

COUNCIL ASSESSMENT PANEL MEETING

12 May 2021

AGENDA – 8.3

Applicant: Peter Corner	Landowner: P R & B C Corner
Agent: N/A	Originating Officer: Ashleigh Gade
Development Application:	21/48/473
Application Description: Two storey dwelling alterations & additions, deck (maximum height 2.5m), in-ground swimming pool & associated barriers, retaining walls (maximum height 1m) & associated earthworks	
Subject Land: Lot:78 Sec: P748 DP:92679 CT:6135/636	General Location: 8 Carroll Road Heathfield Attachment – Locality Plan
Development Plan Consolidated : 8 August 2019 Map AdHi/34-35 & 80-81	Zone/Policy Area: Watershed (Primary Production) Zone - Rural Landscape Policy Area
Form of Development: Merit	Site Area: 3.16 ha
Public Notice Category: Category 2 Merit	Representations Received: 1 Representations to be Heard: 1

1. EXECUTIVE SUMMARY

The purpose of this application is the alteration and additions to an existing two storey detached dwelling, including a deck attached to the dwelling with a maximum height of 2.5m above natural ground level, installation of an in-ground swimming pool with associated safety barriers ,and associated earthworks. The alterations would involve the partial demolition of external and internal walls, relocation of the kitchen area, removal of two bathrooms and relocation of the master bedroom and include the addition of an open-plan living, kitchen and dining area and a master bedroom suite with walk-in-robe, ensuite and private ‘retreat’ living area. The proposed attached decking is to be sited to the rear of the existing dwelling and between the extended living and bedroom areas.

The subject land is located within the Watershed (Primary Production) Zone and the Rural Landscape Policy Area. The proposal is a merit form of development and pursuant to the procedural matters for the Zone was subject to Category 2 public notification. The application received one (1) representation during the public notification period and the representor wishes to be heard in support of their representation.

As per the CAP delegations, the CAP is the relevant authority for Category 2 applications where a representor wishes to be heard.

The main issues relating to the proposal are overlooking and visual privacy, earthworks, and siting.

In consideration of all the information presented, and following an assessment against the relevant zone and Council Wide provisions within the Development Plan, staff are recommending that the proposal be **GRANTED** Development Plan Consent, subject to conditions.

2. DESCRIPTION OF THE PROPOSAL

The proposal is for the following:

- Alterations and additions to an existing two storey detached dwelling, the additions comprising a new living room area and master bedroom suite with walk-in-robe, ensuite and retreat/private living space. The dwelling additions are to be clad in Scyon 'Stria' Cladding or Scyon 'Axon' Cladding with Scyon 'Axent' Trim in light cream and roof in Colorbond 'Basalt', to match the existing dwelling.
- A deck attached to the dwelling with a maximum height of 2.5m above natural ground level.
- An in-ground swimming pool with associated safety barriers.
- Retaining walls surrounding the in-ground swimming pool area, to a maximum height of 1m.

The proposed plans are included as **Attachment – Proposal Plans**.

3. BACKGROUND AND HISTORY

APPROVAL DATE	APPLICATION NUMBER	DESCRIPTION OF PROPOSAL
7 October 2020	19/965/473	Carport, attached to existing dwelling.
29 March 2016	16/143/473	Demolition of existing outbuilding and construction of domestic outbuilding, retaining walls (maximum height 860mm) and associated earthworks.

4. REFERRAL RESPONSES

The application was subject to a mandatory referral to the SA Country Fire Service pursuant to Section 37 of the Act and Schedule 8 of the Development Regulations 2008, as the proposed development is situated within the High Bushfire Risk Zone as provided in Bushfire Protection Area Figure AdHi(BPA)/1.

- **CFS**
The Country Fire Service (CFS) has assessed the Bushfire Attack Level (BAL) as 12.5 and have no objections to the proposal, subject to standard conditions (refer conditions 7-11).

The above response is included as **Attachment – Referral Responses**.

5. CONSULTATION

The application was categorised as a Category 2 form of development in accordance with Principle of Development Control (PDC) 72 for the Watershed (Primary Production) Zone, pursuant to the height of the deck above natural ground level. One representation in opposition to the proposed development was received during the notification period. The

representor has indicated that they wish to be heard. The CAP is the relevant authority for Category 2 applications where representors wish to be heard and the hearing of representations is at the discretion of the CAP.

The following representor wishes to be heard:

Name of Representor	Representor's Property Address	Nominated Speaker
Mr Paul Good	10 Carroll Road, Heathfield	Self

The applicant may be in attendance.

The issues contained in the representation can be briefly summarised as follows:

- That appropriate care and monitoring is undertaken with any works involving asbestos-containing materials, in particular the existing roofing materials, and;
- That construction work will be undertaken on weekdays during appropriate hours.

It is noted that the representors concerns pertain to activities that are controlled under other legislation outside of the *Development Act 1993*, under which this application was lodged, and outside of the currently operative *Planning, Development and Infrastructure Act 2016*. The applicant has provided a response to the representor advising of their intention to operate in accordance with the *Work Health & Safety Act 2012* and the Environment Protection Authority (EPA) construction noise policy.

On 22 April 2021, to clarify the legislative requirements, Staff provided the representor with further information pertaining to Chapter 8 of the *Work Health & Safety Regulations 2012* which deals with the way asbestos must be managed, and Part 6 Division 1 of the *Environment Protection (Noise) Policy 2007* which identifies appropriate construction hours as being between 7:00am and 7:00pm Monday to Saturday. This correspondence is included in the attached documents as detailed below.

A copy of the submission is included as **Attachment – Representations** and the response is provided in **Attachment – Applicant's Response to Representations**.

6. PLANNING & TECHNICAL CONSIDERATIONS

This application has been evaluated in accordance with the following matters:

i. The Site's Physical Characteristics

The subject land is an irregularly shaped 3.1 hectare allotment located on the western side of Carroll Road. The land currently contains a two storey detached dwelling and a number of associated outbuildings. The topography of the land is undulating and slopes away from Carroll Road at the north-eastern corner of the subject site, in a south-westerly direction down to the southern side boundary.

The site is vegetated with a mixture of both native and exotic trees. There are a number of native trees toward the western boundary of the subject site and a row of native trees along the front boundary adjacent Carroll Road, with most of this vegetation being on the Council verge. The immediate dwelling site has been largely cleared of native vegetation and is currently surrounded by predominantly exotic plant species.

There is a lower-order seasonal creek which traverses the subject land toward its south-western corner, well separated from the existing dwelling.

The subject site is serviced by SA Water for both mains water and mains sewer.

ii. The Surrounding Area

The surrounding locality has a distinct rural character with a notable mixture of land uses. The subject site itself is sited on the interface with the Rural Fringe Policy Area, which forms part of the wider Watershed (Primary Production) Zone, and typically contains allotments used for residential purposes. Along the southern boundary the site is adjacent the Public Purpose Zone and the Heathfield Stone Reserve, a large reserve owned by Adelaide Hills Council. Further north-east of the subject land, across Carroll Road is land situated within the Rural Living Policy Area of the Watershed (Primary Production) Zone and featuring rural residential allotments of varying sizes and configuration.

The dwellings in the locality do not display any consistent setback or siting pattern and examples of dwellings both positioned close to site and road boundaries and well set back from site boundaries can be found. Dwellings within the locality are typically detached and single or double storey in height. Typically, where setbacks allow, planted or native vegetation along boundaries and roads in the locality screen dwellings and associated outbuildings from surrounding roads and public spaces.

iii. Development Plan Policy considerations

a) *Policy Area/Zone Provisions*

The subject land lies within the Watershed (Primary Production) Zone - Rural Landscape Policy Area and these provisions seek:

- That development enhance amenity and landscape value through preservation and restoration of native vegetation.
- That the long-term sustainability of primary production activities be protected.
- That rural living land uses be low density and not be incompatible with primary production land uses in the area.

The following are considered to be the relevant Policy Area provisions:

Objectives: 1, 2, 3, 4 & 6

PDCs: 2 & 6

The proposal includes alterations and additions to an existing dwelling on a low density rural living allotment. The subject land is not of sufficient size or configuration to undertake primary production activity. Consistent with other allotments in the locality the subject land has historically been used for residential purposes, in accordance with Objectives 1 & 2 and PDC 2.

The proposal seeks to retain the existing pleasant rural character and will not cause the dwelling, which will continue to be well set-back from site boundaries, to become visually apparent from beyond the subject land. The choice of colours and materials is

intended to blend the additions with the existing dwelling. No native vegetation is to be cleared in association with the proposal. It is therefore considered the proposal addresses the intent of Objectives 3 & 4 and PDC 6.

The applicant has reasonably addressed the bushfire risk of the locality in accordance with Objective 6. This is discussed in further detail later in the report.

The following are considered to be the relevant Zone provisions:

Objectives: 4 & 5

PDCs: 1, 2, 3, 7, 11, 14 & 29

It is noted that the proposal is for the alteration of and addition to, an existing dwelling which is already sited away from site boundaries and is well screened from the primary street frontage of Carroll Road. The existing dwelling and proposed addition is sited away from stands of native vegetation on or, surrounding the subject land, and where buildings are already clustered together on the subject land. The proposal will not bring the dwelling within close proximity to any site boundaries nor involve the clearance of any native vegetation or the alteration to vegetation which currently screens the development site. It is therefore considered that the proposal continues to align the dwelling with Objectives 4 & 5 and PDCs 1, 11, 14 & 29.

In accordance with PDCs 2 & 7, the proposed additions remain consistent with the profile, form and materials of the existing dwelling and respond to the contours of the land to reduce associated earthworks and overall resulting building mass. It is noted that the existing ground floor level of the dwelling is set into the natural slope of the land and that the dwelling presents from the south-east as single storey in nature. The decking at its maximum elevation above ground level follows the line of the existing upper storey and is visually consistent with the existing upper level balcony. The in-ground swimming pool has been terraced and sited comparative to the ground level of the dwelling, which further reduces the overall visual bulk of the proposal.

The subject site is serviced by mains water and sewer, consistent with PDC 3.

b) Council Wide provisions

The Council Wide provisions of relevance to this proposal seek (in summary):

- Development of a high design standard and appearance that responds to and reinforces the positive aspects of the local environment and built form.
- Orderly and sustainable development that creates a safe, convenient and pleasant environment in which to live.
- Development that avoids incompatible land uses.

The following are considered to be the relevant Council Wide provisions:

Design and Appearance

Objectives: 1

PDCs: 1, 3, 8, 9 & 18

Objective 1 seeks that development be of a high design standard and appearance that responds to and reinforces positive aspects of the local environment and built form. It is noted that the proposed additions seek to respond to the standards and appearance of the existing dwelling and ensure consistency of built form between the existing dwelling and proposed additions. The design, including the selected external materials and colours, are therefore considered consistent and appropriate for the subject site and generally in accordance with Objective 1 and PDCs 1, 3 & 8.

The proposed dwelling additions follow the topography of the land and the proposed decking is raised on piers. This reduces the need for excessive earthworks, particularly filling of the land, in association with the proposal. In order to provide an appropriate site for the in-ground swimming pool, earthworks will be undertaken immediately surrounding the pool area resulting in a retaining wall to a maximum height of 1m. It is considered the proposal reduces earthworks where possible in accordance with PDC 9.

It is sought by PDC 18 that direct overlooking from raised structures such as decking be minimised to ensure privacy to the adjacent dwelling's private open space and main internal living areas. The proposed decking is oriented to the north-west toward the land of the northern neighbour. The deck area is however sited over 30m from the subject site boundary and will directly look toward a dense stand of trees that run adjacent the neighbour's southern side boundary. In addition to this, beyond these trees the nearest open space on the neighbouring allotment is approximately 80m from the proposed decking and the nearest point of the neighbouring dwelling is approximately 125m from the proposed decking. It is therefore not considered that the decking will introduce the potential to directly overlook neighbouring habitable room windows or private open space. The proposal is therefore considered consistent with PDC 18.

Hazards

Objectives: 2 & 5

PDCs: 7, 8 & 10

The existing dwelling is sited over 30m from Carroll Road and therefore on-site access and manoeuvring areas for firefighting vehicles demonstrated on the proposal plans are in accordance with the Ministers Code. The subject site has an existing 100,000L rainwater tank available for CFS firefighting purposes and the application documentation also demonstrates the availability of the swimming pool water for further firefighting supply.

As discussed earlier in the report, the proposal required formal referral to the CFS in accordance with Schedule 8 of the *Development Regulations 2008*. The CFS have no objections to the proposal subject to standard conditions The Bushfire Attack Level (BAL) for the dwelling has been identified as 12.5.

The proposal is therefore considered consistent with the above listed Objectives and PDCs pertaining to bushfire hazard.

Orderly and Sustainable Development

Objectives: 4, 9

PDCs: 1

Notwithstanding that the subject land is sited within a rural area and a Zone intended for primary production, the Policy Area and character of the locality demonstrate an existing rural residential character and the appropriateness of residential development. The subject land is not an appropriate size or configuration for primary production nor is the surrounding land in the immediate locality.

The continued use of the land for residential purposes is considered to be consistent with Objectives 4 & 9 and PDC 1.

Residential Development

Objectives: 1

PDCs: 9, 16, 17, 18 & 27

The proposal represents a reasonable expansion to an existing dwelling to meet the needs of the land owners, consistent with the intent of Objective 1.

The proposed addition and existing dwelling space retains an external outlook in living areas and access to private open space from proposed living areas is intended, via the proposed attached deck. As a result of the proposal, including all existing outbuildings, the subject land will have a total site coverage of approximately 3% which is consistent with the rural residential character. Ample private open space accessible from the dwelling is retained. The proposal is therefore considered to be in accordance with PDCs 9, 17 & 18.

The proposed swimming pool is ancillary to the dwelling and sited in proximity to both the existing and proposed areas of the dwelling. The nearest adjacent dwelling will be approximately 70m from the swimming pool and associated equipment, as sought by PDC 16.

PDC 27 seeks screening to protect visual privacy where a deck will overlook habitable room windows or private open space of adjacent dwellings. As discussed in Design & Appearance earlier in the report, the proposed deck is sited to the rear of the dwelling and is not considered able to overlook adjacent private open space or habitable room windows. The decking is oriented north-west and is sited approximately 30m from the nearest boundary to the north. On the neighbouring land to the north a mature stand of planted trees prevents views beyond the boundary. Furthermore, the private open space and nearest point of the adjacent dwelling are over 80m and 125m from the proposed decking respectively. It is therefore considered that screening to the deck as described in PDC 27 is not required to protect visual privacy, as landscape features already ensure this.

Siting and Visibility

Objective: 1

PDCs: 3 & 4

In accordance with Objective 1 and PDC 3, the proposed additions retain the existing landscape character of the subject site as viewed from public places including Carroll Road and the adjacent public reserve. The generous setbacks to site boundaries, existing vegetation to the west of the site, trees along the Carroll Road frontage, and other intermittent vegetative screening trees on the subject land and adjacent sites ensure that the proposed additions will be unobtrusive in their siting.

The overall extent of earthworks in association with the proposal has been limited to the filling required to provide a suitable, flat site for the in-ground swimming pool. The dwelling additions follow the contour of the land and the proposed decking is to be elevated on poles. The proposal is therefore considered to address PDC 4.

7. SUMMARY & CONCLUSION

This application seeks consent for the alteration of an existing dwelling and the construction of dwelling additions, including living areas and a master bedroom suite, an attached deck and an in-ground swimming pool with associated safety barriers, at 8 Carrol Road, Heathfield. During the public notification period, one representation was received by Council in objection to the proposal. The objection raised concerns with alterations to areas containing asbestos materials and the management of that asbestos, as well as the potential hours of construction should the proposal be approved. It is noted that management of these concerns falls outside the ambit of the *Development Act 1993* or the *Planning, Development and Infrastructure Act 2016* and the applicant provided confirmation to the representor that mandatory requirements under the *Work Health & Safety Regulations 2012* (asbestos) and *Environment Protection (Noise) Policy 2007* (construction hours) would be adhered to.

The proposal has been assessed against the provisions of the Adelaide Hills Development Plan, and is considered to constitute reasonable residential development within an established rural residential area. Furthermore, the proposed additions are considered reasonable and consistent with the form, scale and design of the existing dwelling. There is limited impact to the natural surrounds including to the native vegetation found in the west of the subject land. It is considered that a fairly neutral impact to surrounding amenity can be anticipated, given the setback of the development site from boundaries, the presence of screening vegetation between sites, and the screen of native vegetation along Carroll Road, all of which reduce the potential for the development to be particularly visible from beyond the subject land.

The proposal is therefore considered to be sufficiently consistent with the relevant provisions of the Development Plan, and it is considered the proposal is not seriously at variance with the Development Plan. In the view of staff, the proposal has sufficient merit to warrant consent. Staff therefore recommend that Development Plan Consent be **GRANTED**, subject to conditions.

8. RECOMMENDATION

That the Council Assessment Panel considers that the proposal is not seriously at variance with the relevant provisions of the Adelaide Hills Council Development Plan, and GRANTS Development Plan Consent to Development Application 21/48/473 by Peter Corner for Two storey dwelling alterations & additions, deck (maximum height 2.5m), in-ground swimming pool & associated barriers, retaining walls (maximum height 1m) & associated earthworks at 8 Carroll Road Heathfield subject to the following conditions:

(1) Development In Accordance With the Plans

The development herein approved shall be undertaken in accordance with the following plans, details and written submissions accompanying the application, unless varied by a separate condition:

- Location Plan P01 prepared by 3D Design & Drafting dated 22 February 2021 and received by Council 23 February 2021.
- Proposed Site Plan P02 prepared by 3D Design & Drafting dated 22 February 2021 and received by Council 23 February 2021.
- Existing Site Plan P03 prepared by 3D Design & Drafting dated 22 February 2021 and received by Council 23 February 2021.
- Existing Lower & Ground Floor Plan P04 prepared by 3D Design & Drafting dated 22 February 2021 and received by Council 23 February 2021.
- Proposed Ground Floor Plan P05 prepared by 3D Design & Drafting dated 22 February 2021 and received by Council 23 February 2021.
- Proposed Lower Ground Floor Plan P06 prepared by 3D Design & Drafting dated 22 February 2021 and received by Council 23 February 2021.
- North & East Elevations P07 prepared by 3D Design & Drafting dated 22 February 2021 and received by Council 23 February 2021.
- South & West Elevations P08 prepared by 3D Design & Drafting dated 22 February 2021 and received by Council 23 February 2021.

(2) Stormwater Roof Runoff to Existing System

All roof runoff generated by the development hereby approved shall be connected to the existing stormwater management system, to the reasonable satisfaction of Council. All stormwater overflow management shall be designed so as not to permit trespass into any effluent disposal area. Stormwater should be managed on site with no stormwater to trespass onto adjoining properties.

(3) Residential Lighting

All external lighting shall be directed away from residential development and, shielded if necessary to prevent light spill causing nuisance to the occupiers of those residential properties.

(4) External Finishes

The external finishes to the building herein approved shall be as follows:

WALLS: 'Scyon Stria' Cladding, 'Scyon Axon' Cladding, 'Scyon Axent' Trim in light cream, or similar

ROOF: Colorbond 'Basalt', or similar

(5) Soil Erosion Control

Prior to construction of the approved development straw bales (or other soil erosion control methods as approved by Council) shall be placed and secured below areas of excavation and fill to prevent soil moving off the site during periods of rainfall.

(6) Swimming Pool Backwash Water

Backwash water from swimming pool filter(s) shall be directed to the sewer.

(7) CFS Access Requirements

Private roads and access tracks shall provide safe and convenient access and egress for bushfire fighting vehicles as follows:

- Access to the building site shall be of all-weather construction, with a minimum formed road surface width of 3 metres and must allow forward entry and exit for large fire-fighting vehicles.
- The all-weather road shall allow fire-fighting vehicles to safely enter and exit the allotment in a forward direction by incorporating either:
 - i. A loop road around the building, OR
 - ii. A turning area with a minimum radius of 12.5 metres, OR
 - iii. A 'T' or 'Y' shaped turning area with a minimum formed length of 11 metres and minimum internal radii of 9.5 metres.
- Private access shall have minimum internal radii of 9.5 metres on all bends.
- Understorey vegetation either side of the access road shall be reduced to a maximum height of 10cm for a distance of 3 metres. Mature trees within this fuel reduced zone may remain.
- Access shall provide safe passage to the turning area and shall not be obstructed by any solid structure (such as a carport) and/or any other structure.

(8) CFS Access to Dedicated Water Supply

Access to dedicated and accessible water supply shall be made available at all times for fire-fighting, in accordance with the following requirements:

- The water supply outlet shall be easily accessible and clearly identifiable from the access way and at a distance of no greater than 30 metres from the proposed dwelling.
- The dedicated water supply and its location should be identified with suitable signage (i.e. blue sign with white lettering "FIRE WATER").
- Access to the dedicated water supply shall be of all-weather construction, with a minimum formed road surface width of 3 metres.
- Provision shall be made adjacent to the water supply for a flat hardstand area (capable of supporting fire-fighting vehicles with a gross vehicle mass (GVM) of 21 tonnes) that is a distance equal to or less than 6 metres from the water supply outlet (or 3m to edge of pool if not plumbed to an outlet).
- SA CFS appliance inlet is rear mounted; therefore the outlet/water storage shall be positioned so that the SA CFS appliance can easily connect to it rear facing.
- A gravity fed water supply outlet may be remotely located from the tank to provide adequate access.
- All non-metal water supply pipes for bushfire fighting purposes (other than flexible connections and hoses for fire-fighting) shall be buried below ground to a minimum depth of 300mm with no non-metal parts above ground level.

- All water supply pipes for draughting purposes shall be capable of withstanding the required pressure for draughting.
- Ideally a remote water supply outlet should be gravity fed, where this is not possible the following dimensions shall be considered as the maximum capability in any hydraulic design for draughting purposes:
 - The dedicated water supply outlet for draughting purposes shall not exceed 5 metre maximum vertical lift (calculated on the height of the hardstand surface to the lowest point of the storage) and no greater than 6 metre horizontal distance.
 - The suction outlet pipework from the tank shall be fitted with an inline non return valve of nominal internal diameter not less than that of the suction pipe and be located from the lowest point of extract from the tank. All fittings shall be installed to allow for easy maintenance.

(9) CFS Water Supply

A supply of water independent of reticulated mains supply shall be available at all times for fire-fighting purposes:

- A minimum supply of 22,000 litres of water shall be available at all times for bushfire fighting purposes.
- The minimum requirement of 22,000 litres may be combined with domestic use, providing the outlet for domestic use is located above the 22,000 litres of dedicated fire water supply in order for it to remain as a dedicated supply.
- The bushfire fighting water supply shall be clearly identified and fitted with an outlet of at least 50mm diameter terminating with a compliant SA CFS fire service adapter, which shall be accessible to bushfire fighting vehicles at all times.
- The water storage facility (and any support structure) shall be constructed of non-combustible material.
- The dedicated fire-fighting water supply shall be pressurised by a pump that has –
 - i. A minimum inlet diameter of 38mm, AND
 - ii. Is powered by a petrol or diesel engine with a power rating of at least 3.7kW (5hp), OR
 - iii. A pumping system that operates independently of mains electricity and is capable of pressurising the water for fire-fighting purposes.
- The dedicated fire-fighting water supply pump shall be located at or adjacent to the habitable building to ensure occupants safety when operating the pump during a bushfire. An 'Operations Instruction Procedure' shall be located with the pump control panel.
- The fire-fighting pump and any flexible connections to the water supply shall be protected by a non-combustible cover that allows adequate air ventilation for efficient pump operation.
- All bushfire fighting water pipes and connections between the water storage facility and a pump shall be no smaller in diameter than the diameter of the pump inlet.
- All non-metal water supply pipes for bushfire fighting purposes (other than flexible connections and hoses for fire-fighting) shall be buried below ground to a minimum depth of 300mm with no non-metal parts above ground level.
- A fire-fighting hose (or hoses) shall be located so that all parts of the building are within reach of the nozzle end of the hose and if more than one hose is required

they should be positioned to provide maximum coverage of the building and surrounds (i.e. at opposite ends of the habitable building).

- All fire-fighting hoses shall be capable of withstanding the pressures of the supplied water.
- All fire-fighting hoses shall be of reinforced construction manufactured in accordance with AS2620 or AS 1221.
- All fire-fighting hoses shall have a minimum nominal internal diameter of 18mm and a maximum length of 36 metres.
- All fire-fighting hoses shall have an adjustable metal nozzle, or an adjustable PVC nozzle manufactured in accordance with AS 1221.
- All fire-fighting hoses shall be readily available at all times.

(10) CFS Vegetation/Landscaping Zone

Landscaping shall include bushfire protection features which will prevent or inhibit the spread of bushfire and minimise the risk of life and/or damage to buildings and property. A vegetation management zone (VMZ) shall be established and maintained within 20 metres of the habitable building (or to the property boundaries – whichever comes first) as follows:

- i. The number of trees and understorey plants existing and to be established within the VMZ shall be reduced and maintained such that when considered overall a maximum coverage of 30% is attained, and so that the leaf area of shrubs is not continuous. Careful selection of the vegetation will permit the 'clumping' of shrubs where desirable, for diversity, and privacy and yet achieve the 'overall maximum coverage of 30%.
- ii. Reduction of vegetation shall be in accordance with SA Native Vegetation Act 1991 and SA Native Vegetation Regulations 2017.
- iii. Trees and shrubs shall not be planted closer to the building(s) than the distance equivalent to their mature height.
- iv. Trees and shrubs must not overhang the roofline of the building, touch walls, windows or other elements of the building.
- v. Shrubs must not be planted under trees and must be separated by at least 1.5 times their mature height.
- vi. Grasses within the zone shall be reduced to a maximum height of 10cm during the Fire Danger Season.
- vii. No understorey vegetation shall be established within 1 metre of the habitable building (understorey is defined as plants and bushes up to 2 metres in height).
- viii. Flammable objects such as plants, mulches and fences must not be located adjacent to vulnerable parts of the building such as windows, decks and eaves.
- ix. The VMZ shall be maintained to be free of accumulated dead vegetation.

(11) CFS Conditions to Be Completed Prior to Occupation

The Country Fire Service (CFS) Bushfire Protection Conditions (Conditions 7-10) shall be substantially completed prior to the occupation of the building and thereafter maintained in good condition.

NOTES

(1) **Development Plan Consent Expiry**

Development Plan Consent (DPC) is valid for a period of twenty four (24) months commencing from the date of the decision or, if an appeal has been commenced the date on which the appeal is determined.

Building Consent must be applied for prior to the expiry of the DPC and lodged through the PLANSA portal unless a private certifier was engaged prior to 19 March 2021. The time period may be further extended by Council agreement following written request and payment of the relevant fee.

(2) **Erosion Control During Construction**

Management of the property during construction shall be undertaken in such a manner as to prevent denudation, erosion or pollution of the environment.

(3) **CFS Bushfire Attack Level**

Compliance with the fire protection requirements is not a guarantee the dwelling will not burn, but its intent is to provide a “measure of protection” from the approach, impact and passing of a bushfire.

The Bushfire hazard for the area has been assessed as BAL 12.5.

The buildings shall incorporate the construction requirements for buildings in Bushfire Prone areas in accordance with the Building Code of Australia Standard AS3959 “Construction of buildings in bushfire prone areas”.

(4) **EPA Environmental Duty**

The applicant is reminded of his/her general environmental duty, as required by Section 25 of the Environment Protection Act 1993, to take all reasonable and practical measures to ensure that the activities on the whole site, including during construction, do not pollute the environment in a way which causes, or may cause, environmental harm.

(5) **Department of Environment and Water (DEW) - Native Vegetation Council**

The applicant is advised that any proposal to clear, remove limbs or trim native vegetation on the land, unless the proposed clearance is subject to an exemption under the Regulations of the Native Vegetation Act 1991, requires the approval of the Native Vegetation Council. The clearance of native vegetation includes the flooding of land, or any other act or activity that causes the killing or destruction of native vegetation, the severing of branches or any other substantial damage to native vegetation. For further information visit:

www.environment.sa.gov.au/Conservation/Native_Vegetation/Managing_native_vegetation

Any queries regarding the clearance of native vegetation should be directed to the Native Vegetation Council Secretariat on 8303 9777. This must be sought prior to Full Development Approval being granted by Council.

(6) **Requirement for SA Water Approval to Fill Swimming Pool**

New pools or spas may only be filled under the authority of a permit from SA Water. The applicant is advised to obtain a permit to fill the pool with water from SA Water before proceeding with the installation of the swimming pool. SA Water advises that a permit will not be granted unless proof is provided that a cover has been purchased to prevent water loss through evaporation.

(7) Swimming Pool Pumps & Filters

Pumps and filters must be located and operated so as not to emit noise levels in excess of the applicable Environment Protection (Noise) Policy 2007. The maximum noise level shall not exceed 45db(A) from 10:00pm on any night until 7:00am the following morning.

(8) Swimming Pool Chemicals

No spillage of waste shall occur from the storage or use of pool chemicals. Disposal of any chemicals shall only occur at the EPA Household Hazardous Waste Depot (Ph 8204 1947) or through a licensed waste contractor.

9. ATTACHMENTS

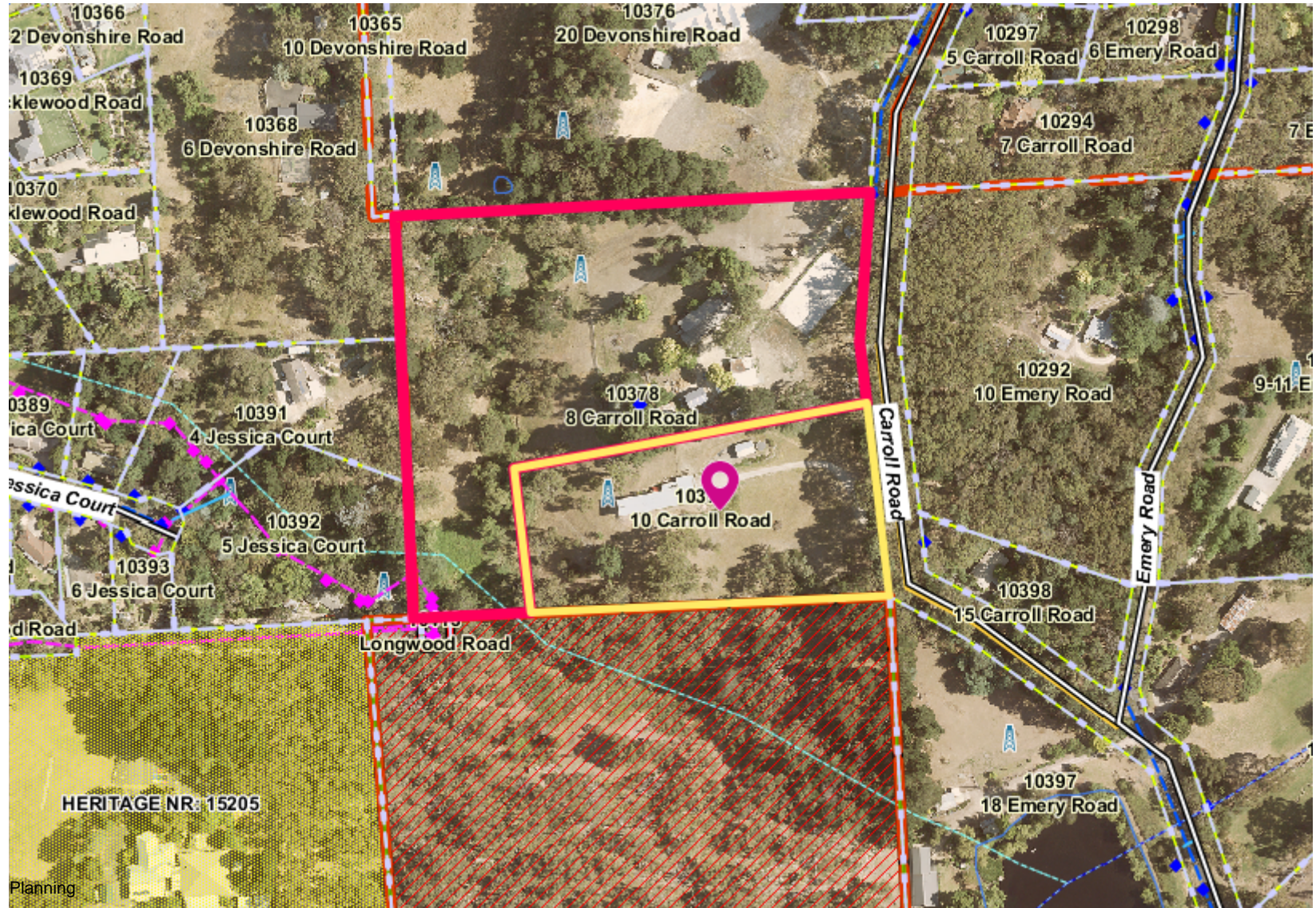
Locality Plan
Proposal Plans
Referral Responses
Representation
Applicant's response to representations

Respectfully submitted

Concurrence

Ashleigh Gade
Statutory Planner

Deryn Atkinson
Assessment Manager



Annotations

- Representor
- Subject Land

Planners Summary

- PlanningSummary

AHC Core

- Parks
- Townships
- RoadsStreetView
 - ADJOINING LGA RD
 - AHC & PRIVATE
 - AHC RD
 - DPTI RD
 - PRIVATE RD
 - SHARED RD

- PropertyOwner
- Parcels
- Roads
- Suburbs
- Rivers
 - River
 - Creeks
 - Streams

Flood Study Data

- TorrensFloodZones_20Yr
- TorrensFloodZones_100Yr
- OnkaFloodPlain10Yr
- FloodPlain100Year

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employees and servants expressly disclaim all liability or responsibility to any person using the information or advice contained herein. ©

Scale = 1:3016.440

100 m



0 10 20 30 40 50 60 70 80 90 100

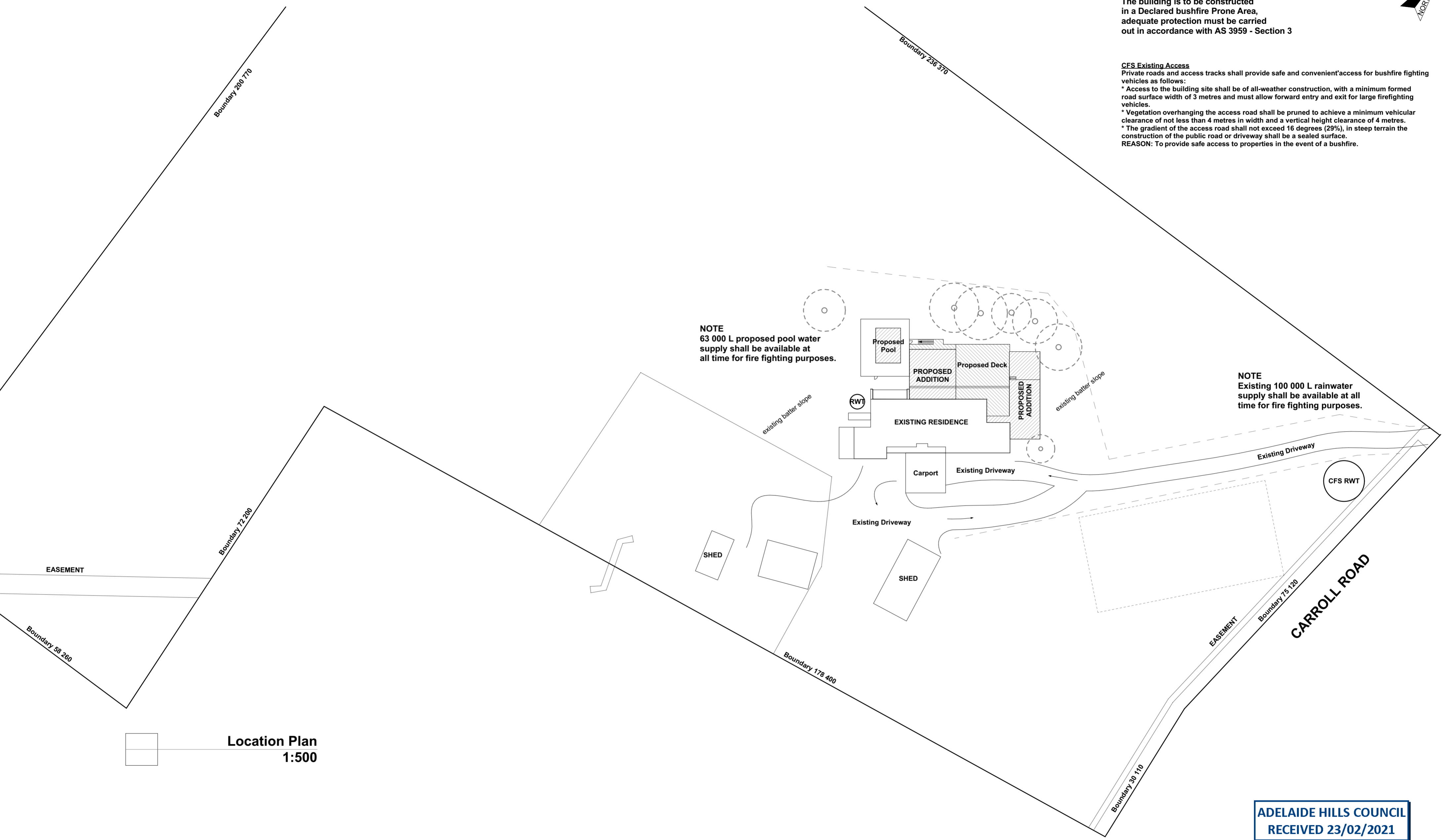


NOTE
 The building is to be constructed in a Declared bushfire Prone Area, adequate protection must be carried out in accordance with AS 3959 - Section 3

CFS Existing Access
 Private roads and access tracks shall provide safe and convenient access for bushfire fighting vehicles as follows:
 * Access to the building site shall be of all-weather construction, with a minimum formed road surface width of 3 metres and must allow forward entry and exit for large firefighting vehicles.
 * Vegetation overhanging the access road shall be pruned to achieve a minimum vehicular clearance of not less than 4 metres in width and a vertical height clearance of 4 metres.
 * The gradient of the access road shall not exceed 16 degrees (29%), in steep terrain the construction of the public road or driveway shall be a sealed surface.
 REASON: To provide safe access to properties in the event of a bushfire.

NOTE
 63 000 L proposed pool water supply shall be available at all time for fire fighting purposes.

NOTE
 Existing 100 000 L rainwater supply shall be available at all time for fire fighting purposes.

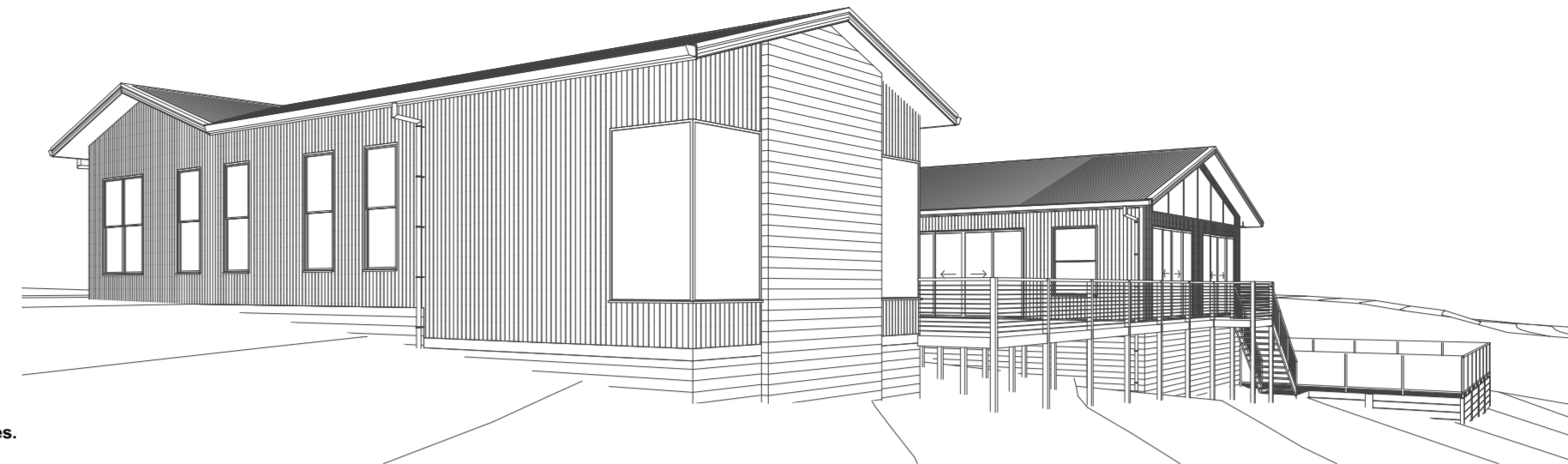


Location Plan
 1:500

ADELAIDE HILLS COUNCIL
 RECEIVED 23/02/2021

For Design & Planning Approval only	Proposed Alterations, Additions, Deck & Pool for Peter & Brigitte Corner Address : 8 Carroll Road, Heathfield, SA 5153 email : cnrbuilding@aapt.net.au	3D Design & Drafting Adelaide Thomas Klee` Mob: 0438 847 876 Address : 16A Argyll Walk, Bellevue Heights SA 5050 email : tkmg@tpg.com.au	Amendments	Date 22/02/2021
			No	Drawn T.K.
			Date	Drawing Ref P 01

A2



Proposed Perspective View
1:47.16

NOTE
There are no native trees located around the house they are all maple and elm trees.

NOTE
Proposed 63 000 L pool water supply shall be available at all time for fire fighting purposes.

NOTE
Existing 22 000L rainwater supply shall be available at all time for fire fighting purposes.

NOTE
The building is to be constructed in a Declared bushfire Prone Area, adequate protection must be carried out in accordance with AS 3959 - Section 3

Legend - Site Plan

- 100.00 Design surface level
- dp Down pipe
- sop Stormwater overflow pipe discharge to paddock water table - 90 dia
- sp Stormwater pipe 90 dia. - sealed system, direction of fall shown
- wp Water supply pipe 50 dia.
- pwp Bushfire fighting pump water pipe 40 dia.
- FH Bushfire-fighting hose
- FP Fire-fighting pump

NOTE
Modify existing stormwater to accommodate new layout and make good as required. Roof stormwater shall be connect to existing rainwater tank & paddock - 90mm PVC stormwater.

AREAS

Site Area 31685.57 m²

Existing Areas

Existing Porch	15.74 m ²
Existing Carport	64.00 m ²
Existing Residence	340.65 m ²
Existing Balcony	13.59 m ²
Existing Deck	18.95 m ²
Existing Courtyard	13.59 m ²
Existing Verandah	31.76 m ²

Proposed Areas

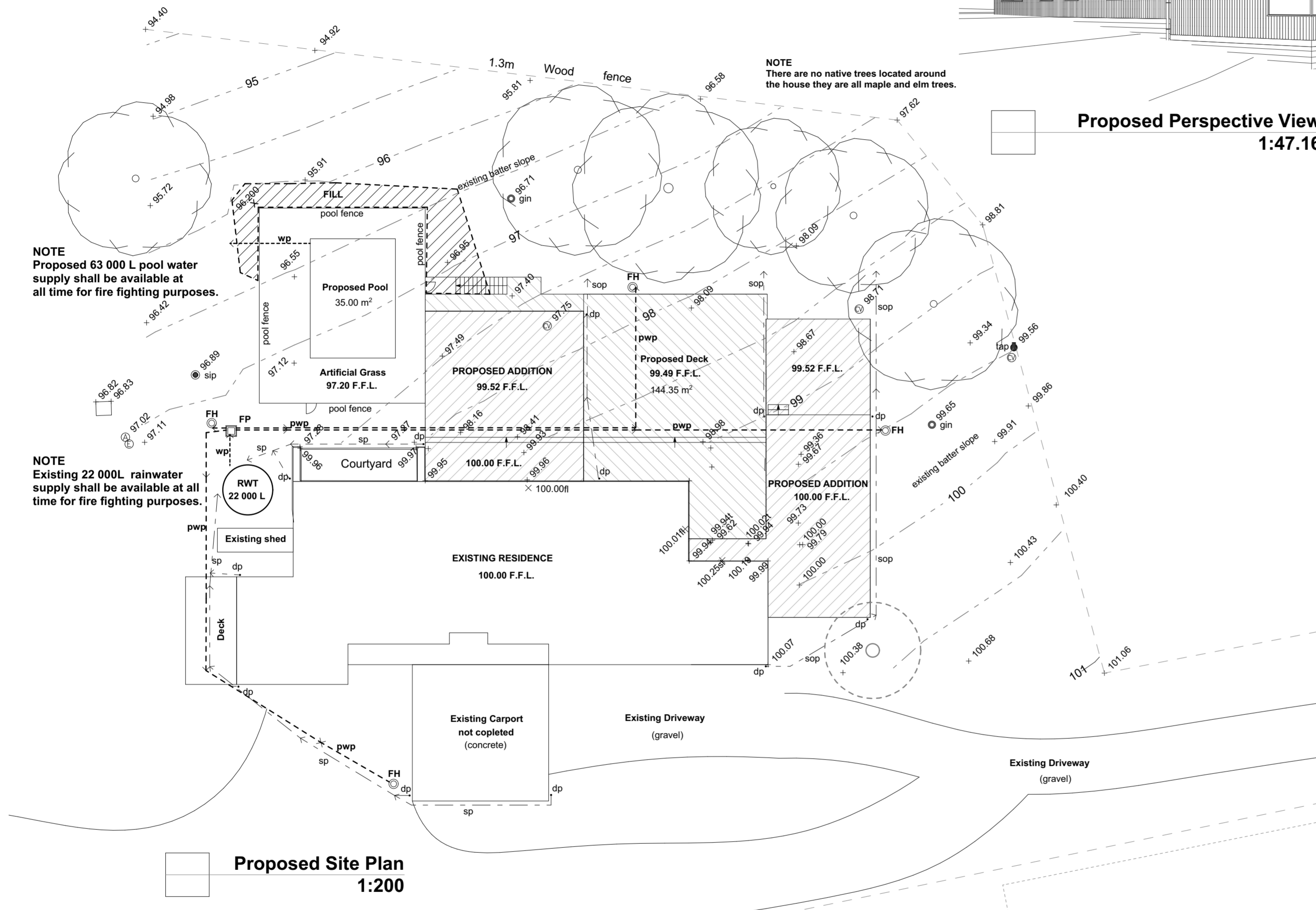
Existing Porch	15.74 m ²
Existing Carport	64.00 m ²
Existing Residence	340.65 m ²
Existing Balcony	13.59 m ²
Existing Deck	18.95 m ²
Existing Courtyard	13.59 m ²
Proposed Additions	205.53 m²
Proposed Deck	144.35 m²

NOTE
The contractor shall check on site all relevant dimensions & site levels prior any work.

New Addition finished floor level to match existing building floor level. To be checked on site.

Surface stormwater run-off shall be re-directed away from the building. Existing path effected by the building works such as trenching, etc. shall be reinstated.

Retain & protect all existing vegetation



Proposed Site Plan
1:200

For Design & Planning Approval only

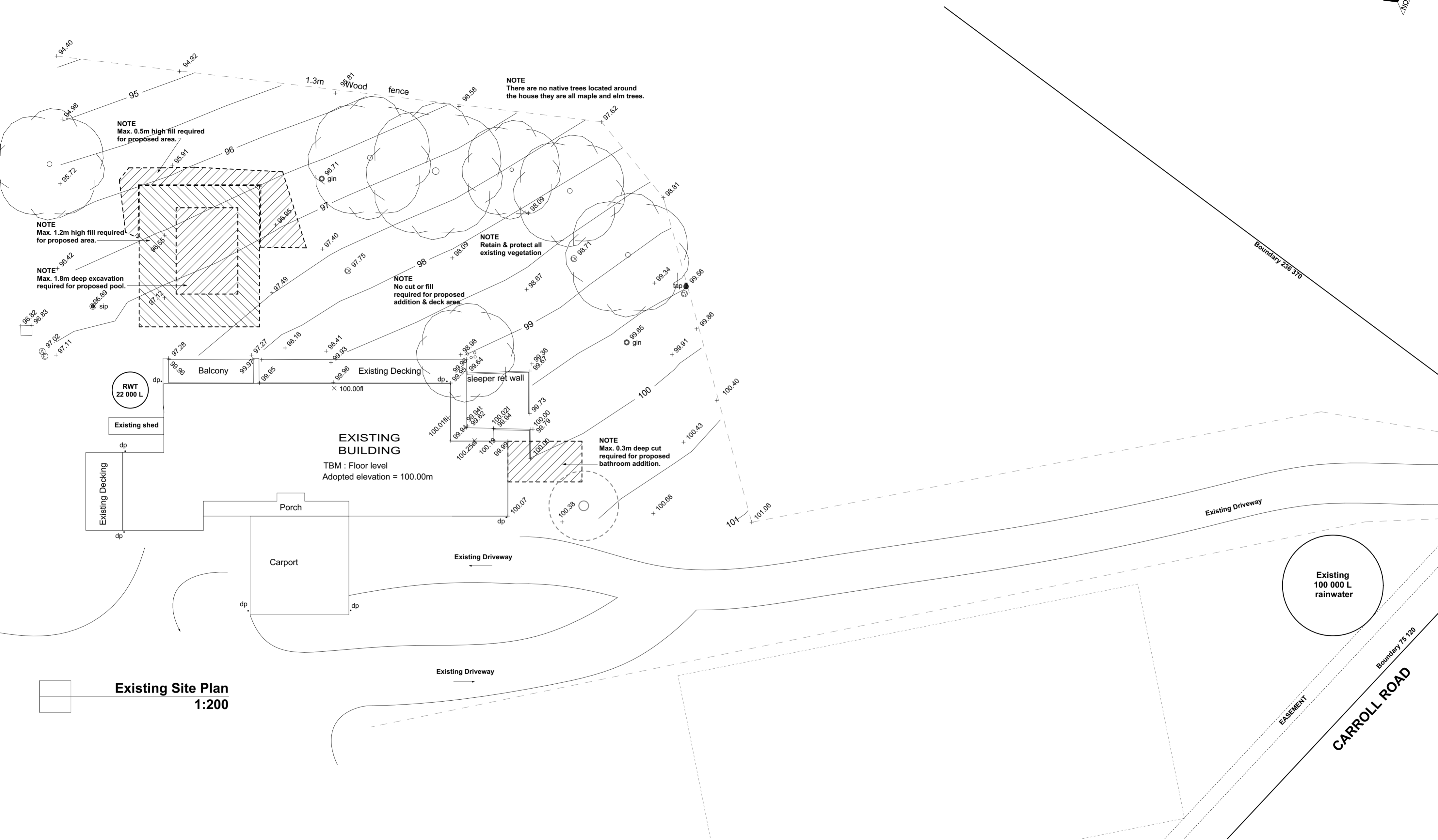
Proposed Alterations, Additions, Deck & Pool
for Peter & Brigitte Corner
Address : 8 Carroll Road, Heathfield, SA 5153
email : cnrbuiding@aapt.net.au

A2

3D Design & Drafting Adelaide
Thomas Klee` Mob: 0438 847 876
Address : 16A Argyll Walk,
Bellevue Heights SA 5050
email : tkmg@tpg.com.au

Amendments
No
Date

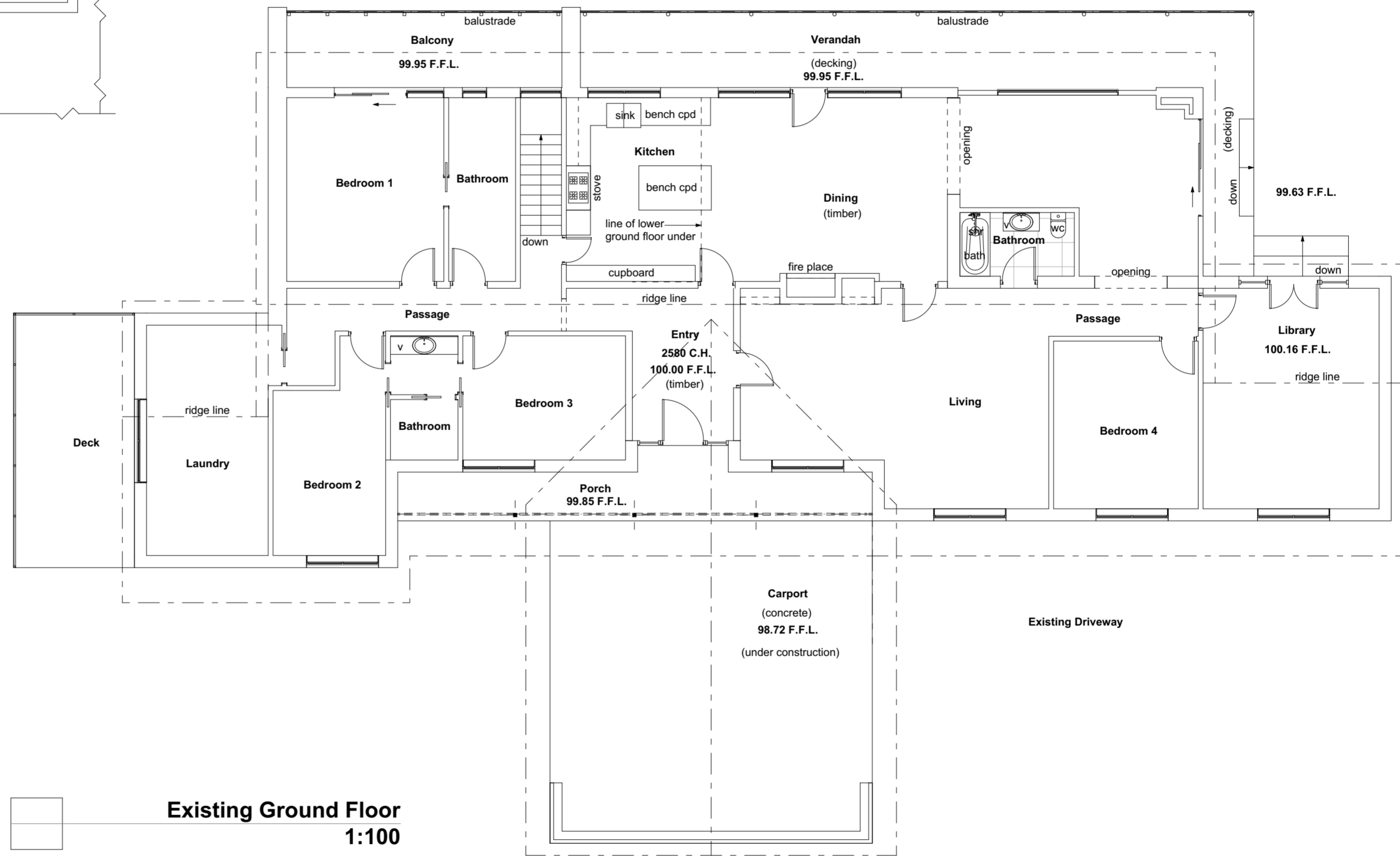
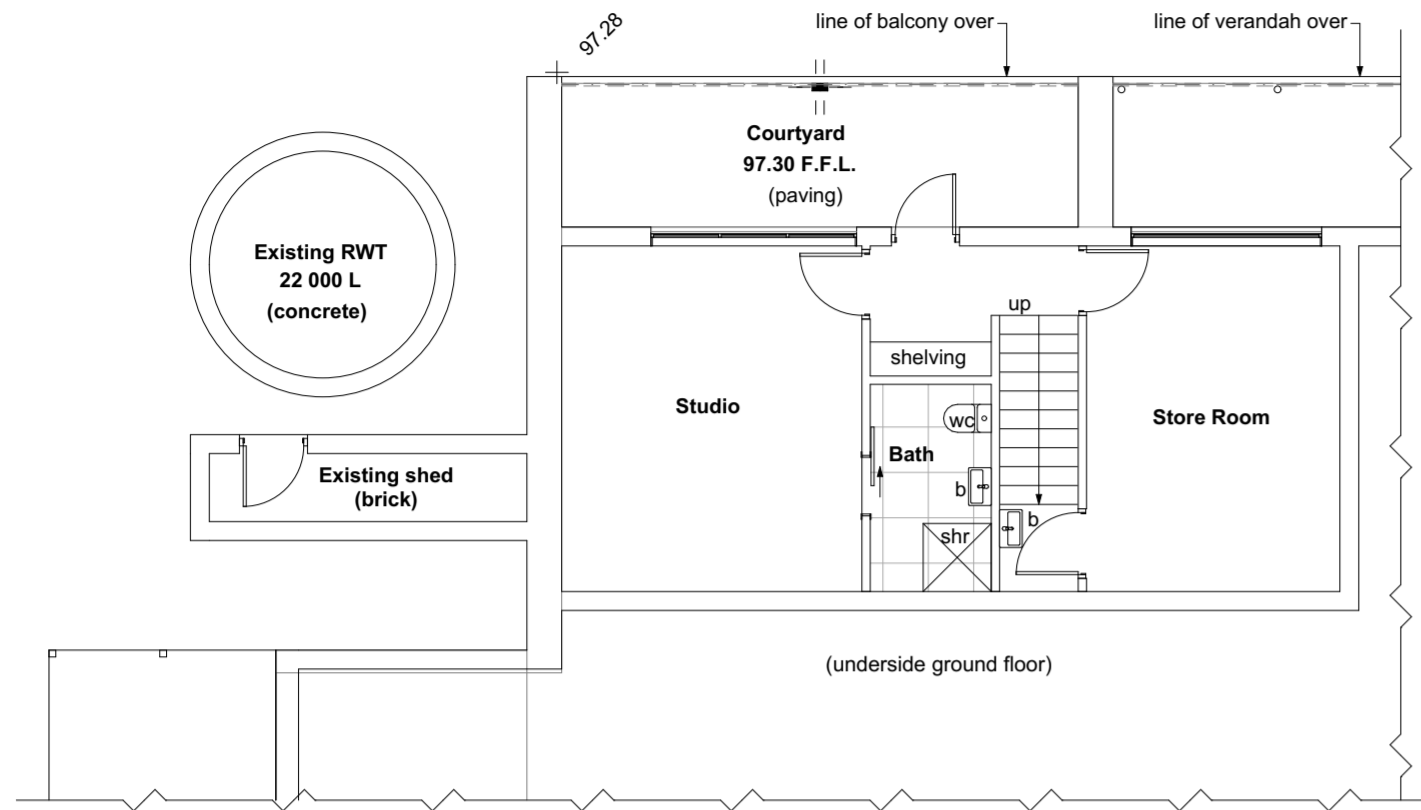
Date 22/02/2021
Drawn T.K.
Drawing Ref P 02



Existing Site Plan
1:200

For Design & Planning Approval only A2	Proposed Alterations, Additions, Deck & Pool for Peter & Brigitte Corner Address : 8 Carroll Road, Heathfield, SA 5153 email : cnrbuilding@aapt.net.au	3D Design & Drafting Adelaide Thomas Klee` Mob: 0438 847 876 Address : 16A Argyll Walk, Bellevue Heights SA 5050 email : tkmg@tpg.com.au	Amendments No Date	Date 22/02/2021 Drawn T.K. Drawing Ref P 03





ADELAIDE HILLS COUNCIL
RECEIVED 23/02/2021

For Design & Planning Approval only

A2

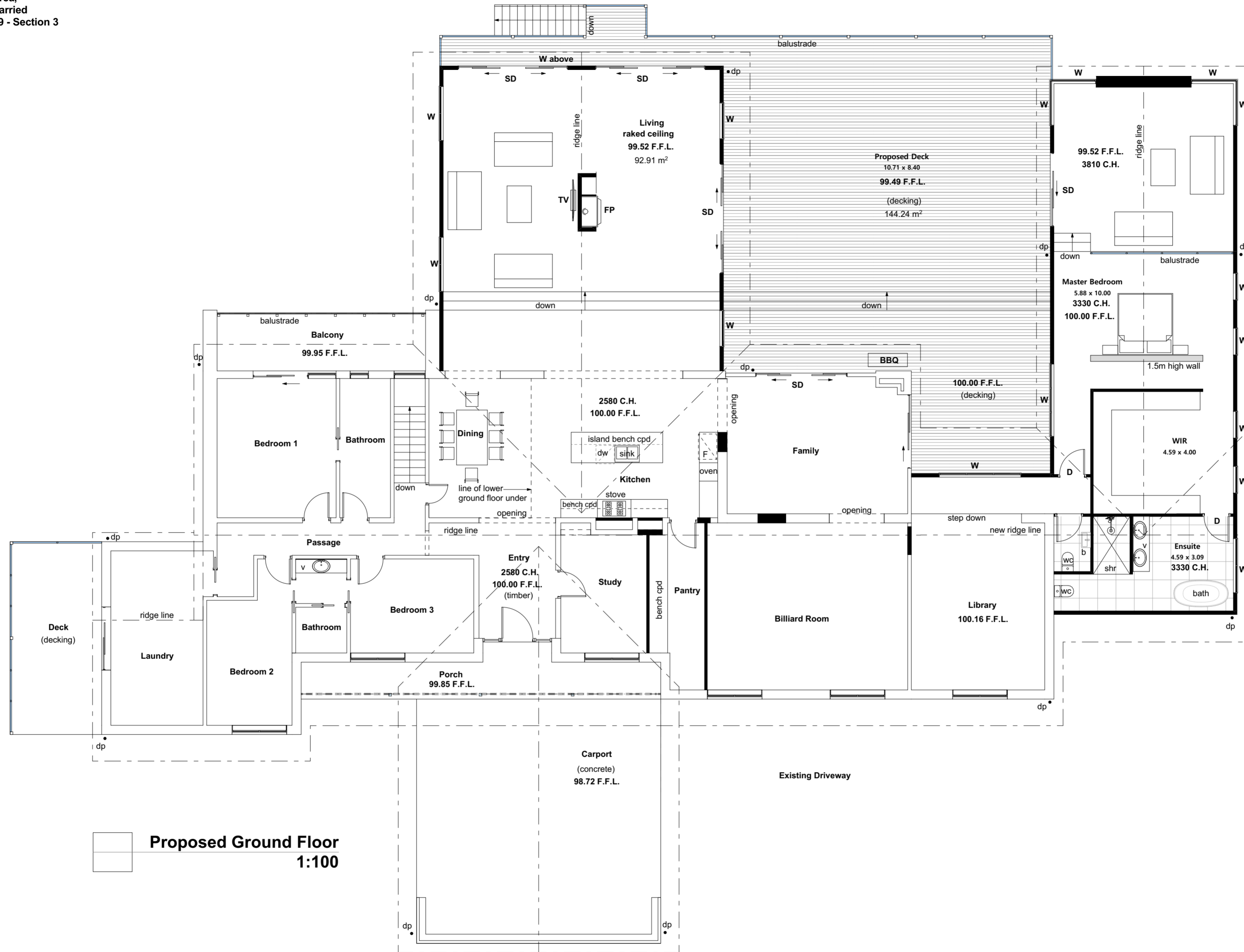
Proposed Alterations, Additions, Deck & Pool
for Peter & Brigitte Corner
Address : 8 Carroll Road, Heathfield, SA 5153
email : cnrbuilding@aapt.net.au

3D Design & Drafting Adelaide
Thomas Klee` Mob: 0438 847 876
Address : 16A Argyll Walk,
Bellevue Heights SA 5050
email : tkmg@tpg.com.au

Amendments	Date 22/02/2021
No	Drawn T.K.
Date	Drawing Ref P 04



NOTE
 The building is to be constructed in a Declared bushfire Prone Area, adequate protection must be carried out in accordance with AS 3959 - Section 3



Proposed Ground Floor
 1:100

ADELAIDE HILLS COUNCIL
 RECEIVED 23/02/2021

For Design & Planning Approval only

Proposed Alterations, Additions, Deck & Pool
 for Peter & Brigitte Corner
 Address : 8 Carroll Road, Heathfield, SA 5153
 email : cnrbuilding@aapt.net.au

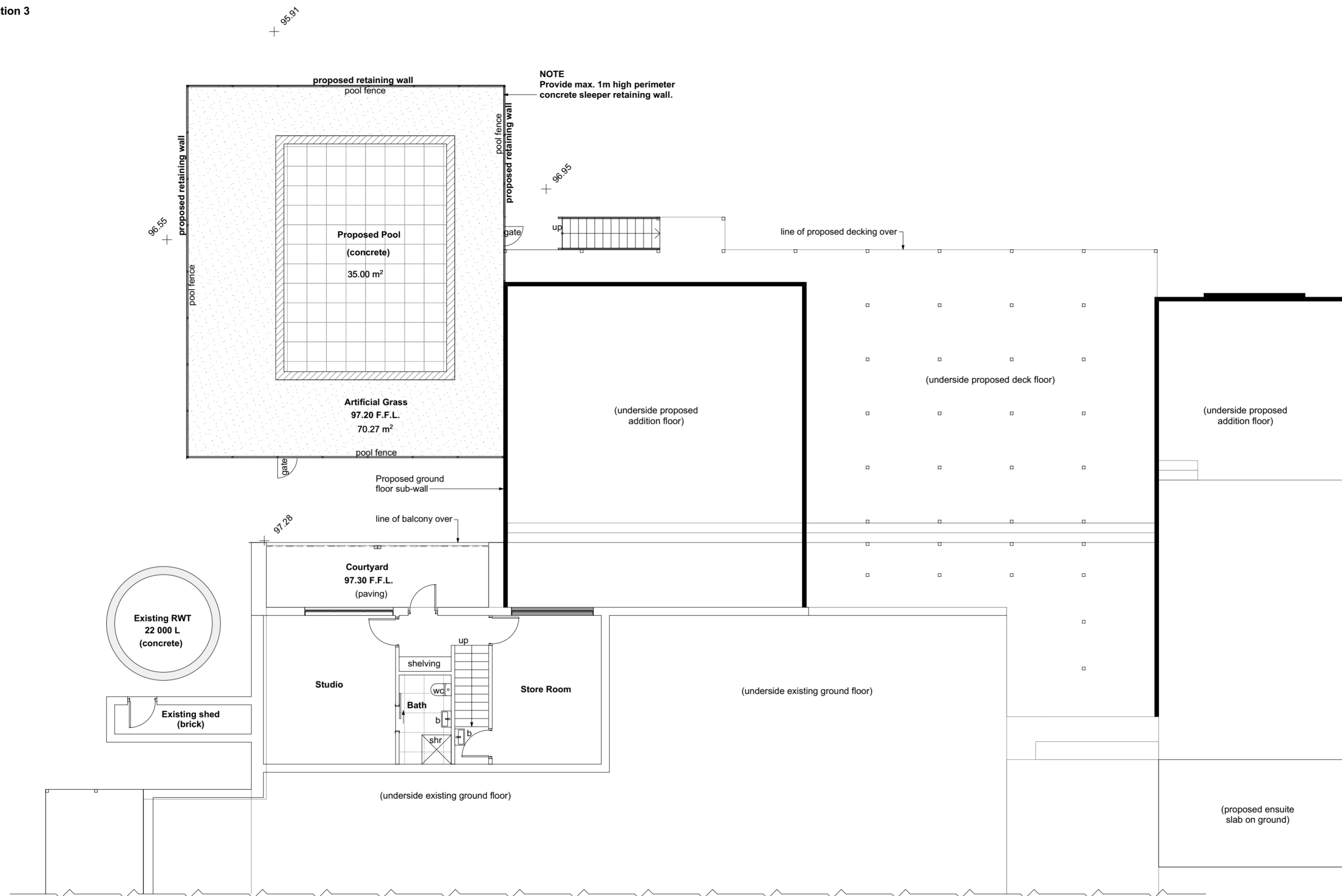
A2

3D Design & Drafting Adelaide
 Thomas Klee` Mob: 0438 847 876
 Address : 16A Argyll Walk,
 Bellevue Heights SA 5050
 email : tkmg@tpg.com.au

Amendments	Date	22/02/2021
No	Drawn	T.K.
Date	Drawing Ref	P 05



NOTE
 The building is to be constructed in a Declared bushfire Prone Area, adequate protection must be carried out in accordance with AS 3959 - Section 3



Proposed Lower Ground Floor
 1:100

For Design & Planning Approval only

Proposed Alterations, Additions, Deck & Pool
 for Peter & Brigitte Corner
 Address : 8 Carroll Road, Heathfield, SA 5153
 email : cnrbuilding@aapt.net.au

3D Design & Drafting Adelaide
 Thomas Klee` Mob: 0438 847 876
 Address : 16A Argyll Walk,
 Bellevue Heights SA 5050
 email : tkmg@tpg.com.au

Amendments
 No
 Date

Date 22/02/2021
Drawn T.K.
Drawing Ref P 06

A2

ADELAIDE HILLS COUNCIL
 RECEIVED 23/02/2021

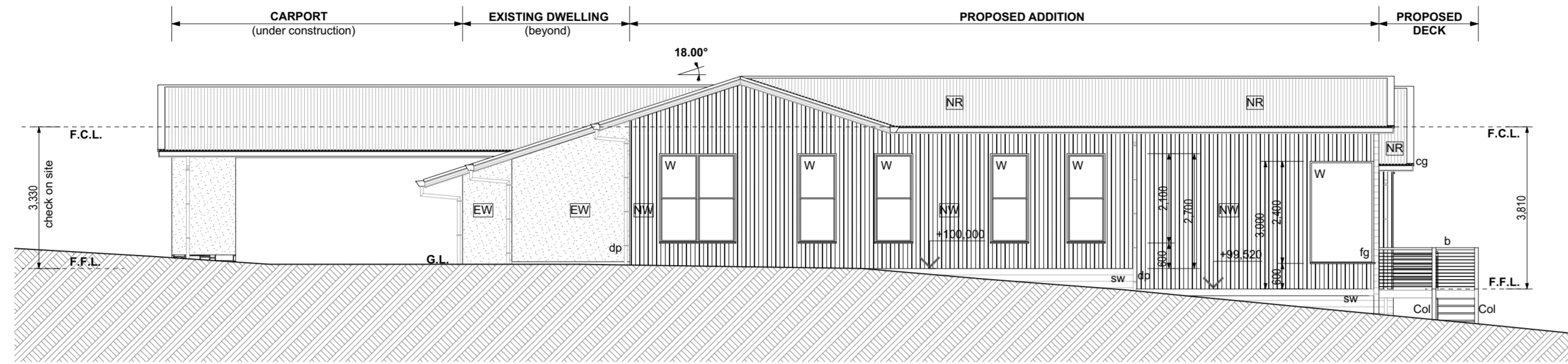
NOTE
The building is to be constructed in a Declared bushfire Prone Area, adequate protection must be carried out in accordance with AS 3959 - Section 3

Finishes Schedule

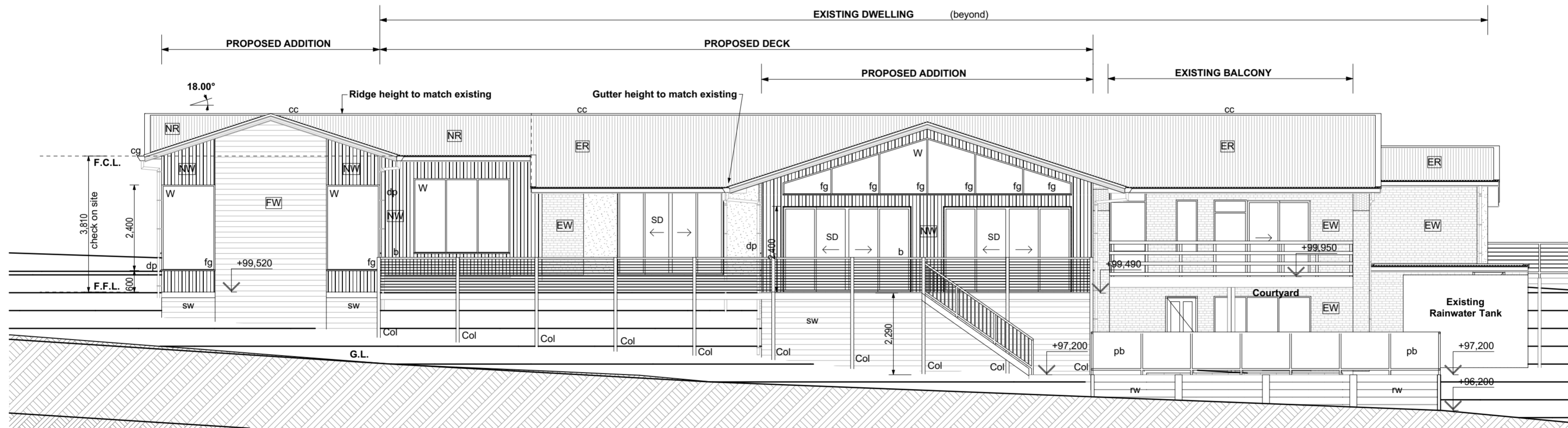
Existing & New Roofs - c/b corrugated iron - colour Basalt or similar approved
Gutter - Colorbond Basalt
New Walls - James Hardie cladding
 Scyon Stria (horizontal ship-lapped joint) or Scyon Axon (vertically grooved) with Scyon Axent trim
Painted finish - light cream or similar approved
New windows - aluminium
sliding door - aluminium powder coated

Legend - Elevations

- ER Existing roof with new c/b sheeting
- NR New roof
- cg Colorbond gutter
- cc Colorbond capping
- cf Colorbond flashing
- dp Down pipe
- EW Existing wall
- NW New wall
- RF Acratex render to fibre cement wall
- FW Feature wall - selected cladding
- sw Selected sub-wall cladding
- rw Retaining wall
- P Timber Post
- Col Column
- W New Window
- fg Fixed glass glazing
- og Obscured glass
- D New door
- SD New sliding door
- b Balustrade
- pb Pool glass balustrade
- cj Full height control joint
- sp Solar panels (future)



East Elevation
1:100



North Elevation
1:100

For Design & Planning Approval only

Proposed Alterations, Additions, Deck & Pool
 for Peter & Brigitte Corner
 Address : 8 Carroll Road, Heathfield, SA 5153
 email : cnrbuiding@aapt.net.au

3D Design & Drafting Adelaide
 Thomas Klee` Mob: 0438 847 876
 Address : 16A Argyll Walk,
 Bellevue Heights SA 5050
 email : tkmg@tpg.com.au

Amendments	Date	22/02/2021
No	Drawn	T.K.
Date	Drawing Ref	P 07

A2

ADELAIDE HILLS COUNCIL
RECEIVED 23/02/2021

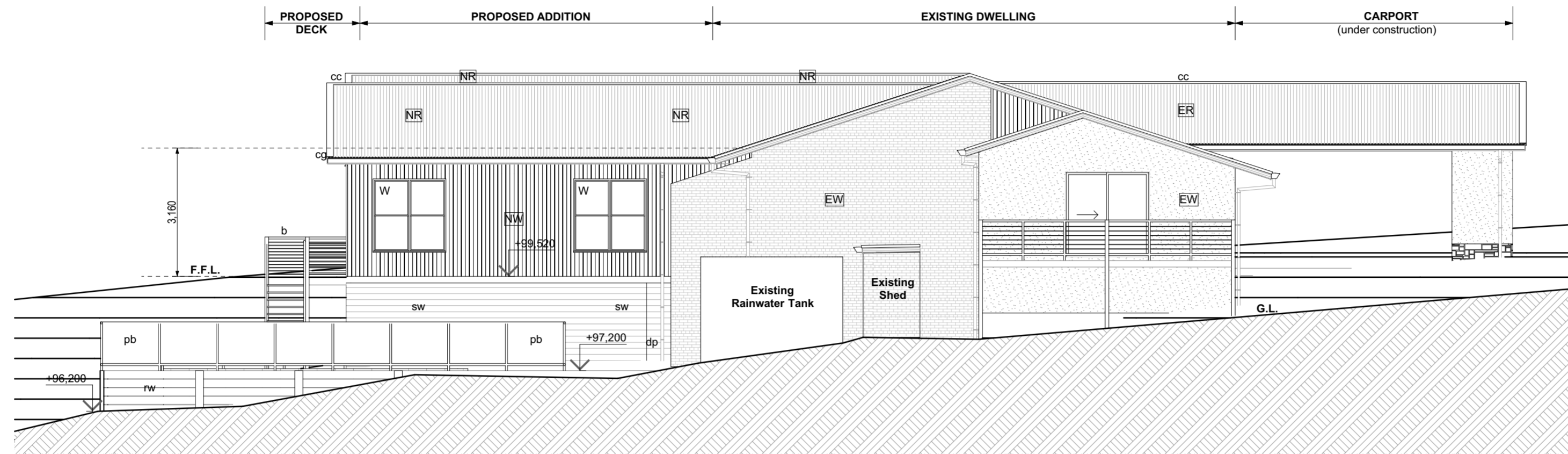
NOTE
 The building is to be constructed
 in a Declared bushfire Prone Area,
 adequate protection must be carried
 out in accordance with AS 3959 - Section 3

Finishes Schedule

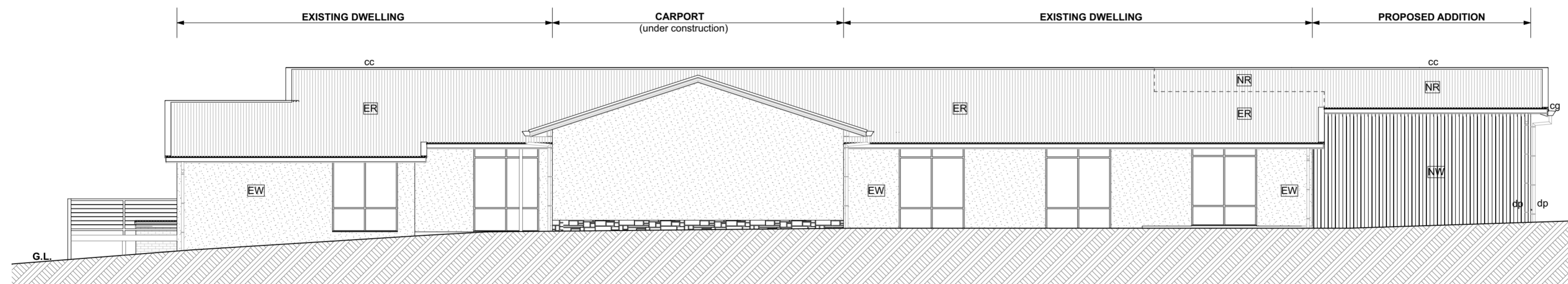
Existing & New Roofs -
 c/b corrugated iron - colour Basalt
 or similar approved
Gutter - Colorbond Basalt
New Walls - James Hardie cladding
 Scyon Stria (horizontal ship-lapped joint) or
 Scyon Axon (vertically grooved) with Scyon Axent trim
Painted finish - light cream or similar approved
New windows - aluminium
sliding door - aluminium powder coated

Legend - Elevations

- ER Existing roof with new c/b sheeting
- NR New roof
- cg Colorbond gutter
- cc Colorbond capping
- cf Colorbond flashing
- dp Down pipe
- EW Existing wall
- NW New wall
- RF Acratex render to fibre cement wall
- FW Feature wall - selected cladding
- sw Selected sub-wall cladding
- rw Retaining wall
- P Timber Post
- Col Column
- W New Window
- fg Fixed glass glazing
- og Obscured glass
- D New door
- SD New sliding door
- b Balustrade
- pb Pool glass balustrade
- cj Full height control joint
- sp Solar panels (future)



West Elevation
 1:100



South Elevation
 1:100

For Design & Planning Approval only

Proposed Alterations, Additions, Deck & Pool
for Peter & Brigitte Corner
 Address : 8 Carroll Road, Heathfield, SA 5153
 email : cnrbuilding@aapt.net.au

3D Design & Drafting Adelaide
 Thomas Klee` Mob: 0438 847 876
 Address : 16A Argyll Walk,
 Bellevue Heights SA 5050
 email : tkmg@tpg.com.au

Amendments	Date	22/02/2021
No	Drawn	T.K.
Date	Drawing Ref	P 08

A2

ADELAIDE HILLS COUNCIL
RECEIVED 23/02/2021

DEVELOPMENT ASSESSMENT SERVICE

Your Ref: 473/48/2021
Our Ref: Adelaide Hills DA
Please refer to: 20210324-01ap

24 March 2021

Adelaide Hills Council
PO Box 44
WOODSIDE SA 5244

ATTN: ASHLEIGH GADE

Dear Ashleigh,

**RE: DEVELOPMENT APPLICATION (PLANNING ASSESSMENT) – CORNER
LOT 78 (8) CARROLL ROAD, HEATHFIELD**

Minister's Code 2009 "Undertaking development in Bushfire Protection Areas" (as amended October 2012) as published under Regulation 106 of the *Development Regulations 2008* applies.

Minister's Code 2009 "Undertaking development in Bushfire Protection Areas" (as amended October 2012) Part 2.1 states "*When submitting an application it is important to remember that the information provided with an application forms the basis upon which the application will be assessed. If the information is inadequate or insufficient (incomplete, incorrect), the application may be delayed.*"

An officer of the SA Country Fire Service [SA CFS] Development Assessment Service has assessed the proposed development site, allotment and adjoining areas.

The Bushfire Protection Zone for the area has been designated as **HIGH**

The SA Country Fire Service has no objection to the proposed development.

Minister's Code 2009 "Undertaking development in Bushfire Protection Areas" (as amended October 2012) provides mandatory Bushfire Protection planning requirements as conditions of consent for the development as follows:

ACCESS TO HABITABLE BUILDING

Minister's Code 2009 "Undertaking development in Bushfire Protection Areas" (as amended October 2012) Part 2.3.3.1 describes the mandatory provision for 'Private' roads and driveways to buildings shall provide safe and convenient access/egress for large Bushfire fighting vehicles, where the furthest point to the building from the nearest public road is more than 30 metres.

SA CFS has no objection to utilising the existing access driveway as detailed on drawing named LOCATION PLAN dated at last revision 14/01/2021 and upgraded where necessary to comply with the following conditions:

- Access to the building site shall be of all-weather construction, with a minimum formed road surface width of 3 metres and must allow forward entry and exit for large fire-fighting vehicles.



- The all-weather road shall allow fire-fighting vehicles to safely enter and exit the allotment in a forward direction by incorporating either –
 - i. A loop road around the building, OR
 - ii. A turning area with a minimum radius of 12.5 metres, OR
 - iii. A 'T' or 'Y' shaped turning area with a minimum formed length of 11 metres and minimum internal radii of 9.5 metres.
- Private access shall have minimum internal radii of 9.5 metres on all bends.
- Vegetation overhanging the access road shall be pruned to achieve a minimum vehicular clearance of not less than 4 metres in width and a vertical height clearance of 4 metres.
- Understorey vegetation either side of the access road shall be reduced to a maximum height of 10cm for a distance of 3 metres. Mature trees within this fuel reduced zone may remain.
- Access shall provide safe passage to the turning area and shall not be obstructed by any solid structure (such as a carport) and/or any other structure.

ACCESS (to dedicated water supply)

Minister's Code 2009 "Undertaking development in Bushfire Protection Areas" (as amended October 2012) Part 2.3.4.1 requires a dedicated and accessible water supply to be made available at all times for fire-fighting.

SA CFS has no objection to the location of the existing dedicated water supply as detailed on drawing named PROPOSED SITE PLAN dated at last revision 14/01/2021, providing the outlet is positioned remotely to comply with the following conditions:

- The water supply outlet shall be easily accessible and clearly identifiable from the access way and at a distance of no greater than 30 metres from the proposed dwelling.
- The dedicated water supply and its location should be identified with suitable signage (i.e. blue sign with white lettering "FIRE WATER").
- Access to the dedicated water supply shall be of all-weather construction, with a minimum formed road surface width of 3 metres.
- Provision shall be made adjacent to the water supply for a flat hardstand area (capable of supporting fire-fighting vehicles with a gross vehicle mass (GVM) of 21 tonnes) that is a distance equal to or less than 6 metres from the water supply outlet (**or 3m to edge of pool if not plumbed to an outlet**).
- SA CFS appliance inlet is rear mounted; therefore the outlet/water storage shall be positioned so that the SA CFS appliance can easily connect to it rear facing.
- A gravity fed water supply outlet may be remotely located from the tank to provide adequate access.
- All non-metal water supply pipes for bushfire fighting purposes (other than flexible connections and hoses for fire-fighting) shall be buried below ground to a minimum depth of 300mm with no non-metal parts above ground level.
- All water supply pipes for draughting purposes shall be capable of withstanding the required pressure for draughting.
- Ideally a remote water supply outlet should be gravity fed, where this is not possible the following dimensions shall be considered as the maximum capability in any hydraulic design for draughting purposes:

- The dedicated water supply outlet for draughting purposes shall not exceed 5 metre maximum vertical lift (calculated on the height of the hardstand surface to the lowest point of the storage) and no greater than 6 metre horizontal distance.
- The suction outlet pipework from the tank shall be fitted with an inline non return valve of nominal internal diameter not less than that of the suction pipe and be located from the lowest point of extract from the tank. All fittings shall be installed to allow for easy maintenance.

WATER SUPPLY

Minister's Code 2009 "Undertaking development in Bushfire Protection Areas" (as amended October 2012) Part 2.3.4.1 prescribes the mandatory provision of a dedicated and accessible water supply to be made available at all times for fire-fighting.

Ministers Specification SA78 provides the technical details of the dedicated water supply for bushfire fighting for the bushfire zone. The dedicated bushfire fighting water supply shall also incorporate the installation of a pumping system, pipe-work and fire-fighting hose(s) in accordance with Minister's Specification SA78:

- A minimum supply of 22,000 litres of water shall be available at all times for bushfire fighting purposes.
- The minimum requirement of 22,000 litres may be combined with domestic use, providing the outlet for domestic use is located above the 22,000 litres of dedicated fire water supply in order for it to remain as a dedicated supply.
- The bushfire fighting water supply shall be clearly identified and fitted with an outlet of at least 50mm diameter terminating with a compliant SA CFS fire service adapter, which shall be accessible to bushfire fighting vehicles at all times.
- The water storage facility (and any support structure) shall be constructed of non-combustible material.
- The dedicated fire-fighting water supply shall be pressurised by a pump that has –
 - i. A minimum inlet diameter of 38mm, AND
 - ii. Is powered by a petrol or diesel engine with a power rating of at least 3.7kW (5hp), OR
 - iii. A pumping system that operates independently of mains electricity and is capable of pressurising the water for fire-fighting purposes.
- The dedicated fire-fighting water supply pump shall be located at or adjacent to the habitable building to ensure occupants safety when operating the pump during a bushfire. An 'Operations Instruction Procedure' shall be located with the pump control panel.
- The fire-fighting pump and any flexible connections to the water supply shall be protected by a non-combustible cover that allows adequate air ventilation for efficient pump operation.
- All bushfire fighting water pipes and connections between the water storage facility and a pump shall be no smaller in diameter than the diameter of the pump inlet.
- All non-metal water supply pipes for bushfire fighting purposes (other than flexible connections and hoses for fire-fighting) shall be buried below ground to a minimum depth of 300mm with no non-metal parts above ground level.
- A fire-fighting hose (or hoses) shall be located so that all parts of the building are within reach of the nozzle end of the hose and if more than one hose is required they should be positioned to provide maximum coverage of the building and surrounds (i.e. at opposite ends of the habitable building).
- All fire-fighting hoses shall be capable of withstanding the pressures of the supplied water.
- All fire-fighting hoses shall be of reinforced construction manufactured in accordance with AS 2620 or AS 1221.

- All fire-fighting hoses shall have a minimum nominal internal diameter of 18mm and a maximum length of 36 metres.
- All fire-fighting hoses shall have an adjustable metal nozzle, or an adjustable PVC nozzle manufactured in accordance with AS 1221.
- All fire-fighting hoses shall be readily available at all times.

VEGETATION

Minister's Code 2009 "Undertaking development in Bushfire Protection Areas" (as amended October 2012) Part 2.3.5 mandates that landscaping shall include Bushfire Protection features that will prevent or inhibit the spread of bushfire and minimise the risk to life and/or damage to buildings and property.

- A vegetation management zone (VMZ) shall be established and maintained within 20 metres of the habitable building (or to the property boundaries – whichever comes first) as follows:
 - i. The number of trees and understorey plants existing and to be established within the VMZ shall be reduced and maintained such that when considered overall a maximum coverage of 30% is attained, and so that the leaf area of shrubs is not continuous. Careful selection of the vegetation will permit the 'clumping' of shrubs where desirable, for diversity, and privacy and yet achieve the 'overall maximum coverage of 30%'.
 - ii. Reduction of vegetation shall be in accordance with SA Native Vegetation Act 1991 and SA Native Vegetation Regulations 2017.
 - iii. Trees and shrubs shall not be planted closer to the building(s) than the distance equivalent to their mature height.
 - iv. Trees and shrubs must not overhang the roofline of the building, touch walls, windows or other elements of the building.
 - v. Shrubs must not be planted under trees and must be separated by at least 1.5 times their mature height.
 - vi. Grasses within the zone shall be reduced to a maximum height of 10cm during the Fire Danger Season.
 - vii. No understorey vegetation shall be established within 1 metre of the habitable building (understorey is defined as plants and bushes up to 2 metres in height).
 - viii. Flammable objects such as plants, mulches and fences must not be located adjacent to vulnerable parts of the building such as windows, decks and eaves
 - ix. The VMZ shall be maintained to be free of accumulated dead vegetation.

Compliance with the fire protection requirements is not a guarantee the habitable building will not burn, but its intent is to provide a '*measure of protection*' from the approach, impact and passing of a bushfire.

Should there be any need for further information, please contact the undersigned at the Development Assessment Service on (08) 8115 3372.

Yours sincerely,



ANNIE POMEROY

**BUSHFIRE SAFETY OFFICER
DEVELOPMENT ASSESSMENT SERVICE**

DEVELOPMENT ASSESSMENT SERVICE

Your Ref: 473/48/2021
Our Ref: Adelaide Hills DA
Please refer to: 20210324-01ap

24 March 2021

Adelaide Hills Council
PO Box 44
WOODSIDE SA 5244

ATTN: ASHLEIGH GADE

Dear Ashleigh,

**RE: BUSHFIRE ATTACK LEVEL (BAL) ASSESSMENT – CORNER
LOT 78 (8) CARROLL ROAD, HEATHFIELD**

An officer of the SA Country Fire Service (SA CFS) Development Assessment Service, has assessed the proposed development site, allotment and adjoining areas.

A site bushfire attack assessment was conducted in accordance with the National Construction Code of Australia [NCC] and Australian Standard™3959 (AS3959) “Construction of Buildings in Bushfire Prone Areas”.

This report shall not be considered as SA CFS endorsement of any subsequent development.

This BAL report is considered relevant at the date of assessment.

ASSESSMENT DETAILS:

Category of Bushfire Attack	BAL 12.5
------------------------------------	-----------------

BUILDING CONSIDERATIONS

Please refer to the NCC, relevant standards and state provisions for construction requirements and performance provisions.

Compliance with the fire protection requirements is not a guarantee the dwelling will not burn, but its intent is to provide a ‘*measure of protection*’ from the approach, impact and passing of a bushfire.

Should there be any need for further information please contact the undersigned at the SA CFS Development Assessment Service on (08) 8115 3372.

Yours sincerely,



ANNIE POMEROY

BUSHFIRE SAFETY OFFICER
DEVELOPMENT ASSESSMENT SERVICE



SOUTH AUSTRALIAN DEVELOPMENT ACT, 1993
REPRESENTATION ON APPLICATION – CATEGORY 2 NOTIFICATION

Development Number: **21/48/473**

My Name: **PAUL GOOD**

Postal Address: **PO Box 216 MARLESTON 5033**

Contact No: **08 8333 3300**

Email: **[REDACTED]**
(by providing an email address you agree to receive any related future correspondence electronically)

This representation is in relation to the application by: **Peter Corner**

Nature of Development: **Two storey dwelling alterations & additions, deck (maximum height 2.5m), in-ground swimming pool & associated barriers, retaining walls (maximum height 1m) & associated earthworks**

Proposed to be located at: **8 Carroll Road, Heathfield SA 5153**

My representation: **(cross out whichever does not apply below)**
Supports the proposed development OR Opposes the proposed development

My interests are: **(cross out whichever does not apply below)**
owner of local property OR occupier of local property
~~a representative of a company OR other~~
~~organisation affected by the proposal OR a private citizen~~

The address of the property affected is:
10 CARROLL RD HEATHFIELD Postcode: **5153**

The specific aspects of the application to which I make representation are:
AS THIS IS MY OLD HOUSE MY TWO CONCERNS ARE
1) EXISTING ROOF IS ASBESTOS SO DUE CARE REQUIRED
2) THINK THIS IS AN OWNER BUILDING JOB AS PETER IS A
My objections (if any) could be overcome by: **BUILDER SO PLEASE ONLY**
DURING WEEKDAYS + HOURS

BY LICENSED
+ AIR MONITORING
(cross out whichever does not apply below)
I do wish to be heard in support of my representation by appearing personally or being represented by the following person.
OR
~~I do not wish to be heard in support of my representation.~~

"Please note that, in accordance with Section 38 (10)(a) of the *Development Act 1993*, the Council Assessment Panel may, in its absolute discretion, allow a person who made a representation to appear personally or by representative before it to be heard in support of the representation."

Please note that no right of appeal to the Environment, Resources and Development Court exists for a person or body who submit a Category 2 representation.

Date: **20/3/2021** Signature: **[Signature]**

The closing time and date for Representations is 5.00pm on 01 April 2021 & Representations can only be received during the period 19 March 2021 to 01 April 2021

"Please note that in accordance with Section 38(8) of the *Development Act 1993*, a copy of this representation is forwarded to the Applicant for their information and response. Further a copy of your representation (including your name and address) will become public and can be viewed on the web."

Ashleigh Gade

From: Peter Corner
Sent: Thursday, 8 April 2021 8:45 PM
To: Mail
Subject: Re: Adelaide Hills Council Request - Development Application 21/48 - 8 Carroll Road

Dear Ashleigh Gade,

My response to the representation by Mr Paul Good of 10 Carroll Rd Heathfield regarding his concerns relating to asbestos removal and site working hours is as follows,

- All Asbestos removal shall be carried out in accordance with the Work Health and Safety Act 2012 (SA) and Safe Work procedures and Safety precautions.
- All work site construction activities shall be carried out in accordance with the relevant Environmental Protection Authority requirements.

Please contact me if you require any further information.

Kind Regards,

Peter Corner.

On 7/04/2021 2:59 pm, mail@ahc.sa.gov.au wrote:

Dear Peter Corner,

The above application has undergone the public notification process and one (1) representation (copy attached) has been submitted to Council.

You are invited to provide a written response via email where possible, addressing the contents of the representation which must be received by Council within ten (10) business days of this email.

Should no response be received by that date, Council will assume that you have no response to make, unless you apply for an extension of time in this regard.

Please contact me via agade@ahc.sa.gov.au or 8408-0526 should you have any queries in this regard.

Kind regards,

Ashleigh Gade

Statutory Planner | **Development & Regulatory Services**

w ahc.sa.gov.au

PO Box 44 Woodside SA 5244