 2	A2.1	DPC	0	10/12/2019
PERSPECTIVES	A7.0	DPC	0	10/12/2019



SPIKE IN DIRT  
 E: 295498.548  
 N: 6123316.658  
 EL: 100.00m

**GOODHOUSE**

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 35 Kensington Road, Norwood 5067  
 mark@goodhouse.co  
 0447 753 469

CLIENT  
 ASHLEE & RICHARD  
 ROUTLEY

ADDRESS  
 7 BEADNELL CRES,  
 BRIDGEWATER SA 5155

PROJECT  
 GH ROUTLEY

PAPER SIZE  
 A3

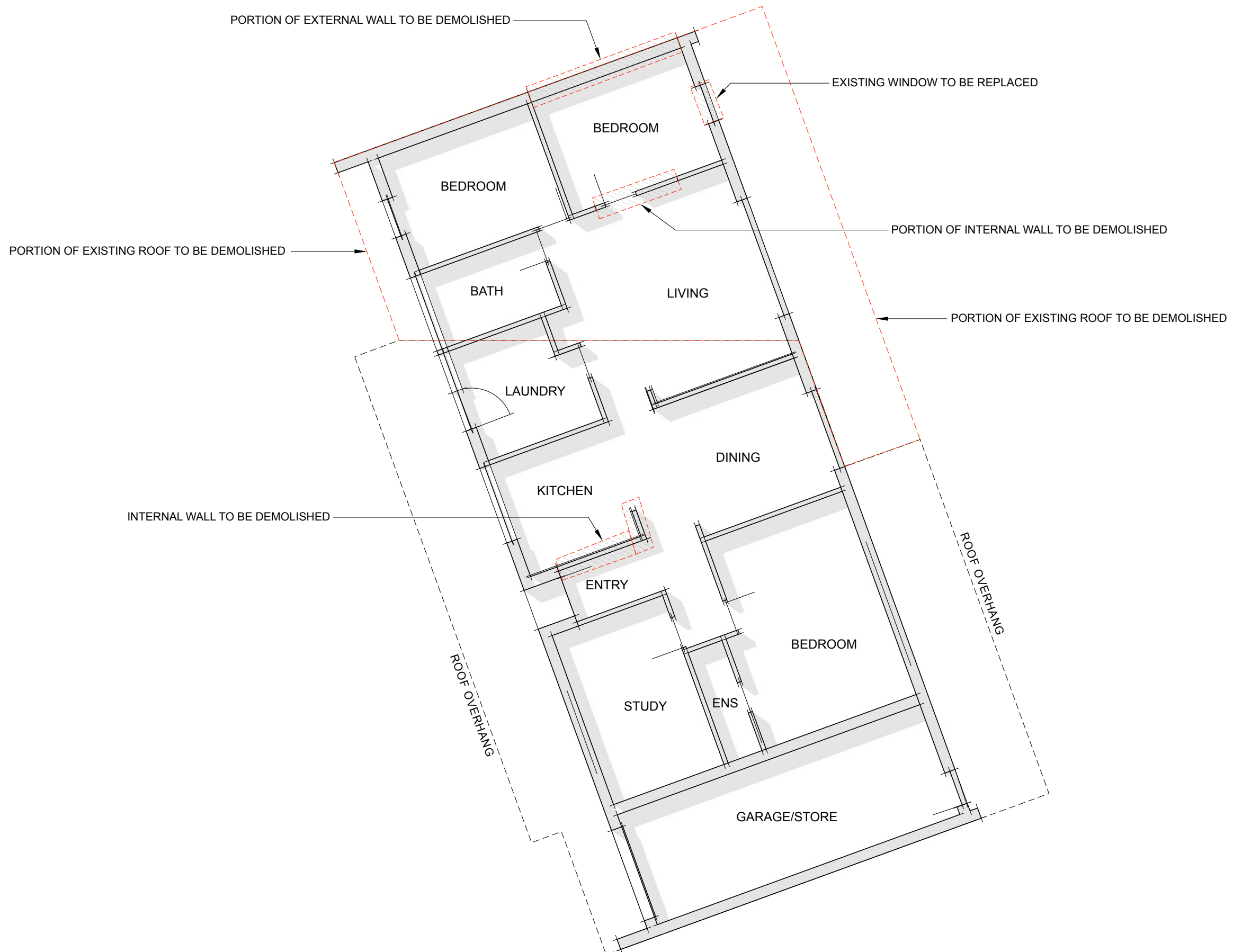
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 CURRENT ISSUE REV. DATE  
 DPC 1 24/02/2020

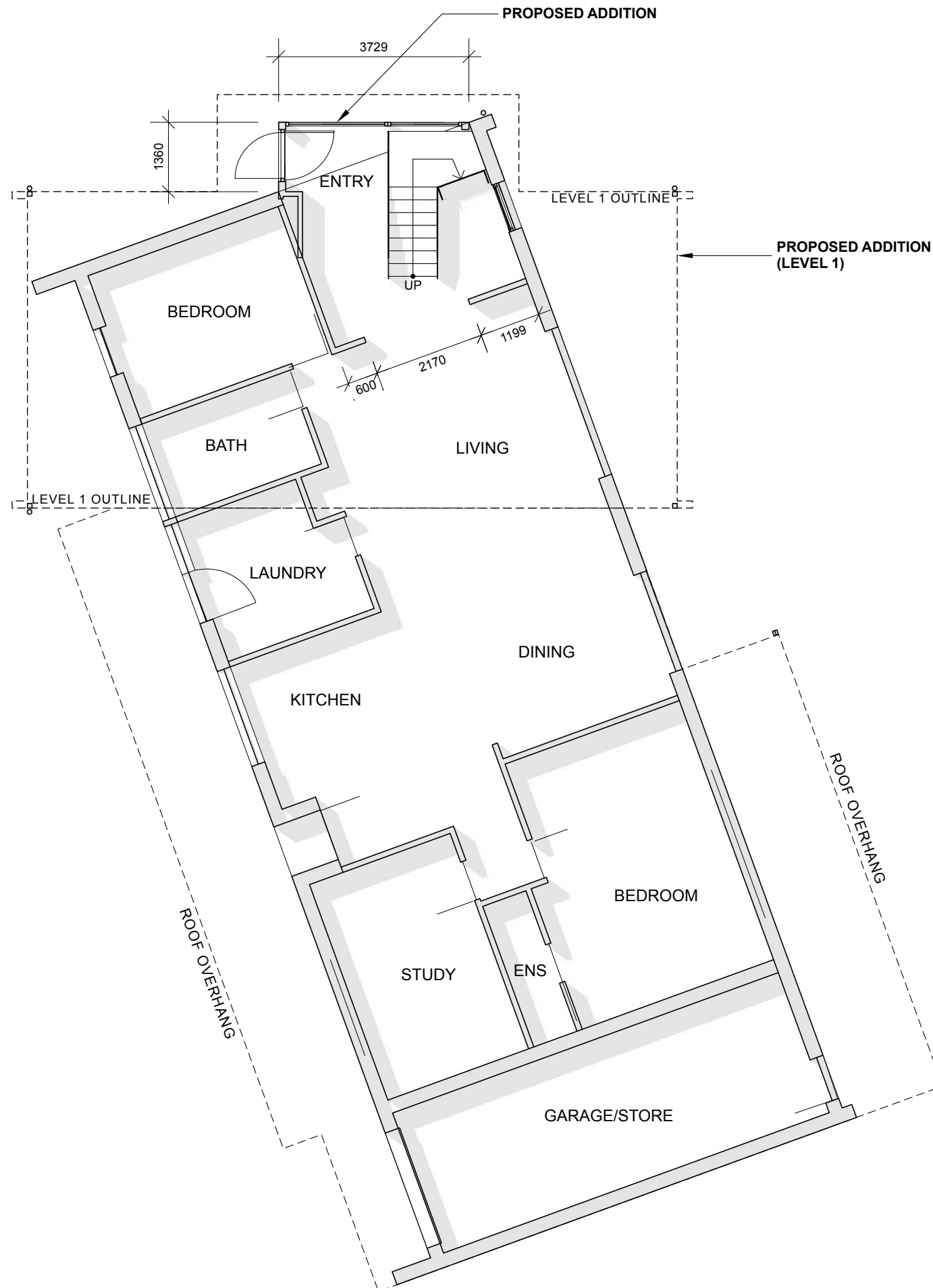
NORTH

SCALE  
 1:200

DRAWING DESCRIPTION  
 SITE PLAN

**A1.0**





**TOTAL GROUND FLOOR AREA: 166.5 M2**

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GH\_ROUTLEY\_DPC.layout

24/02/2020

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35 Kensington Road, Norwood 5067  
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CLIENT  
ASHLEE & RICHARD  
ROUTLEY

ADDRESS  
7 BEADNELL CRES,  
BRIDGEWATER SA 5155

PROJECT  
GH ROUTLEY

PAPER SIZE  
A3

ORIGINAL ISSUE DATE	10/12/2019
CURRENT ISSUE	REV. DATE
DPC	0 10/12/2019

NORTH

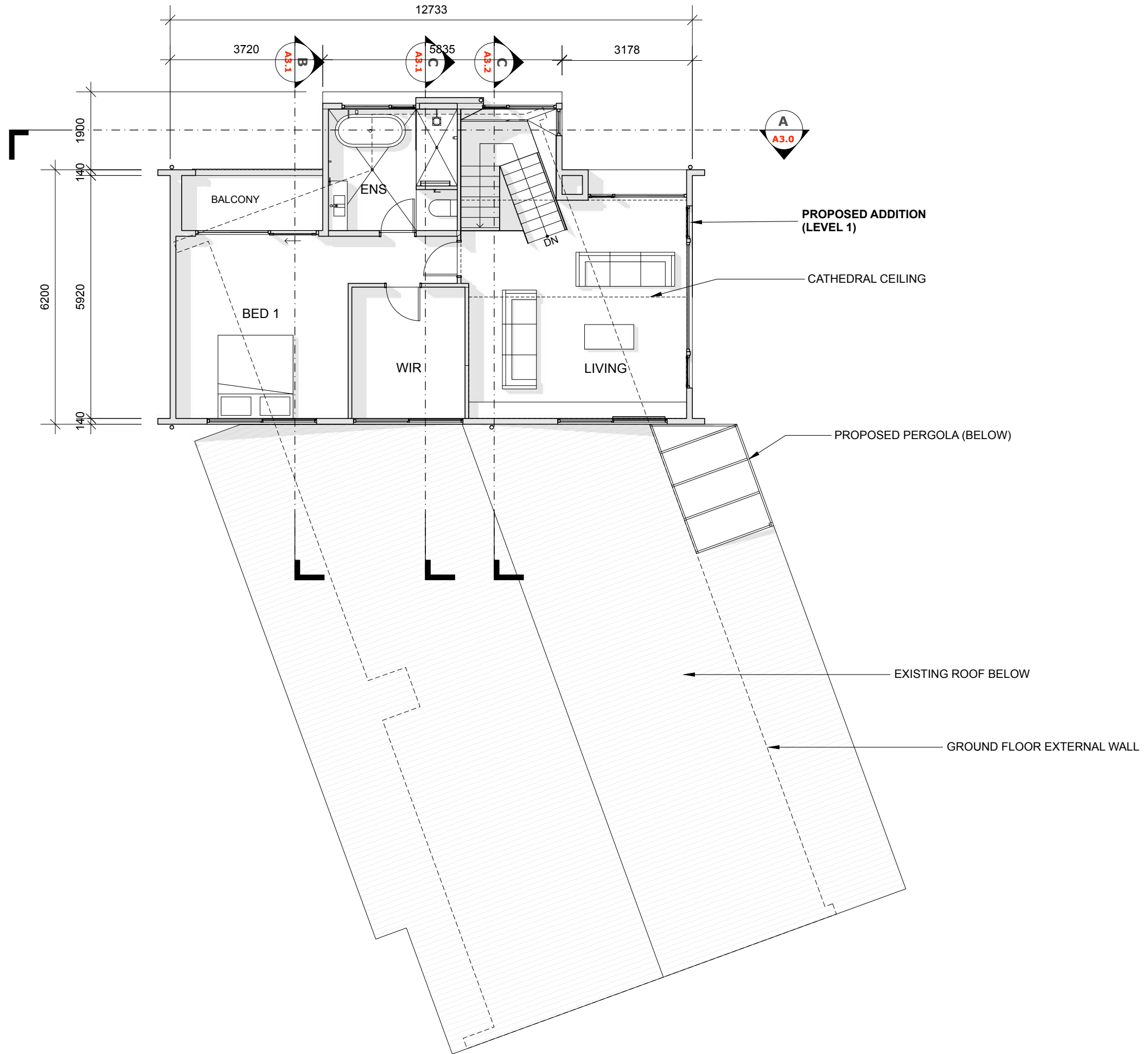


SCALE  
1:100

DRAWING DESCRIPTION  
FLOOR PLAN

**A1.2**





**TOTAL FLOOR AREA: 84 M2**

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GH\_ROUTLEY\_DPC.layout 24/02/2020

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CLIENT  
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PROJECT  
GH ROUTLEY

PAPER SIZE  
A3

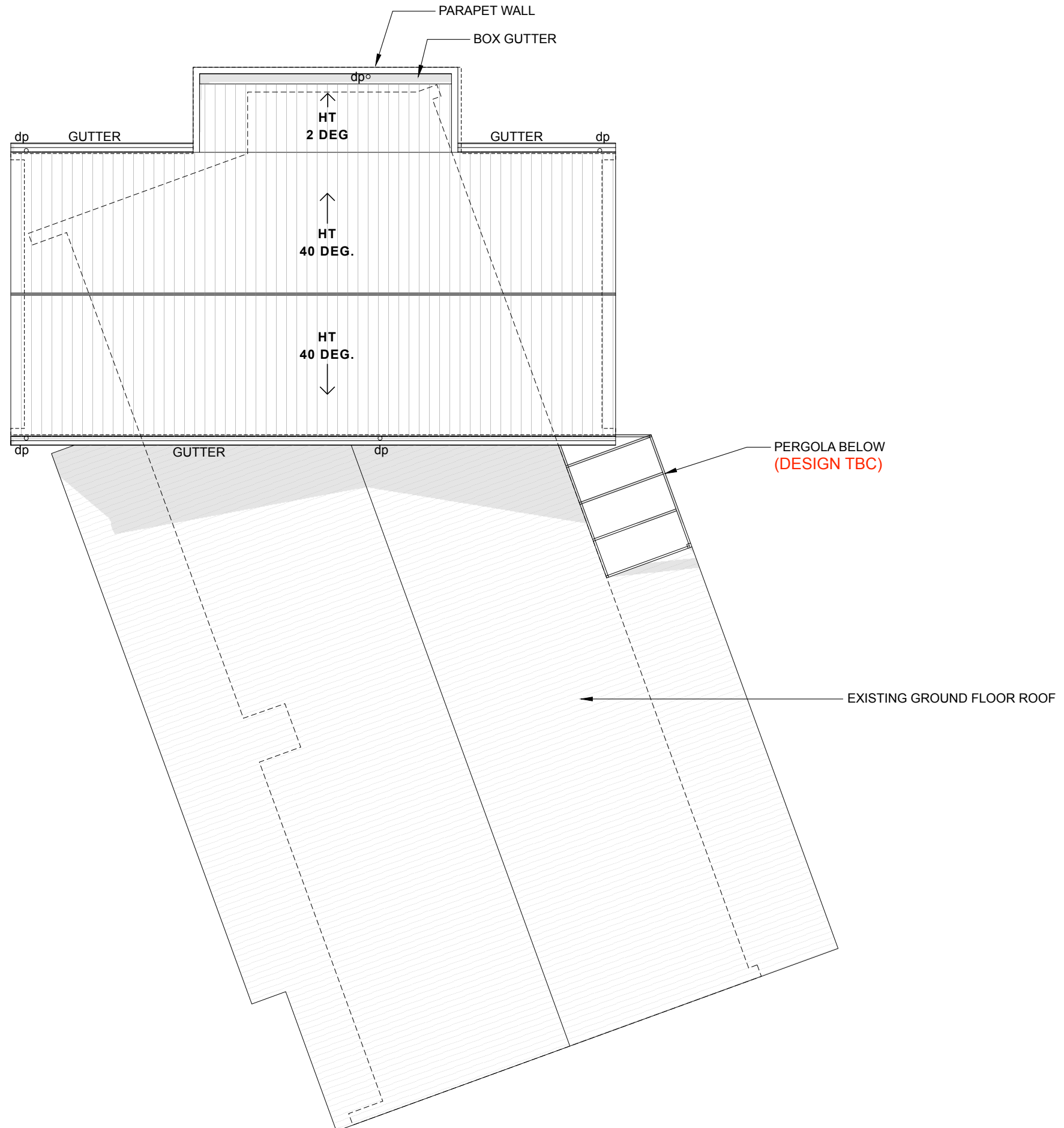
ORIGINAL ISSUE DATE 10/12/2019  
CURRENT ISSUE REV. DATE  
DPC 0 10/12/2019



SCALE  
1:100

DRAWING DESCRIPTION  
FLOOR PLAN -  
LEVEL 1

**A1.2.1**



LEGEND (REFER TO SPEC. SCHEDULE)	
HT	STRATCO HILAND TRAY ROOFING, COLORBOND MONUMENT

ADJUSTABLE SHADING DEVICE TO ALL PERGOLAS (BY OWNER)  
UNLESS NOTED OTHERWISE

ALL GUTTERS, DOWNPIPE SYSTEMS AND SURFACE STORMWATER  
TO BE CONSTRUCTED IN ACCORDANCE WITH AS 3500

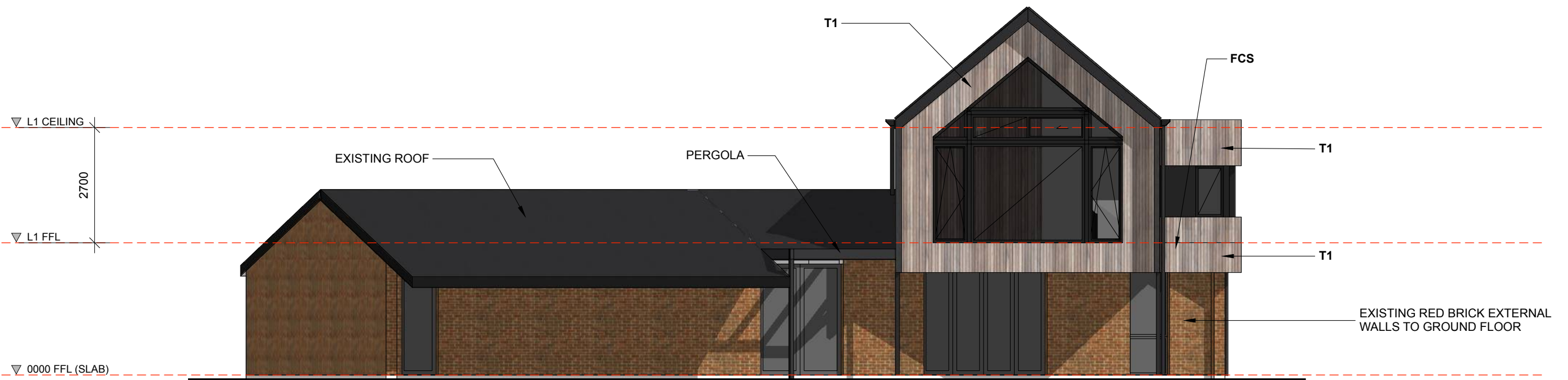
**TOTAL ROOF AREA: 298 M2**

<b>GOODHOUSE</b> <small>GH_ROUTLEY_DPC.layout 24/02/2020</small>	<small>GOODHOUSE PTY. LTD.                  35 Kensington Road, Norwood 5067                  mark@goodhouse.co                  0447 753 469</small>	<small>CLIENT                  ASHLEE &amp; RICHARD                  ROUTLEY</small>	<small>ADDRESS                  7 BEADNELL CRES,                  BRIDGEWATER SA 5155</small>	<small>PROJECT                  GH ROUTLEY</small>	<small>PAPER SIZE                  A3</small>	<small>ORIGINAL ISSUE DATE</small> 10/12/2019	<small>NORTH</small> 	<small>SCALE</small> 1:100	<small>DRAWING DESCRIPTION</small> ROOF PLAN	<b>A1.3</b>
						<small>CURRENT ISSUE</small> DPC				

LEGEND (REFER TO SPECIFICATION SCHEDULES)	
HT	HILAND TRAY CLADDING (VERTICAL), COLORBOND MONUMENT
T1	TIMBER CLADDING (VERTICAL)
FCS	FIBRE CEMENT SHEET CLADDING, COLORBOND MONUMENT



North Elevation  
1:100



East Elevation  
1:100

LEGEND (REFER TO SPECIFICATION SCHEDULES)	
HT	HILAND TRAY CLADDING (VERTICAL), COLORBOND MONUMENT
T1	TIMBER CLADDING (VERTICAL)
FCS	FIBRE CEMENT SHEET CLADDING, COLORBOND MONUMENT



South Elevation  
1:100



West Elevation  
1:100



PERSPECTIVE VIEW FROM SOUTH-WEST



PERSPECTIVE VIEW FROM NORTH-WEST



PERSPECTIVE VIEW FROM EAST

**GOODHOUSE**

GH\_ROUTLEY\_DPC.layout

24/02/2020

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0447 753 469

CLIENT  
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PROJECT  
GH ROUTLEY

PAPER SIZE  
A3

ORIGINAL ISSUE DATE	10/12/2019
CURRENT ISSUE	REV. DATE
DPC	0 10/12/2019

SCALE  
NOT TO SCALE

DRAWING DESCRIPTION  
PERSPECTIVES

**A7.0**