

**CAP MEETING – 10 NOVEMBER 2021**

**ITEM 9.1**

<b>DEVELOPMENT NO.:</b>	21020989
<b>APPLICANT:</b>	Rob Mitchell
<b>ADDRESS:</b>	8 BUCHANAN DR WOODFORDE SA 5072
<b>NATURE OF DEVELOPMENT:</b>	Two storey detached dwelling, combined fence and retaining walls and swimming pool
<b>ZONING INFORMATION:</b>	<p><b>Zones:</b></p> <ul style="list-style-type: none"> <li>• Housing Diversity Neighbourhood</li> </ul> <p><b>Overlays:</b></p> <ul style="list-style-type: none"> <li>• Airport Building Heights (Regulated)</li> <li>• Affordable Housing</li> <li>• Hazards (Bushfire - Urban Interface)</li> <li>• Hazards (Flooding - Evidence Required)</li> <li>• Prescribed Wells Area</li> <li>• Regulated and Significant Trees</li> <li>• Stormwater Management</li> <li>• Traffic Generating Development</li> <li>• Urban Tree Canopy</li> </ul> <p><b>Technical Numeric Variations (TNVs):</b></p> <ul style="list-style-type: none"> <li>• Maximum Building Height (9 Metres)</li> <li>• Maximum Building Height (2 Levels)</li> </ul>
<b>LODGEMENT DATE:</b>	27 Jul 2021
<b>RELEVANT AUTHORITY:</b>	Assessment Panel at Adelaide Hills Council
<b>PLANNING &amp; DESIGN CODE VERSION:</b>	2021.9
<b>CATEGORY OF DEVELOPMENT:</b>	Code Assessed - Performance Assessed
<b>NOTIFICATION:</b>	Yes
<b>RECOMMENDING OFFICER:</b>	Ashleigh Gade Statutory Planner
<b>REFERRALS STATUTORY:</b>	N/A
<b>REFERRALS NON-STATUTORY:</b>	Engineering

**CONTENTS:**

<b>ATTACHMENT 1: Application Documents</b>	<b>ATTACHMENT 5: Representations</b>
<b>ATTACHMENT 2: Subject Land Map</b>	<b>ATTACHMENT 6: Response to Representations</b>
<b>ATTACHMENT 3: Zoning Map</b>	<b>ATTACHMENT 7: Internal Referral Advice</b>
<b>ATTACHMENT 4: Representation Map</b>	<b>ATTACHMENT 8: Relevant P&amp;D Code Provisions</b>

**DETAILED DESCRIPTION OF PROPOSAL:**

The proposal is for the construction of a two-storey dwelling, combined fencing and retaining walls, and a swimming pool at 8 Buchanan Drive, Woodforde. The proposed dwelling has a total ground floor area of 211.4m<sup>2</sup> including alfresco and garage, and a total overall floor area of 348.54m<sup>2</sup>, with 116m<sup>2</sup> of private open space. The proposed dwelling has a contemporary design with face brick in PGH 'Matterhorn' and rendered finish in Colorbond 'Surfmist' and a stonework feature. The combined fencing and retaining reaches a maximum height of 4.1m on the eastern boundary and 2.3m on the western boundary.

The subject land is currently vacant of any significant development. There are two sections of retaining wall existing on the site, installed by the developer responsible for the land division. The subject land forms part of the 'Hamilton Hill' land division and is an allotment created for residential purposes.

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The application documents are provided in **Attachment 1**.

**BACKGROUND:**

APPROVAL DATE	APPLICATION NUMBER	DESCRIPTION OF PROPOSAL
Withdrawn	21/72	Two storey detached dwelling, retaining walls (maximum height 2.65m), swimming pool & associated barriers and associated earthworks
17 August 2020	20/116	Benching of allotments incidental to residential development, associated retaining walls (maximum height 2.8m) and combined fence and retaining walls (maximum height 4.6m)

As detailed above, the applicant had previously lodged an application for the dwelling under the *Development Act 1993*. This application was submitted through the PlanSA Portal to be assessed under the *Planning Development and Infrastructure Act 2016* on 27 July 2021. The previous application 21/72 was subsequently withdrawn on 17 August 2021.

The prior application (20/116) for benching and retaining on the allotment was lodged by the developer responsible for the land division. This work has been completed and is existing on site.

**SUBJECT LAND & LOCALITY:**

**Site Description:**

**Location reference:** 8 BUCHANAN DR WOODFORDE SA 5072

**Title ref.:** CT 6199/111

**Plan Parcel:** D116718 AL70

The subject land is a residential allotment within the 'Hamilton Hill' land division at Woodforde. The land currently contains a number of retaining walls and is otherwise vacant. The allotment has a site area of approximately 443m<sup>2</sup> and a frontage of 15m to Buchanan Drive. The land slopes away from the rear south-eastern boundary of the site down toward the street frontage in a north-westerly direction. The natural fall of the land is approximately 4 metres over a distance of 30 metres, though the land has been heavily modified by the existing retaining. There is no vegetation on the subject site, however the land is partially covered by the Tree Protection Zone (TPZ) of a Significant Tree sited on the adjacent land at 29 Norton Summit Road. The site is serviced by SA Water mains sewer and water connections.

**Locality**

The subject land is located in Woodforde and forms part of a wider division of land that is currently being developed. The land forming part of the division was formerly that of the Magill Youth Training Centre and is now known as 'Hamilton Hill'. The subject site is located on the southern extent of the Hamilton Hill division and is sited adjacent existing residential allotments not forming part of the master-planned development on its southern boundary. Allotments within 'Hamilton Hill' typically range between 200m<sup>2</sup> and 450m<sup>2</sup> in area and comprise detached dwellings or row dwellings. A number of these allotments, particularly to the east of the subject land, are currently vacant. To the south and further to the west, the locality comprises an established residential neighbourhood with a mixture of dwelling types including detached, row dwellings, group dwellings, and residential flat buildings. All of these allotments are within a different zone to the subject land.

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The subject land is identified on the map in **Attachment 2**. The zoning is shown on the map in **Attachment 3**.

**CONSENT TYPE REQUIRED:**

Planning Consent

**CATEGORY OF DEVELOPMENT:**

- **PER ELEMENT:**  
Detached Dwelling: Code Assessed – Performance Assessed  
Fence: Code Assessed - Performance Assessed  
Retaining Wall: Code Assessed – Performance Assessed  
Swimming Pool: Accepted
- **OVERALL APPLICATION CATEGORY:**  
Code Assessed - Performance Assessed
- **REASON**  
The swimming pool meets the requirements for Accepted development and therefore does not require assessment for Planning Consent.

The Planning & Design Code does not identify an Accepted or Deemed to Satisfy pathway for retaining walls or fences within the Zone, and therefore these elements are categorised as Code Assessed – Performance Assessed development pursuant to Sections 105 and 107 of the *Planning, Development and Infrastructure Act 2016 (The Act)*.

The detached dwelling does not meet the requirements to be considered Deemed to Satisfy under the Planning & Design Code for the Zone due to the height of the side boundary wall, the upper-level side boundary setbacks, and the height of the required earthworks. The dwelling is therefore categorised as Code Assessed – Performance Assessed development Sections 105 and 107 of the Act.

**PUBLIC NOTIFICATION**

- **REASON**  
A dwelling is listed as exempt in Table 5 for the Housing Diversity Neighbourhood Zone except where it involves a building wall on a side boundary that exceeds a height of 3m, measured from the top of the footings, and does not directly abut an existing wall or structure of greater height on the adjoining allotment.

The application underwent public notification from 27 August 2021 to 17 September 2021.

- **LIST OF REPRESENTATIONS**  
Three (3) representations were received by Council. Of these, two (2) oppose the proposal and one (1) is supportive of the proposal with some concerns. Two (2) of the representors indicated that they wished to be heard in support of their representation.

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The representators are detailed below:

Representor Name	Representor's Property Address	Wishes to be Heard (Y/N)	Nominated Speaker (if relevant)
Sui Hei Lui	80 The Strand, Mawson Lakes	Y	Sui Hei Lui
Louise Pascale	4/29 Norton Summit Road, Woodforde	Y	Louise Pascale
Ho Fan Lok	3 Newton Terrace, Enfield	N	N/A

The applicant or representative may be in attendance.

• **SUMMARY**

The representations received raised the following issues:

- Inconsistency with the Building Envelope Plans associated with the land division.
- Potential to overlook neighbouring dwellings from the balcony.
- The works proposed on the boundary will undermine works on adjacent sites.
- The demolition of existing retaining walls will cause damage to existing structures on adjacent sites.
- The proposal does not comply with Residential Code requirements.
- Potential risk to the health and retention of the adjacent Significant Tree.

The subject land relative to the representations received (where applicable) is provided in **Attachment 4**. A copy of the representations is provided in **Attachment 5** and the applicant's response is provided in **Attachment 6**.

**AGENCY REFERRALS**

No referrals to external agencies were required.

**INTERNAL REFERRALS**

- Council Engineering - Internal referral advice is provided in **Attachment 7**.

**PLANNING ASSESSMENT**

The application has been assessed against the relevant provisions of the Planning & Design Code, which are contained in **Attachment 8**.

**Quantitative Provisions**

The Zone, General Section – Design and General Section – Transport, Access and Parking seek the following quantitative outcomes:

Element	Designated Performance Feature (DPF)	Proposed
Front boundary setback	3m	4.14m
Side boundary setbacks	900mm, for walls up to 3m in height  900mm plus 1/3 of the wall height above 3m (the calculation results in a requirement for a 2.1m setback to the upper level from the eastern	940mm to the eastern side boundary (ground level)  1.9m to the eastern side boundary (upper level)

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	boundary and a 2.2m setback to the upper level from the western boundary)	1.1m to the western side boundary (ground level)  2.1m to the western side boundary (upper level)
Rear boundary setback	3m for the first building level  5m for the second building level	9.23m (ground level)  11.1m (upper level)
Boundary walls	3m in height, maximum  11.5m in length, maximum  Does not exceed 45% of the length of the boundary (in conjunction with any other boundary walls on the site)	3.85m height  6.59m length  40% the length of the boundary
Building height (metres)	9m	8.14m
Building height (levels)	2 levels	2 levels
Private open space	60 square metres located behind the building line  A minimum directly accessible from a living room of 16 square metres, with a minimum dimension of 3m.	116 square metres, located behind the building line and all accessible from a living room  9.2m minimum dimension
Car parking spaces	2 spaces per dwelling, 1 of which is to be covered	4 spaces, 2 covered and 2 uncovered

The proposed dwelling largely meets all quantitative provisions with the exception of the height of the boundary wall and the setbacks to the side boundaries from the upper level. These elements are assessed in further detail below.

**Land Use**

The Desired Outcome (DO1) for the Zone seeks medium density housing that supports a range of needs and lifestyles, located within easy reach of a diversity of services and facilities.

<b>Relevant Performance Outcomes/ Designated Performance Features</b>	
Housing Diversity Neighbourhood Zone	Land Use and Intensity DPF 1.1

The proposal is consistent with the envisaged forms of development within the Zone. It is a dwelling and associated residential structures on a site intended for residential development.

**Building Height**

<b>Relevant Performance Outcomes/ Designated Performance Features</b>	
Housing Diversity Neighbourhood Zone	Building Height DPF 3.1
Airport Building Heights (Regulated) Overlay	Built Form DPF 1.1

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The proposed dwelling satisfies Zone DPF 3.1 and Airport Building Heights (Regulated) Overlay DPF 1.1 and is no taller than 9 metres or two building levels.

**Setbacks, Design & Appearance**

The Desired Outcome (DO 1) for the Zone seeks medium density housing, and the Desired Outcome (DO 1) for Design in Urban Areas seeks that development respond to the context of the natural and built environment. Design in Urban Areas (DO 1) envisages development will positively contribute to the locality and will be sited and designed to manage urban heat impacts, environmental performance considerations, and have a positive impact on local amenity.

<b>Relevant Performance Outcomes/ Designated Performance Features</b>	
Housing Diversity Neighbourhood Zone	Primary Street Setback DPF 4.1 Boundary Walls PO 6.1 Side Boundary Setback DPF 7.1 & PO 7.1 Rear Boundary Setback DPF 8.1
Hazards (Flooding – Evidence Required) Overlay	Flood Resilience DPF 1.1
Stormwater Management Overlay	DPF 1.1
Urban Tree Canopy Overlay	DPF 1.1
Clearance from Overhead Powerlines	DPF 1.1
Design in Urban Areas	Earthworks and Sloping Land PO 8.1 Overlooking/Visual Privacy (low rise buildings) DPFs 10.1 & 10.2, PO 10.1 Front Elevations and Passive Surveillance DPFs 17.1 & 17.2 Outlook and Amenity DPF 18.1 External Appearance External Appearance DPFs 20.1 & 20.2 Private Open Space DPFs 21.1 & 21.2 Landscaping DPF 22.2
Interface Between Land Uses	Overshadowing POs 3.1 & 3.2

The proposed dwelling satisfies the front and rear boundary setbacks and the side boundary setbacks for the lower level, consistent with Zone DPFs 4.1, 7.1 and 8.1.

The upper level is set closer to the boundary than the calculation for Zone DPF 7.1 seeks for wall heights exceeding 3m. On the eastern side boundary the upper level is in shortfall of the desired setback by 200mm and on the western side boundary it is in shortfall by 100mm. The shortfall in each instance is considered minor and negligible in considering the overall impacts of the proposed dwelling. The building incorporates appropriate articulation and is consistent with the prevailing character of the area. Furthermore, on the eastern side boundary where the shortfall is largest the dwelling will be sited at a lower ground level than the adjacent dwelling, reducing the potential impact.

The side boundary wall which forms part of the garage meets the Zone DPF 6.1 for length and percentage of structure along the site boundary, but exceeds the maximum height sought. The proposed boundary wall is 800mm higher than envisaged, but is considered acceptable in the context of its siting. The neighbouring dwelling adjacent to the proposed boundary wall also has a blank wall which will run parallel to the proposed wall. While the neighbouring wall is not sited on the boundary, it is set close to the site’s side boundary and is not in an area that provides any valuable outlook for the adjacent dwelling. The positioning of the neighbouring dwelling close to Buchanan Drive will also mitigate any negative impacts from the road by largely screening the proposed boundary wall when

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travelling east into the 'Hamilton Hill' locality. It is therefore considered that the boundary wall is reasonable when considered in context and will not unduly impact on the neighbouring allotment.

The design of the dwelling incorporates a living room with an outlook to the street and an entry door clearly identifiable from the street, consistent with Design in Urban Areas DPFs 17.1, 17.2 & 18.1.

As sought by Design in Urban Areas DPF 20.1, the garaging is setback from the building line of the dwelling and 5.5m from the front boundary. The garage element has an opening that does not exceed 7m or 50% of the width of the site frontage. The proposal incorporates five of the design elements listed in Design in Urban Areas DPF 20.2 and has a building wall setback an additional 300mm from the building line, a porch extending from the building wall, a balcony projecting from the building wall, a portion of the upper level projecting forward of the lower level by at least 300mm and 3 different material finishes on the front elevation. This comprehensively addresses DPF 20.2 which requires a dwelling to have a minimum of two of these elements.

A rainwater tank connected to a minimum 80% of the dwelling roof area with a capacity of 1,000L is included in the proposal, in accordance with Stormwater Management Overlay DPF 1.1.

The proposal involves the planting of one small tree, in addition to ensuring the retention of the Significant Tree on the adjacent site, consistent with Urban Tree Canopy Overlay DPF 1.1. In accordance with Design in Urban Areas DPF 22.2 the proposal incorporates soft landscaping over a minimum of 20% of the site and landscaping in excess of 30% of land between the building line of the dwelling and the front property boundary. As noted in the quantitative table above, the private open space on the site well exceeds the minimums sought in Design in Urban Areas Table 1 – Private Open Space and is accessible from a habitable room.

### **Earthworks**

The dwelling has a finished floor level over 300mm above the highest point of the kerb on the street, consistent with Hazards (Flooding - Evidence Required) Overlay DPF 1.1.

The earthworks proposed in association with the dwelling exceed the maximum vertical height sought by Design in Urban Areas DPF 8.1. The earthworks also result in the height of the combined fencing and retaining, which at its maximum reaches 4.1m on the eastern elevation. The earthworks and resulting retaining walls are considered reasonable given the natural slope of the land and the medium density residential character of the surrounds. It is noted that in accordance with the associated arborist report, the applicant has shifted elements of the proposal requiring excavation and subsequent retaining away from the rear of the site, in order to protect the Tree Protection Zone (TPZ) of the Significant Tree on the adjacent site. This has necessitated higher retaining to the east and south-east of the dwelling to accommodate the dwelling and swimming pool in close proximity. It is further considered that significant retaining is common on allotments in the locality, to allow for the density of residential development envisaged, on allotments in this area at the base of the foothills. The retaining walls that exceed 1m in vertical height will retain excavated land, meaning that the visual and shadowing impacts of these walls will be internal to the subject land. The extent of earthworks is therefore considered reasonable when assessed against Design in Urban Areas PO 8.1. Furthermore, the visual and shadow impacts from the proposed retaining walls, and the combined fencing where applicable, is considered to address Interface Between Land Uses PO 3.1 and 3.2.

The applicant was not requested to provide overshadowing diagrams pursuant to Interface Between Land Uses PO 3.1 and PO 3.2, due to the context of the site and the only proximate neighbouring dwelling. The proposed dwelling is generally consistent with the maximum heights and setbacks to boundaries sought within the Zone and is therefore consistent with the heights and setbacks of other

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buildings in the locality. The adjacent dwelling to the west is considered the only dwelling proximate to warrant overshadowing concern. This dwelling has only one window on the elevation it shares with the subject land, and all other walls facing the proposed dwelling are blank. The existing dwelling to the east also extends further back into its allotment than the proposed dwelling, and due to the south-westerly orientation of its rear yard and the existing vegetation to the rear, aerial imagery shows the dwelling itself already shadows its own backyard in the afternoon. The majority of the windows on the adjacent dwelling are sited and oriented away from the proposed dwelling, toward the northern street frontage or toward the west which overlooks an open reserve. It is therefore considered unlikely that the proposed dwelling would have the capacity to unduly overshadow or exacerbate any existing overshadowing to the existing dwelling to a degree that would conflict with to Interface Between Land Uses POs 3.1 and 3.2.

The dwelling incorporates large windows on the western elevation to take advantage of views to the Adelaide CBD afforded by the terrain of the locality. The applicant has incorporated a window shroud around the living room window and louvres on the stairwell window to prevent overlooking into the neighbouring allotment but allow for north-westerly views across Buchanan Drive toward the city. The shrouding and louvres prevent views in a southerly direction toward the only window on the eastern elevation of the adjacent dwelling, and to a small courtyard beside this window. The applicant has included sightline diagrams demonstrating that the shrouding and louvres will prevent overlooking to this portion of the adjacent site. The screening on the western elevation is therefore considered to address the intent of Design in Urban Areas PO 10.1.

All upper level windows on the rear and eastern elevation are obscured to a height of 1.5m above finished floor level or have a sill height at 1.5m above finished floor level, consistent with Design in Urban Areas DPF 10.1. The upper level balcony faces Buchanan Road and therefore pursuant to Design in Urban Areas DPF 10.2 does not require fixed screening.

**Traffic Impact, Access and Parking**

<b>Relevant Performance Outcomes/ Designated Performance Features</b>	
Design in Urban Areas	Car Parking, Access and Manoeuvrability DPFs 23.2 & 23.5, PO 23.4
Transport, Access and Parking	Vehicle Parking Rates DPF 5.1

The dwelling provides parking spaces in excess of the minimums sought by Transport, Access and Parking – Table 1, as demonstrated in the quantitative table above. The uncovered spaces forward of the garage have a minimum width of 2.4m and a length of 5.5m, consistent with Design in Urban Areas DPF 23.2.

The driveway slope does not exceed 1-in-4 and the departure from being 90 degrees to Buchanan Road, as sought by Design in Urban Areas DPF 23.5 is considered minor. The crossover is sited sufficiently away from infrastructure, street furniture and service connections. There are no street trees along the site frontage. The proposed crossover location does extend across a partially-eroded yellow line which follows the corner of Buchanan Drive, however given the street furniture and infrastructure within the verge forward of the dwelling, this is the safest point of access and potentially the only point of access clear of impediments and the cornering of the road. The proposed access is therefore considered consistent with PO 23.4 as its siting provides the safest and most appropriate point of vehicular access.



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**Environmental Factors**

Waste Management & Water Supply

<b>Relevant Performance Outcomes/ Designated Performance Features</b>	
Infrastructure and Renewable Energy Facilities	DPFs 11.2 & 12.1

The subject site is connected to mains water and sewer, consistent with Infrastructure and Renewable Energy Facilities DPF 11.2 & 12.1.

Site Contamination

<b>Relevant Performance Outcomes/Designated Performance Features</b>	
Site Contamination	DPF 1.1

The proposal is not considered as a change to a more sensitive land use as the allotment was created for residential purposes and site contamination remediation was undertaken during the land division. The site contamination report from the land division stage requires that allotments not contain a basement, which this proposal does not. It is therefore considered that Site Contamination DPF 1.1 has been sufficiently met.

Trees

<b>Relevant Performance Outcomes/Designated Performance Features</b>	
Regulated and Significant Trees Overlay	PO 1.1 & 2.1

There is a Significant Tree sited on the adjacent land to the rear of the subject site. The applicant has consulted an arborist and provided an arborist report in association with the proposal, demonstrating that the proposal is supportable when considered against the Tree Protection Zone (TPZ) of the tree. The proposal will ensure the retention of the tree consistent with Regulated and Significant Trees Overlay PO 1.1. The siting of the retaining walls and the swimming pool have been determined to reduce impact to the tree root systems, in accordance with Regulated and Significant Trees Overlay PO 2.1.

**CONCLUSION**

The proposed dwelling, associated retaining walls and combined fencing and retaining is considered an appropriate development for the site. The proposal reflects the existing built form of the locality and the character of development sought and anticipated within the Housing Diversity Neighbourhood Zone. It is considered that where the dwelling is in shortfall of the Designated Performance Features, these shortfalls are minor and the proposal comfortably addresses the associated Performance Outcome.

It is therefore considered that the proposal is sufficiently in accord with the Planning and Design Code and that as such it warrants consent.

## RECOMMENDATION

It is recommended that the Council Assessment Panel resolve that:

- 1) Pursuant to Section 107(2)(c) of the Planning, Development and Infrastructure Act 2016, and having undertaken an assessment of the application against the Planning and Design Code, the application is NOT seriously at variance with the provisions of the Planning and Design Code; and
- 2) Development Application Number 21020989 by Rob Mitchell for Two storey detached dwelling, retaining walls and swimming pool at 8 Buchanan Drive Woodforde is granted Planning Consent subject to the following conditions:

## CONDITIONS

### Planning Consent

- 1) Development in Accordance with Approved Plans  
The development granted shall be undertaken and completed in accordance with the stamped plans and documentation, except where varied by conditions below (if any).
- 2) Stormwater Overflow Directed to Street  
All roof runoff generated by the development hereby approved shall be directed to a rainwater tank with overflow to the street within one month of the roof cladding being installed. All roof and hard paved water runoff shall be managed to prevent trespass onto adjoining properties.
- 3) Residential Lighting  
All external lighting shall be directed away from residential development and, shielded if necessary to prevent light spill causing nuisance to the occupiers of those residential properties.
- 4) External Finishes  
The external finishes to the building herein approved shall be as follows:  
  
WALLS: Painted Render finish in 'Colorbond Surfmist', Face Brick 'PGH Matterhorn', Stonework, or similar  
  
ROOF: Colorbond Custom Orb in 'Surfmist or similar
- 5) Treatment to Windows  
The upper level windows on the eastern and southern elevations as shown on Elevations DA07 prepared by The Design Place Adelaide, Revision A dated 23 July 2021, shall be glazed with fixed obscure glass to a minimum height of 1.5 metres above finished floor level, except where windows have a sill height of not less than 1.5m above finished floor level. The glazing in these windows shall be maintained in good condition at all times.

The upper level windows on the western elevation as shown on Elevations DA06 prepared by The Design Place Adelaide, Revision A dated 23 July 2021, shall be fixed with shrouding and louvres in accordance with the stamped approved plans and consistent with the sightlines demonstrated on the Overlooking Diagram DA10 prepared by The Design Place Adelaide, Revision A dated 23 July 2021, to the reasonable satisfaction of Council.

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6) Erosion Control – Straw Bales

Prior to construction of the approved development straw bales (or other soil erosion control methods as approved by Council) shall be placed and secured below areas of excavation and fill to prevent soil moving off the site during periods of rainfall.

7) Development in Accordance with Arborist Recommendations

The applicant shall undertake the development in accordance with the recommendations contained within the Arborist's Report prepared by Project Green Pty Ltd and submitted as part of this application.

8) Establishment of Tree Protection Zone

A tree protection zone (TPZ) shall be established around the portion of the TPZ for the Significant Tree that affects the subject site. The protection zone is to encompass the structural root zone of the tree and shall be determined by the project arborist. During construction each TPZ shall be fenced with 2.0 metre high chain mesh material with posts at 3 metre intervals and incorporate a clearly legible sign displaying the words "Tree Protection Zone". The following restrictions apply to the tree protection zone:

- a) No machine excavation is permitted.
- b) If any major roots (roots with a diameter greater than 25mm) are found outside the TPZ during construction the project arborist shall be contacted immediately to assess the situation.
- c) No material, equipment or temporary buildings shall be placed within any TPZ.
- d) No items shall be attached to each tree including temporary service wires, nails, screws or any other fixing device.
- e) Supplementary watering shall be provided to the trees through any dry periods during and after the construction process. Each tree is to be provided with a circular dripper system comprising 19mm polypipe, 4 litre per hour drippers spaced every 2 metres.
- f) Only landscaping, permeable paving or rubble paths shall occur in the TPZ, and only when all construction of the proposed dwelling has been completed. The area within each TPZ shall be retained at natural ground level and no additional soil or fill shall be placed within the zone
- g) Only hand digging is permitted at all times.
- h) Any services such as stormwater, sewer and electrical that enter the TPZ are to be excavated using non-destructive methods such as Hydro vac<sup>®</sup> or directional boring systems. This work is to be supervised by the project arborist. If any tree roots are discovered at this time, the project arborist is to assess and address accordingly.

9) Urban Tree Canopy Overlay – Tree Planting

Landscaping detailed on the Site Plan DA01 prepared by The Design Place Adelaide, Revision A dated 23 July 2021, shall be planted within 12 months of occupation of the dwelling or the in the planting season following occupation, whichever comes first. Any such vegetation shall be replaced in the next planting season if and when it dies or, becomes seriously diseased.

ADVISORY NOTES

- 1) This Planning Consent is valid for a period of twenty four (24) months commencing from the date of the decision.

Building Consent must be applied for prior to the expiry of the Planning Consent.

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- 2) No work can commence on this development unless a Development Approval has been obtained. If one or more consents have been granted on this Decision Notification Form, you must not start any site works or building work or change of use of the land until you have received notification that Development Approval has been granted.
- 3) Appeal rights – General rights of review and appeal exist in relation to any assessment, request, direction or act of a relevant authority in relation to the determination of this application, including conditions.

**OFFICER MAKING RECOMMENDATION**

**Name:** Ashleigh Gade

**Title:** Statutory Planner

# PROPOSED TWO STOREY RESIDENCE

Maneesh Mathur

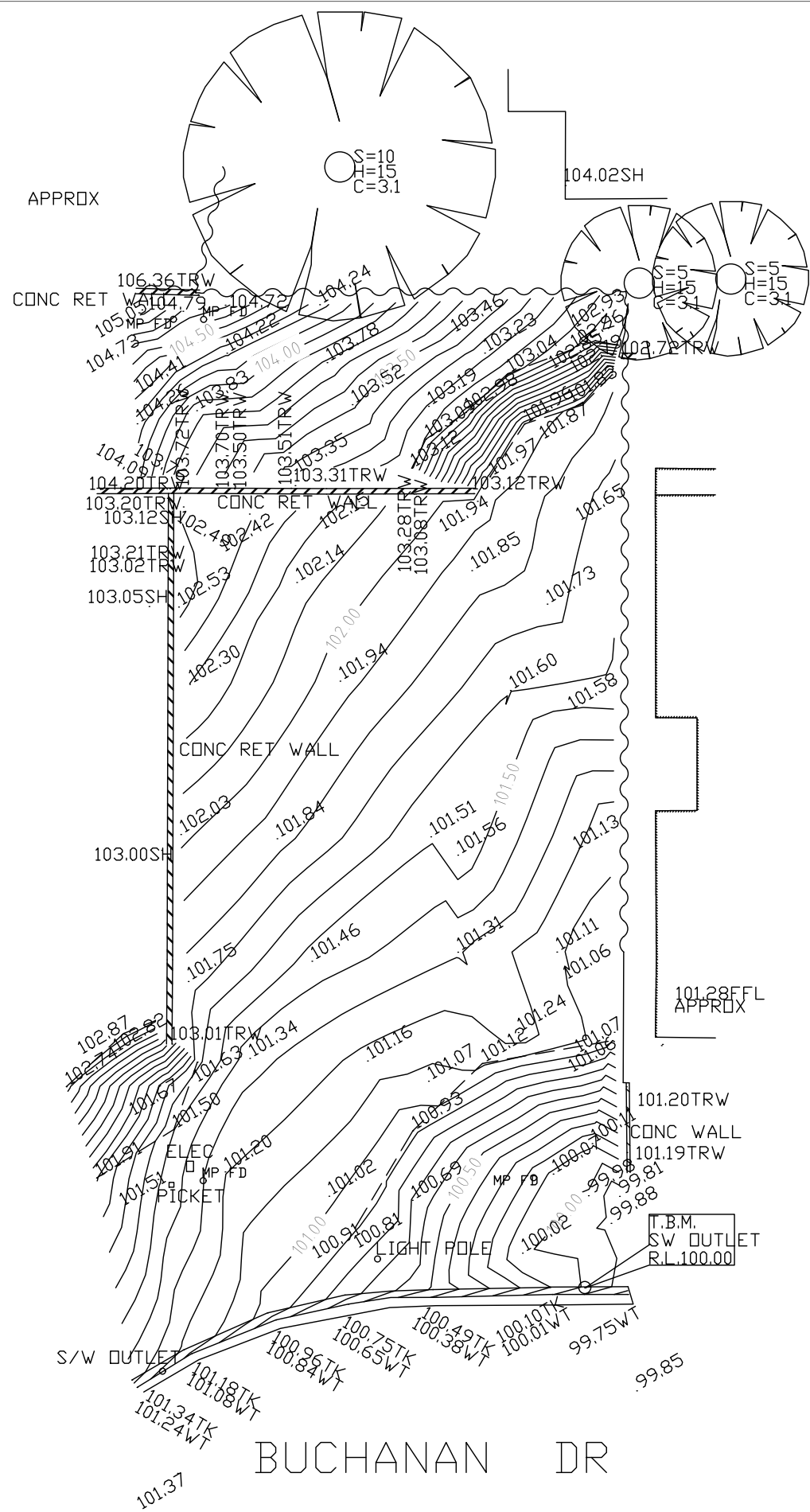
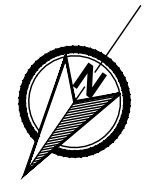
8 Buchanan Drive Woodforde



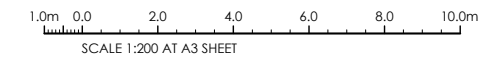
## DRAWING SCHEDULE

SHEET NO.	SHEET NAME	REV.	DATE	CURRENT REVISION
DA01	SITE PLAN	A	07-23-2021	PRELIMINARY DESIGN
DA02	GROUND FLOOR LAYOUT	A	07-23-2021	PRELIMINARY DESIGN
DA03	UPPER FLOOR LAYOUT	A	07-23-2021	PRELIMINARY DESIGN
DA05	ROOF PLAN	A	07-23-2021	PRELIMINARY DESIGN
DA06	ELEVATIONS	A	07-23-2021	PRELIMINARY DESIGN
DA07	ELEVATIONS	A	07-23-2021	PRELIMINARY DESIGN
DA08	FENCE ELEVATION	A	07-23-2021	PRELIMINARY DESIGN
DA09	FENCE ELEVATION	A	07-23-2021	PRELIMINARY DESIGN
DA10	OVERLOOKING DIAGRAM	A	07-23-2021	PRELIMINARY DESIGN
DA11	SIGHT LINE DIAGRAM	A	07-23-2021	PRELIMINARY DESIGN
DA100	SECTIONS			
DA101	SECTIONS			

# EXISTING CONTOUR PLAN



- NOTES:
1. ENGINEERING DRAWINGS SHALL NOT BE SCALED FOR DIMENSIONS
  2. U.N.O LEVELS SHOWN BASED ON ENGINEERING SURVEY TO BE CONFIRMED BY BUILDER. THE BOUNDARY DATA SHOWN IS FOR INDICATIVE PURPOSES ONLY
  3. U.N.O ALL LEVELS ARE IN METRES AND ALL DIMENSIONS ARE IN MILIMETRES
  4. CONTOUR SURVEY COMPLETED BY OTHERS



Level 1, Suite 103  
 95 Currie St  
 Adelaide SA 5000  
 T: 0406 304 865  
 E: j.aquilina@ajaxeng.com

**CLIENT**  
 NAME: WILLOW HOMES  
 EMAIL: info@willowhomes.com.au

**PROJECT:**  
 JOB NUMBER: AJX 2010.05  
 ADDRESS: 8 Buchanan Dr, Woodforde

STATUS	DATE	BY	ISSUE
FOR PLANNING APPROVAL	02.11.20	JA	A

# SITE DRAINAGE PLAN



## NOTES

1. SET-OUT OF BUILDING IS TO BE AS PER ARCHITECTURAL DRAWINGS.
2. PATH LEVEL AT FLOOD GULLY TO BE A MINIMUM OF 165mm BELOW FINISHED FLOOR LEVEL
3. 40mm OF LAGGING IS REQUIRED TO ALL STORMWATER PIPES THAT PASS THROUGH FOOTINGS.
4. FLEXIBLE CONNECTIONS FOR SEWER AND STORMWATER PIPES ARE REQUIRED FOR THIS SITE
5. SUITABLE VERTICAL EXPANSION JOINT IS TO BE PROVIDED TO DOWNPIPES AT PAVING LEVEL.
6. GRADE PAVING TO ALL SUMP LOCATIONS AT MIN 0.4%.
7. DURING CONSTRUCTION WATER RUN-OFF SHALL BE COLLECTED AND CHANNLED AWAY FROM THE BUILDING.
8. PROVIDE 300mm COVER TO ALL STORMWATER PIPES IF SUBJECT TO VEHICULAR LOADING, OTHERWISE PROVIDE 150mm COVER MIN.
9. ENGINEERING DRAWINGS SHALL NOT BE SCALED FOR DIMENSIONS
10. U.N.O LEVELS SHOWN BASED ON ENGINEERING SURVEY TO BE CONFIRMED BY BUILDER. THE BOUNDARY DATA SHOWN IS FOR INDICATIVE PURPOSES ONLY
11. DOWNPIPE SPREADERS FROM UPPER FLOOR MAY BE REQUIRED (IF TWO STORIES) NOT SHOWN ON PLAN
12. LOCATION AND EXTENTS OF RETAINING WALLS ARE INDICATIVE ONLY, THE OWNER/BUILDER IS TO ENSURE THAT ADJOINING STRUCTURES WILL NOT BE COMPROMISED BY THE CONSTRUCTION OR COMPROMISE THE CONSTRUCTION OF THE PROPOSED RETAINING WALL
13. REFER TO AJAX CIVIL DETAILS FOR REQUIREMENTS OF ALL TRENCH EXCAVATIONS NEXT TO FOOTINGS.
14. TO BE IN ACC WITH AS/NZS 3500.3.
15. ALL TREES WITHIN THE SITE BOUNDARIES ARE TO BE REMOVED U.N.O AND THE VOIDS BACKFILLED WITH COMPACTED SOIL OF THE SAME MOISTURE CONTENT AS THE REST OF THE SITE
16. GUTTERS BETWEEN DWELLINGS TO BE SIZED AS BOX GUTTERS

DENOTES 1000 LITRE RAIN WATER TANK PLUMBED TO WC, INSTALLED IN ACCORDANCE WITH BCA AND COUNCIL REQUIREMENTS

GS-  
TOP RL=101.35  
IL=101.15

RETAINING  
WALL 2350mm

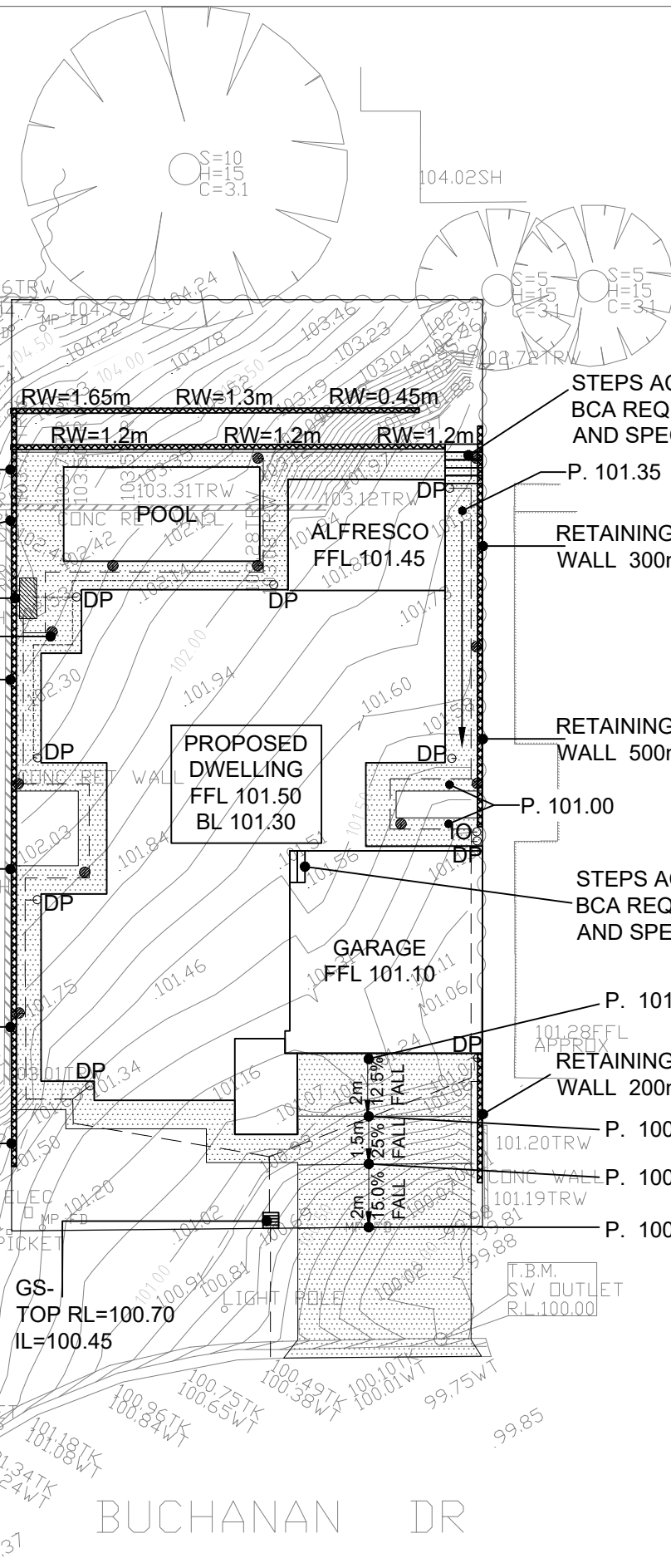
RETAINING  
WALL 1750mm

RETAINING  
WALL 1700mm

RETAINING  
WALL 1650mm

RETAINING  
WALL 1500mm

RETAINING  
WALL 200mm



STEPS ACCORDING TO  
BCA REQUIREMENTS  
AND SPECIFICATIONS

P. 101.35

RETAINING  
WALL 300mm

RETAINING  
WALL 500mm

P. 101.00

STEPS ACCORDING TO  
BCA REQUIREMENTS  
AND SPECIFICATIONS

P. 101.08

RETAINING  
WALL 200mm

P. 100.83

P. 100.46

P. 100.16

GS-  
TOP RL=100.70  
IL=100.45

PROPOSED CROSSOVERS TO BE IN ACCORDANCE WITH COUNCIL REQUIREMENTS AND SPECIFICATIONS

BUILDER IS TO CONFIRM THERE IS ADEQUATE FALL TO STORMWATER AND SEWER PRIOR TO COMMENCING EARTHWORKS

## LEGEND

- PAVING
- GRATED SUMP 300x300
- GRATED INLET PIT 90 DIA. MIN.
- DOWNPIPE 90 DIA.
- INSPECTION OPENING
- STORMWATER PIPE 90 DIA. UPVC MIN 1:200 FALL
- SEALED STORMWATER PIPE 90 DIA. UPVC

1.0m 0.0 2.0 4.0 6.0 8.0 10.0m  
SCALE 1:200 AT A3 SHEET



Level 1, Suite 103  
95 Currie St  
Adelaide SA 5000  
  
T: 0406 304 865  
E: j.aquilina@ajaxeng.com

CLIENT  
NAME: WILLOW HOMES  
EMAIL: info@willowhomes.com.au

PROJECT:  
JOB NUMBER: AJX 2010.05  
ADDRESS: 8 Buchanan Dr, Woodforde

STATUS	DATE	BY	ISSUE
FOR PLANNING APPROVAL	26.03.21	JA	C
FOR PLANNING APPROVAL	21.05.21	PH	D
FOR PLANNING APPROVAL	21.05.21	PH	E
FOR PLANNING APPROVAL	09.07.21	JA	F
FOR PLANNING APPROVAL	13.07.21	PH	G
FOR PLANNING APPROVAL	15.07.21	PH	H

## SITE NOTES

- CONFIRM ALL DIMENSIONS ON SITE TO EXISTING RESIDENCE PRIOR TO COMMENCEMENT OF ANY WORK.
- EXISTING PLUMBING AND ELECTRICAL WORKS TO BE REMOVED AND MADE GOOD AS NECESSARY.
- THIS PLAN IS TO BE READ IN CONJUNCTION WITH LANDSCAPING DETAIL PLANS FOR SPECIFIC PLANTING LOCATIONS.
- THE EXACT LOCATION OF UNDERGROUND AND ABOVEGROUND SERVICES SHALL BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN.
- THIS DRAWING SET TO BE READ IN CONJUNCTION WITH THE SPECIFICATION PROVIDED.
- BEWARE OF EXISTING SERVICES. CONFIRM LOCATIONS PRIOR TO EXCAVATION. TAKE EXTREME CARE.
- REFER ALL MAJOR WORKS TO RAMPS, WALKWAYS, RIVEWAYS ETC (INCLUDING CARPARK WORKS, LEVELS & DATUMS) REFER TO CIVIL ENGINEERS DOCUMENTATION.
- STORMWATER TO CONNECT TO THE EXISTING STORMWATER SYSTEM AS PER AS3500

## DEMOLITION NOTES

- CAP OFF EXISTING PLUMBING AND ELECTRICAL WORKS AS NECESSARY BY CERTIFIED TRADESPERSON.
- MODIFIED BRICKWORK TO BE TOOTHED INTO EXISTING WHERE APPLICABLE AND CAVITY TO REMAIN CONTINUOUS AT ALL TIMES.
- EXISTING MATERIALS TO BE REUSED TO OWNERS DETAIL.
- MATERIALS REMOVED FROM SITE MUST BE DISPOSED OF AS PER COUNCIL REGULATIONS.
- INVESTIGATION SHOULD BE UNDERTAKEN BEFORE ALL WORKS THAT REQUIRES EXCAVATION.

## SITE AREAS

ALFRESCO	17.50 m <sup>2</sup>
BALCONY	13.55 m <sup>2</sup>
GARAGE	39.81 m <sup>2</sup>
GROUND FLOOR LIVING	148.02 m <sup>2</sup>
P.O.S	116.06 m <sup>2</sup>
PORCH	6.07 m <sup>2</sup>
UPPER FLOOR LIVING	123.59 m <sup>2</sup>
TOTAL FLOOR AREA	464.60 m <sup>2</sup>

## REAL PROPERTY DESCRIPTION

SITE ADDRESS: 8 BUCHANAN DRIVE  
SUBURB: WOODFORDE SA  
LOCAL AUTHORITY: ADELAIDE HILLS COUNCIL

SITE AREA: 443.47 m<sup>2</sup>  
SITE COVERAGE:

MAIN SLAB LEVEL RL: 101.50  
PLATFORM RL: 101.30  
GARAGE FF RL: 101.10

TREE PROTECTED ZONE AS PER AS4970-2009. ONLY MINIMAL CHANGES IN SOIL LEVELS, PROVIDE FENCING AND GROUND PROTECTION PRIOR TO CONSTRUCTION

1.8m HIGH POOL SAFETY FENCE & GATE IN ACCORDANCE WITH AS 1926.1 - 2012

APPROXIMATE LOCATION FOR FUTURE POOL (BY OWNER)

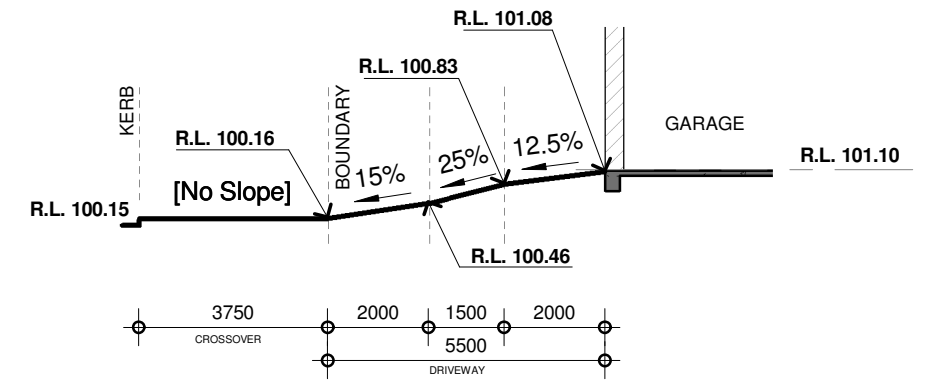
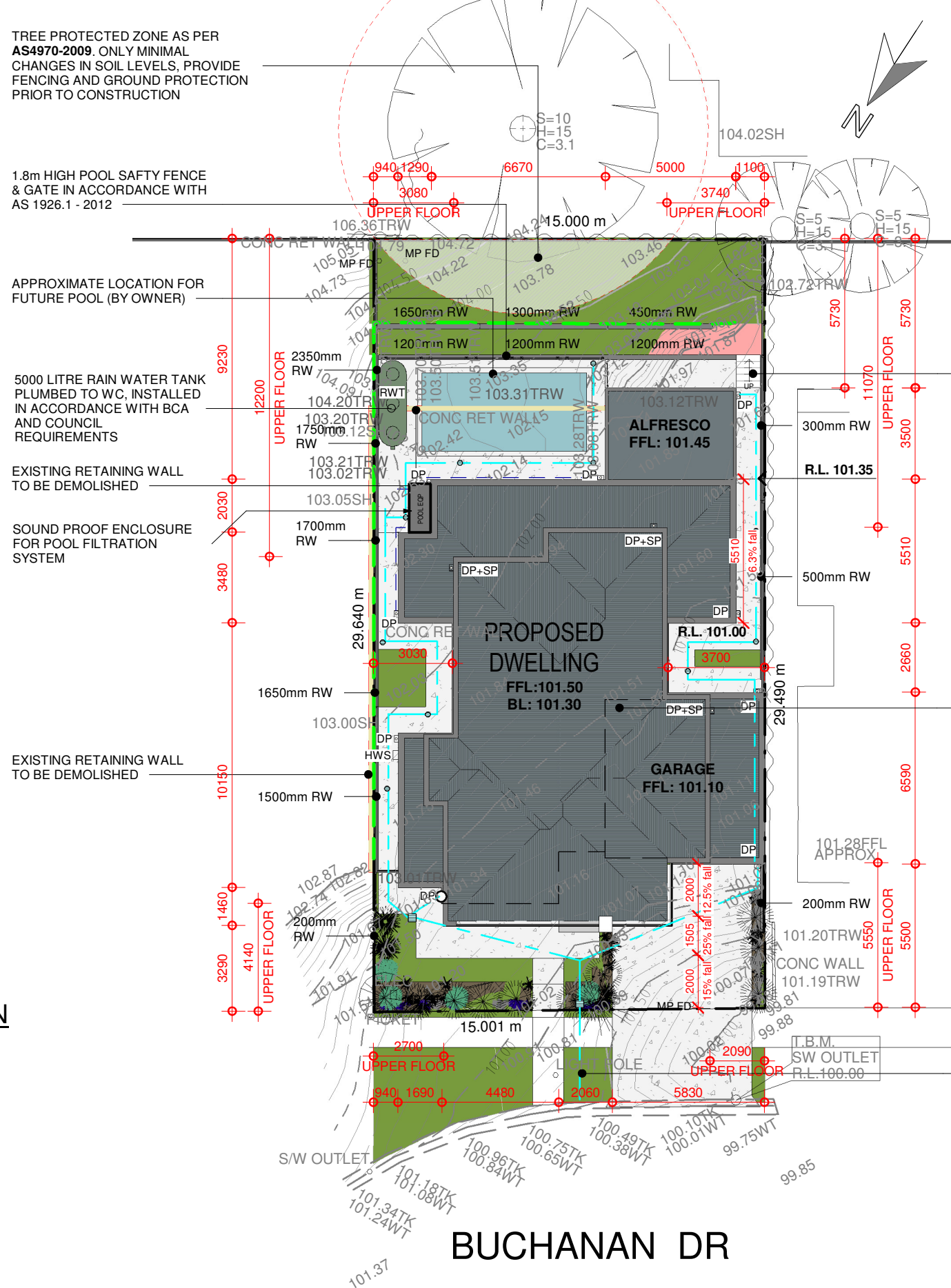
5000 LITRE RAIN WATER TANK PLUMBED TO WC, INSTALLED IN ACCORDANCE WITH BCA AND COUNCIL REQUIREMENTS

EXISTING RETAINING WALL TO BE DEMOLISHED

SOUND PROOF ENCLOSURE FOR POOL FILTRATION SYSTEM

EXISTING RETAINING WALL TO BE DEMOLISHED

BUCHANAN DR



## DRIVEWAY SLOPE

1:150

STEPS AS PER BCA REQUIREMENTS AND SPECIFICATIONS

STEPS AS PER BCA REQUIREMENTS AND SPECIFICATIONS

SEWER OUTLET TO BE CONNECTED TO NEAREST STORM WATER LINE

## LEGEND

- PROPERTY LINE
- STORM WATER LINE
- SEALED STORMWATER PIPE CONNECTED TO RWT
- CUT & FILL LINE
- 90 DIA. MIN. GRATED INLET PIT
- 300 x 300 GRATED SUMP
- DOWNPIPE WITH RAIN HEAD
- EXISTING RETAINING WALL TO BE DEMOLISHED
- PROPOSED NEW RETAINING WALL
- OUTDOOR CONCRETE PAVING
- IRRIGATED GARDEN BED
- MYOPORUM PARVIFOLIUM

## PLANT SCHEDULE

BOTANICAL NAME	COMMON NAME	HEIGHT
DARWINIA	SEASPRAY	1-50cm
CONVOLVULUS ERUBESCENS	KNEED WALLABY GRASS	0.4-0.7m
AUSTRODANTHONIA GENICULATA	AUSTRALIAN BINDWEED	0.1-.0.3M
HOHERIA LYALLII	MOUNTAIN RIBBONWOOD	4-6m
PYRUS CALLERYANA (ORNAMENTAL)	MANCHURIAN PEAR	8-10m
PYRUS USSURIENSIS (ORNAMENTAL)	CHANTICLEER PEAR	8-10m

## Revision Schedule

Revision Number	Revision Description	Revision Date
A	PRELIMINARY DESIGN	07-23-2021

Maneesh Mathur

PROPOSED TWO STOREY RESIDENCE

8 Buchanan Drive Woodforde

## SITE PLAN

Project Number:	TDP21 - 0602	Date:	06.22.2021
Drawn by:	GM	Scale:	As indicated
Checked by:	-	Sheet Number:	DA01



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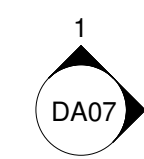
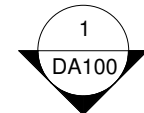
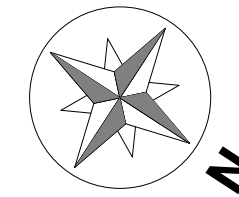


**KEY**

- 300W B'BAR 300W BREAKFAST BAR
- AAW ALUMINIUM FRAMED AWNING WINDOW
- AFW ALUMINIUM FRAMED FIXED GLASS WINDOW
- ASD ALUMINIUM FRAMED SLIDING GLASS DOOR
- CSD CAVITY SLIDING DOOR
- CT COOK TOP
- DP COLORBOND DOWNPIPES
- DW DISHWASHER
- HWS HOT WATER SYSTEM
- OHC OVERHEAD CUPBOARD
- PLD PANEL LIFT GARAGE DOOR
- RD ROLL UP DOOR
- REF'S FRIDGE SPACE
- RWT RAINWATER TANK
- SK SINK
- TUB DROP IN TUB
- WM WASHING MACHINE

**FLOOR AREAS**

GROUND FLOOR LIVING	148.02 m <sup>2</sup>
UPPER FLOOR LIVING	123.59 m <sup>2</sup>
GARAGE	39.81 m <sup>2</sup>
ALFRESCO	17.50 m <sup>2</sup>
BALCONY	13.55 m <sup>2</sup>
PORCH	6.07 m <sup>2</sup>
<b>TOTAL FLOOR AREA</b>	<b>348.54 m<sup>2</sup></b>



4000 LITRE RAIN WATER TANK PLUMBED TO WC, INSTALLED IN ACCORDANCE WITH BCA AND COUNCIL REQUIREMENTS

**GROUND FLOOR LEVEL**  
1 : 100

**Revision Schedule**

Revision Number	Revision Description	Revision Date
A	PRELIMINARY DESIGN	07-23-2021

**Maneesh Mathur**

PROPOSED TWO STOREY RESIDENCE  
8 Buchanan Drive Woodforde

**GROUND FLOOR LAYOUT**

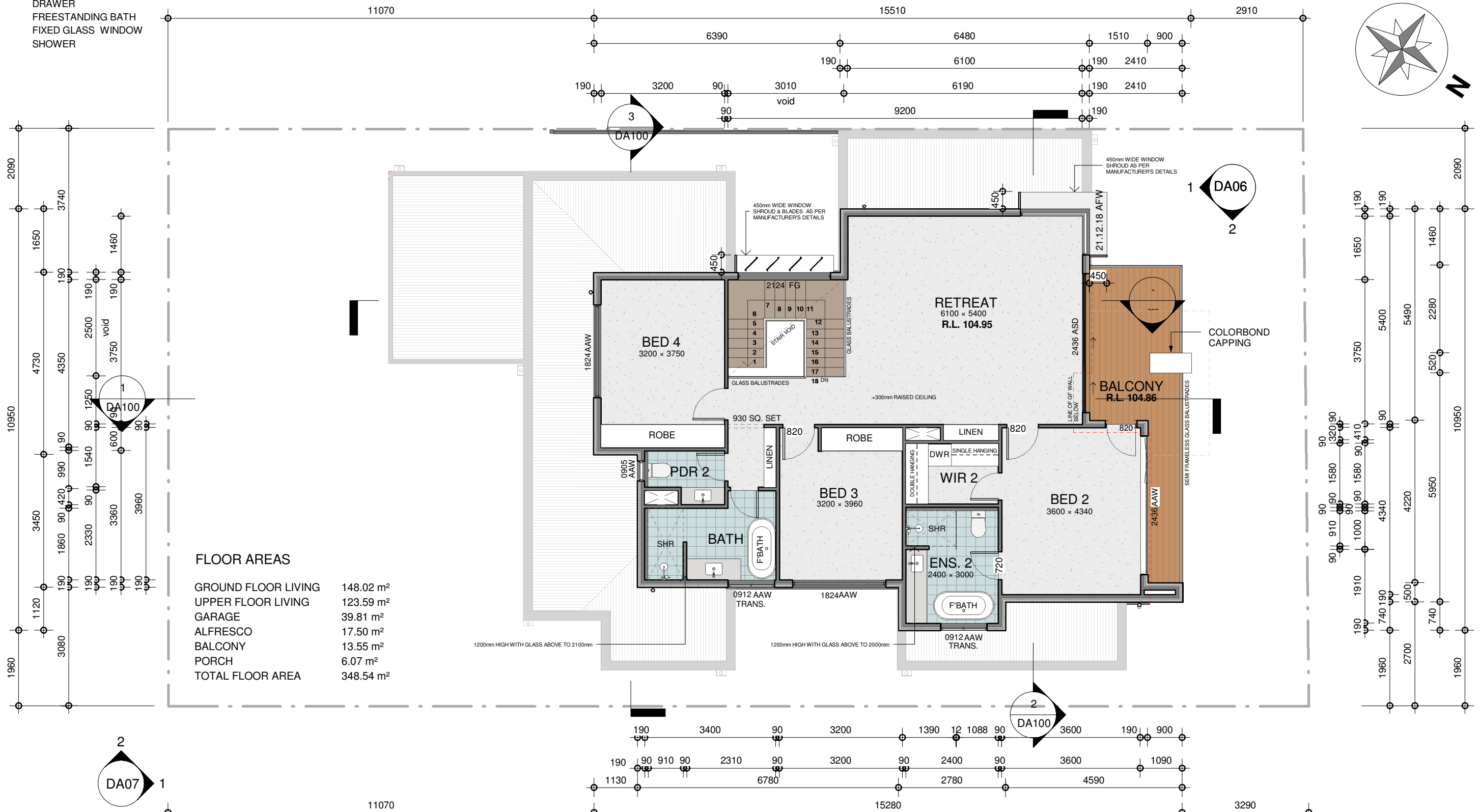
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Checked by:	--	Sheet Number:	DA02



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**KEY**

- AAW ALUMINIUM FRAMED AWNING WINDOW
- ASD ALUMINIUM FRAMED SLIDING GLASS DOOR
- DWR DRAWER
- FBATH FREESTANDING BATH
- FG FIXED GLASS WINDOW
- SHR SHOWER



**FLOOR AREAS**

GROUND FLOOR LIVING	148.02 m <sup>2</sup>
UPPER FLOOR LIVING	123.59 m <sup>2</sup>
GARAGE	39.81 m <sup>2</sup>
ALFRESCO	17.50 m <sup>2</sup>
BALCONY	13.55 m <sup>2</sup>
PORCH	6.07 m <sup>2</sup>
<b>TOTAL FLOOR AREA</b>	<b>348.54 m<sup>2</sup></b>

**UPPER FLOOR LEVEL**

1 : 100



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**Revision Schedule**

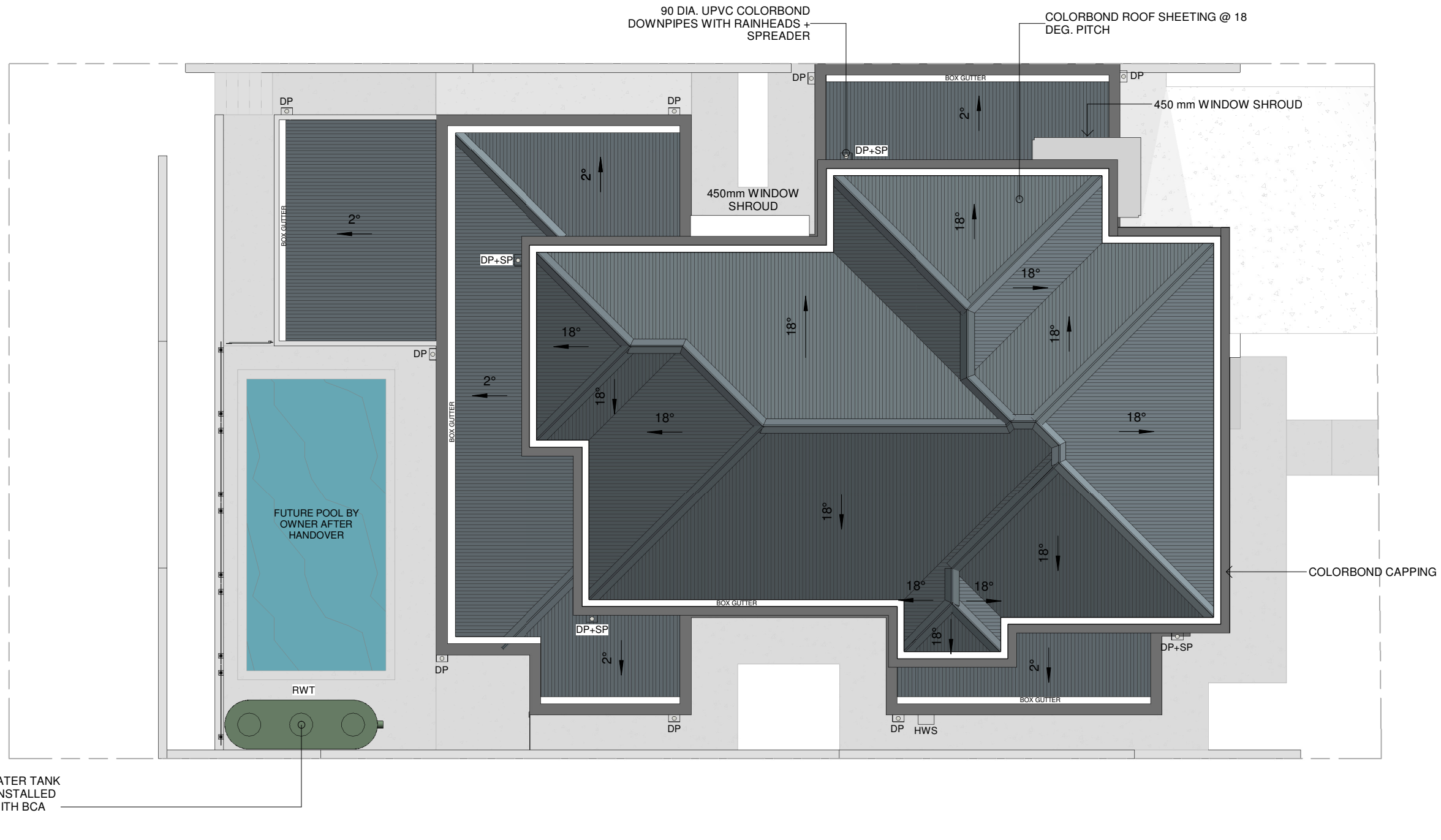
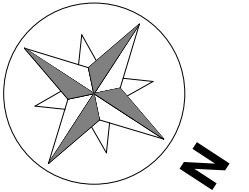
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A	PRELIMINARY DESIGN	07-23-2021

**Maneesh Mathur**

PROPOSED TWO STOREY RESIDENCE  
 8 Buchanan Drive Woodforde

**UPPER FLOOR LAYOUT**

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Drawn by:	GM	Scale:	1 : 100
Checked by:	Checker	Sheet Number:	DA03



**ROOF PLAN**  
1 : 100



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PROPOSED TWO STOREY RESIDENCE  
8 Buchanan Drive Woodforde

**ROOF PLAN**

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Drawn by:	GM	Scale:	Sheet Number:
Checked by:	Checker	1 : 100	DA05

**NOTES:**

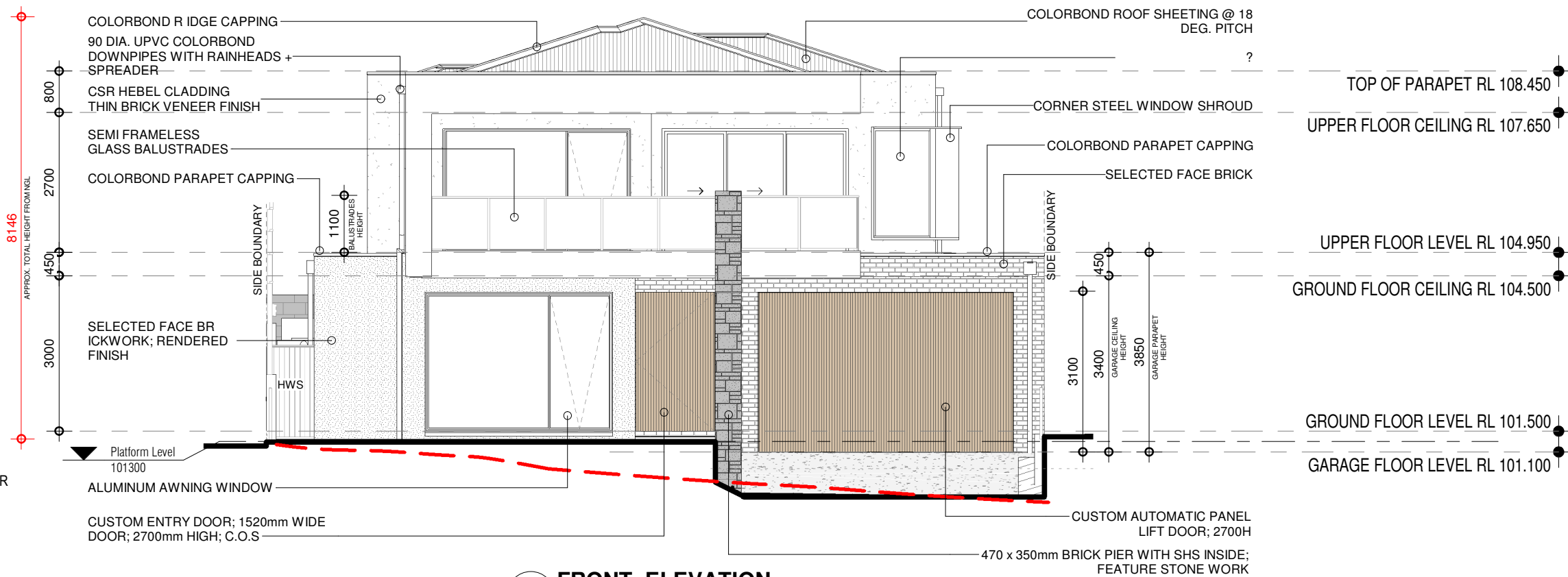
1. ALL WINDOWS ABOVE 1500mm HAVE RESTRICTED OPENING OF 125mm.

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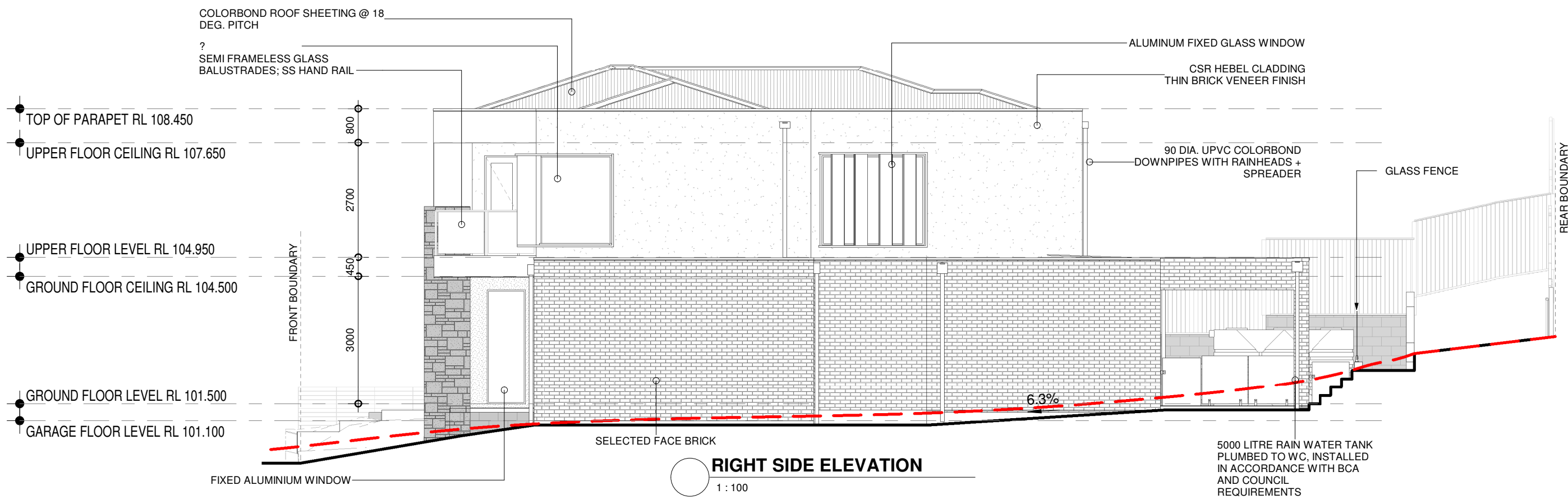
- EXISTING GROUND LEVEL
- PROPOSED GROUND LEVEL
- - - - BOUNDARY
- OBSCURE GLAZING

**EXTERNAL FINISHES AND COLOUR SCHEDULE**

EXTERNAL WALLS	APPLIED RENDER FINISH PAINTED COLORBOND "SURF MIST" OR SIMILAR FACE BRICK - PGH "MATTERHORN" OR SIMILAR
ROOF	COLORBOND CUSTOM ORB - SURF MIST OR SIMILAR
WALL CAPPINGS	COLORBOND "SURF MIST" OR SIMILAR
WINDOW FRAMES	ALUMINIUM BLACK
FRONT DOOR	SOLID TIMBER
GARAGE DOOR	ALUMINIUM PANEL LIFT DOOR - "SURF MIST" OR SIMILAR
DOWNPIPES	PAINTED TO MATCH WALLS



**FRONT ELEVATION**  
1 : 100



**RIGHT SIDE ELEVATION**  
1 : 100



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**Revision Schedule**

Revision Number	Revision Description	Revision Date
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**Maneesh Mathur**

PROPOSED TWO STOREY RESIDENCE  
8 Buchanan Drive Woodforde





**ELEVATIONS**

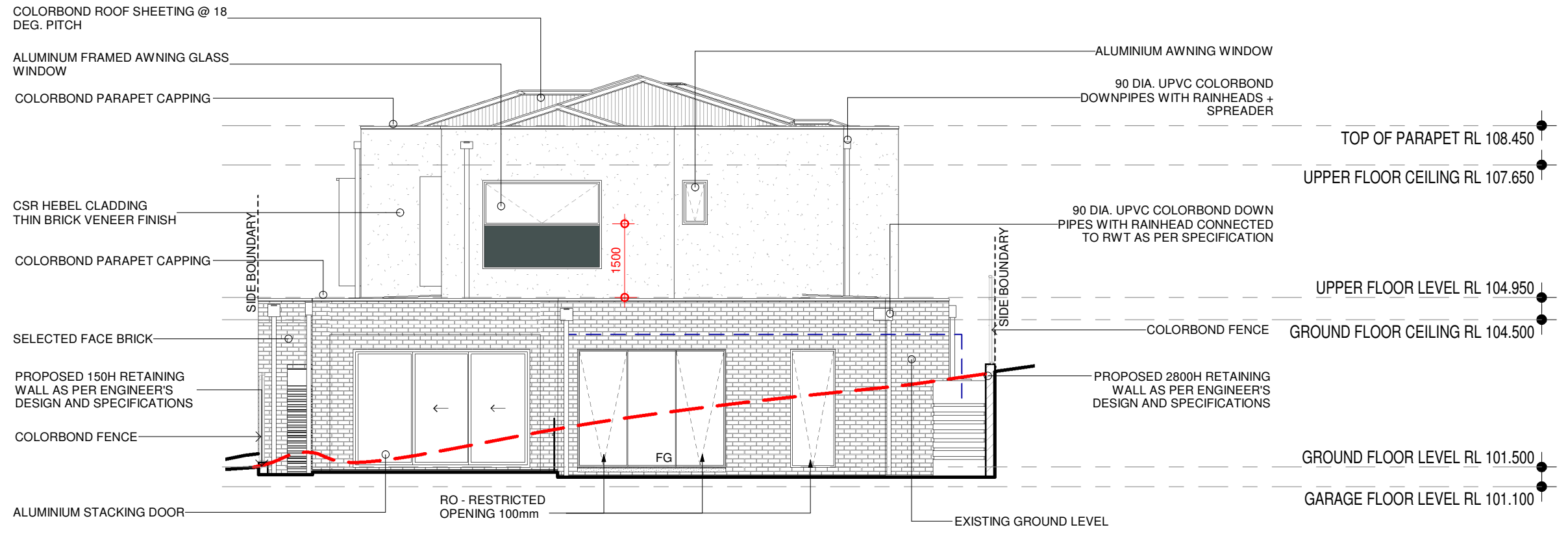
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Checked by: Checker	Sheet Number: DA06

**NOTES:**

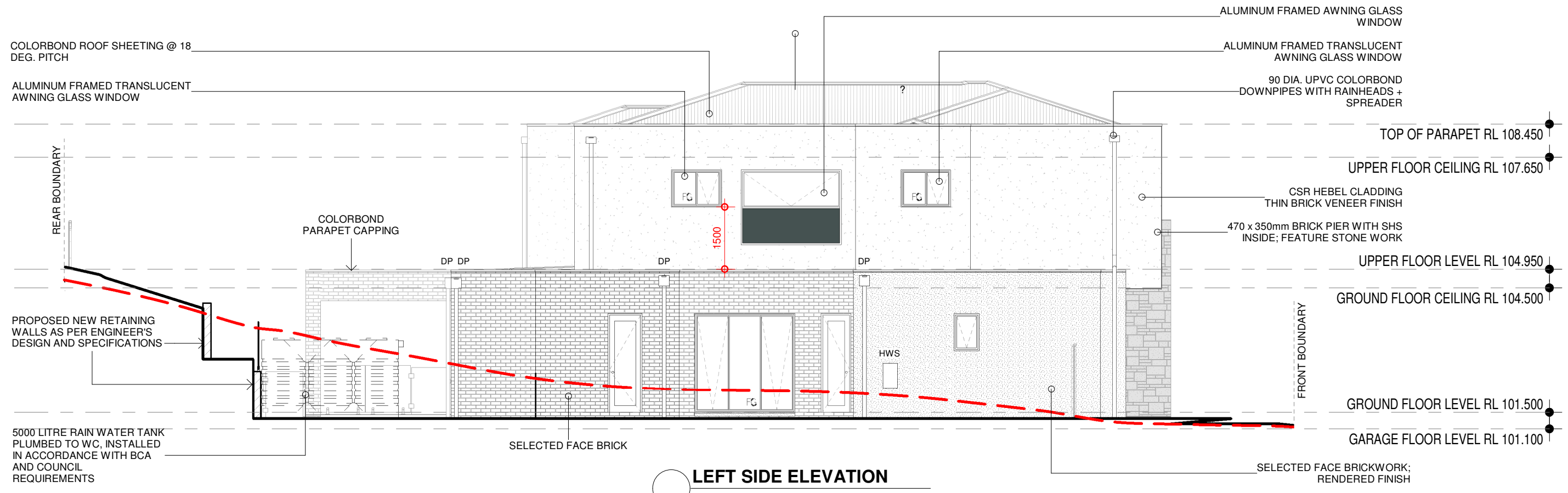
1. ALL WINDOWS ABOVE 1500mm HAVE RESTRICTED OPENING OF 125mm.

**LEGEND:**

-  EXISTING GROUND LEVEL
-  PROPOSED GROUND LEVEL
-  BOUNDARY
-  OBSCURE GLAZING



**REAR ELEVATION**  
1 : 100



**LEFT SIDE ELEVATION**  
1 : 100

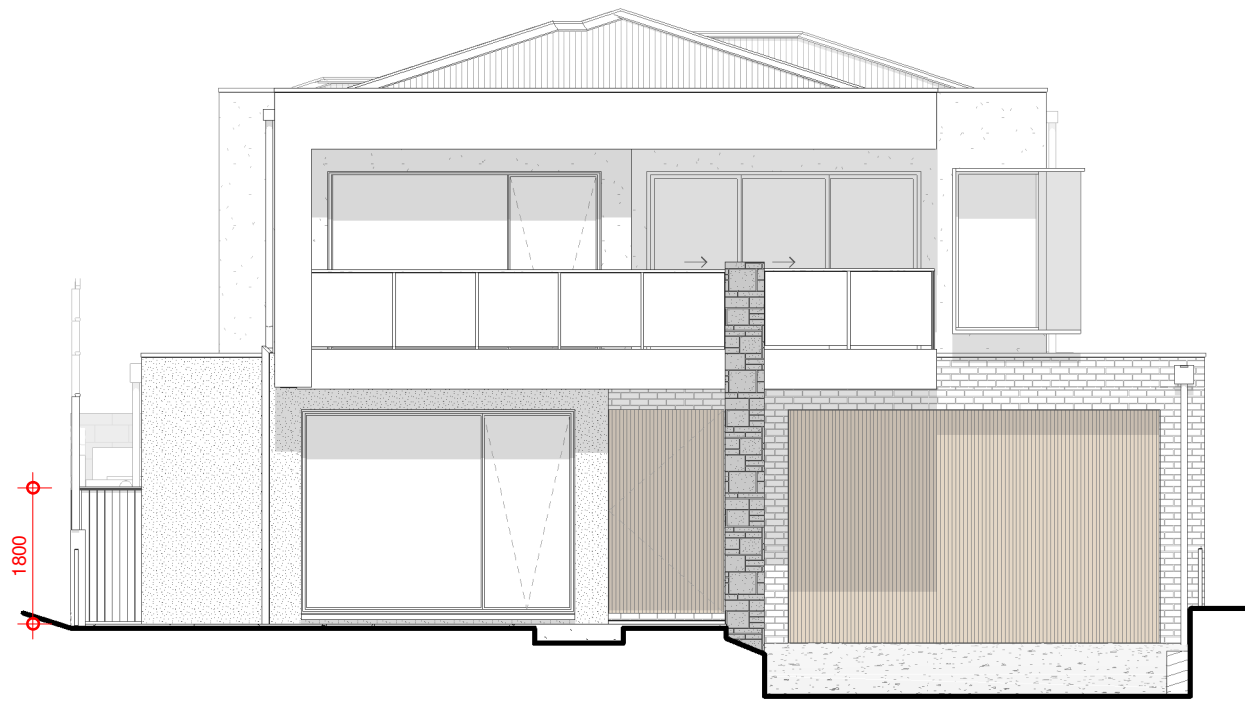


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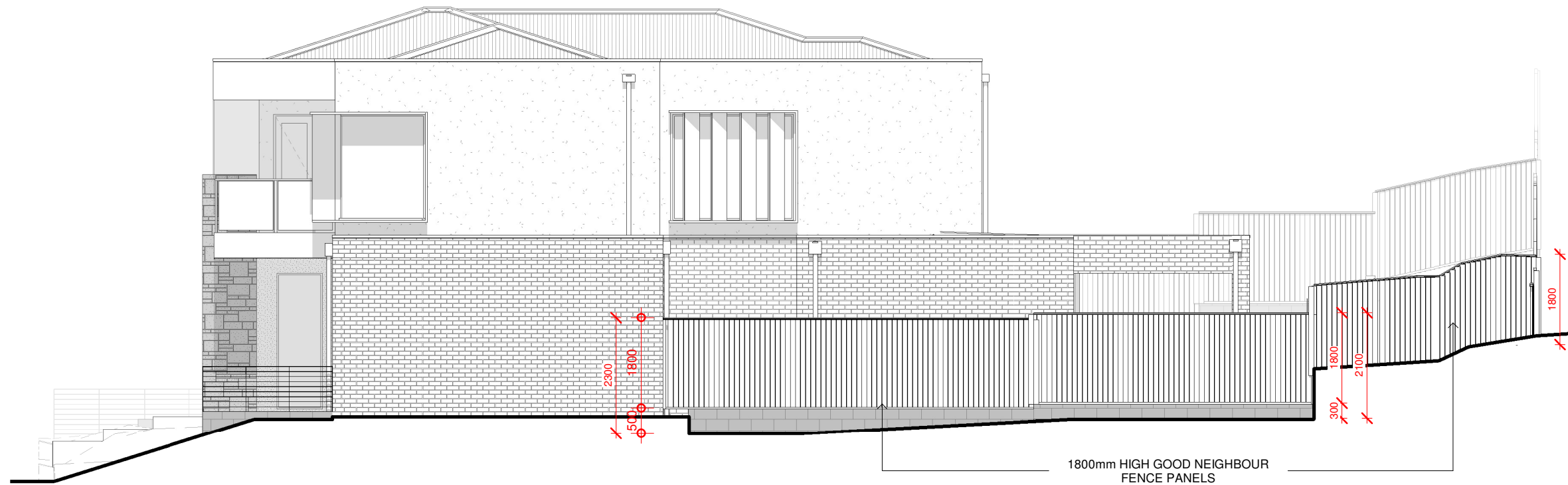
Revision Schedule		
Revision Number	Revision Description	Revision Date
A	PRELIMINARY DESIGN	07-23-2021

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8 Buchanan Drive Woodforde

ELEVATIONS			
Project Number:	TDP21 - 0602	Date:	06.22.2021
Drawn by:	GM	Scale:	Sheet Number:
Checked by:	Checker	1 : 100	DA07



**FRONT FENCE ELEVATION**  
1 : 100



**RIGHT SIDE FENCE ELEVATION**  
1 : 100



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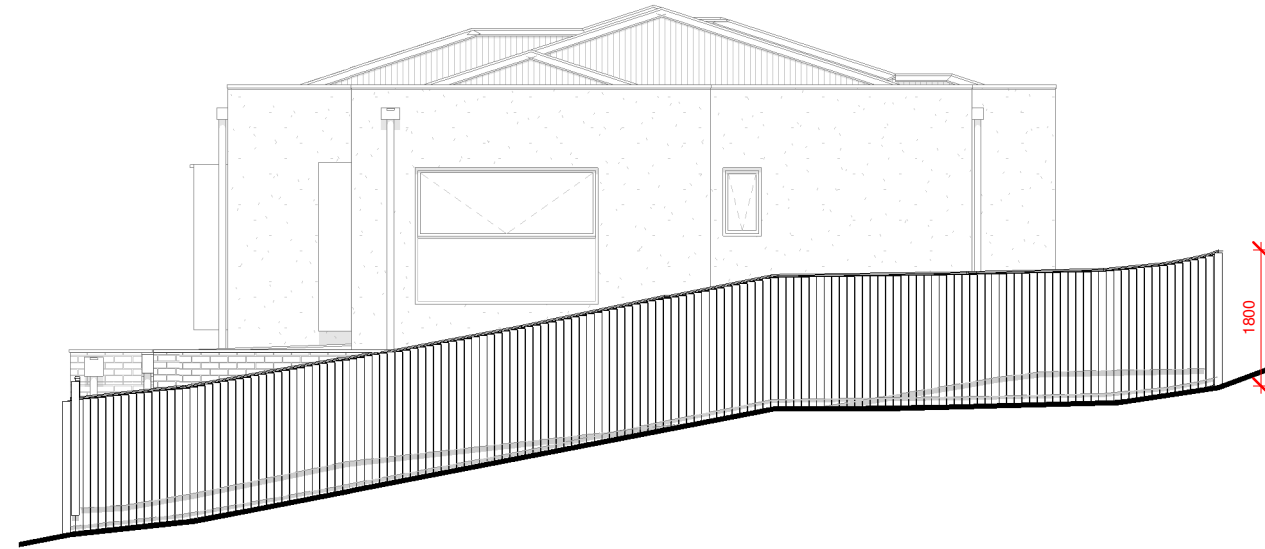
**Revision Schedule**

Revision Number	Revision Description	Revision Date
A	PRELIMINARY DESIGN	07-23-2021

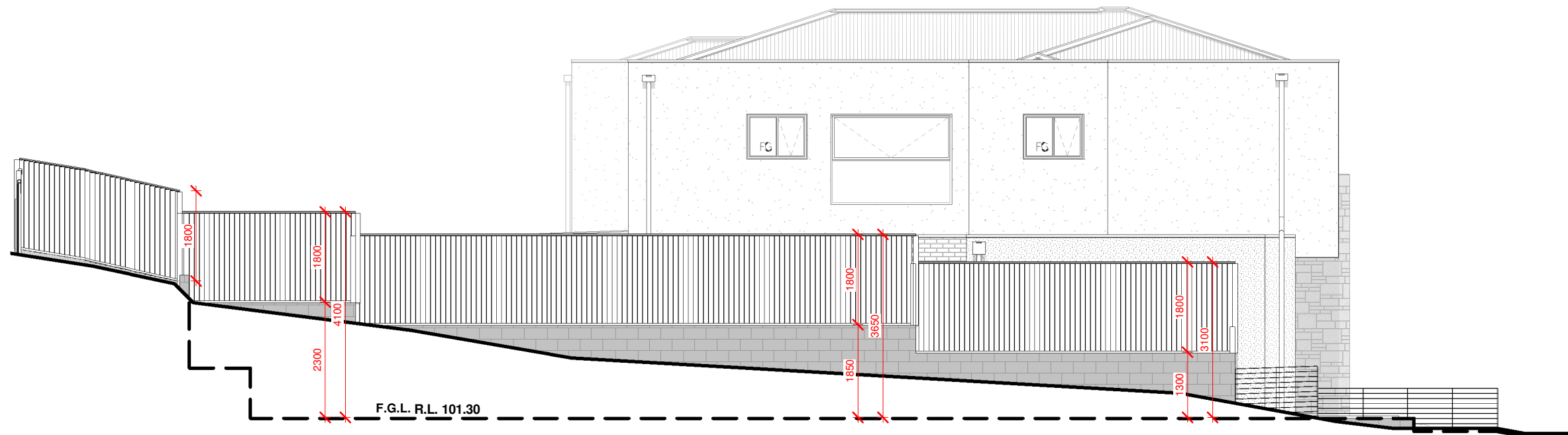
**Maneesh Mathur**  
PROPOSED TWO STOREY RESIDENCE  
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**FENCE ELEVATION**

Project Number:	TDP21 - 0602	Date:	06.22.2021
Drawn by:	Author	Scale:	Sheet Number:
Checked by:	Checker	1 : 100	DA08



○ **REAR FENCE ELEVATION**  
1 : 100



○ **LEFT SIDE FENCE ELEVATION**  
1 : 100



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**Revision Schedule**

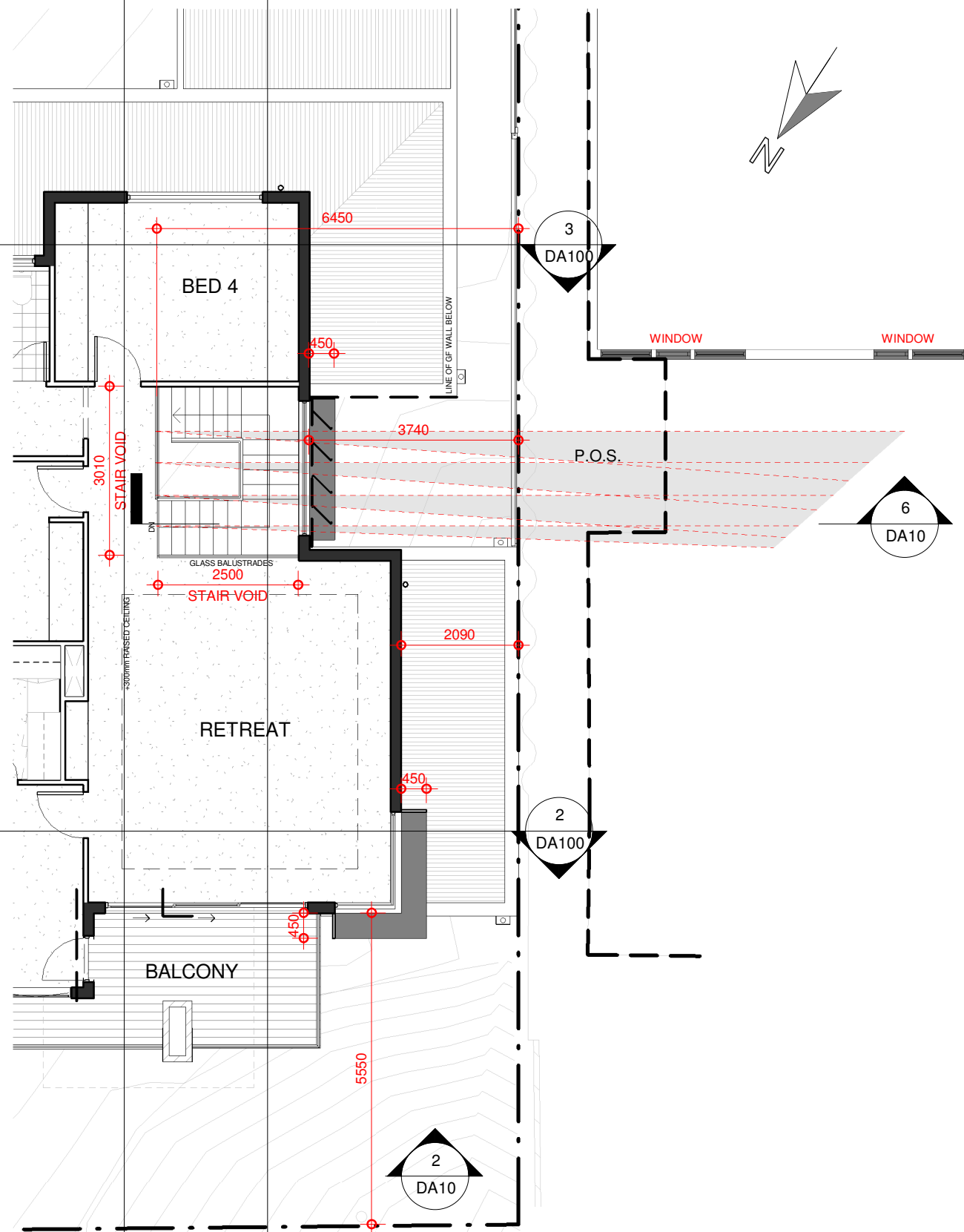
Revision Number	Revision Description	Revision Date
A	PRELIMINARY DESIGN	07-23-2021

**Maneesh Mathur**

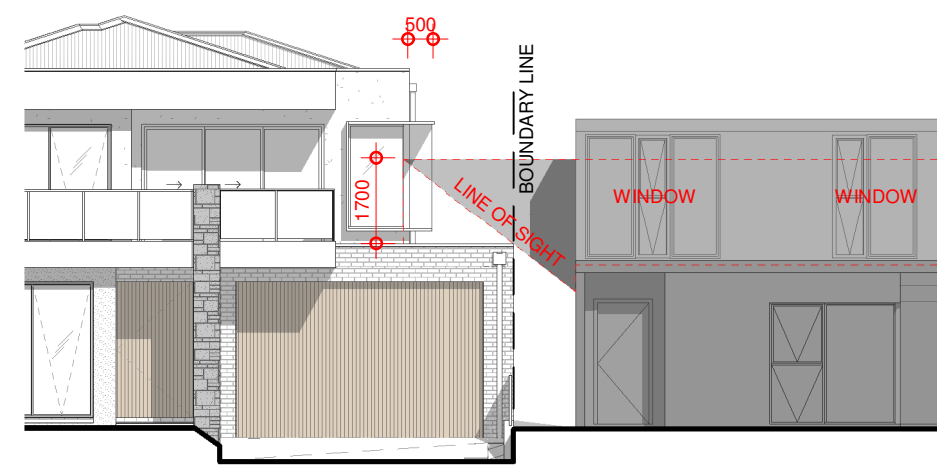
PROPOSED TWO STOREY RESIDENCE  
8 Buchanan Drive Woodforde

**FENCE ELEVATION**

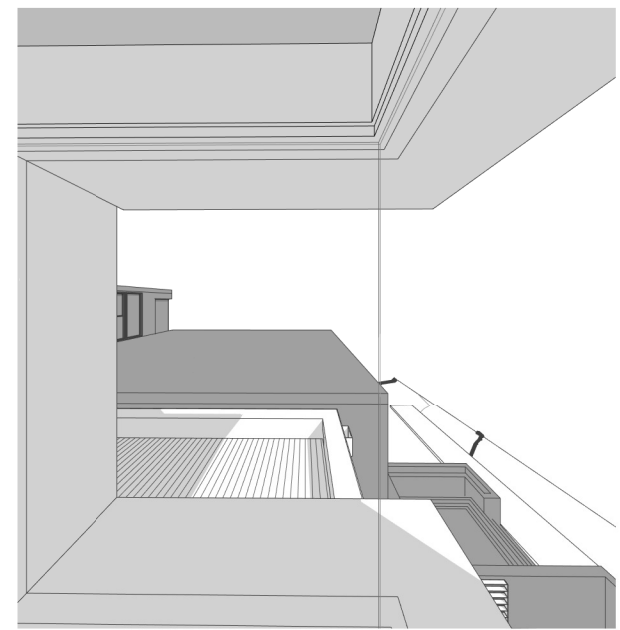
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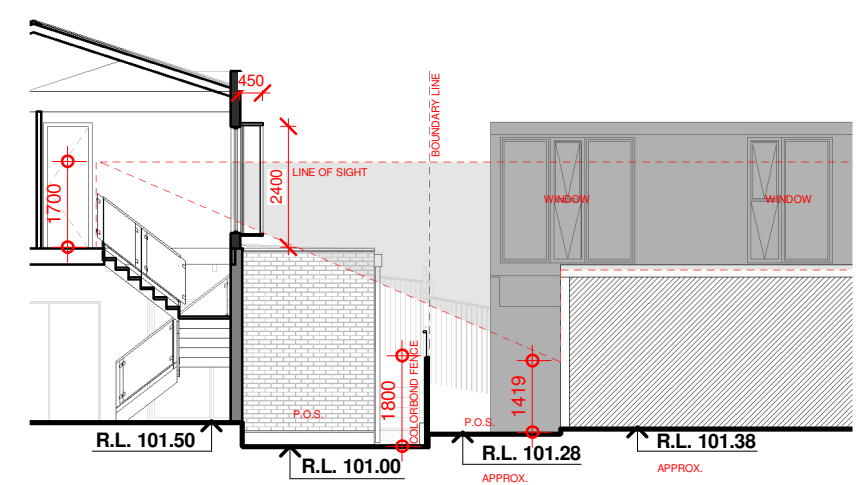
**OVERLOOKING PLAN**  
1 : 100



**FRONT ELEVATION OVERLOOKING**  
1 : 150



**CORNER WINDOW OVERLOOKING PERSPECTIVE**



**STAIRS OVERLOOKING SECTION**  
1 : 150



**STAIR WINDOW OVERLOOKING PERSPECTIVE**



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OVERLOOKING DIAGRAM			
Project Number:	TDP21 - 0602	Date:	06.22.2021
Drawn by:	GM	Scale:	Sheet Number:
Checked by:	Checker	As indicated	DA10





○ **VIEW FROM FOOTPATH**



○ **VIEW FROM STREET**



○ **SIGHT LINE DIAGRAM**  
1 : 100



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Revision Number	Revision Description	Revision Date
A	PRELIMINARY DESIGN	07-23-2021

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SIGHT LINE DIAGRAM			
Project Number:	TDP21 - 0602	Date:	06.22.2021
Drawn by:	Author	Scale:	Sheet Number:
Checked by:	Checker	1 : 100	DA11



# AJAX ENGINEERING

THEORETICAL KNOWLEDGE  
& PRACTICAL EXPERIENCE

**ABN: 59 618 739 245**  
Suite 103, 95 Currie St,  
Adelaide SA, 5000

E: [j.aquilina@ajaxeng.com](mailto:j.aquilina@ajaxeng.com)  
W: [www.ajaxeng.com](http://www.ajaxeng.com)

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## RETAINING WALL DESIGN

---

Project Number: AJX2010.05 (Issue B)

Date: 8 Buchanan Dr, Woodforde

Client: Willow Homes

Site Address: 8 Buchanan Dr, Woodforde

Project Description: Proposed dwelling

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### Contents

- **Notes/Drawings**      **Page 2-3**
- **Calculations**        **Page 4-10**

# SLEEPER RETAINING WALL NOTES

1. THESE CALCULATION ARE FOR THE SPECIFIC SITE ONLY AND ARE NOT TO BE USED ELSEWHERE UNLESS APPROVED BY THIS OFFICE
2. ADEQUATE DRAINAGE OF WATER FROM BEHIND WALL IS VERY IMPORTANT ENSURE NO PONDING OF SURFACE WATER ABOVE
3. AGRICULTURAL DRAIN SHALL BE LAID ON A LONGITUDINAL FALL AND DIRECT WATER TO DRAINAGE SUMP INDEPENDENT FROM MAIN STORMWATER DRAINS
4. CONCRETE SLEEPERS SHOULD BE SUPPLIED BY APPROVED MANUFACTURER WITH SPECIFIC CALCULATIONS
5. CONCRETE TO BE MIN N20 GRADE (80 - 100mm SLUMP) MECHANICALLY VIBRATED DURING PLACEMENT
6. WALL IS NOT TO BE BACKFILLED FOR A MIN. OF 7 DAYS AFTER POURING CONCRETE
7. UPRIGHTS TO BE POWER WIRE BRUSHED AND PAINTED WITH COAT OF ROZC PRIMER, AND TWO COATS OF INORGANIC XINC SILICATE PAINT MIN 130mm INTO CONCRETE. FOR FURTHER CORROSION PROTECTION THIS OFFICE RECOMMENDS HOT DIP GALVANISING.
8. CONCRETE TO BE POURED AGAINST GROUND, NOT FORMWORK
9. PIERS MUST BE INTO FIRM NATURAL GROUND
10. IT IS THE BUILDERS/CONTRATCORS RESPONSIBILITY TO ENSURE THAT NO NEIGHBOURING STRUCTURES WILL BE UNDERMINED WHEN CUTTING ON OR NEAR BOUNDARY



Level 1, Suite 103  
 95 Currie St  
 Adelaide SA 5000  
 T: 0406 304 865  
 E: j.aquilina@ajaxeng.com

CLIENT  
 NAME: WILLOW HOMES  
 EMAIL: info@willowhomes.com.au

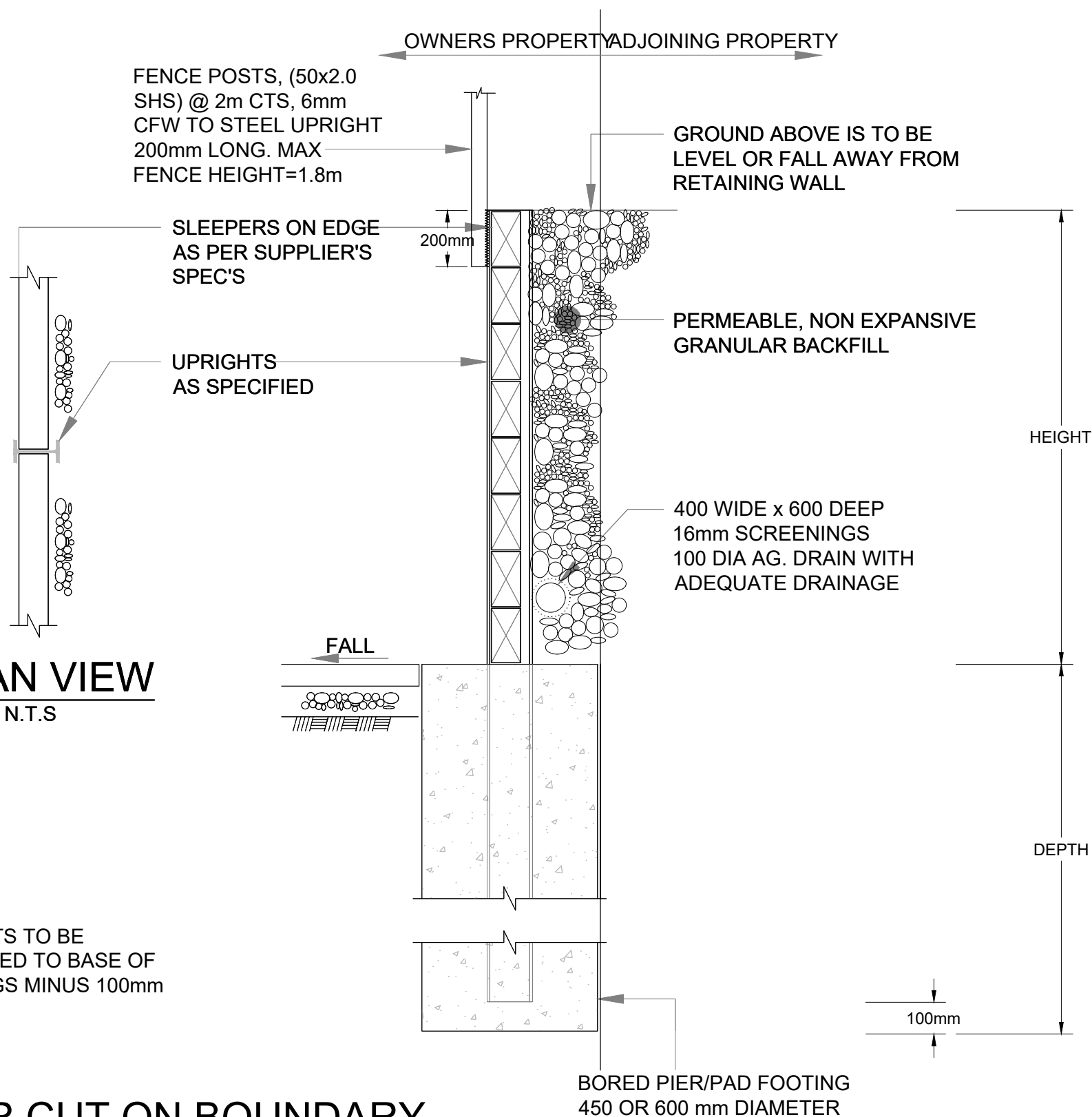
PROJECT:  
 JOB NUMBER: AJX 2010.05  
 ADDRESS: 8 Buchanan Dr, Woodforde

STATUS	DATE	BY	ISSUE
FOR BUILDING APPROVAL	10/03/21	JA	A

# RETAINING WALL SPECIFICATIONS

HEIGHT	DEPTH (450 Ø)	DEPTH (600 Ø)	UPRIGHT
200mm	500mm	400mm	125 TFB @ 2000mm CENTRES
400mm	650mm	550mm	125 TFB @ 2000mm CENTRES
600mm	800mm	650mm	125 TFB @ 2000mm CENTRES
800mm	950mm	800mm	150 UB 14 @ 2000mm CENTRES
1000mm	1150mm	950mm	150 UB 14 @ 2000mm CENTRES
1200mm	1350mm	1100mm	150 UB 14 @ 2000mm CENTRES
1400mm	1650mm	1300mm	150 UB 14 @ 2000mm CENTRES
1600mm	1900mm	1600mm	180 UB 16 @ 2000mm CENTRES
1800mm	2200mm	1800mm	180 UB 16 @ 2000mm CENTRES
2000mm	2500mm	2100mm	200 UB 18 @ 2000mm CENTRES
2200mm	2900mm	2400mm	200 UB 22 @ 2000mm CENTRES
2400mm	3300mm	2700mm	250 UB 25 @ 2000mm CENTRES
2600mm	3750mm	3000mm	250 UB 25 @ 2000mm CENTRES
2800mm	N/A	3350mm	250 UB 25 @ 2000mm CENTRES

WHERE RETAINING WALL HEIGHT EXCEEDS 1400mm RETAINING WALLS MUST BE CONSTRUCTED IN STAGES, ONLY DIG ALTERNATE WEDGES UNTIL CONCRETE FOR UPRIGHTS HAS HARDENED, CONTACT AJAX ENGINEERING FOR FURTHER DETAILS



**PLAN VIEW**  
SCALE N.T.S

UPRIGHTS TO BE EMBEDDED TO BASE OF FOOTINGS MINUS 100mm

## SLEEPER RETAINING WALL DETAIL FOR CUT ON BOUNDARY

SCALE N.T.S



Level 1, Suite 103  
95 Currie St  
Adelaide SA 5000  
T: 0406 304 865  
E: j.aquilina@ajaxeng.com

CLIENT  
NAME: WILLOW HOMES  
EMAIL: info@willowhomes.com.au

PROJECT:  
JOB NUMBER: AJX 2010.05  
ADDRESS: 8 Buchanan Dr, Woodforde

STATUS	DATE	BY	ISSUE
FOR BUILDING APPROVAL	10/03/21	JA	A
FOR BUILDING APPROVAL	21/05/21	PH	B

## Soil Properties

$\gamma_s = 18 \text{ KN/m}^3$   
 $\beta = 10^\circ$   
 $\Phi = 28^\circ$   
 $K_a = 0.33$   
 Span = 2

Design for Surcharge of: 5 Kpa

**Uprights @ 2m C/C**  
**Height of Wall= 0.2 m**

Force Due to Soil:  
 $P_1 = 0.5K_a\gamma_s H^2 * \text{Span}$   
 $P_1 = 0.2376 \text{ Kn}$

Force due to surcharge  
 $P_2 = K_a Q H * \text{Span}$   
 $P_2 = 0.66 \text{ Kn}$

Moment at base  $\times$  Safety factor of 1.5  
 $M = P_1 * H/3 + P_2 * H/2$   
 $M = 0.12276$

**Uprights @ 2m C/C**  
**Height of Wall 0.4 m**

Force Due to Soil:  
 $P_1 = 0.5K_a\gamma_s H^2 * \text{Span}$   
 $P_1 = 0.95 \text{ Kn}$

Force due to surcharge  
 $P_2 = K_a Q H * \text{Span}$   
 $P_2 = 1.32 \text{ Kn}$

Moment at base  $\times$  Safety factor of 1.5  
 $M = P_1 * H/3 + P_2 * H/2$   
 $M = 0.586$

**Uprights @ 2m C/C**  
**Height of Wall= 0.6 m**

Force Due to Soil:  
 $P_1 = 0.5K_a\gamma_s H^2 * \text{Span}$   
 $P_1 = 2.1384 \text{ Kn}$

Force due to surcharge  
 $P_2 = K_a Q H * \text{Span}$   
 $P_2 = 1.98 \text{ Kn}$

Moment at base  $\times$  Safety factor of 1.5  
 $M = P_1 * H/3 + P_2 * H/2$   
 $M = 1.53252$

**Uprights @ 2m C/C**  
**Height of Wal 0.8 m**

Force Due to Soil:  
 $P_1 = 0.5K_a\gamma_s H^2 * \text{Span}$   
 $P_1 = 3.802 \text{ Kn}$

Force due to surcharge  
 $P_2 = K_a Q H * \text{Span}$   
 $P_2 = 2.64 \text{ Kn}$

Moment at base  $\times$  Safety factor of 1.5  
 $M = P_1 * H/3 + P_2 * H/2$   
 $M = 3.105$

**Uprights @ 2m C/C**  
**Height of Wall= 1 m**  
 $P1=0.5KaYsH^2*Span$   
 $P1= 5.94 \text{ Kn}$   
  
Force due to surcharge  
 $P2=KaQH*Span$   
 $P2= 3.3 \text{ Kn}$   
  
Moment at base  $\times$  Safety factor of 1.5  
 $M=P1*H/3 + P2*H/2$   
 $M= 5.445$

**Uprights @ 2m C/C**  
**Height of Wall= 1.2 m**  
 $P1=0.5KaYsH^2*Span$   
 $P1= 8.5536 \text{ Kn}$   
  
Force due to surcharge  
 $P2=KaQH*Span$   
 $P2= 3.96 \text{ Kn}$   
  
Moment at base  $\times$  Safety factor of 1.5  
 $M=P1*H/3 + P2*H/2$   
 $M= 8.69616$

**Uprights @ 2m C/C**  
**Height of Wall= 1.4 m**  
  
Force Due to Soil:  
 $P1=0.5KaYsH^2*Span$   
 $P1= 11.6424 \text{ Kn}$   
  
Force due to surcharge  
 $P2=KaQH*Span$   
 $P2= 4.62 \text{ Kn}$   
  
Moment at base  $\times$  Safety factor of 1.5  
 $M=P1*H/3 + P2*H/2$   
 $M= 13.00068$

**Uprights @ 2m C/C**  
**Height of Wall= 1.6 m**  
  
Force Due to Soil:  
 $P1=0.5KaYsH^2*Span$   
 $P1= 15.2064 \text{ Kn}$   
  
Force due to surcharge  
 $P2=KaQH*Span$   
 $P2= 5.28 \text{ Kn}$   
  
Moment at base  $\times$  Safety factor of 1.5  
 $M=P1*H/3 + P2*H/2$   
 $M= 18.5011$

**Uprights @ 2m C/C**  
**Height of Wall= 1.8 m**  
  
Force Due to Soil:  
 $P1=0.5KaYsH^2*Span$   
 $P1= 19.2456 \text{ Kn}$   
  
Force due to surcharge  
 $P2=KaQH*Span$   
 $P2= 5.94 \text{ Kn}$   
  
Moment at base  $\times$  Safety factor of 1.5  
 $M=P1*H/3 + P2*H/2$   
 $M= 25.34004$

**Uprights @ 2m C/C**  
**Height of Wall= 2 m**  
  
Force Due to Soil:  
 $P1=0.5KaYsH^2*Span$   
 $P1= 23.76 \text{ Kn}$   
  
Force due to surcharge  
 $P2=KaQH*Span$   
 $P2= 6.6 \text{ Kn}$   
  
Moment at base  $\times$  Safety factor of 1.5  
 $M=P1*H/3 + P2*H/2$   
 $M= 33.66$

**Uprights @ 2m C/C**  
**Height of Wall= 2.2 m**  
 $P1=0.5KaYsH^2*Span$   
 $P1= 28.7496 \text{ Kn}$   
  
Force due to surcharge  
 $P2=KaQH*Span$   
 $P2= 7.26 \text{ Kn}$   
  
Moment at base  $\times$  Safety factor of 1.5  
 $M=P1*H/3 + P2*H/2$   
 $M= 43.6036$

**Uprights @ 2m C/C**  
**Height of Wall= 2.4 m**  
 $P1=0.5KaYsH^2*Span$   
 $P1= 34.2144 \text{ Kn}$   
  
Force due to surcharge  
 $P2=KaQH*Span$   
 $P2= 7.92 \text{ Kn}$   
  
Moment at base  $\times$  Safety factor of 1.5  
 $M=P1*H/3 + P2*H/2$   
 $M= 55.31328$

**Uprights @ 2m C/C**  
**Height of Wall= 2.6 m**  
  
Force Due to Soil:  
 $P1=0.5KaYsH^2*Span$   
 $P1= 40.1544 \text{ Kn}$   
  
Force due to surcharge  
 $P2=KaQH*Span$   
 $P2= 8.58 \text{ Kn}$   
  
Moment at base  $\times$  Safety factor of 1.5  
 $M=P1*H/3 + P2*H/2$   
 $M= 68.9317$

**Uprights @ 2m C/C**  
**Height of Wall= 2.8 m**  
  
Force Due to Soil:  
 $P1=0.5KaYsH^2*Span$   
 $P1= 46.5696 \text{ Kn}$   
  
Force due to surcharge  
 $P2=KaQH*Span$   
 $P2= 9.24 \text{ Kn}$   
  
Moment at base  $\times$  Safety factor of 1.5  
 $M=P1*H/3 + P2*H/2$   
 $M= 84.60144$

## Retaining Wall Supporting Fence Above

Fence Height 1.8 m Beam spacing 2 m

Terrain Category: 3  
Site Wind Class: N1  
Vrn: 45 m/s  
Cpn= 1.2 (AS1170.2 Table D2(a))  
Basic Pressure= 0.83701

Wind = 1.00442 kn/m<sup>2</sup>  
Wind acting on fence= 3.6159 kn

**0.2 m high retaining wall M= 4.1**

Use 125 TFB

ΦMs= 19.8 Use 125 TFB

**0.4 m high retaining wall M= 5.29**

Use 125 TFB

ΦMs= 19.8 Knm Use 125 TFB

**0.6 m high retaining wall M= 6.96**

Use 125 TFB

ΦMs= 19.8 Knm Use 125 TFB

**0.8 m high retaining wall M= 9.25**

Use 150UB14

ΦMs= 29.3 Knm Use 150UB14

**1 m high retaining wall M= 12.3**

Use 150UB14

ΦMs= 29.3 Use 150UB14

**1.2 m high retaining wall M= 16.3**

Use 150UB14

ΦMs= 29.3 Knm Use 150UB14

**1.4 m high retaining wall M= 21.3**

Use 150UB14.0

ΦMs= 29.3 Knm Use 150UB14.0



## Retaining Wall Supporting Fence Above- Continued

Fence Height	1.8 m	Beam spacing	2 m
Terrain Category:	3		
Site Wind Class:	N1		
Vrn:	45 m/s		
Cpn=	1.2	(AS1170.2 Table D2(a))	
Basic Pressure=	0.837014		

Wind = 1.004416 kn/m<sup>2</sup>  
 Wind acting on fence: 3.615898 kn

<b>1.6 m high retaining wall</b>	<b>M=</b>	<b>22.04043</b>
Use 180UB16.0		
ΦMs= 39.8	Use 180UB16.0	
<b>1.8 m high retaining wall</b>	<b>M=</b>	<b>35.10297</b>
Use 180UB16.0		
ΦMs= 51.8 Knm	Use 180UB16.0	
<b>2 m high retaining wall</b>	<b>M=</b>	<b>44.14611</b>
Use 200UB18.0		
ΦMs= 56.2 Knm	Use 200UB18.0	
<b>2.2 m high retaining wall</b>	<b>M=</b>	<b>54.81284</b>
Use 200UB22.0		
ΦMs= 65.3 Knm	Use 200UB22.0	
<b>2.4 m high retaining wall</b>	<b>M=</b>	<b>55.31328</b>
Use 250UB25.0		
ΦMs= 92	Use 250UB25.0	
<b>2.6 m high retaining wall</b>	<b>M=</b>	<b>68.93172</b>
Use 250UB25.0		
ΦMs= 92 Knm	Use 250UB25.0	
<b>2.8 m high retaining wall</b>	<b>M=</b>	<b>84.60144</b>
Use 250UB25.0		
ΦMs= 92 Knm	Use 250UB25.0	

<b>Footings</b>			
<b>Height of wall=</b>	<b>0.2 m</b>		
$P=P_1+P_2$			
P=	0.897 Kn		
$h=M/P$			
h=	0.136856 m		
<b>B1=</b>	<b>0.45 m</b>	<b>0.6m</b>	
S1	100 Kpa		
D1=	0.5 m	0.4	
D2=	1.1 m	1	

<b>Footings</b>			
<b>Height of wall=</b>	<b>0.4 m</b>		
$P=P_1+P_2$			
P=	2.27 Kn		
$h=M/P$			
h=	0.258185 m		
<b>B1=</b>	<b>0.45 m</b>	<b>0.6m</b>	
S1	100 Kpa		
D1=	0.65 m	0.55	
D2=	1.25 m	1.15	

<b>Footings</b>			
<b>Height of wall=</b>	<b>0.6 m</b>		
$P=P_1+P_2$			
P=	4.098 Kn		
$h=M/P$			
h=	0.373968 m		
<b>B1=</b>	<b>0.45 m</b>	<b>0.6m</b>	
S1	100 Kpa		
D1=	0.8 m	0.65	
D2=	1.4 m	1.25	

<b>Footings</b>			
<b>Height of wall=</b>	<b>0.8 m</b>		
$P=P_1+P_2$			
P=	6.44 Kn		
$h=M/P$			
h=	0.482087 m		
<b>B1=</b>	<b>0.45 m</b>	<b>0.6m</b>	
S1	100 Kpa		
D1=	0.95 m	0.8	
D2=	1.55 m	1.4	

<b>Footings</b>			
<b>Height of wall=</b>	<b>1 m</b>		
$P=P_1+P_2$			
P=	9.24 Kn		
$h=M/P$			
h=	0.589286 m		
<b>B1=</b>	<b>0.45 m</b>	<b>0.6m</b>	
S1	100 Kpa		
D1=	1.15 m	0.95	
D2=	1.75 m	1.55	

<b>Footings</b>			
<b>Height of wall=</b>	<b>1.2 m</b>		
$P=P_1+P_2$			
P=	12.5 Kn		
$h=M/P$			
h=	0.695693 m		
<b>B1=</b>	<b>0.45 m</b>	<b>0.6m</b>	
S1	100 Kpa		
D1=	1.35 m	1.1	
D2=	1.95 m	1.7	

B1=	(Width of footing)
S1	(Allowable Soil Stress)
As=	(Area of Steel required)
D1=	(Depth of Footing for cut on boundary)
D2=	(Depth of Footing for fill on boundary)

<b>Footings</b>			
<b>Height of wall=</b>	<b>1.4 m</b>		
P=P1+P2			
P=	16.26 Kn		
h=M/P			
h=	0.79955 m		
B1=	<b>0.45 m</b>	<b>0.6m</b>	
S1	100 Kpa		
D1=	1.65 m		1.3
D2=	2.25 m		1.9

<b>Footings</b>			
<b>Height of wall=</b>	<b>1.8 m</b>		
P=P1+P2			
P=	25.19 Kn		
h=M/P			
h=	1.005956 m		
B1=	<b>0.45 m</b>	<b>0.6m</b>	
S1	100 Kpa		
As=	0 mm <sup>2</sup>		
D1=	2.2 m		1.8
D2=	2.8 m		2.4

<b>Footings</b>			
<b>Height of wall=</b>	<b>2.2 m</b>		
P=P1+P2			
P=	36.01 Kn		
h=M/P			
h=	1.210874 m		
B1=	<b>0.45 m</b>	<b>0.6m</b>	
S1	100 Kpa		
D1=	2.9 m		2.4
D2=	3.5 m		3

<b>Footings</b>			
<b>Height of wall=</b>	<b>2.6 m</b>		
P=P1+P2			
P=	48.73 Kn		
h=M/P			
h=	1.414564 m		
B1=	<b>0.45 m</b>	<b>0.6m</b>	
S1	100 Kpa		
D1=	3.75 m		3
D2=	4.35 m		3.6

<b>Footings</b>			
<b>Height of wall=</b>	<b>1.6 m</b>		
P=P1+P2			
P=	20.49 Kn		
h=M/P			
h=	0.902934 m		
B1=	<b>0.45 m</b>	<b>0.6m</b>	
S1	100 Kpa		
D1=	1.9 m		1.6
D2=	2.5 m		2.2

<b>Footings</b>			
<b>Height of wall=</b>	<b>2 m</b>		
P=P1+P2			
P=	30.36 Kn		
h=M/P			
h=	1.108696 m		
B1=	<b>0.45 m</b>	<b>0.6m</b>	
S1	100 Kpa		
D1=	2.5 m		2.1
D2=	3.1 m		2.7

<b>Footings</b>			
<b>Height of wall=</b>	<b>2.4 m</b>		
P=P1+P2			
P=	40.14 Kn		
h=M/P			
h=	1.378009 m		
B1=	<b>0.45 m</b>	<b>0.6m</b>	
S1	100 Kpa		
D1=	3.3 m		2.7
D2=	3.9 m		3.3

<b>Footings</b>			
<b>Height of wall=</b>	<b>2.8 m</b>		
P=P1+P2			
P=	55.81 Kn		
h=M/P			
h=	1.515883 m		
B1=	<b>0.45 m</b>	<b>0.6m</b>	
S1	100 Kpa		
D1=	N/A m		3.35
D2=	N/A m		3.95

# project GREEN

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## Pre-development Arboricultural Impact Assessment *addendum*

9 April 2021

S29024A

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*Prepared for:*

**Willow Homes Pty. Ltd.**

Pooraka SA

*Site Details:*

**Development site**

8 Buchanan Drive

Woodforde SA

*Prepared by:*

**Project Green Pty Ltd**

25-27 Ceafield Road  
Para Hills West SA 5096

ABN: 78 088 402 706

ACN: 088 402 706

Tel: (08) 8283 1300

Fax: (08) 8258 1933

admin@projectgreen.net.au



**Photo showing development site and subject tree.**

Project Green prepared a Pre-development Arboricultural Impact Assessment in relation to an application to construct a new dwelling, swimming pool and retaining walls at 8 Buchanan Drive, Woodforde (dated 18/03/21). The assessment found that the proposed development had the potential to impact on the health of a tree legislated as 'significant' in an adjoining property.

The applicant subsequently revised the design to reduce impacts on the tree. This assessment is based on the revised *Site Drainage Plan* dated 26/03/21 (Issue C). The proposed development now includes the following.

- New swimming pool located approx. 9.3m from the tree.
  - Demolition of existing retaining wall located approx. 10.8m from the tree.
  - New retaining wall (RW1) located approx. 8.8m from the tree (height 1.2-16m).
  - Cut and paving around the pool and building (BL shown as 100.8).
  - Second (stepped) retaining wall (RW2) located approx. 7.6m from the tree (height 1.4-1.6m).
  - The area between this retaining wall and the site boundary is shown as open garden area.
- Finished levels not shown. Some fill may be proposed in already excavated areas(?)

Development within a tree's root zone (including excavation, filling, compaction and mechanical trenching) can impact on the long term health and stability of the tree.

Australian Standard 4970-2009 (Protection of trees on development sites) provides guidance on principles and best practices for protecting trees on land subject to development. AS4970-2009 allows for a level of encroachment into the TPZ. The following assessment was made of the encroachments by the existing and proposed development on the tree. The new retaining wall (RW1) and associated excavation (cut), swimming pool and surrounding paving encroaches approx. 30m<sup>2</sup> (6.7 %) into the TPZ.

- Including the second retaining wall (RW2) and associated excavation (cut) the total encroachment is approx. 44m<sup>2</sup> (10%). This constitutes a (marginal) minor encroachment under AS4970 (less than 10% of TPZ and not within the SRZ).
- An area of approx. 52 m<sup>2</sup> between the upper retaining wall and the site boundary shown as open garden area, in which the tree's root system may be retained intact.

The modified development is considered acceptable provided that the tree's root system is protected within this open garden area. The following 'tree sensitive' construction methods should be adopted.

- Landscaping activities within the TPZ should aim to improve the growing environment for the tree and minimise impacts on the tree's root system.
- Changes in soil levels are to be minimised and existing soil levels retained.
- Installing fill over a tree's root zone can impact on tree health and longevity. Tree roots require oxygen for growth and are mainly found in the top 600mm of soil where conditions of soil structure, oxygenation, water and nutrients are most favourable for growth. Installation of fill can 'suffocate' tree roots by reducing the soil oxygen level. This effect is exacerbated where the fill comprises poor quality or small particulate material and is compacted to levels which severely limit root growth. Any fill should provide a favourable environment for root growth i.e.
  - Generally be limited to approx. 100mm depth.
  - Should comprise a soil with attributes of soil structure, oxygenation, water infiltration and nutrient availability favourable for root growth.
  - Should be protected from compaction.

- Mulched garden beds are the preferred method of landscaping within a TPZ utilising 75-100mm of coarse-structured, well-composted mulch installed within the garden area.
- Supplementary irrigation should be utilised if necessary to apply deep soaking during dry weather, as disturbing the surface layer can reduce the volume of white roots functioning to collect water.

The tree should also be protected at all stages of the development process as outlined in the attached **Appendix (Tree Protection Zone)**.

*Addendum* to PG report S29024 prepared by:

Dr. Martin Ely PhD

Registered Landscape Architect

Dip.Hort (Arb)

## APPENDIX – Tree Protection Zone (TPZ)

### Definition of TPZ

Tree Protection Zone (TPZ) has been identified for the subject tree. The TPZ is a restricted area usually delineated by protective fencing, which is installed prior to site establishment and retained intact until completion of the works. The intent of the TPZ is to protect the tree and to ensure that its health and stability are maintained.

### Implementation

To protect trees during development *Australian Standard 4970-2009 Protection of Trees on Development Sites* (AS4970-2009) prescribes activities within the TPZ and Structural Root Zone (SRZ) as described in more detail below. Contractors and staff must be informed by the site supervisor to take precautions when working within the designated TPZs, to prevent tree damaging activity occurring. Any authorized works and activities within the TPZ must be supervised by the project Arborist.

The project specifications must acknowledge the need to protect the subject tree and the role of the project Arborist. Additional arboricultural assessment may be required if the design changes from that originally approved.

### Activities restricted within the TPZ

Activities generally excluded from the TPZ include but are not limited to:

- |   |   |
|---|---|
| a) machine excavation including trenching;                                | h) dumping of waste;  |
| b) excavation for silt fencing;   | i) wash down and cleaning of equipment;                               |
| c) cultivation;   | placement of fill;  |
| d) storage;   | j) lighting of fires;   |
| e) preparation of chemicals, including<br>preparation of cement products; | k) soil level changes;  |
| f) parking of vehicles and plant;   | l) temporary or permanent installation of<br>utilities and signs, and |
| g) refuelling;  | m) physical damage to the tree.                                       |

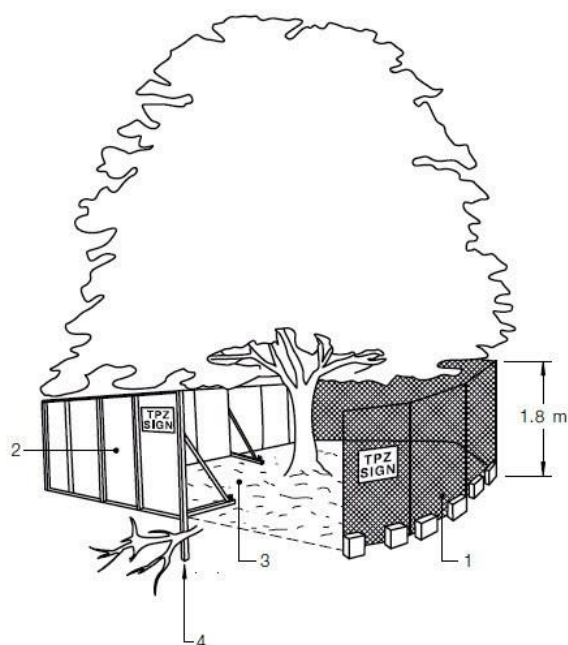


### Tree protection zone fencing

Fencing should be erected before any machinery or materials are brought onto the site and before the commencement of works including demolition. Once erected, protective fencing must not be removed or altered without approval by the project arborist. The TPZ should be secured to restrict access.

AS 4687-2007 (Temporary fencing and hoardings) specifies applicable fencing requirements.

- Shade cloth or similar should be attached to reduce the transport of dust, other particulate matter and liquids into the protected area.
- Fence posts and supports should have a diameter greater than 20 mm and be located clear of roots.
- Existing perimeter fencing and other structures may be suitable as part of the protective fencing.
- Figures 1 & 2 indicate an example of protective fencing.
- Signs identifying the TPZ should be placed around the edge of the TPZ and be visible from within the development site. The lettering on the sign should comply with AS 1319-1994 (Safety signs for the occupational environment). Figure 3 gives an example of TPZ signage.



#### LEGEND:

- 1 Chain wire mesh panels with shade cloth (if required) attached, held in place with concrete feet.
- 2 Alternative plywood or wooden paling fence panels. This fencing material also prevents building materials or soil entering the TPZ.
- 3 Mulch installation across surface of TPZ (at the discretion of the project arborist). No excavation, construction activity, grade changes, surface treatment or storage of materials of any kind is permitted within the TPZ.
- 4 Bracing is permissible within the TPZ. Installation of supports should avoid damaging roots.

**Figure 1: Example of protective fencing**



Figure 2: Typical TPZ fencing



Figure 3: Example of TPZ signage

### Other tree protection measures

When tree protection fencing cannot be installed or requires temporary removal, other tree protection measures should be used, including those listed below.

### Trunk and branch protection

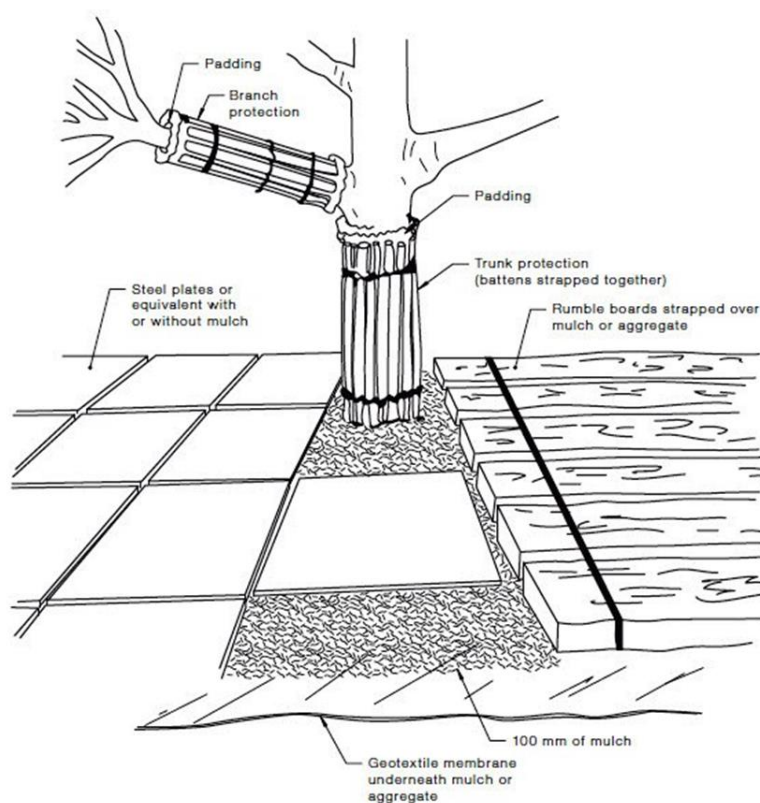
Where necessary, install protection to the trunk and branches of trees as shown on Figure 4.

The materials and positioning of protection are to be specified by the project arborist. A minimum height of 2 m is recommended.

Do not attach temporary power lines, stays, guys and the like to the tree. Do not drive nails into the trunks or branches.

### Ground protection

- If temporary access for machinery is required within the TPZ ground protection measures will be required. The purpose of ground protection is to prevent root damage and soil compaction within the TPZ. Measures may include a permeable membrane such as geotextile fabric beneath a layer of mulch or crushed rock below rumble boards as illustrated in Figure 4.
- These measures may be applied to root zones beyond the TPZ.



**Figure 4: Examples of trunk, branch and ground protection.**

### **Root protection during works within the TPZ**

Some approved works within the TPZ, such as regrading, installation of piers or landscaping may have the potential to damage roots.

If the grade is to be raised the material should be coarser or more porous than the underlying material. Depth and compaction should be minimised.

Manual excavation should be carried out under the supervision of the project arborist to identify roots critical to tree stability. Relocation or redesign of works may be required.

Where the project arborist identifies roots to be pruned within or at the outer edge of the TPZ, they should be pruned with a final cut to undamaged wood. Pruning cuts should be made with sharp tools such as secateurs, pruners, handsaws or chainsaws. Pruning wounds should not be treated with dressings or paints. It is not acceptable for roots within the TPZ to be 'pruned' with machinery such as backhoes or excavators.

Where roots within the TPZ are exposed by excavation, temporary root protection should be installed to prevent them drying out. This may include jute mesh or hessian sheeting as multiple layers over exposed roots and excavated soil profile, extending to the full depth of the root zone. Root protection sheeting should be pegged in place and kept moist during the period that the root zone is exposed.

Other excavation works in proximity to trees, including landscape works such as paving, irrigation and planting can adversely affect root systems. Seek advice from the project arborist.

### **Installing underground services within TPZ**

All services should be routed outside the TPZ. If underground services must be routed within the TPZ, they should be installed by directional drilling or in manually excavated trenches.

The directional drilling bore should be at least 600 mm deep. The project arborist should assess the likely impacts of boring and bore pits on retained trees.

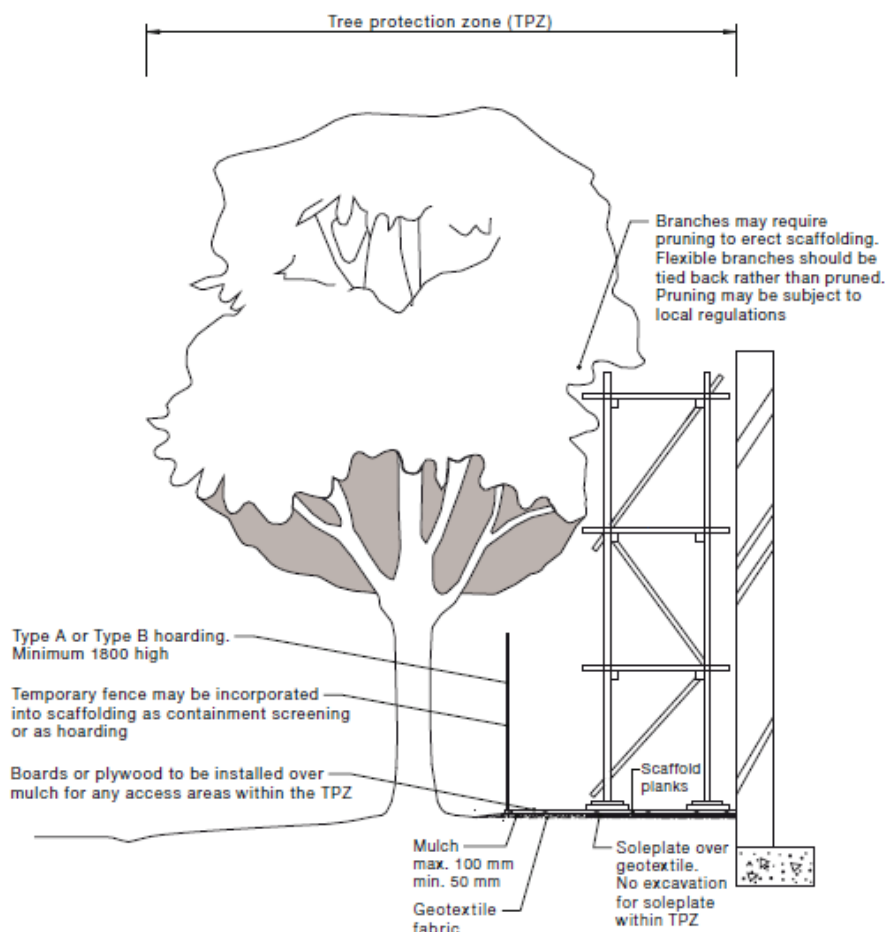
For manual excavation of trenches the project arborist should advise on roots to be retained and should monitor the works. Manual excavation may include the use of pneumatic and hydraulic tools.

## Scaffolding

Where scaffolding is required it should be erected outside the TPZ. Where it is essential for scaffolding to be erected within the TPZ, branch removal should be minimized. This can be achieved by designing scaffolding to avoid branches or tying back branches. Where pruning is unavoidable it must be specified by the project arborist in accordance with AS 4373-2007.

NOTE: Pruning works may require approval by the determining authority.

The ground below the scaffolding should be protected by boarding (e.g. scaffold board or plywood sheeting) as shown in Figure 5. Where access is required, a board walk or other surface material should be installed to minimize soil compaction. Boarding should be placed over a layer of mulch and impervious sheeting to prevent soil contamination. The boarding should be left in place until the scaffolding is removed.



NOTE: Excavation required for the insertion of support posts for tree protection fencing should not involve the severance of any roots greater than 20 mm in diameter, without the prior approval of the project arborist.

**Figure 5: Indicative scaffolding within a TPZ**

## **Maintaining the TPZ**

### **Mulching**

The area within the TPZ should be mulched. The mulch must be maintained to a depth of 50–100 mm using material that complies with AS 4454. Where the existing landscape within the TPZ is to remain unaltered (e.g. garden beds or turf) mulch may not be required.

### **Watering**

Soil moisture levels should be regularly monitored by the project arborist. Temporary irrigation or watering may be required within the TPZ. An above-ground irrigation system should be installed and maintained by competent person.

### **Weed removal**

All weeds should be removed by hand without soil disturbance or should be controlled with appropriate use of herbicide.

### **Monitoring and certification**

There are many stages in the development process from site acquisition to completion where the project arborist is required to monitor or certify tree protection. Table 1 summarizes the process and indicates the stages that normally require certification (a written statement of compliance).

**Table 1: Stages in Development and the Tree Management Process**

Stage in development	Tree management process	
	Matters for consideration	Actions and certification
<b>Pre-construction</b>		
Initial site preparation	State based OHS requirements for tree work	Compliance with conditions of consent
	Approved retention/removal	Tree removal/tree retention/transplanting
	Refer to AS 4373 for the requirements on the pruning of amenity trees	Tree pruning Certification of tree removal and pruning
	Specifications for tree protection measures	Establish/delineate TPZ Install protective measures Certification of tree protection measures
<b>Construction</b>		
Site establishment	Temporary infrastructure Demolition, bulk earthworks, hydrology	Locate temporary infrastructure to minimize impact on retained trees Maintain protective measures Certification of tree protection measures
Construction work	Liaison with site manager, compliance Deviation from approved plan	Maintain or amend protective measures Supervision and monitoring
Implement hard and soft landscape works	Installation of irrigation services Control of compaction work Installation of pavement and retaining walls	Remove selected protective measures as necessary Remedial tree works Supervision and monitoring
Practical completion	Tree vigour and structure	Remove all remaining tree protection measures Certification of tree protection
<b>Post construction</b>		
Defects liability/maintenance period	Tree vigour and structure	Maintenance and monitoring Final remedial tree works Final certification of tree condition

### Tree Protection Plan

The approved tree protection plan must be available onsite prior to the commencement of and during works. The tree protection plan will identify key stages where monitoring and certification will be required.

A pre-construction meeting should be attended by the site manager, the project arborist and contractors to introduce the tree protection plan and its requirements.

## **PRE-CONSTRUCTION**

### **Tree removal and pruning**

Trees for removal or transplanting should be marked onsite as per the approved tree protection plan. Before removal, the project arborist should confirm that all marked trees correspond with those shown on the schedule or plan. Other tree work may be specified in the tree protection plan.

Tree removal should be carried out prior to erection of protection fencing. Contractors should be instructed to avoid damage to trees within protection areas when removing or pruning trees. This may include restrictions of vehicle movements.

Any approved pruning required to allow for works should be done at this stage. AS 4373-2007 specifies requirements for pruning.

Stumps to be removed from within a TPZ must be removed in a manner that avoids damaging or disturbing roots of trees to be retained.

The project arborist should supervise tree removal, transplanting and pruning and certify the works on completion.

### **Installing tree protection fencing and other protection measures**

Fencing and other protection measures are to be installed in compliance with Section 4 and as detailed in the tree protection plan.

Protection measures are to be certified by the project arborist.

## **CONSTRUCTION STAGE**

### **General**

In order to ensure that protection measures are being adhered to during the pre-construction and construction stages, there should be a predetermined number of site inspections carried out by the project arborist. Matters to be monitored and reported should include tree condition, tree protection measures and impact of site works which may arise from changes to the approved plans.

If there is non-compliance with tree protection measures or if trees have been damaged, a time frame for compliance and remedial works should be specified by the project arborist.

The determining authority may need to be notified of non-compliance issues. Monitoring, reporting and certification should be carried out at the following critical stages of construction.



### **Site establishment**

The project arborist will monitor the impacts of demolition, bulk earth works, installation of temporary infrastructure including bunting, sediment control works and drainage works.

The construction management plan (site establishment plan) should be checked for compliance with the tree protection plan. The construction management plan normally includes location of site sheds, stockpile areas, temporary access roads and sediment control devices.

At completion of site establishment, the project arborist should certify that tree protection measures comply with the tree protection plan.

### **Construction work**

The project arborist will monitor the impacts of general construction works on retained trees. Monitoring should be done at regular intervals or in consultation with the site manager. Monitoring is to be recorded for inclusion in certification at practical completion.

Critical stages typically include installation of services, footings and slabs, scaffolding, works within the TPZ and at completion of building works.

### **Landscape works**

The landscape plan should be checked for compliance with the tree protection plan. The project arborist may need to approve the staged removal of protection measures required to allow for landscape works.

The project arborist should supervise any works within TPZs, including retaining walls, irrigation and lighting installation, topdressing, planting and paving.

The project arborist should specify any remedial works above and below ground.

Monitoring is to be recorded for inclusion in certification at practical completion.

### **Practical completion**

Practical completion assumes that all construction and landscaping works are finished. At practical completion all remaining tree protection measures should be removed. The project arborist should assess tree condition and provide certification of tree protection.

### **POST-CONSTRUCTION**

#### **Defects liability period**

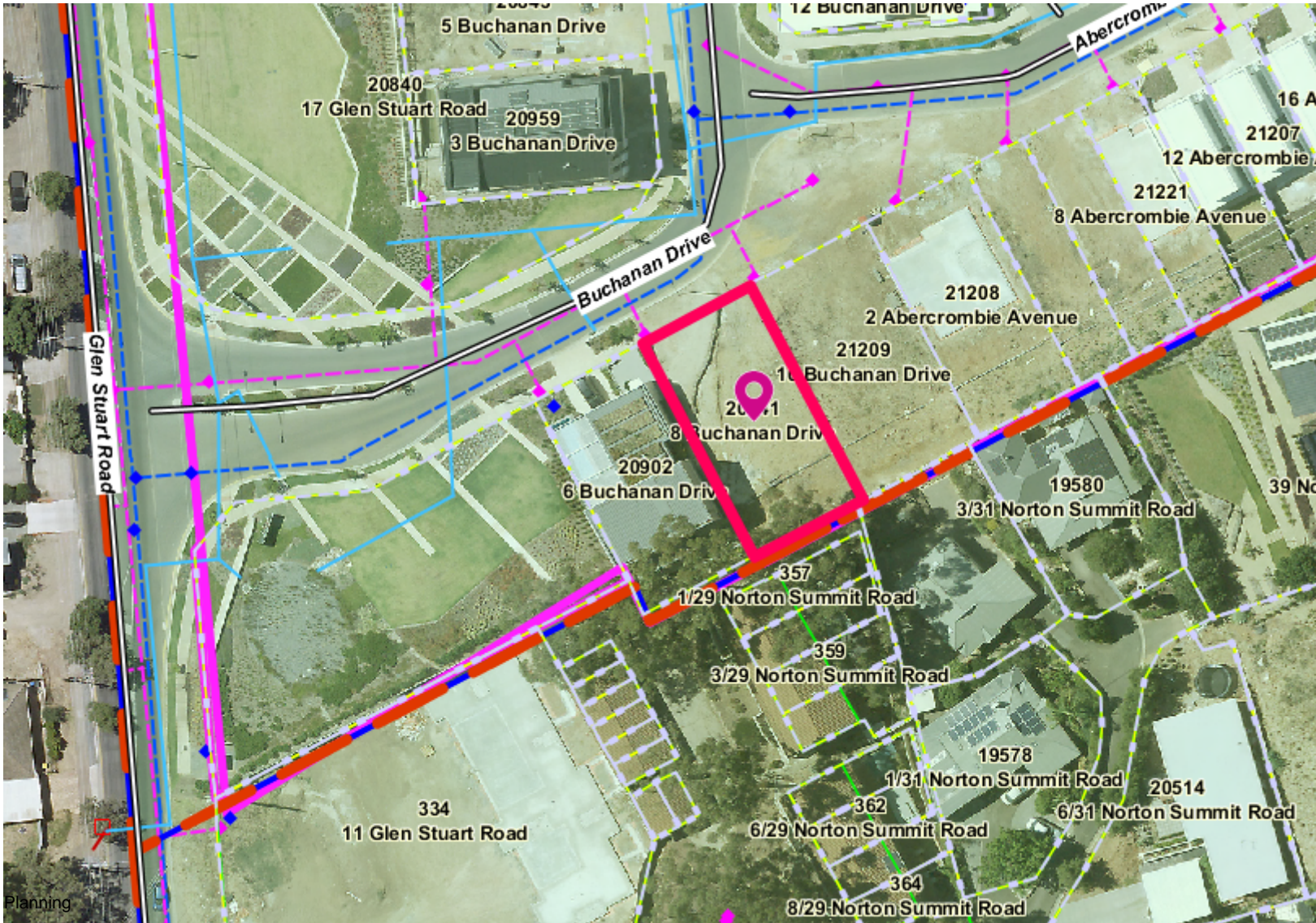
Completion of outstanding building or landscaping works following the construction period must not injure trees.

#### **Final certification**

The project arborist should assess the condition of trees and their growing environment, and make recommendations for any necessary remedial actions.

Following the final inspection and the completion of any remedial works, the project arborist should certify (as appropriate) that the completed works have been carried out in compliance with the approved plans and specifications for tree protection. Certification should include a statement on the condition of the retained trees, details of any deviations from the approved tree protection measures and their impacts on trees. Copies of monitoring documentation may be required.

# 8 Buchanan Drive Woodforde 5072



### Annotations

Subject Land

### Planners Summary

PlanningSummary

### AHC Core

Parks

Townships

### RoadsStreetView

ADJOINING LGA RD

AHC & PRIVATE

AHC RD

DPTI RD

PRIVATE RD

SHARED RD

PropertyOwner

Parcels

Roads

Suburbs

### Rivers

River

Creeks

Streams

### Flood Study Data

TorrensFloodZones\_20Yr

TorrensFloodZones\_100Yr

OnkaFloodPlain10Yr

FloodPlain100Year

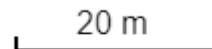
### Stormwater Updated

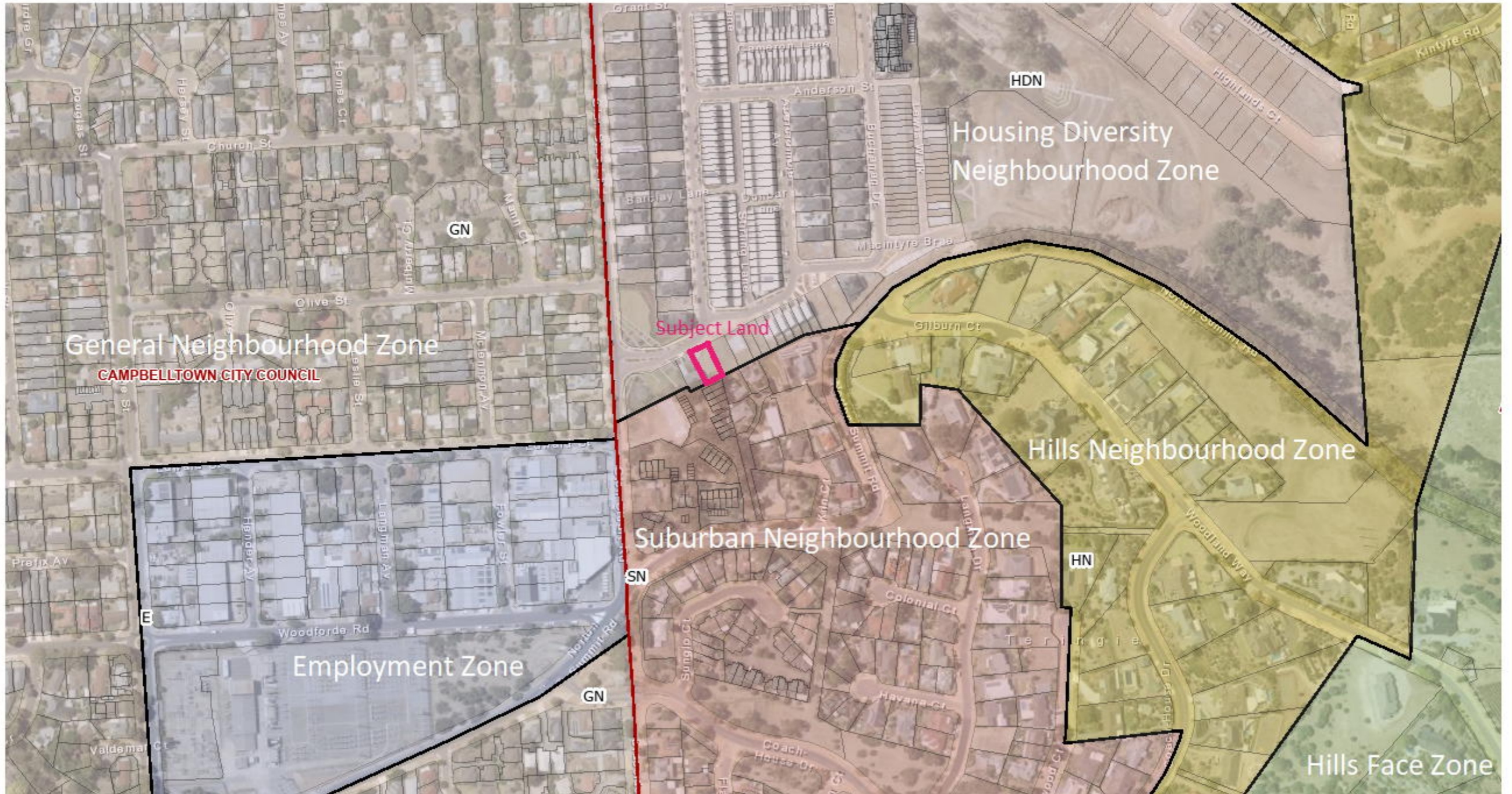
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General Neighbourhood Zone

CAMPBELLTOWN CITY COUNCIL

Housing Diversity Neighbourhood Zone

Hills Neighbourhood Zone

Suburban Neighbourhood Zone

Employment Zone

Hills Face Zone

Subject Land

HDN

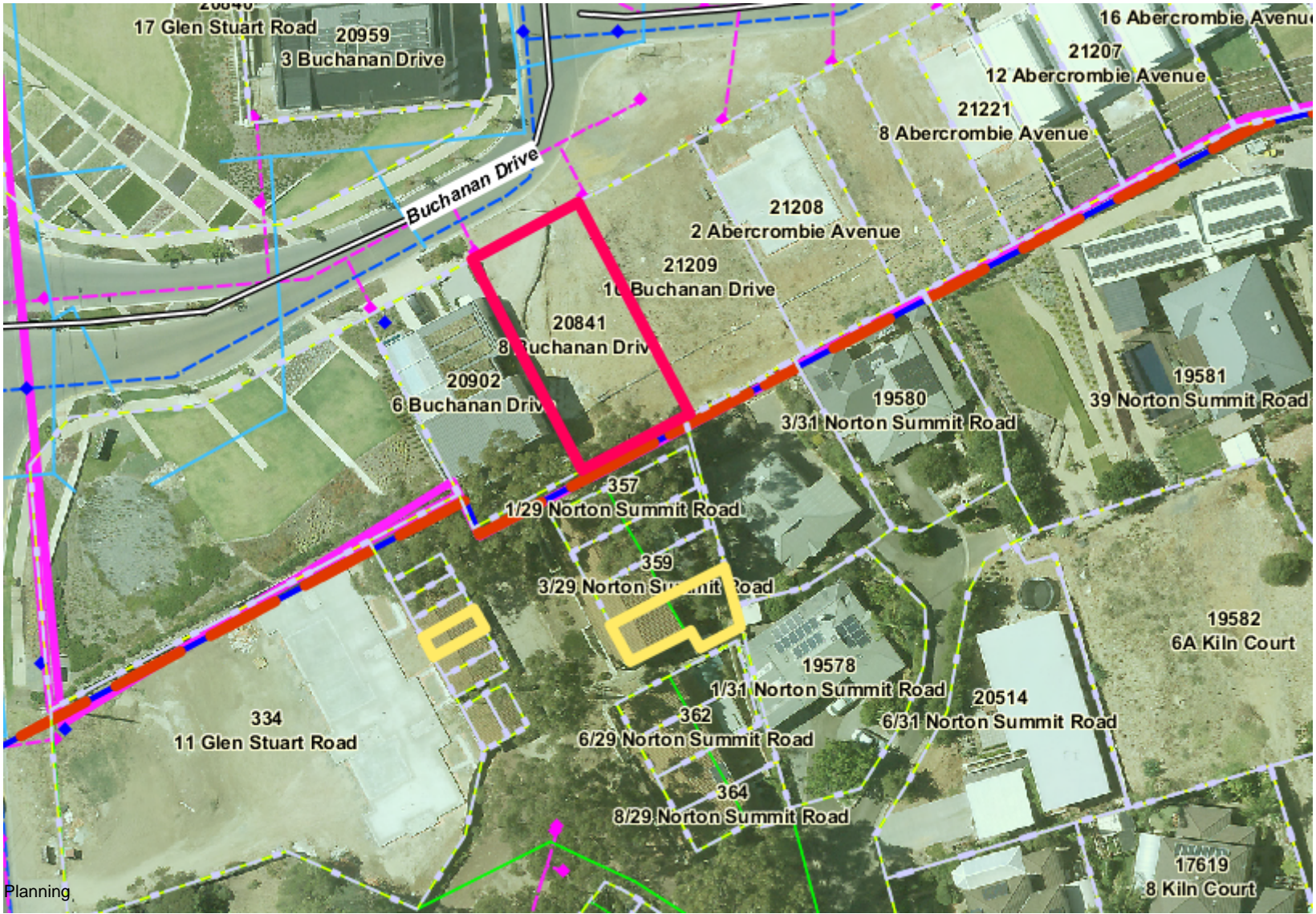
GN

HN

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GN

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**Annotations**

- Representor - Supports, with some concern
- Subject Land

**Planners Summary**

- PlanningSummary

**AHC Core**

- Parks
- Townships
- RoadsStreetView
  - ADJOINING LGA RD
  - AHC & PRIVATE
  - AHC RD
  - DPTI RD
  - PRIVATE RD
  - SHARED RD

- PropertyOwner
- Parcels
- Roads
- Suburbs

- Rivers
  - River
  - Creeks
  - Streams

**Flood Study Data**

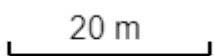
- TorrensFloodZones\_20Yr
- TorrensFloodZones\_100Yr
- OnkaFloodPlain10Yr
- OnkaFloodPlain100Yr

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Planning

**Details of submitter No: 1 - Siu Hei Lui**

<b>Submitter:</b>	Siu Hei Lui
<b>Submitter Address:</b>	80 The Strand, Mawson Lakes, Australia, 5095

# South Australia Planning, Development and Infrastructure ACT 2016

Representation on Application

**First name:**

Siu Hei

**Last name:**

Lui

**Daytime Phone:**

**Would you like to present your submission in person at a hearing?**

- I wish to be heard in support of my representation
- I do not wish to be heard in support of my representation

**Nominated Speaker:**

Siu Hei Lui

**My position is:**

- I support the development
- I support the development with some concerns (detail below)
- I oppose the development

**The specific reasons I believe that planning consent should be granted/refused are:**

1. According the Building Envelope Plans Ref: A053514.0002

It is required that the proposed dwelling to have 4 metres setback from the boundary at the front which denoted very clearly that the front setback is measured to the front facade including verandah or portico.

However, the pouch of the proposed dwelling only have 3.06 metres setback and the balcony only have 3.29 metres setback, which obviously violating the approved Building Envelope Plans.

And therefore the proposed plan should not be approved.

2. The extended balcony without enough setback also create serious concerns on overlooking the

dwelling next to it.

3. According the Building Envelope Plans Ref: A053514.0002

It is required that the proposed dwelling to have 1 metres setback from both sides. The proposed dwelling has only 0.94 metres with one side and no setback on the other side creates notably noise concerns. Also cutting too close to the boundary may undermine the existing neighbouring structure.

4. The proposed plan indicated that one side of the retaining wall is planning to demolished. However, the demolishing is not possible without damaging existing neighbouring structure.

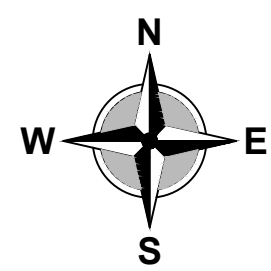
5. The construction of swimming pool undermine the neighbouring structure by cutting near the boundary.

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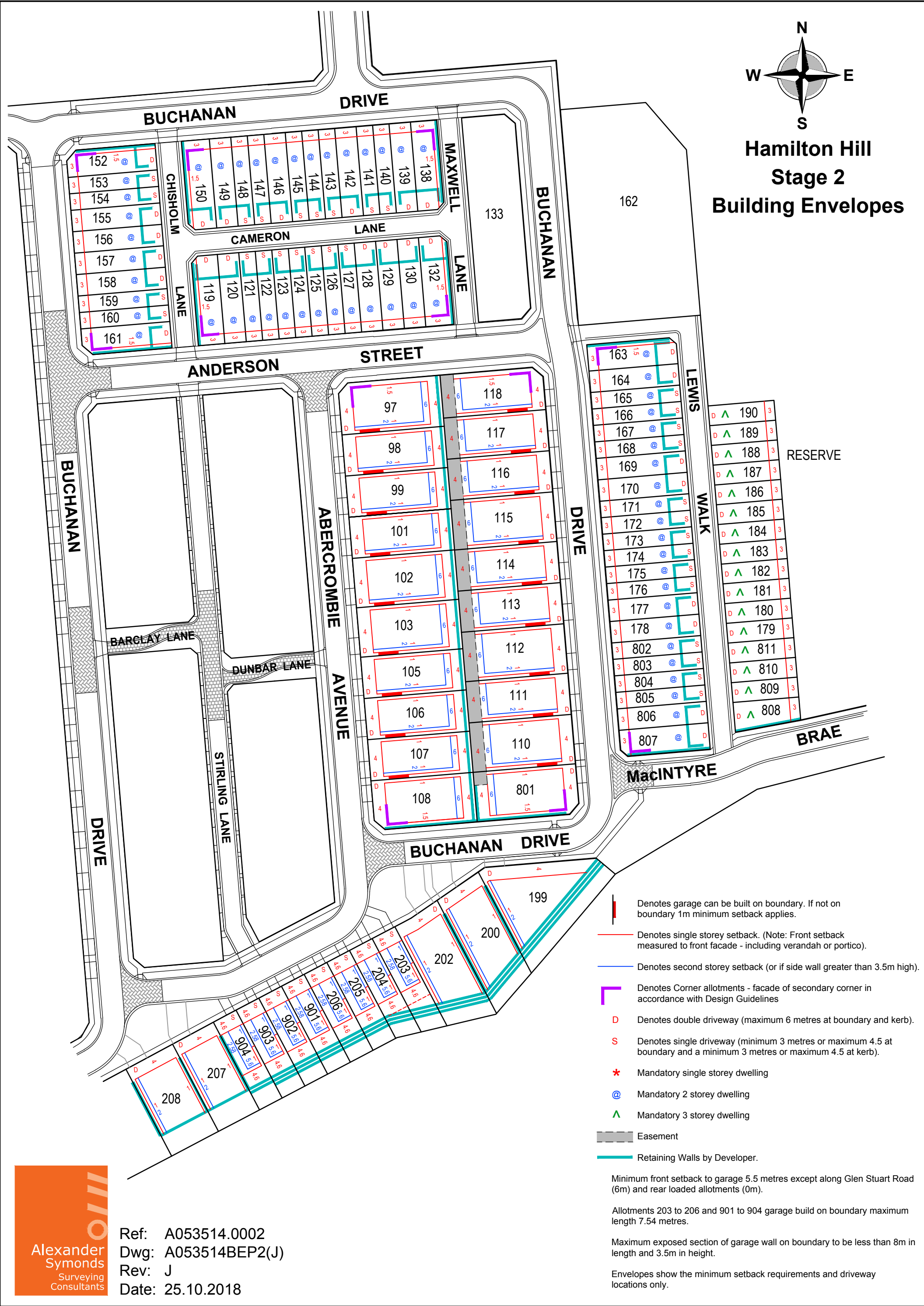
#### Attached Documents

File
Building Envelope Plans Stage 2 October 2018
Existing dwelling





# Hamilton Hill Stage 2 Building Envelopes



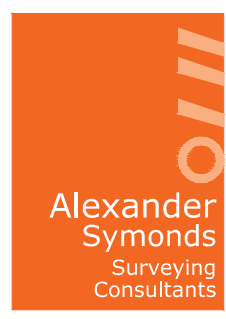
- Denotes garage can be built on boundary. If not on boundary 1m minimum setback applies.
- Denotes single storey setback. (Note: Front setback measured to front facade - including verandah or portico).
- Denotes second storey setback (or if side wall greater than 3.5m high).
- Denotes Corner allotments - facade of secondary corner in accordance with Design Guidelines
- Denotes double driveway (maximum 6 metres at boundary and kerb).
- Denotes single driveway (minimum 3 metres or maximum 4.5 at boundary and a minimum 3 metres or maximum 4.5 at kerb).
- Mandatory single storey dwelling
- Mandatory 2 storey dwelling
- Mandatory 3 storey dwelling
- Easement
- Retaining Walls by Developer.

Minimum front setback to garage 5.5 metres except along Glen Stuart Road (6m) and rear loaded allotments (0m).

Allotments 203 to 206 and 901 to 904 garage build on boundary maximum length 7.54 metres.

Maximum exposed section of garage wall on boundary to be less than 8m in length and 3.5m in height.

Envelopes show the minimum setback requirements and driveway locations only.



Ref: A053514.0002  
 Dwg: A053514BEP2(J)  
 Rev: J  
 Date: 25.10.2018



**Details of submitter No: 2 - Ho Fan Lok**

<b>Submitter:</b>	Ho Fan Lok
<b>Submitter Address:</b>	3 Newton Tce, Enfield, Australia, 5085

# South Australia Planning, Development and Infrastructure ACT 2016

Representation on Application

**First name:**

Ho Fan

**Last name:**

Lok

**Daytime Phone:**

**Would you like to present your submission in person at a hearing?**

- I wish to be heard in support of my representation
- I do not wish to be heard in support of my representation

**My position is:**

- I support the development
- I support the development with some concerns (detail below)
- I oppose the development

**The specific reasons I believe that planning consent should be granted/refused are:**

The proposed dwelling does not comply to the criteria of the Residential Code SA, Adelaide Hills Council should not give Code approval to the proposed plan.

According to Residential Code SA, new dwelling of more than one storey on a site with single street frontage should has front setback at least the same as the specific development plan or adjoining dwellings.

The building envelope plan (specified that the frontage measures to the front facade including the portico, pouch, verandah or balcony) and the whole primary street of the proposed dwelling has at least 4 metres front setback which the proposed dwelling should be adjacent too.

The proposed dwelling plan only have 2.91 metres setback to the pouch and 3.29 metres setback to the balcony does not comply to the regulation and hence should not be approved.

The new dwelling has a 3.85 metres high side wall on top of footing on the boundary which the Residential Code SA only allows 3 metres high. And therefore the proposed dwelling violated the

building code and should not be approved.

Adelaide Hills Council may have to provide explanations if the proposed development gains Code approval for the dwelling does not fit the criteria of Residential Code SA.

---

#### Attached Documents

File
Residential code
Building Envelope Plans Stage 2 October 2018

# Residential Code Checklist (New Dwellings and Additions to Existing Dwellings)

Regulations – 1 August 2012  
Version 1.2



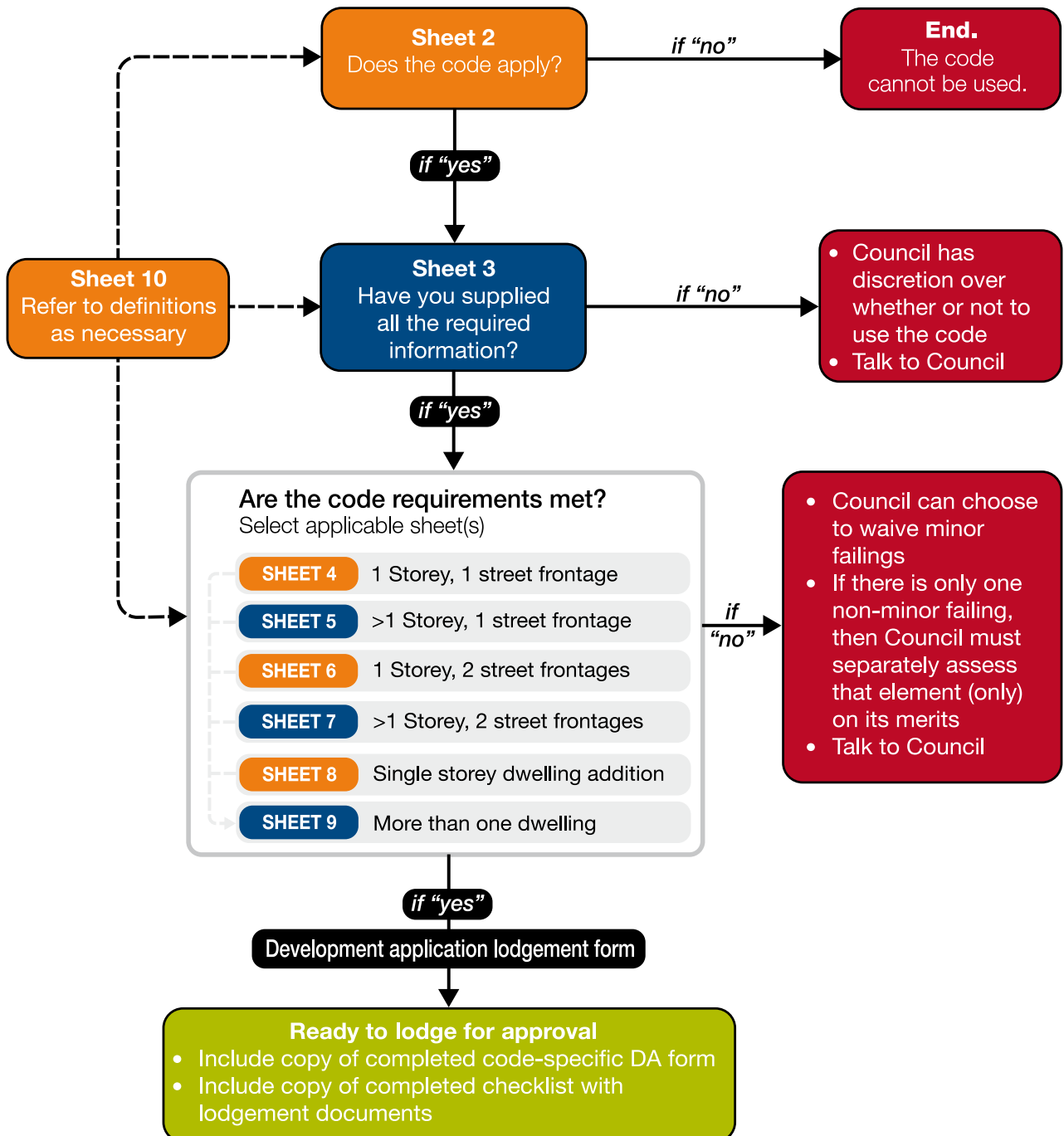


# 1 Index and Road Map

This checklist assists you to design new (detached and semi-detached) dwellings and dwelling additions so that they will be guaranteed planning approval.

It is arranged to ensure that you address mandatory and critical requirements first and assuming your design complies provide you with the development application form to complete in readiness for lodgement.

The road map through the Checklist question sheets is:







## 2

Does the code apply?



## Site Address:

Things to confirm to ensure the Code applies.

Preliminary Questions	Yes	No	Key Words
<p>Are you proposing to build a new detached or semi-detached dwelling?</p> <p><i>If "yes" - start by answering Question's 1 and 2 below.</i></p> <p>If "no", are you proposing to build a new dwelling alteration or addition?</p> <p><i>If "yes" - start by answering Question 3 over page (Questions 1 and 2 are not relevant to additions and alterations).</i></p> <p><i>If "no" - stop here, the Code does not apply.</i></p>	<input type="checkbox"/>	<input type="checkbox"/>	<p>New Dwelling</p>
<p>Are you proposing to build a new detached or semi-detached dwelling?</p> <p><i>If "yes" - start by answering Question's 1 and 2 below.</i></p> <p>If "no", are you proposing to build a new dwelling alteration or addition?</p> <p><i>If "yes" - start by answering Question 3 over page (Questions 1 and 2 are not relevant to additions and alterations).</i></p> <p><i>If "no" - stop here, the Code does not apply.</i></p>	<input type="checkbox"/>	<input type="checkbox"/>	<p>New Addition or Alteration</p>
<p><b>New Dwelling Requirements</b></p> <p><b>1 Listed Area</b> Is this site within <a href="#">an area where the Code applies to new dwellings?</a></p> <p><i>If "no" - stop here, the Code does not apply.</i></p>	<input type="checkbox"/>	<input type="checkbox"/>	<p>Within Area where Code applies</p>
<p><b>2</b> To the best of your knowledge and belief there is the possibility that the allotment is or may have been subject to site contamination as a result of a previous use or activity undertaken on the land and you have not provided to Council a site contamination audit report prepared under Part 10A of the Environment Protection Act 1993 confirming that the site contamination no longer exists or has been addressed to the extent necessary to be suitable for unrestricted residential use?</p> <p><i>If "yes" - stop here, the Code does not apply.</i></p> <p><i>Proceed to Question 4 over page (Question 3 is not relevant for new detached or semi-detached dwellings).</i></p>	<input type="checkbox"/>	<input type="checkbox"/>	<p>Site contamination</p>



## Does the code apply?

# 2

### Site Address:

Things to confirm to ensure the Code applies.

New Dwelling Additions and Alterations Requirements	Yes	No	Key Words
<p><b>3</b> Is the alteration or addition at, or relate to, a mezzanine or second storey or subsequent second storey of an existing dwelling</p> <p><i>If "yes" - stop here, the Code does not apply.</i></p> <p><i>If "no" - continue by answering Question 4 below.</i></p>	<input type="checkbox"/>	<input type="checkbox"/>	Single Storey Additions and Alterations Only
<p><b>4 Exclusions</b> To your knowledge, do any of the following exclusions apply: <i>If "yes" to any of the questions below: stop immediately, the Code does not apply.</i> <i>If you are unsure about any of these questions, contact the Council responsible for the area in which you are going to develop.</i></p> <p><b>4.1</b> On the same allotment as, or adjacent to, a <a href="#">State Heritage Place</a>?</p> <p><b>4.2</b> On the same allotment as a <a href="#">Local Heritage Place</a>?</p> <p><b>4.3</b> On an allotment that is battle-axe shaped?</p> <p><b>4.4</b> Within a Flood Management Zone or Area for which no AHD or ARI is designated?</p> <p><b>4.5</b> Within a Flood Management Zone or Area for which an AHD or ARI is designated and the proposed finished floor level does not comply with this level?</p> <p><b>4.6</b> On an allotment within a Historic Conservation Zone/Area?</p> <p><b>4.7</b> The development is to occur on land within the Hills Face Zone?</p>	<input type="checkbox"/>	<input type="checkbox"/>	State Heritage Place
	<input type="checkbox"/>	<input type="checkbox"/>	Local Heritage Place
	<input type="checkbox"/>	<input type="checkbox"/>	Battle-axe allotment
	<input type="checkbox"/>	<input type="checkbox"/>	Flooding risk
	<input type="checkbox"/>	<input type="checkbox"/>	Flooding risk
	<input type="checkbox"/>	<input type="checkbox"/>	Historic Conservation Zone/Area
	<input type="checkbox"/>	<input type="checkbox"/>	Hills Face Zone

## 3

## Is required Information supplied?



## Site Address:

Things you will need to submit with a Code application for planning consent.

If "no" to any of the below: Council has discretion as to whether or not it will assess the application under the Code.

Requirements	Provided			Key Words
	Yes	No	N/A	
<b>1 Application Form</b> Have you completed the perscribed application form?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Application form
<b>2 Site Plan</b> Is there a site plan drawn accurately to scale of not less than 1:200 inclusive of bar and ratio scales and showing:				
<b>2.1</b> Position and dimensions of the minimum front and side setbacks of any existing or proposed building on site?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Site boundaries
<b>2.2</b> Position of any existing and proposed buildings?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Existing/proposed buildings
<b>2.3</b> Location of any regulated tree(s) that exist on site or on adjoining land that might be affected by the work or might affect the proposed work?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Regulated Trees
<b>2.4</b> Location and dimension of any proposed carparking spaces that are not covered?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Carparking
<b>2.5</b> Location and finished ground level at each end of any driveway (existing or proposed)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Driveway
<b>2.6</b> Location of any authorised or existing driveway crossover to serve as the access point for the driveway?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Driveway crossover
<b>2.7</b> Existing and proposed finished floor levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Finished floor level
<b>2.8</b> True north point?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	True north
<b>2.9</b> If a new vehicle access point is to be established evidence that: - it has been authorised under the Local Government Act, 1999 (including an access point that has been granted consent as part fo a land division application); or - the driveway access point is not located within 6 metres of an intersection of 2 or more roads or a pedestrian actuated crossing and will not interfere with an item of street furniture, a tree or other infrastructure; or - a driveway access point is not required because the kerbing is formed to allow a car to rollover it?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Driveway authorised
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Driveway 6m distance
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Driveway access point
<b>2.10</b> Location of any existing or proposed tanks for or areas where sewage may soak in the ground for onsite disposal installed or to be installed in accordance with the Public & Environmental Health Act 1987?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Effluent tanks

## Site Address:

Things you will need to submit with a Code application for planning consent. (continued)

If "no" to any of the below: Council has discretion as to whether or not it will assess the application under the Code.

Requirements	Provided			Key Words
	Yes	No	N/A	
<b>3 Floor Plan</b> Is there a floor plan drawn to a scale of not less than 1:100 inclusive of bar and ratio scales showing number and location of bedrooms and other habitable rooms?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Floor plan
<b>4 Elevation Drawings</b> Are there elevation drawings drawn to scale of not less than 1:100 inclusive of bar and ratio scales showing building heights as measured from the top of footings?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Elevation drawings
<b>5 Context Plan</b> Is there a plan showing showing how the proposed building generally relates to the closest walls of buildings on adjoining sites (other than sites to the rear)? <i>Note: This information may be shown on the Site Plan (see Qu2 above) by combining the Context Plan and the Site Plan.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Adjoining buildings
<b>6 Site Contamination</b> If, to the best of your knowledge and belief, there is the possibility that the allotment is or may have been subject to site contamination has a site contamination audit report prepared under Part 10A of the Environment Protection Act 1993 been provided?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Environmental Audit
<b>7 Electricity Act Declaration</b> Have you provided the completed <a href="#">Electricity Act declaration form</a> ?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Electricity Act declaration

## 4

## Single storey dwelling on a site with single street frontage



## Site Address:

*Dwelling design criteria that must be complied with to gain a Code approval.*

Requirements	Provided			Key Words
	Yes	No	N/A	
<p><i>If “no” to question 1, go to “Infill Development Sheet 9” and answer “Yes” to the questions on sheet 9 before proceeding to Question 2 below.</i></p> <p>1 Is the proposed dwelling the only dwelling to be constructed on an existing allotment?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Only dwelling
<p><i>If “no” to any of the below: Council may not be able to assess the application under the Code.</i></p> <p>2 <b>Cut and fill</b> Is any cut and fill associated with the development <math>\leq</math> a vertical height of 2 metres overall with no single cut or fill being <math>&gt;1\text{m}</math>?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Cut and fill $\leq 2\text{m}$
<p>3 <b>Primary Street (ie Front) Setback</b> Is the dwelling set back at least as far from the primary street frontage as the lesser of:</p> <p>3.1 the distance specified in the <a href="#">Development Plan</a>? OR</p> <p>3.2 the average setback of any existing dwellings on either of the adjoining sites having frontage to the same primary street?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Front setback $\geq$ Dev Plan Front setback $\geq$ adjacent
<p>4 <b>Rear Setback for sites <math>\leq 300\text{m}^2</math> in area</b> Is the closest solid wall of the dwelling setback at least 3m from the rear boundary?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Rear setback $\geq 3\text{m}$ for sites $\leq 300\text{m}^2$
<p>5 <b>Rear Setback for sites <math>&gt; 300\text{m}^2</math> in area</b> Is the closest solid wall of the dwelling setback at least 4m from the rear boundary?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Rear setback $\geq 4\text{m}$ for sites $> 300\text{m}^2$
<p>6 <b>Side Wall Setback for Walls Not on a Boundary</b></p> <p>6.1 For any dwelling side wall <math>\leq 3</math> metres in height: is the setback at least 900mm from the boundary?</p> <p>6.2 For any side wall <math>&gt; 3</math> metres in height: is the side setback equal to 900mm + <math>1/3</math> of the remaining height over 3 metres from the top of the footings?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Side wall setback $\geq 900\text{mm}$ for height $\leq 3\text{m}$ Side wall setback for height $> 3\text{m}$



# Single storey dwelling on a site with single street frontage

# 4

Site Address:

Dwelling design criteria that must be complied with to gain a Code approval (continued)

Requirements	Provided			Key Words
	Yes	No	N/A	
<p><b>7 For any wall on a Side (not a Secondary Frontage) Boundary</b></p> <p><b>7.1</b> Is the wall <math>\leq</math> 3m in height from the top of the footings?</p> <p><b>7.2</b> Is the wall <math>\leq</math> 8m in length?</p> <p><b>7.3</b> Is the total length of all relevant existing walls or structures and proposed new dwelling wall(s) on that side boundary <math>\leq</math> 45% of the length of the boundary?</p> <p><b>7.4</b> Is a clearance of <math>\geq</math>3m provided between the proposed wall(s) and any other relevant wall or structure located along the boundary?</p> <p><b>7.5</b> Is the proposed wall(s) located so as abut or be adjacent to an existing wall located on an adjacent site sharing the same site boundary?</p> <p><b>NOTE:</b> Fences and retaining walls &lt;1m in height are excluded from these requirements.</p>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<p>Side wall <math>\leq</math> 3m in height</p> <p>Side wall <math>\leq</math> 8m in length</p> <p>Total length of walls <math>\leq</math> 45% of boundary</p> <p>Clearance of &gt; 3m</p> <p>Adjacent Walls</p>
<p><b>8 Side wall Setback for all sites</b></p> <p>Does the dwelling maintain a setback from at least one side boundary of 900 mm?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Side wall setback <math>\geq</math> 900mm</p>
<p><b>9 Height</b></p> <p><b>9.1</b> Is every part of the dwelling <math>\leq</math> 9m in height from the top of the footings?</p> <p><b>9.2</b> Are all walls <math>\leq</math> 6m in height from the top of the footings?</p>	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>	<input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	<p>Height of dwelling <math>\leq</math> 9m</p> <p>Height of walls <math>\leq</math> 6m</p>
<p><b>10 Waste Control</b></p> <p>Will the dwelling be built so as to not encroach on an area that is or will be required for on site waste control as per the Public and Environment Health Act?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>Waste Management</p>
<p><b>11 Private Open Space for all sites</b></p> <p>Is at least 24m<sup>2</sup> in area, situated at the rear or side of the dwelling, and with access directly from a habitable room?</p> <p><b>NOTE:</b> Private open space excludes any area covered by buildings (dwelling, verandah, outbuildings, sheds), any area at the front of the dwelling and any area at ground level that is &lt;2.5m in width.</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>Total private open space <math>\geq</math> 24m<sup>2</sup></p>
<p><b>12 Private Open Space for sites <math>\leq</math> 300m<sup>2</sup> in area</b></p> <p>Is at least 24m<sup>2</sup> in area with a minimum dimension of 3m?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>Private open space</p>
<p><b>13 Private Open Space for sites 300m<sup>2</sup> - 500m<sup>2</sup> in area</b></p> <p>Is at least 60m<sup>2</sup> in area with a minimum dimension of 4m?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>Private open space</p>

## 4

Single storey dwelling on a site with  
single street frontage

Site Address: \_\_\_\_\_

*Dwelling design criteria that must be complied with to gain a Code approval (continued)*

Requirements	Provided			Key Words
	Yes	No	N/A	
<b>14 Private Open Space for sites &gt; 500m<sup>2</sup> in area</b> Is at least 80m <sup>2</sup> in area with a minimum dimension of 4m?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Private open space
<b>15 Garages &amp; Carports</b> Will any proposed carport/garage:				
<b>15.1</b> be setback as far as the building line (excluding verandahs, porches or similar)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Garage setback ≥ building line
<b>15.2</b> be setback at least 5.5m from the primary street?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Setback 5.5m
<b>15.3</b> have opening(s) for vehicle access that total < 7m in width?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Opening access < 7m wide
<b>15.4</b> utilise a new vehicle access point as per one of the following: <ul style="list-style-type: none"> <li>- an authorised driveway crossover under the Local Government Act, 1999 (including an access point that has been granted consent as part of a land division application); or</li> <li>- a driveway access point that is not located within 6 metres of an intersection of 2 or more roads or a pedestrian actuated crossing and will not interfere with an item of street furniture, a tree or other infrastructure; or</li> <li>- a driveway access point is not required because the kerbing is formed to allow a car to roll over it?</li> </ul>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Driveway authorised
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Driveway 6m distance
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Driveway access point
<b>15.5</b> utilise a driveway with a gradient less than 1:4 average as measured from the allotment boundary to the front of the garage or carport?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Driveway gradient < 1:4
<b>16 Garages &amp; Carports facing rear alley, lane or right of way</b> Is the alley, lane or right of way > 6.2m wide along the entire width of the boundary of the allotment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Laneway width > 6.2m
<b>17 Parking</b>				
<b>17.1</b> If a 1 bedroom dwelling: is there a minimum of 1 parking space that is (or can be) enclosed or covered in a location that complies with Qu 15.1 and 15.2 above?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Minimum 1 carpark for 1 bedroom
<b>17.2</b> If a 2 or more bedroom dwelling: is there a minimum of 2 parking spaces with at least 1 that is (or can be) enclosed or covered in a location that complies with Qu 15.1 and 15.2 above?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Minimum 2 carparks for ≥ 2 bedrooms
<b>18 Windows to Primary Street</b> Is there at least 1 habitable room window facing the primary street?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Windows to primary street
<b>19 Site Coverage</b> Is the total roofed area of all buildings on the site ≤ 60% of the total site area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Total roofed area ≤ 60% site area





## 5

# Dwelling of more than one storey on a site with single street frontage



Site Address:

*Dwelling design criteria that must be complied with to gain a Code approval.*

Requirements	Provided			Key Words
	Yes	No	N/A	
<p><i>If “no” to question 1, go to “Infill Development Sheet 9” and answer “Yes” to the questions on Sheet 9 before proceeding to Question 2 below.</i></p> <p>1 Is the proposed dwelling the only dwelling to be constructed on an existing allotment?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Only dwelling
<p><i>If “no” to any of the below: Council may not be able to assess the application under the Code.</i></p> <p>2 <b>Cut and fill</b> Is any cut and fill associated with the development ≤ a vertical height of 2 metres overall with no single cut or fill being &gt;1m?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Cut and fill ≤ 2.0m
<p>3 <b>Primary Street (ie Front) Setback</b> Is the dwelling set back at least as far from the primary street frontage as the lesser of:</p> <p>3.1 the distance specified in the <a href="#">Development Plan</a>? OR</p> <p>3.2 the average setback of any existing dwellings on either of the adjoining sites having frontage to the same primary street?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Front setback ≥ Dev Plan Front setback ≥ adjacent
<p>4 <b>Rear Setback for sites ≤ 300m<sup>2</sup> in area</b></p> <p>4.1 Is the closest solid wall of the dwelling at ground floor setback at least 3m from the rear boundary?</p> <p>4.2 Is any other wall of the dwelling at any other storey setback at least 5m from the rear boundary?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Rear ground floor setback ≥ 3m for sites ≤ 300m <sup>2</sup> Rear upper floor setback ≥ 5m for sites ≤ 300m <sup>2</sup>
<p>5 <b>Rear Setback for sites &gt; 300m<sup>2</sup> in area</b></p> <p>5.1 Is the closest solid wall of the dwelling at ground floor setback at least 4m from the rear boundary?</p> <p>5.2 Is any other wall of the dwelling at any other storey setback at least 6m from the rear boundary?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Rear ground floor setback ≥ 4m for sites > 300m <sup>2</sup> Rear upper floor setback ≥ 6m for sites > 300m <sup>2</sup>

Site Address:

*Dwelling design criteria that must be complied with to gain a Code approval. (continued)*

Requirements	Provided			Key Words
	Yes	No	N/A	
<p><b>6 Side Wall Setback for Walls Not on a Boundary</b></p> <p><b>6.1</b> For any dwelling side wall <math>\leq 3</math> metres in height: is the setback at least 900mm from the boundary?</p> <p><b>6.2</b> For any side wall <math>&gt; 3</math> metres in height: is the side setback equal to 900mm + 1/3 of the remaining height over 3 metres from the top of the footings?</p> <p><b>6.3</b> For any south-facing side wall (other than to a secondary street): if there is an upper storey component, is it setback a distance equivalent to that required by Question 8.2 above plus 1m?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>Side wall setback for <math>\geq 900</math>mm for wall height <math>\leq 3</math>m</p> <p>Side wall setback for wall height <math>&gt; 3</math>m</p> <p>South facing side wall setback</p>
<p><b>7 For any wall on a Side</b> (not a Secondary Frontage) Boundary</p> <p><b>7.1</b> Is the wall <math>\leq 3</math>m in height from the top of the footings?</p> <p><b>7.2</b> Is the wall <math>\leq 8</math>m in length?</p> <p><b>7.3</b> Is the total length of all relevant existing walls or structures and proposed new dwelling wall(s) on that side boundary <math>\leq 45\%</math> of the length of the boundary?</p> <p><b>7.4</b> Is a clearance of <math>\geq 3</math>m provided between the proposed wall(s) and any other relevant wall or structure located along the development?</p> <p><b>7.5</b> Is the proposed wall(s) located so as abut or be adjacent to an existing all located on an adjacent site sharing the same site boundary</p> <p><i>NOTE Fences and retaining walls <math>&lt; 1</math>m in height are excluded from these requirements.</i></p>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Side wall <math>\leq 3</math>m height</p> <p>Side wall <math>\leq 8</math>m height</p> <p>Total length of walls <math>\leq 45\%</math> of boundary</p> <p>Clearance <math>&gt; 3</math>m</p> <p>Adjacent walls</p>
<p><b>8 Side wall Setback for all sites</b></p> <p>Does the dwelling maintain a setback from at least one side boundary of 900 mm?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Side wall setback $\geq 900$ mm
<p><b>9 Height</b></p> <p><b>9.1</b> Is every part of the dwelling <math>\leq 9</math>m in height from the top of the footings?</p> <p><b>9.2</b> Are all walls <math>\leq 6</math>m in height from the top of the footings?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Height of dwelling <math>\leq 9</math>m</p> <p>Height of walls <math>\leq 6</math>m</p>
<p><b>10 Waste Control</b></p> <p>Will the dwelling be built so as to not encroach on an area that is or will be required for on site waste control as per the Public and Environment Health Act?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Waste Management

## 5

# Dwelling of more than one storey on a site with single street frontage



Site Address: \_\_\_\_\_

*Dwelling design criteria that must be complied with to gain a Code approval. (continued)*

Requirements	Provided			Key Words
	Yes	No	N/A	
<p><b>11 Private Open Space for all sites</b> Is at least 24m<sup>2</sup> in area, situated at the rear or side of the dwelling, and with access directly from a habitable room?</p> <p><i>NOTE: Private open space excludes any area covered by buildings (dwelling, verandah, outbuildings, sheds), any area at the front of the dwelling and any area at ground level that is &lt;2.5m in width.</i> <i>NOTE: Private open space may include an area within a balcony provided that the width of the balcony is &gt; 2m</i></p>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Total private open space ≥ 24m <sup>2</sup>
<p><b>12 Private Open Space for sites ≤ 300m<sup>2</sup> in area</b> Is at least 24m<sup>2</sup> in area with a minimum dimension of 3m?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Private open space
<p><b>13 Private Open Space for sites 300m<sup>2</sup> - 500 m<sup>2</sup> in area</b> Is at least 60m<sup>2</sup> in area with a minimum dimension of 4m?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Private open space
<p><b>14 Private Open Space for sites &gt; 500m<sup>2</sup> in area</b> Is at least 80m<sup>2</sup> in area with a minimum dimension of 4m?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Private open space
<p><b>15 Upper storey windows that do not face a road reserve or other reserve (including open space reserves) adjoining the property boundary that has a width &gt; 15m</b> Upper storey windows facing a side or rear boundary:</p> <p><b>15.1</b> Is the sill height ≥ 1.5 metres above FFL? OR</p> <p><b>15.2</b> Is any part of the window that is below 1.5 metres from FFL fitted with permanent obscure glazing AND if capable of opening, is limited to a maximum opening of 200mm?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Upper storey sill ≥ 1.5m Window glazing/opening
<p><b>16 Upper storey balcony or terrace</b> Does the longest side of all upper storey balconies or terraces face onto a road reserve or other reserve (including open space reserves) that is at least 15m wide in all places to be faced by the dwelling?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Upper storey balconies

Site Address:

*Dwelling design criteria that must be complied with to gain a Code approval. (continued)*

Requirements	Provided			Key Words
	Yes	No	N/A	
<b>17 Garages &amp; Carports</b> Will any proposed carport/garage:				
<b>17.1</b> be setback as far as the building line (excluding verandahs, porches or similar)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Garage setback $\geq$ building line
<b>17.2</b> be setback at least 5.5m from the primary street?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Setback 5.5m
<b>17.3</b> have opening(s) for vehicle access that total $<$ 7m in width?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Opening access $<$ 7m wide
<b>17.4</b> utilise a new vehicle access point as per one of the following: <ul style="list-style-type: none"> <li>- an authorised driveway crossover under the Local Government Act, 1999 (including an access point that has been granted consent as part of a land division application); or</li> <li>- a driveway access point that is not located within 6 metres of an intersection of 2 or more roads or a pedestrian actuated crossing and will not interfere with an item of street furniture, a tree or other infrastructure; or</li> <li>- a driveway access point is not required because the kerbing is formed to allow a car to roll over it?</li> </ul>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Driveway Authorised
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Driveway 6m distance
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Driveway access point
<b>17.5</b> utilise a driveway with a gradient less than 1:4 average as measured from the allotment boundary to the front of the garage or carport?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Driveway gradient $<$ 1:4
<b>18 Garages &amp; Carports facing rear alley, lane or right of way</b> Is the alley, lane or right of way $>$ 6.2m wide along the entire width of the boundary of the allotment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Laneway width $>$ 6.2m
<b>19 Parking</b>				
<b>19.1</b> If a 1 bedroom dwelling: is there a minimum of 1 parking space that is (or can be) enclosed or covered in a location that complies with Qu 17.1 and 17.2 above?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Minimum 1 carpark for 1 bedroom
<b>19.2</b> If a 2 or more bedroom dwelling: is there a minimum of 2 parking spaces with at least 1 that is (or can be) enclosed or covered in a location that complies with Qu 17.1 and 17.2 above?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Minimum 2 carparks for $\geq$ 2 bedrooms
<b>20 Windows to Primary Street</b> Is there at least 1 habitable room window facing the primary street?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Windows to primary street
<b>21 Site Coverage</b> Is the total roofed area of all buildings on the site $\leq$ 60% of the total site area?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Total roofed area $\leq$ 60% site area

## 6

Single storey dwelling  
on a site with two street frontages

Site Address:

*Dwelling design criteria that must be complied with to gain a Code approval.*

Requirements	Provided			Key Words
	Yes	No	N/A	
<p><i>If “no” to question 1, go to “Infill Development Sheet 9” and answer “Yes” to the questions on Sheet 9 before proceeding to Question 2 below.</i></p> <p><b>1</b> Is the proposed dwelling the only dwelling to be constructed on an existing allotment?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Only dwelling
<p><i>If “no” to any of the below: Council may not be able to assess the application under the Code.</i></p> <p><b>2</b> Cut and fill Is any cut and fill associated with the development ≤ a vertical height of 2 metres overall with no single cut or fill being &gt;1m?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Cut and fill ≤ 2m
<p><b>3</b> Primary Street (ie Front) Setback Is the dwelling set back at least as far from the primary street frontage as the lesser of:</p> <p><b>3.1</b> the distance specified in the <a href="#">Development Plan</a>? OR</p> <p><b>3.2</b> the average setback of any existing dwellings on either of the adjoining sites having frontage to the same primary street?</p>	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>	<input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	Front setback ≥ Dev Plan Front setback ≥ adjacent
<p><b>4</b> Secondary Street (ie Side Street) Setback Is the dwelling setback at least as far from the secondary street frontage as the lesser of:</p> <p><b>4.1</b> 900mm? OR</p> <p><b>4.2</b> the setback of any existing dwelling on an adjoining site having a frontage to the same secondary street?</p>	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>	<input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	Minimum secondary setback Adjacent secondary setback
<p><b>5</b> Rear Setback for sites ≤ 300m<sup>2</sup> in area: Is the closest solid wall of the dwelling setback at least 3m from the rear boundary?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Rear setback ≤ 3m for sites ≤ 300m <sup>2</sup>
<p><b>6</b> Rear Setback for sites &gt; 300m<sup>2</sup> in area Is the closest solid wall of the dwelling setback at least 4m from the rear boundary?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Rear setback ≥ 4m for sites > 300m <sup>2</sup>
<p><b>7</b> Side Wall Setback for Walls Not on a Boundary</p> <p><b>7.1</b> For any dwelling side wall ≤ 3 metres in height: is the setback at least 900mm from the boundary?</p> <p><b>7.2</b> For any side wall exceeding 3 metres in height: is the side setback equal to 900mm + 1/3 of the remaining height over 3 metres from the top of the footings?</p>	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>	<input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	Side wall setback ≥ 900mm for wall height ≤ 3m Side wall setback for > 3m wall height



# Single storey dwelling on a site with two street frontages

# 6

Site Address:

Dwelling design criteria that must be complied with to gain a Code approval. (continued)

Requirements	Provided			Key Words
	Yes	No	N/A	
<p><b>8 For any wall on a Side (not a Secondary Frontage) Boundary</b></p> <p><b>8.1</b> Is the wall <math>\leq 3\text{m}</math> in height from the top of the footings?</p> <p><b>8.2</b> Is the wall <math>\leq 8\text{m}</math> in length?</p> <p><b>8.3</b> Is the total length of all relevant existing walls or structures and proposed new dwelling wall(s) on that side boundary <math>\leq 45\%</math> of the length of the boundary?</p> <p><b>8.4</b> Is a clearance of <math>\geq 3\text{m}</math> provided between the proposed wall(s) and any other relevant wall or structure located along the boundary?</p> <p><b>8.5</b> Is the proposed wall(s) located so as abut or be adjacent to an existing wall located on an adjacent site sharing the same site boundary?</p> <p><b>NOTE:</b> Fences and retaining walls <math>&lt; 1\text{m}</math> in height are excluded from these requirements.</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>Side wall <math>\leq 3\text{m}</math> in height</p> <p>Side wall <math>\leq 8\text{m}</math> in length</p> <p>Total length of walls <math>\leq 45\%</math> of boundary</p> <p>Clearance of <math>&gt; 3\text{m}</math></p> <p>Adjacent Walls</p>
<p><b>9 Side wall Setback for all sites</b></p> <p>Does the dwelling maintain a setback from at least one side boundary of 900 mm?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Side wall setback $\geq 900\text{mm}$
<p><b>10 Height</b></p> <p><b>10.1</b> Is every part of the dwelling <math>\leq 9\text{m}</math> in height from the top of the footings?</p> <p><b>10.2</b> Are all walls <math>\leq 6\text{m}</math> in height from the top of the footings?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Height of dwelling <math>\leq 9\text{m}</math></p> <p>Height of walls <math>\leq 6\text{m}</math></p>
<p><b>11 Waste Control</b></p> <p>Will the dwelling be built so as to not encroach on an area that is or will be required for on site waste control as per the Public and Environment Health Act?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Waste Management
<p><b>12 Private Open Space for all sites</b></p> <p>Is at least <math>24\text{m}^2</math> in area, situated at the rear or side of the dwelling, and with access directly from a habitable room?</p> <p><b>NOTE:</b> Private open space excludes any area covered by buildings (dwelling, verandah, outbuildings, sheds), any area at the front of the dwelling and any area at ground level that is <math>&lt; 2.5\text{m}</math> in width.</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Total private open space $\leq 24\text{m}^2$
<p><b>13 Private Open Space for sites <math>300\text{m}^2</math> - <math>500\text{m}^2</math> in area</b></p> <p>Is at least <math>60\text{m}^2</math> in area with a minimum dimension of <math>4\text{m}</math>?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Private open space
<p><b>14 Private Open Space for sites <math>&gt; 500\text{m}^2</math> in area</b></p> <p>Is at least <math>80\text{m}^2</math> in area with a minimum dimension of <math>4\text{m}</math>?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Private open space

## 6

Single storey dwelling  
on a site with two street frontages

Site Address: \_\_\_\_\_

*Dwelling design criteria that must be complied with to gain a Code approval. (continued)*

Requirements	Provided			Key Words
	Yes	No	N/A	
<b>15 Private Open Space for sites ≤ 300m<sup>2</sup> in area</b> Is at least 24m <sup>2</sup> in area with a minimum dimension of 3m?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Private open space
<b>16 Garages &amp; Carports</b> Will any proposed carport/garage:				
<b>16.1</b> be setback as far as the building line (excluding verandahs, porches or similar)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Garage setback ≥ building line
<b>16.2</b> be setback at least 5.5m from the primary street?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Setback 5.5m
<b>16.3</b> have opening(s) for vehicle access that total < 7m in width?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Opening access < 7m wide
<b>16.4</b> utilise a new vehicle access point as per one of the following: <ul style="list-style-type: none"> <li>- an authorised driveway crossover under the Local Government Act, 1999 (including an access point that has been granted consent as part of a land division application); or</li> <li>- a driveway access point that is not located within 6 metres of an intersection of 2 or more roads or a pedestrian actuated crossing and will not interfere with an item of street furniture, a tree or other infrastructure; or</li> <li>- a driveway access point is not required because the kerbing is formed to allow a car to roll over it?</li> </ul>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Driveway Authorised
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Driveway 6m distance
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Driveway Access Point
<b>16.5</b> utilise a driveway with a gradient less than 1:4 average as measured from the allotment boundary to the front of the garage or carport?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Driveway gradient < 1:4
<b>17 Garages &amp; Carports facing rear alley, lane or right of way</b> Is the alley, lane or right of way > 6.2m wide along the entire width of the boundary of the allotment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Laneway width > 6.2m
<b>18 Parking</b>				
<b>18.1</b> If a 1 bedroom dwelling: is there a minimum of 1 parking space that is (or can be) enclosed or covered in a location that complies with Qu 15.1 and 15.2 above?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Minimum 1 carpark for 1 bedroom
<b>18.2</b> If a 2 or more bedroom dwelling: is there a minimum of 2 parking spaces with at least 1 that is (or can be) enclosed or covered in a location that complies with Qu 15.1 and 15.2 above?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Minimum 2 carparks for ≥ 2 bedrooms
<b>19 Windows to Primary Street</b> Is there at least 1 habitable room window facing the primary street?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Windows to primary street
<b>20 Site Coverage</b> Is the total roofed area of all buildings on the site ≤ 60% of the total site area?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Total roofed area < 60% site area





# Dwelling of more than one storey on a site with two street frontages



Site Address:

*Dwelling design criteria that must be complied with to gain a Code approval.*

Requirements	Provided			Key Words
	Yes	No	N/A	
<p><i>If “no” to question 1, go to “Infill Development Sheet 9” and answer “Yes” to the questions on Sheet 9 before proceeding to Question 2 below.</i></p> <p>1 Is the proposed dwelling the only dwelling to be constructed on an existing allotment?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Only dwelling
<p><i>If “no” to any of the below: Council may not be able to assess the application under the Code.</i></p> <p>2 Cut and fill Is any cut and fill associated with the development ≤ a vertical height of 2 metres overall with no single cut or fill being &gt;1m?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Cut and fill ≤ 2m
<p>3 Primary Street (ie Front) Setback: Is the dwelling set back at least as far from the primary street frontage as the lesser of:</p> <p>3.1 the distance specified in the <a href="#">Development Plan</a>? OR</p> <p>3.2 the average setback of any existing dwellings on either of the adjoining sites having frontage to the same primary street?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Front setback ≥ Dev Plan Front setback ≥ adjacent
<p>4 Secondary Street (ie Side Street) Setback Is the dwelling setback at least as far from the secondary street frontage as the lesser of:</p> <p>4.1 900mm? OR</p> <p>4.2 the setback of any existing dwelling on an adjoining site having a frontage to the same secondary street?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Secondary setback ≥ 900mm Adjacent secondary setback
<p>5 Rear Setback for sites ≤ 300m<sup>2</sup> in area</p> <p>5.1 Is the closest solid wall of the dwelling at ground floor setback at least 3m from the rear boundary?</p> <p>5.2 Is any other wall of the dwelling at any other storey setback at least 5m from the rear boundary?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Rear ground setback ≥ 3m for sites ≤ 300m <sup>2</sup> Rear upper floor setback ≥ 5m for sites ≤ 300m <sup>2</sup>
<p>6 Rear Setback for sites &gt; 300m<sup>2</sup> in area</p> <p>6.1 Is the closest solid wall of the dwelling at ground floor setback at least 4m from the rear boundary?</p> <p>6.2 Is any other wall of the dwelling at any other storey setback at least 6m from the rear boundary?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Rear ground setback ≤ 4m for sites > 300m <sup>2</sup> Rear upper floor setback ≥ 6m for sites > 300m <sup>2</sup>

Site Address:

*Dwelling design criteria that must be complied with to gain a Code approval. (continued)*

Requirements	Provided			Key Words
	Yes	No	N/A	
<b>7 Side Wall Setback for Walls Not on a Boundary</b> <b>7.1</b> For any dwelling side wall $\leq 3$ metres in height: is the setback at least 900mm from the boundary? <b>7.2</b> For any side wall exceeding 3 metres in height: is the side setback equal to 900mm + 1/3 of the remaining height over 3 metres from the top of the footings? <b>7.3</b> For any south-facing side wall (other than to a secondary street): if there is an upper storey component, is it setback a distance equivalent to that required by Question 9.2 above plus 1m?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Side wall setback for $\leq 3\text{m}$ $\geq 900\text{mm}$ for wall height $\leq 3\text{m}$ Side wall setback for wall height $> 3\text{m}$ South facing side wall setback
<b>8 For any wall on a Side (not a Secondary Frontage) Boundary</b> <b>8.1</b> Is the wall $\leq 3\text{m}$ in height from the top of the footings? <b>8.2</b> Is the wall $\leq 8\text{m}$ in length? <b>8.3</b> Is the total length of all relevant existing walls or structures and proposed new dwelling wall(s) on that side boundary $\leq 45\%$ of the length of the boundary? <b>8.4</b> Is a clearance of $\geq 3\text{m}$ provided between the proposed wall(s) and any other relevant wall or structure located along the development? <b>8.5</b> Is the proposed wall(s) located so as abut or be adjacent to an existing all located on an adjacent site sharing the same site boundary <i>NOTE Fences and retaining walls <math>&lt; 1\text{m}</math> in height are excluded from these requirements.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Side wall $\leq 3\text{m}$ height Side wall $\leq 8\text{m}$ height Total length of walls $\leq 45\%$ of boundary Clearance $> 3\text{m}$ Adjacent walls
<b>9 Side wall Setback for all sites</b> Does the dwelling maintain a setback from at least one side boundary of 900 mm?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Side wall setback $\geq 900\text{m}$
<b>10 Height</b> <b>10.1</b> Is every part of the dwelling $\leq 9\text{m}$ in height from the top of the footings? <b>10.2</b> Are all walls $\leq 6\text{m}$ in height from the top of the footings?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Height of dwelling $\leq 9\text{m}$ Height of walls $\leq 6\text{m}$
<b>11 Waste Control</b> Will the dwelling be built so as to not encroach on an area that is or will be required for on site waste control as per the Public and Environment Health Act?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Waste Management

# Dwelling of more than one storey on a site with two street frontages



Site Address:

*Dwelling design criteria that must be complied with to gain a Code approval. (continued)*

Requirements	Provided			Key Words
	Yes	No	N/A	
<p><b>12 Private Open Space for all sites</b></p> <p>Is at least 24m<sup>2</sup> in area, situated at the rear or side of the dwelling, and with access directly from a habitable room?</p> <p><i>NOTE: Private open space excludes any area covered by buildings (dwelling, verandah, outbuildings, sheds), any area at the front of the dwelling and any area at ground level that is &lt;2.5m in width.</i></p> <p><i>NOTE: Private open space may include an area within a balcony provided that the width of the balcony is &gt; 2m</i></p>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Total private open space space ≥ 24m <sup>2</sup>
<p><b>13 Private Open Space for sites ≤ 300m<sup>2</sup> in area</b></p> <p>Is at least 24m<sup>2</sup> in area with a minimum dimension of 3m?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Private open space
<p><b>14 Private Open Space for sites 300m<sup>2</sup> - 500 m<sup>2</sup> in area</b></p> <p>Is at least 60m<sup>2</sup> in area with a minimum dimension of 4m?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Private open space
<p><b>15 Private Open Space for sites &gt; 500m<sup>2</sup> in area</b></p> <p>Is at least 80m<sup>2</sup> in area with a minimum dimension of 4m?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Private open space
<p><b>16 Upper storey windows that do not face a road reserve or other reserve adjoining the property boundary that has a width &gt;15m</b></p> <p>Upper storey windows facing a side or rear boundary:</p> <p><b>16.1</b> Is the sill height ≥ 1.5 metres above FFL? OR</p> <p><b>16.2</b> Is any part of the window that is below 1.5 metres from FFL fitted with permanent obscure glazing AND (if capable of opening) is it an awning window with maximum opening limited to 200mm?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Upper storey sill ≥ 1.5m Window glazing/opening
<p><b>17 Upper storey balcony or terrace</b></p> <p>Does the longest dimension of all upper storey balconies or terraces face onto a road reserve or other reserve that is at least 15m wide in all places where it faces the dwelling?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Upper storey balconies

Site Address:

*Dwelling design criteria that must be complied with to gain a Code approval. (continued)*

Requirements	Provided			Key Words
	Yes	No	N/A	
<b>18 Garages &amp; Carports</b> Will any proposed carport/garage:				
<b>18.1</b> be setback as far as the building line (excluding verandahs, porches or similar)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Garage setback $\geq$ building line
<b>18.2</b> be setback at least 5.5m from the primary street?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Setback 5.5m
<b>18.3</b> have opening(s) for vehicle access that total < 7m in width?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Opening access < 7m wide
<b>18.4</b> utilise a new vehicle access point as per one of the following: <ul style="list-style-type: none"> <li>- an authorised driveway crossover under the Local Government Act, 1999 (including an access point that has been granted consent as part of a land division application); or</li> <li>- a driveway access point that is not located within 6 metres of an intersection of 2 or more roads or a pedestrian actuated crossing and will not interfere with an item of street furniture, a tree or other infrastructure; or</li> <li>- a driveway access point is not required because the kerbing is formed to allow a car to roll over it?</li> </ul>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Driveway Authorised
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Driveway 6m distance
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Driveway access point
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Driveway gradient < 1:4
<b>19 Garages &amp; Carports facing rear alley, lane or right of way</b>				
<b>19.1</b> is the alley, lane or right of way > 6.2m in front of the garage or carport door openings?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Laneway width > 6.2m
<b>19.2</b> is the alley, lane or right of way > 6.2m wide along the entire width of the boundary of the allotment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Laneway width > 6.2m
<b>20 Parking</b>				
<b>20.1</b> If a 1 bedroom dwelling: is there a minimum of 1 parking space that is (or can be) enclosed or covered in a location that complies with Qu 18.1 and 18.2 above?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Minimum 1 carpark for 1 bedroom
<b>20.2</b> If a 2 or more bedroom dwelling: is there a minimum of 2 parking spaces with at least 1 that is (or can be) enclosed or covered in a location that complies with Qu 18.1 and 18.2 above?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Minimum 2 carparks for $\geq$ 2 bedrooms
<b>21 Windows to Primary Street</b>				
Is there at least 1 habitable room window facing the primary street?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Windows to primary street
<b>22 Site Coverage</b>				
Is the total roofed area of all buildings on the site $\leq$ 60% of the total site area?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Total roofed area < 60% site area

## 8

## Single Storey dwelling addition



Site Address: \_\_\_\_\_

*Dwelling design criteria that must be complied with to gain a Code approval.*

Requirements	Provided			Key Words
	Yes	No	N/A	
<i>If "no" to any of the below: Council may not be able to assess the application under the Code.</i>				
1 The alteration or addition is to relate to an existing detached or or semi-detached dwelling?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Alteration to existing dwelling
2 <b>Cut and fill</b> Is any cut and fill associated with the development $\leq$ a vertical height of 2 metres overall with no single cut or fill being $>1\text{m}$ ?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Cut and fill $\leq 2\text{m}$
3 <b>Primary Street (ie Front) Setback</b> Is the dwelling set back at least as far from the primary street frontage as the lesser of: 3.1 the distance specified in the <a href="#">Development Plan</a> ? OR 3.2 the average setback of any existing dwellings on either of the adjoining sites having frontage to the same primary street?	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>	Front setback $\geq$ Dev Plan Front setback $\geq$ adjacent
4 <b>Secondary Street (ie Side Street) Setback</b> Is the dwelling setback at least as far from the secondary street frontage as the lesser of: 4.1 900mm? OR 4.2 the setback of any existing dwelling on an adjoining site having a frontage to the same secondary street?	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>	Minimum secondary setback Adjacent secondary setback
5 <b>Rear Setback for sites <math>\leq 300\text{m}^2</math> in area:</b> Is the closest solid wall of the dwelling setback at least 3m from the rear boundary?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Rear setback $\leq 3\text{m}$ for sites $\leq 300\text{m}^2$
6 <b>Rear Setback for sites <math>&gt; 300\text{m}^2</math> in area</b> Is the closest solid wall of the dwelling setback at least 4m from the rear boundary?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Rear setback $\geq 4\text{m}$ for sites $> 300\text{m}^2$



# Single Storey dwelling addition



Site Address: \_\_\_\_\_

*Dwelling design criteria that must be complied with to gain a Code approval. (continued)*

Requirements	Provided			Key Words
	Yes	No	N/A	
<p><b>7 Side Wall Setback for Walls Not on a Boundary</b></p> <p><b>7.1</b> For any dwelling side wall <math>\leq</math> 3 metres in height: is the setback at least 900mm from the boundary?</p> <p><b>7.2</b> For any side wall exceeding 3 metres in height: is the side setback equal to 900mm + 1/3 of the remaining height over 3 metres from the top of the footings?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Side wall setback <math>\geq</math> 900mm for wall height <math>\leq</math> 3m</p> <p>Side wall setback for <math>&gt;</math> 3m wall height</p>
<p><b>8 For any wall on a Side (not a Secondary Frontage) Boundary</b></p> <p><b>8.1</b> Is the wall <math>\leq</math> 3m in height from the top of the footings?</p> <p><b>8.2</b> Is the wall <math>\leq</math> 8m in length?</p> <p><b>8.3</b> Is the total length of all relevant existing walls or structures and proposed new dwelling wall(s) on that side boundary <math>\leq</math> 45% of the length of the boundary?</p> <p><b>8.4</b> Is a clearance of <math>\geq</math>3m provided between the proposed wall(s) and any other relevant wall or structure located along the boundary?</p> <p><b>8.5</b> Is the proposed wall(s) located so as abut or be adjacent to an existing wall located on an adjacent site sharing the same site boundary?</p> <p><b>NOTE:</b> Fences and retaining walls <math>&lt;</math>1m in height are excluded from these requirements.</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Side wall <math>\leq</math> 3m in height</p> <p>Side wall <math>\leq</math> 8m in length</p> <p>Total length of walls <math>\leq</math> 45% of boundary</p> <p>Clearance of <math>&gt;</math> 3m</p> <p>Adjacent Walls</p>
<p><b>9 Side wall Setback for all sites</b></p> <p>Does the dwelling maintain a setback from at least one side boundary of 900 mm?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Side wall setback $\geq$ 900mm
<p><b>10 Height</b></p> <p><b>10.1</b> Is every part of the dwelling <math>\leq</math> 9m in height from the top of the footings?</p> <p><b>10.2</b> Are all walls <math>\leq</math> 6m in height from the top of the footings?</p> <p><b>10.3</b> Is every part of the dwelling to equal to or lower than the height of the dwelling before the commencement of construction?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Height of dwelling <math>\leq</math> 9m</p> <p>Height of walls <math>\leq</math> 6m</p> <p>Dwelling height</p>
<p><b>11 Private Open Space for all sites</b></p> <p>Is at least 24m<sup>2</sup> in area, situated at the rear or side of the dwelling, and with access directly from a habitable room?</p> <p><b>NOTE:</b> Private open space excludes any area covered by buildings (dwelling, verandah, outbuildings, sheds), any area at the front of the dwelling and any area at ground level that is <math>&lt;</math>2.5m in width.</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Total private open space $\leq$ 24m <sup>2</sup>

## 8

## Single Storey dwelling addition



Site Address:

*Dwelling design criteria that must be complied with to gain a Code approval. (continued)*

Requirements	Provided			Key Words
	Yes	No	N/A	
<b>12 Private Open Space for sites 300m<sup>2</sup> - 500m<sup>2</sup> in area</b> Is at least 60m <sup>2</sup> in area with a minimum dimension of 4m?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Private open space
<b>13 Private Open Space for sites &gt; 500m<sup>2</sup> in area</b> Is at least 80m <sup>2</sup> in area with a minimum dimension of 4m?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Private open space
<b>14 Private Open Space for sites ≤ 300m<sup>2</sup> in area</b> Is at least 24m <sup>2</sup> in area with a minimum dimension of 3m?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Private open space
<b>15 Garages &amp; Carports</b> Will any proposed garage or carport:				
<b>15.1</b> be setback as far as the building line of the dwelling (excluding verandahs, porches or similar)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Minimum 1 carpark for 1 bedroom
<b>15.2</b> be setback at least 5.5 m from the primary street?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Setback 5.5m
<b>15.3</b> have opening(s) for vehicle access that total < 7m in width?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Opening access < 7m wide
<b>15.4</b> utilise a new vehicle access point as per one of the following: - an authorised driveway crossover under the Local Government Act, 1999 (including an access point that has been granted consent as part of a land division application)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Driveway authorised
- a driveway access point that is not located within 6 metres of an intersection of 2 or more roads or a pedestrian actuated crossing and will not interfere with an item of street furniture, a tree or other infrastructure? or	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	driveway 6m distance
- a driveway access point is not required because the kerbing is formed to allow a car to rollover it? or	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Driveway access point
<b>15.5</b> utilise a driveway with a gradient less than 1:4 on average as measured from the allotment boundary to the front of the garage or carport?"	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Driveway gradient < 1:4
<b>16 Garages &amp; Carports facing rear alley, lane or right of way</b> Is the alley, lane or right of way > 6.2m wide along the entire width of the boundary of the allotment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Laneway width > 6.2m
<b>17 Parking</b>				
<b>17.1</b> If a 1 bedroom dwelling: is there a minimum of 1 parking space that is (or can be) enclosed or covered in a location that complies with Qu 16.1 and 16.2 above?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Minimum 1 carpark for 1 bedroom
<b>17.2</b> If a 2 or more bedroom dwelling: is there a minimum of 2 parking spaces with at least 1 that is (or can be) enclosed or covered in a location that complies with Qu 16.1 and 16.2 above?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Minimum 2 carparks for ≥ 2 bedrooms





## Single Storey dwelling addition



Site Address:

*Dwelling design criteria that must be complied with to gain a Code approval. (continued)*

Requirements	Provided			Key Words
	Yes	No	N/A	
<b>18 Site Coverage</b> Is the total roofed area of all buildings on the site $\leq$ 60% of the total site area?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Total roofed area < 60% site area
<b>19 Facade</b> Is there going to be no change in the facade of the existing dwelling when viewed from the primary street?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Street Facade
<b>20 Waste Control</b> Will the development not be built on or encroach upon an area that is or will be required for on site waste control as per the Public and Environment Health Act?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Waste Management

## 9

# Infill Development. More than one dwelling on an existing allotment



Site Address: \_\_\_\_\_

*Dwelling design criteria that must be complied with to gain a Code approval.*

Requirements	Provided			Key Words
	Yes	No	N/A	
<p><i>If you are using this Sheet you must have answered "no" to Question 1 on either sheet 4, 5, 6 or 7</i></p> <p><i>If "no" to any of the below: Council may not be able to assess the application under the Code.</i></p>				
<p>1 Is the <a href="#">Development Plan</a> minimum site area for a semi-detached dwelling met for each new site (including any balance of the allotment)?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Site Area
<p>2 Is the <a href="#">Development Plan</a> minimum site frontage for a semi-detached dwelling met for each new site (including any balance of the allotment)?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Site Frontage
<p>3 <b>Private Open Space for all sites</b> Is at least 24m<sup>2</sup> in area, situated at the rear or side of the dwelling, and with access directly from a habitable room? <b>NOTE:</b> <i>Private open space excludes any area covered by buildings (dwelling, verandah, outbuildings, sheds), any area at the front of the dwelling and any area at ground level that is &lt;2.5m in width.</i></p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Total private open space space ≥ 24m <sup>2</sup>
<p>4 <b>Private Open Space for sites ≤ 300m<sup>2</sup> in area</b> Is at least 24m<sup>2</sup> in area with a minimum dimension of 3m?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Private open space
<p>5 <b>Private Open Space for sites 300m<sup>2</sup> - 500m<sup>2</sup> in area</b> Is at least 60m<sup>2</sup> in area with a minimum dimension of 4m?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Private open space
<p>6 <b>Private Open Space for sites &gt; 500m<sup>2</sup> in area</b> Is at least 80m<sup>2</sup> in area with a minimum dimension of 4m?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Private open space
<p>7 <b>Parking</b></p> <p>7.1 If a 1 bedroom dwelling: is there a minimum of 1 parking space that is (or can be) enclosed or covered in a location that complies with Qu 8.1 and 8.2 below?</p> <p>7.2 If a 2 or more bedroom dwelling: is there a minimum of 2 parking spaces with at least 1 that is (or can be) enclosed or covered in a location that complies with Qu 8.1 and 8.2 below?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Minimum 1 carpark for 1 bedroom
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Minimum 2 carparks for ≥ 2 bedrooms

Site Address:

*Dwelling design criteria that must be complied with to gain a Code approval.*

Requirements	Provided			Key Words
	Yes	No	N/A	
<b>8 Garages &amp; Carports</b> Will any proposed garage or carport:				
<b>8.1</b> be setback as far as the building line of the dwelling (excluding verandahs, porches or similar)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Minimum 1 carpark for 1 bedroom
<b>8.2</b> be setback at least 5.5 m from the primary street?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Setback 5.5m
<b>8.3</b> have opening(s) for vehicle access that total < 7m in width?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Opening access < 7m wide
<b>8.4</b> utilise a new vehicle access point as per one of the following: - an authorised driveway crossover under the Local Government Act, 1999 (including an access point that has been granted consent as part of a land division application)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Driveway authorised
- a driveway access point that is not located within 6 metres of an intersection of 2 or more roads or a pedestrian actuated crossing and will not interfere with an item of street furniture, a tree or other infrastructure? or	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	driveway 6m distance
- a driveway access point is not required because the kerbing is formed to allow a car to rollover it? or	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Driveway access point
<b>8.5</b> utilise a driveway with a gradient less than 1:4 on average as measured from the allotment boundary to the front of the garage or carport?"	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Driveway gradient < 1:4
<b>9 Garages &amp; Carports facing rear alley, lane or right of way</b> Is the alley, lane or right of way > 6.2m wide along the entire width of the boundary of the allotment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Laneway width > 6.2m

## 10

## Glossary of Definitions

**ARI**

ARI means average recurrence interval of a flood event.

**AHD**

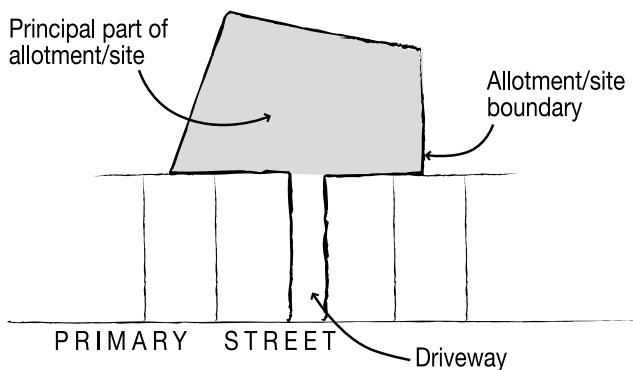
AHD means Australian height datum.

**BATTLE-AXE ALLOTMENT**

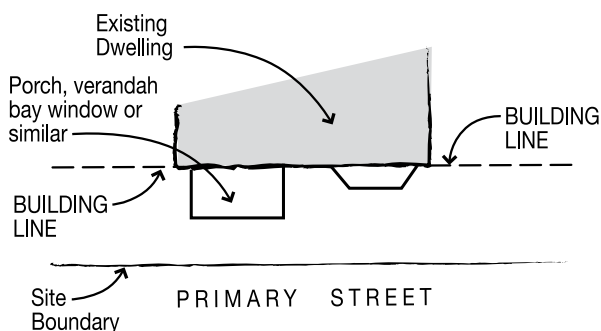
Battle-Axe allotment means an allotment or site that comprises-

- A** a driveway (and any related open space) that leads back from the road to the balance of the allotment or site; and
- B** a balance of the allotment or site that is the principal part of the allotment or site that does not have a boundary with the road.

**NOTE:** "Battle-Axe allotments" are often referred to as "hammerhead" or "flag pole" allotments.

**BUILDING LINE**

Building line, in relation to a building on site, means a line drawn parallel to the wall on the building closest to the boundary of the site that faces the primary street (and any existing projection from the building such as a carport, verandah, porch or bay window is not to be taken to form part of the building for the purposes of determining the relevant wall of the building).

**FFL**

FFL means finished floor level.

**FLOOD MANAGEMENT ZONE/AREA**

Flood Management Zone/Area means a Watercourse Zone, a Flood Zone or Flood Plain delineated by the relevant [Development Plan](#), or any other zone or area delineated as such a zone or area in a map in the relevant [Development Plan](#), or otherwise indicated by requirements in the relevant [Development Plan](#) for minimum finished floor levels expressed by reference to ARI or AHD.

**HABITABLE ROOM**

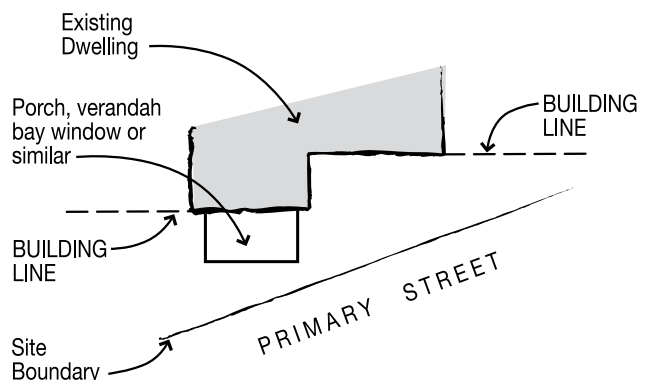
Habitable room means a room used for domestic activities but does not include a bathroom, laundry, hallway, lobby or other service or access area or space that is not occupied for extended periods.

**NATURAL SURFACE OF THE GROUND**

The natural surface of the ground is the existing ground level before the development is undertaken (disregarding any preparatory or related work that has been or is to be undertaken for the purposes of the development).

**HISTORIC CONSERVATION ZONE/AREA**

An Historic Conservation Zone/ Area means a Historic (Conservation) Zone, a Historic (Conservation) Policy Area, a Residential Historic (Conservation) Zone, a Historic Conservation Area, a Historic Township Zone or any other zone or area in which the "Historic" appears in the title of the zone or area in the relevant [Development Plan](#).



# 10

## Glossary of Definitions

### ROAD

A road has the same meaning as in the Local Government Act 1999 but does not include an alley, lane or right of way.

### PRIMARY STREET

A Primary street in relation to an existing or proposed building on a site is:

- (i) in the case of a site that has a frontage to only 1 road - that road;
- (ii) in the case of a site that has a frontage to 2 roads -
  - (A) if the frontages are identical in length - the road that forms part of the street address of the building, as determined by the council for the relevant area when it is allocating numbers to building and allotments under section 220 of the Local Government Act 1999; or
  - (B) in any other case - the road in relation to which the site has a shorter frontage; or
- (iii) in any other case - the road that forms part of the street address of the building, as determined by the council for the relevant area when it is allocated numbers to buildings and allotments under section 220 of the Local Government Act , 1999.

### RELEVANT WALL OR STRUCTURE

Means any wall or structure that is due to development that has occurred, or is proposed to occur, on the relevant allotment but does not include any fence or retaining wall between the relevant allotment and an adjoining allotment.

### SECONDARY STREET

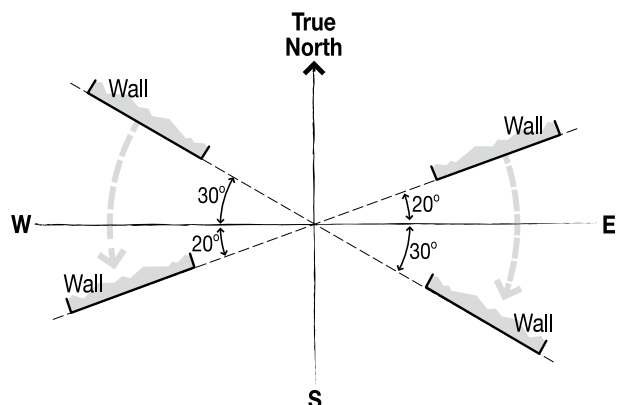
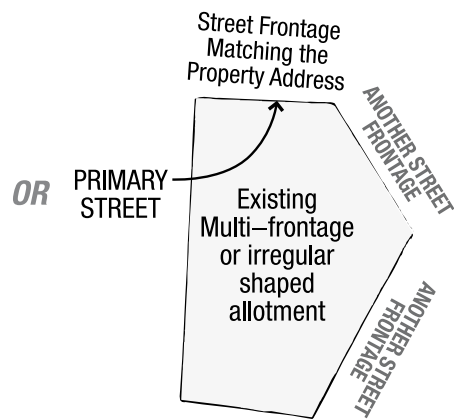
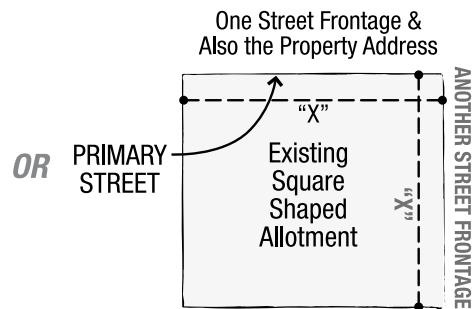
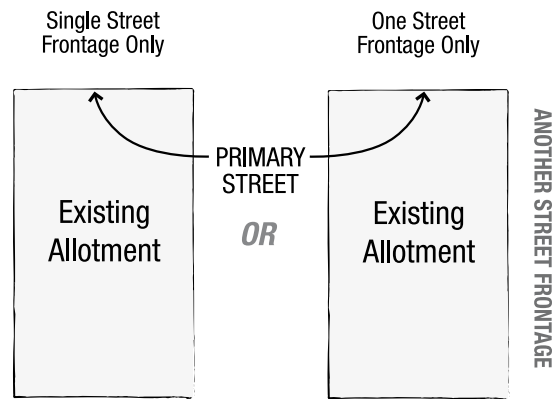
A secondary street in relation to a building is any road, other than the primary street, that shares a boundary with the allotment on which the building is situated (or to be situated).

### SOUTH

South means true south.

NOTE:

A side wall is south facing if the wall is orientated anywhere between E20oN/W20oS and E30oS/W30oN.



# Residential Code Dwellings and Additions (Sch.4 Cl. 2A & 2B) Development Application Form



Government of South Australia

Department of Planning,  
Transport and Infrastructure

Please tick the appropriate box to confirm the decision you are seeking:

Planning Consent: Private Certification  or DAC/Council

Building Rules Consent: Private Certification  or DAC/Council

## FOR OFFICE USE ONLY

Development No: .....

Designated Area: Yes  No

Exemptions: Yes  No

Schedule 8 Referrals: Yes  No

### APPLICANT:

Postal Address: \_\_\_\_\_

### OWNER:

Postal Address: \_\_\_\_\_

### BUILDER:

LICENCE No: \_\_\_\_\_

Postal Address: \_\_\_\_\_

### CONTACT PERSON FOR FURTHER INFORMATION:

Email: \_\_\_\_\_

Ph (work): \_\_\_\_\_

Ph (home): \_\_\_\_\_

PREVIOUS USE: Vacant Land  or Residential  or Other (please describe) : \_\_\_\_\_

DESCRIPTION OF PROPOSED DEVELOPMENT: Dwelling  or Other (please describe) : \_\_\_\_\_

### LOCATION OF PROPOSED DEVELOPMENT:

House No: \_\_\_\_\_ Lot No: \_\_\_\_\_ Street: \_\_\_\_\_ Suburb: \_\_\_\_\_

Lot No: \_\_\_\_\_ Section No. (full/part): \_\_\_\_\_ Hundred: \_\_\_\_\_

Certificate of Title - Volume: \_\_\_\_\_ Folio: \_\_\_\_\_

### DEVELOPMENT COST (do not include any fit-out costs):

HAS THE CONSTRUCTION INDUSTRY TRAINING FUND ACT 1993 LEVY BEEN PAID? Yes  or No

### SITE DECLARATIONS - NEW DWELLINGS ONLY:

Was the allotment created on or after 1 September 2009? Yes  or No

Does the site have connection to or is capable of being connected to a sewage system or waste control system which complies with the *Public and Environmental Health Act, 1987*? Yes  or No

Was the site, to the best of your knowledge and belief, subject to site contamination as a result of a previous use of the land or a previous activity on the land? Yes  or No

### SITE DECLARATIONS - ALL DEVELOPMENT:

Does a regulated tree exist on the site or on adjoining land which might be affected (including damage to tree roots) by the proposed development? Yes  or No

If the proposed building includes a garage/carport, does it gain driveway access from:  (if not applicable)

(i) an existing driveway or authorised access point; or Yes  or No

(ii) a mountable or rollover kerb; or Yes  or No

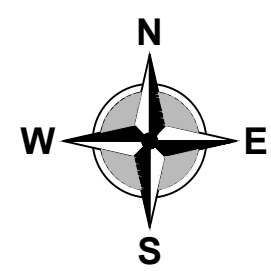
(iii) a driveway access point illustrated as part of an approved land division; or Yes  or No

(iv) a driveway access point that is not located within 6 m of an intersection or a pedestrian actuated crossing and will not interfere with a tree, street furniture, or other infrastructure? Yes  or No

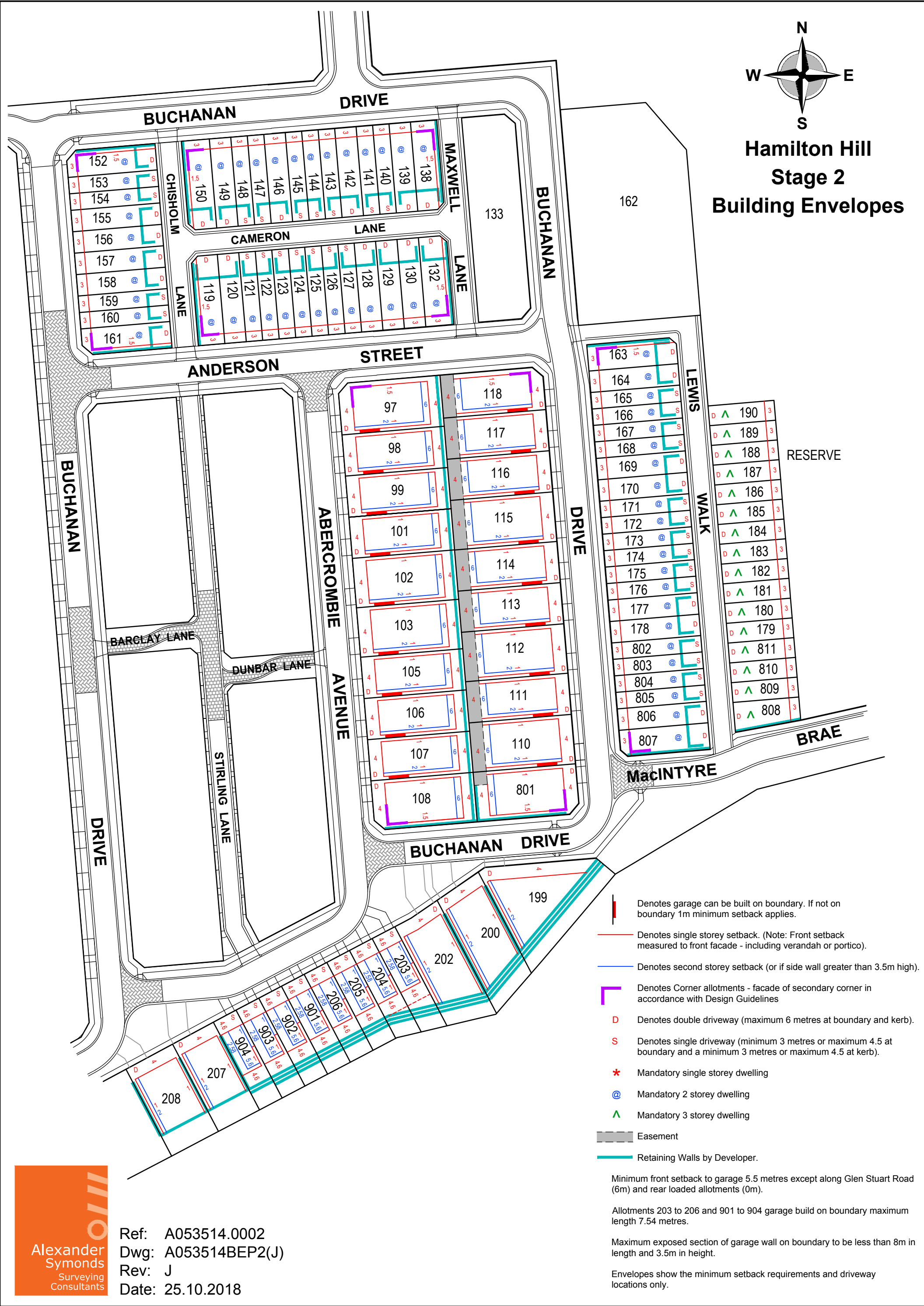
I acknowledge that copies of this application and supporting documentation may be provided to interested persons in accordance with the *Development Act, 1993*.

SIGNATURE: \_\_\_\_\_

Dated: \_\_\_\_\_



# Hamilton Hill Stage 2 Building Envelopes



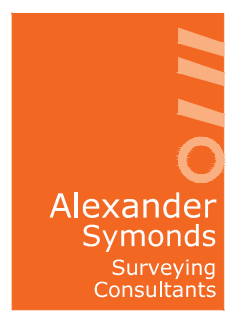
- Denotes garage can be built on boundary. If not on boundary 1m minimum setback applies.
- Denotes single storey setback. (Note: Front setback measured to front facade - including verandah or portico).
- Denotes second storey setback (or if side wall greater than 3.5m high).
- Denotes Corner allotments - facade of secondary corner in accordance with Design Guidelines
- Denotes double driveway (maximum 6 metres at boundary and kerb).
- Denotes single driveway (minimum 3 metres or maximum 4.5 at boundary and a minimum 3 metres or maximum 4.5 at kerb).
- Mandatory single storey dwelling
- Mandatory 2 storey dwelling
- Mandatory 3 storey dwelling
- Easement
- Retaining Walls by Developer.

Minimum front setback to garage 5.5 metres except along Glen Stuart Road (6m) and rear loaded allotments (0m).

Allotments 203 to 206 and 901 to 904 garage build on boundary maximum length 7.54 metres.

Maximum exposed section of garage wall on boundary to be less than 8m in length and 3.5m in height.

Envelopes show the minimum setback requirements and driveway locations only.



Ref: A053514.0002  
 Dwg: A053514BEP2(J)  
 Rev: J  
 Date: 25.10.2018

**Details of submitter No: 3 - LOUISE PASCALE**

<b>Submitter:</b>	LOUISE PASCALE
<b>Submitter Address:</b>	4/29 NORTON SUMMIT ROAD, WOODFORDE, Australia, 5072



# South Australia Planning, Development and Infrastructure ACT 2016

Representation on Application

**First name:**

LOUISE

**Last name:**

PASCALE

**Daytime Phone:**

**Would you like to present your submission in person at a hearing?**

- I wish to be heard in support of my representation
- I do not wish to be heard in support of my representation

**Nominated Speaker:**

LOUISE PASCALE

**My position is:**

- I support the development
- I support the development with some concerns (detail below)
- I oppose the development

**The specific reasons I believe that planning consent should be granted/refused are:**

As a part of the Strata which owns and cares for the significant tree in question I am concerned that all steps will not be taken to make sure it is not harmed in this development. While Project Green has detailed what needs to happen for the trees protection, there is still risk that the roots will be deprived of oxygen and kill off the tree.

We have already been approached with a request to have the tree removed for this development. We were falsely led to believe it was concern about branches dropping (despite the fact we maintain our trees with professional pruning) however we now know that it is because of the installation of a swimming pool. There is a precedent here of the ultimate outcome for this development being the removal of the tree. Depriving it of oxygen will do that and while the developer may claim to take all necessary steps, the request for its removal means we can not

guarantee environmental interests will be maintained.

---

### Attached Documents

File
No records to display.

Submitter Name:	Siu Hei Lui
Address:	80 The Strand, Mawson Lakes, Australia, 5095
Phone	

Objection 1	It is required that the proposed dwelling to have 4 metres setback from the boundary at the front which denoted very clearly that the front setback is measured to the front facade including verandah or portico. However, the pouch of the proposed dwelling only have 3.06 metres setback and the balcony only have 3.29 metres setback, which obviously violating the approved Building Envelope Plans. And therefore the proposed plan should not be approved.
Response 1	Refer to the building line definition on Plan SA website: Ground floor - Refer to Sheet BA03. The setback of the Bed 1 wall is 4140. This exceeds the minimum requirement Upper Level - Refer to Sheet BA04. The setback of the Bedroom 2 wall is (3920+900) = 4820. This exceeds minimum requirements. Also note that the upper balcony projection is less than 1500. Also note that the projection of the Porch is 1080.

Objection 2	The extended balcony without enough setback also create serious concerns on overlooking the dwelling next to it
Response 2	<b>NOTE: The exhibit picture provided by the objector is of the WRONG property. It is showing the land which is next to 8 Buchanan.</b> The projection of the balcony is within the guidelines. The Plans have the required site diagrams to ensure that the privacy of the neighbours is protected. Refer Sheet BA10 & BA11.

Objection 3	According the Building Envelope Plans Ref: A053514.0002 It is required that the proposed dwelling to have 1 metres setback from both sides. The proposed dwelling has only 0.94 metres with one side and no setback on the other side creates notably noise concerns. Also cutting too close to the boundary may undermine the existing neighbouring structure
Response 3	As per PlanSA requirement the minimum requirement is 900mm which is exceeded in the plans (current set back on South Side is 940MM). From a building envelope requirement perspective, the setback has been approved by Starfish Director who is responsible for the estate development. In terms on the garage having no set-back - this is as per buiding envelope requirement.

Objection 4	The proposed plan indicated that one side of the retaining wall is planning to demolished. However, the demolishing is not possible without damaging existing neighbouring structure.
Response 4	The retaining wall will be demolished and re-instated as per the Engineering Drawings which have been written by professionals and are the authority on how to proceed with such construction work. <b>NOTE: There is NO existing dwelling on the side where the new retaining wall has to be re-instated. Its a vacant land. The exhibit provided by the objector is WRONG and mis-leading.</b>

Objection 5	The construction of swimming pool undermine the neighbouring structure by cutting near the boundary.
Response 5	The engineering drawings for the pool are drawn by certified professionals who have to abide with the code of construction. They are the authority on this matter and have put the necessary steps in to remediate any future damage to any property structure. Technically the Pool will at the minimum have a set-back of 2.5 M with the neighbouring property when it is developed. At the moment its a vacant land. The swimming pool and the accessories are part of the accepted development and cannot be commented as they are not part of performance assessment.

Term (Column A)	Definition (Column B)	Illustrations (Column C)
Building line	In relation to a building on a site, means a line drawn parallel to the wall on the building closest to the boundary of the site that faces the primary street (and any existing projection from the building such as a verandah, porch, balcony, awning or bay window is not to be taken to form part of the building for the purposes of determining the relevant wall of the building, provided that the projection is not more than 1.5m).	

Submitter Name:	Ho Fan Lok
Address:	3 Newton Tce, Enfield, Australia, 5085
Phone	

Objection 1	According to Residential Code SA, new dwelling of more than one storey on a site with single street frontage should have front setback at least the same as the specific development plan or adjoining dwellings.
Response 1	The Code in reference has expired. Also refer to the building line definition.
Objection 2	The building envelope plan (specified that the frontage measures to the front facade including the portico, pouch, verandah or balcony) and the whole primary street of the proposed dwelling has at least 4 metres front setback which the proposed dwelling should be adjacent too
Reponse 2	Refer to the building line definition. The specification complies with the requirements.

Objection 3	The proposed dwelling plan only have 2.91 metres setback to the pouch and 3.29 metres setback to the balcony does not comply to the regulation and hence should not be approved
Response 3	Refer to the building line definition. The specification complies with the requirements.
Objection 4	The new dwelling has a 3.85 metres high side wall on top of footing on the boundary which the Residential Code SA only allows 3 metres high. And therefore the proposed dwelling violated the building code and should not be approved.
Response 4	This is inaccurate and code in reference expired in March 2021. The Garage Height and the fence height in question is the very reason for triggering public notification process. There are Engineering Reasons for the Garage height to be 3850MM. The building envelope mandates on which side the garage has to be constructed within the dwelling. Refer to the S&D drawings; that shows that the elevation of the driveway is steep. To meet the driveway incline requirements the Garage has to be dug further down in the ground. The resulting effect is on the dwelling which would have to be dug down further; thereby increasing the retaining wall on the sides and back further up. The retaining walls would have atleast gone 500MM more up at the back. To counter this, the dwelling design had to be a split level, where the house is sitting higher than the garage by 500MM. For these reasons the garage height had to be increased.
Objection 4	Adelaide Hills Council may have to provide explanations if the proposed development gains Code approval for the dwelling does not fit the criteria of Residential Code SA
Response 4	The code in reference is out of date.
Objector Name	LOUISE PASCALE
Address	4/29 NORTON SUMMIT ROAD, WOODFORDE, Australia, 5072
Mobile	
Objection 1	As a part of the Strata which owns and cares for the significant tree in question I am concerned that all steps will not be taken to make sure it is not harmed in this development. While Project Green has detailed what needs to happen for the trees protection, there is still risk that the roots will be deprived of oxygen and kill off the tree
Response 1	The client is bound by the Project Green report and will follow up with the required recommendations.
Objection 2	We have already been approached with a request to have the tree removed for this development. We were falsely led to believe it was concern about branches dropping (despite the fact we maintain our trees with professional pruning) however we now know that it is because of the installation of a swimming pool. There is a precedent here of the ultimate outcome for this development being the removal of the tree. Depriving it of oxygen will do that and while the developer may claim to take all necessary steps, the request for its removal means we can not guarantee environmental interests will be maintained
Response 2	The drawings have followed the required Arborist and Engineering report. The objector's comment is misleading as there are big branches still hanging on to the property and have NOT been pruned. Exhibit to show the picture of the hanging branches. The Arborist report initially did not recommend the pool installation due to its close proximity to the tree. The location has since being moved away to comply with the "Trees and the Law" legislation. The arborist report supports installation of the pool.

## Ashleigh Gade

---

**From:** Nick Carter  
**Sent:** Wednesday, 27 October 2021 4:48 PM  
**To:** Ashleigh Gade  
**Subject:** 8 Buchanan Dr.

Hi Ashleigh,

I have no objections to a crossover being installed at 8 Buchanan Dr and that access and egress crosses a continuous yellow line.

This indicates that vehicles are not permitted to park over this area.

Kind Regards

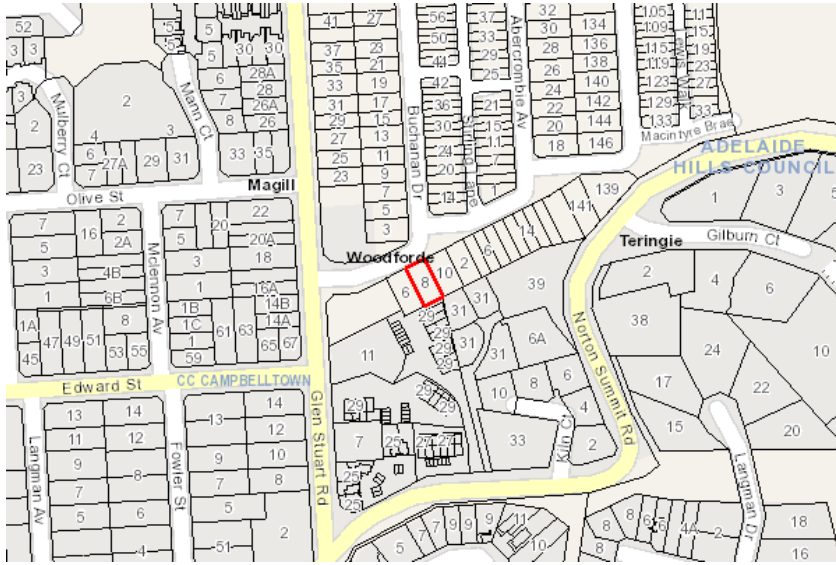
**Nick Carter**  
**Technical Officer**  
**Adelaide Hills Council**

**8 BUCHANAN DR WOODFORDE SA 5072**

**Address:**

Click to view a detailed interactive [SAILIS](#) in SAILIS

To view a detailed interactive property map in SAPPA click on the map below



**Property Zoning Details**

**Local Variation (TNV)**

Maximum Building Height (Metres) (Maximum building height is 12m)

Maximum Building Height (Metres) (Maximum building height is 9m)

Minimum Frontage (Minimum frontage for a detached dwelling is 12m; semi-detached dwelling is 10m; row dwelling is 10m; group dwelling is 15m; residential flat building is 15m)

Minimum Site Area (o\_o\_o\_Minimum site area for a detached dwelling is 450 sqm; semi-detached dwelling is 325 sqm; row dwelling is 300 sqm; group dwelling is 450 sqm; residential flat building is 300 sqm)

Maximum Building Height (Levels) (Maximum building height is 2 levels)

Maximum Building Height (Levels) (Maximum building height is 3 levels)

**Overlay**

Airport Building Heights (Regulated) (All structures over 30 metres)

Affordable Housing

Hazards (Bushfire - Urban Interface)

Hazards (Flooding - Evidence Required)

Prescribed Wells Area

Regulated and Significant Tree

Stormwater Management

Traffic Generating Development

Urban Tree Canopy

**Zone**

Housing Diversity Neighbourhood

Suburban Neighbourhood

**Selected Development(s)**

Detached dwelling

This development may be subject to multiple assessment pathways. Please review the document below to determine which pathway may be applicable based on the proposed development compliances to standards.

If no assessment pathway is shown this mean the proposed development will default to performance assessed. Please contact your local council in this instance. Refer to Part 1 - Rules of Interpretation - Determination of Classes of Development

Detached dwelling - Code Assessed - Performance Assessed

## Part 2 - Zones and Sub Zones

### Housing Diversity Neighbourhood Zone

#### Assessment Provisions (AP)

Desired Outcome	
DO 1	Medium density housing supports a range of needs and lifestyles, located within easy reach of a diversity of services and facilities. Employment and community service uses contribute to making the neighbourhood a convenient place to live without compromising residential amenity.

Performance Outcomes (PO) and Deemed to Satisfy (DTS) / Designated Performance Feature (DPF) Criteria

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Land Use and Intensity	
<p>PO 1.1</p> <p>Diverse range of medium density housing and accommodation complemented by a range of compatible non-residential uses supporting an active, convenient, and walkable neighbourhood.</p>	<p>DTS/DPF 1.1</p> <p>Development comprises one or more of the following:</p> <ul style="list-style-type: none"> <li>(a) Ancillary accommodation</li> <li>(b) Consulting room</li> <li>(c) Community facility</li> <li>(d) Dwelling</li> <li>(e) Educational establishment</li> <li>(f) Office</li> <li>(g) Place of Worship</li> <li>(h) Pre-school</li> <li>(i) Recreation area</li> <li>(j) Residential flat building</li> <li>(k) Retirement facility</li> <li>(l) Shop</li> <li>(m) Supported accommodation.</li> </ul>
Site Dimensions and Land Division	
<p>PO 2.1</p> <p>Allotments/sites created for residential purposes accommodate a diverse range of low to medium density housing, with higher densities closer to public open space, public transport stations and activity centres.</p>	<p>DTS/DPF 2.1</p> <p>Development will not result in more than 1 dwelling on an existing allotment</p> <p>or</p> <p>Allotments/sites for residential purposes accord with the following:</p> <ul style="list-style-type: none"> <li>(a) site areas (or allotment areas in the case of land division) are not less than the following (average site area per dwelling, including common areas, applies for group</li> </ul>

	<p>dwelling or dwellings within a residential flat building):</p> <p>and</p> <p>(b) site frontages (or allotment frontages in the case of land division) are not less than:</p> <p>In relation to DTS/DPF 2.1, in instances where:</p> <p>(c) more than one value is returned in the same field, refer to the <i>Minimum Frontage Technical and Numeric Variation</i> layer or <i>Minimum Site Area Technical and Numeric Variation</i> layer in the SA planning database to determine the applicable value relevant to the site of the proposed development.</p> <p>(d) no value is returned in DTS/DPS 2.1(a) (i.e. there is a blank field or the value is not relevant), then a net residential density of up to 70 dwellings per hectare applies.</p> <p>(e) no value is returned in DTS/DPS 2.1(b) (i.e. there is a blank field or the value is not relevant), then there is no minimum frontage and DTS/DPF 2.1(b) is met.</p>						
<p>PO 2.2</p> <p>Development creating new allotments/sites in conjunction with retention of an existing dwelling ensures the site of the existing dwelling remains fit for purpose.</p>	<p>DTS/DPF 2.2</p> <p>Where the site of a dwelling does not comprise an entire allotment:</p> <p>(a) the balance of the allotment accords with the requirements specified in Housing Diversity Neighbourhood Zone DTS/DPF 2.1</p> <p>(b) if there is an existing dwelling on the allotment that will remain on the allotment after completion of the development it will not contravene:</p> <p>(i) private open space requirements specified in Design in Urban Areas Table 1 - Private Open Space</p> <p>(ii) car parking requirements specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas to the nearest whole number.</p>						
<p>Building Height</p>							
<p>PO 3.1</p> <p>Building height is consistent with the form expressed in any relevant Maximum Building Height Levels Technical and Numeric Variation and Maximum Building Height Metres Technical and Numeric Variation, and is otherwise generally low rise, or complements the height of nearby buildings.</p>	<p>DTS/DPF 3.1</p> <p>Building height (excluding garages, carports and outbuildings) is no greater than:</p> <p>(a) the following:</p> <table border="1" data-bbox="831 1816 1520 2067"> <tr> <td style="text-align: center;"><b>Maximum Building Height (Metres)</b></td> </tr> <tr> <td>Maximum building height is 9m</td> </tr> <tr> <td>Maximum building height is 12m</td> </tr> <tr> <td style="text-align: center;"><b>Maximum Building Height (Levels)</b></td> </tr> <tr> <td>Maximum building height is 2 levels</td> </tr> <tr> <td>Maximum building height is 3 levels</td> </tr> </table> <p>(b) in all other cases (i.e. there are blank fields for both</p>	<b>Maximum Building Height (Metres)</b>	Maximum building height is 9m	Maximum building height is 12m	<b>Maximum Building Height (Levels)</b>	Maximum building height is 2 levels	Maximum building height is 3 levels
<b>Maximum Building Height (Metres)</b>							
Maximum building height is 9m							
Maximum building height is 12m							
<b>Maximum Building Height (Levels)</b>							
Maximum building height is 2 levels							
Maximum building height is 3 levels							



	<p>maximum building height (metres) and maximum building height (levels)) - 2 building levels up to a maximum height of 9m.</p> <p>In relation to DTS/DPF 3.1, in instances where:</p> <p>(c) more than one value is returned in the same field, refer to the <i>Maximum Building Height (Levels) Technical and Numeric Variation</i> layer or <i>Maximum Building Height (Meters) Technical and Numeric Variation</i> layer in the SA planning database to determine the applicable value relevant to the site of the proposed development</p> <p>(d) only one value is returned for DTS/DPF 3.1(a) (i.e. there is one blank field), then the relevant height in metres or building levels applies with no criteria for the other.</p>
Primary Street Setback	
<p>PO 4.1</p> <p>Buildings are set back from primary street boundaries to contribute to the existing/emerging pattern of street setbacks in the streetscape.</p>	<p>DTS/DPF 4.1</p> <p>The building line of a building set back from the primary street boundary not less than 3m.</p>
Secondary Street Setback	
<p>PO 5.1</p> <p>Buildings are set back from secondary street boundaries to achieve a pattern of separation between building walls and public thoroughfares and to reinforce streetscape character.</p>	<p>DTS/DPF 5.1</p> <p>Buildings walls are set back at least 900mm from the boundary of the allotment with the secondary street frontage, or if a dwelling on any adjoining allotment is closer to the secondary street than 0.9m, the distance of that dwelling from the boundary with the secondary street (being, if relevant, the lesser of the 2 distances).</p>
Boundary Walls	
<p>PO 6.1</p> <p>Dwelling boundary walls are limited in height and length to manage visual and overshadowing impacts on adjoining residential properties.</p>	<p>DTS/DPF 6.1</p> <p>Except where the dwelling is located on a central site within a row dwelling or terrace arrangement, side boundary walls occur on only one side boundary and satisfy (a) or (b) below:</p> <p>(a) side boundary walls adjoin or abut a boundary wall of a building on adjoining land for the same or lesser length and height</p> <p>(b) side boundary walls do not:</p> <ul style="list-style-type: none"> <li>(i) exceed 3m in height from the top of footings</li> <li>(ii) exceed 11.5m in length</li> <li>(iii) when combined with other walls on the boundary of the subject development site, exceed a maximum 45% of the length of the boundary</li> <li>(iv) encroach within 3m of any other existing or proposed boundary walls on the subject land.</li> </ul>
<p>PO 6.2</p> <p>Dwellings in a semi-detached, row or terrace arrangements maintain space between buildings consistent with a suburban streetscape character.</p>	<p>DTS/DPF 6.2</p> <p>Dwelling walls in a semi-detached, row or terrace arrangement are set back at least 900mm from side boundaries shared with allotments outside the development site.</p>
Side Boundary Setback	
<p>PO 7.1</p>	<p>DTS/DPF 7.1</p>

<p>Buildings walls are set back from side boundaries to provide:</p> <ul style="list-style-type: none"> <li>(a) separation between dwellings in a way that complements the established character of the locality</li> <li>(b) access to natural light and ventilation for neighbours.</li> </ul>	<p>Other than walls located on a side boundary, building walls are set back from side boundaries:</p> <ul style="list-style-type: none"> <li>(a) at least 900mm for a wall height less than 3m</li> <li>(b) at least 900mm plus 1/3 of the wall height above 3m.</li> </ul>
<p>Rear Boundary Setback</p>	
<p>PO 8.1</p> <p>Dwelling walls are set back from rear boundaries to provide:</p> <ul style="list-style-type: none"> <li>(a) separation between dwellings in a way that complements the established character of the locality</li> <li>(b) access to natural light and ventilation for neighbours</li> <li>(c) open space recreational opportunities</li> <li>(d) space for landscaping and vegetation.</li> </ul>	<p>DTS/DPF 8.1</p> <p>Dwelling walls are set back from the rear boundary at least:</p> <ul style="list-style-type: none"> <li>(a) 3m for the first building level or 0m where the rear boundary abuts a laneway</li> <li>(b) 5m for any second building level</li> <li>(c) 5m plus any increase in wall height over 7m for buildings of 3 building levels and above..</li> </ul>

**Table 5 - Procedural Matters (PM) - Notification**

The following table identifies, pursuant to section 107(6) of the *Planning, Development and Infrastructure Act 2016*, classes of performance assessed development that are excluded from notification. The table also identifies any exemptions to the placement of notices when notification is required.

**Interpretation**

A class of development listed in Column A is excluded from notification provided that it does not fall within a corresponding exclusion prescribed in Column B. In instances where development falls within multiple classes within Column A, each clause is to be read independently such that if a development is excluded from notification by any clause, it is, for the purposes of notification excluded irrespective of any other clause.

<p><b>Class of Development (Column A)</b></p>	<p><b>Exceptions (Column B)</b></p>
<p>1. A kind of development which, in the opinion of the relevant authority, is of a minor nature only and will not unreasonably impact on the owners or occupiers of land in the locality of the site of the development.</p>	<p>None specified.</p>
<p>2. All development undertaken by:</p> <ul style="list-style-type: none"> <li>(a) the South Australian Housing Trust either individually or jointly with other persons or bodies</li> <li>or</li> <li>(b) a provider registered under the Community Housing National Law participating in a program relating to the renewal of housing endorsed by the South Australian Housing Trust.</li> </ul>	<p>Except development involving any of the following:</p> <ul style="list-style-type: none"> <li>1. residential flat building(s) of 3 storeys or greater</li> <li>2. the demolition of a State or Local Heritage Place</li> <li>3. the demolition of a building (except an ancillary building) in a Historic Area Overlay.</li> </ul>
<p>3. Any development involving any of the following (or of any combination of any of the following):</p>	<p>Except development that:</p>

<ul style="list-style-type: none"> <li>(a) air handling unit, air conditioning system or exhaust fan</li> <li>(b) ancillary accommodation</li> <li>(c) building work on railway lands</li> <li>(d) carport</li> <li>(e) deck</li> <li>(f) demolition</li> <li>(g) dwelling</li> <li>(h) dwelling addition</li> <li>(i) fence</li> <li>(j) outbuilding</li> <li>(k) pergola</li> <li>(l) private bushfire shelter</li> <li>(m) recreation area</li> <li>(n) residential flat building</li> <li>(o) retaining wall</li> <li>(p) retirement facility</li> <li>(q) shade sail</li> <li>(r) solar photovoltaic panels (roof mounted)</li> <li>(s) student accommodation</li> <li>(t) supported accommodation</li> <li>(u) swimming pool or spa pool</li> <li>(v) verandah</li> <li>(w) water tank.</li> </ul>	<ul style="list-style-type: none"> <li>1. exceeds the maximum building height specified in Housing Diversity Neighbourhood Zone 3.1 or</li> <li>2. involves a building wall (or structure) that is proposed to be situated on a side boundary (not being a boundary with a primary street or secondary street) and: <ul style="list-style-type: none"> <li>(a) the length of the proposed wall (or structure) exceeds 11.5m (other than where the proposed wall abuts an existing wall or structure of greater length on the adjoining allotment)</li> <li>or</li> <li>(b) the height of the proposed wall (or post height) exceeds 3m measured from the top of footings (other than where the proposed wall (or post) abuts an existing wall or structure of greater height on the adjoining allotment).</li> </ul> </li> </ul>
<p>4. Alteration of or addition to any development involving any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> <li>(a) community facility</li> <li>(b) educational establishment</li> <li>(c) pre-school.</li> </ul>	<p>Except development that does not satisfy Housing Diversity Neighbourhood Zone DTS/DPF 1.4.</p>
<p>5. Any development involving any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> <li>(a) consulting room</li> <li>(b) office</li> <li>(c) shop.</li> </ul>	<p>Except development that:</p> <ul style="list-style-type: none"> <li>1. exceeds the maximum building height specified in Housing Diversity Neighbourhood Zone 3.1 or</li> <li>2. does not satisfy Housing Diversity Neighbourhood Zone DTS/DPF 1.2 or</li> <li>3. involves a building wall (or structure) that is proposed to be situated on a side boundary (not being a boundary with a primary street or secondary street) and: <ul style="list-style-type: none"> <li>(a) the length of the proposed wall (or structure) exceeds 11.5m (other than where the proposed wall abuts an existing wall or structure of greater length on the adjoining allotment)</li> <li>or</li> <li>(b) the height of the proposed wall (or post height) exceeds 3m measured from the top of footings (other than where the proposed wall (or post) abuts an existing wall or structure of greater height on the adjoining allotment).</li> </ul> </li> </ul>

<p>6. Any development involving any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> <li>(a) internal building works</li> <li>(b) land division</li> <li>(c) replacement building</li> <li>(d) temporary accommodation in an area affected by bushfire</li> <li>(e) tree damaging activity.</li> </ul>	<p>None specified.</p>
<p>7. Demolition.</p>	<p>Except any of the following:</p> <ul style="list-style-type: none"> <li>1. the demolition of a State or Local Heritage Place</li> <li>2. the demolition of a building (except an ancillary building) in a Historic Area Overlay.</li> </ul>

**Placement of Notices - Exemptions for Performance Assessed Development**

None specified.

**Placement of Notices - Exemptions for Restricted Development**

None specified.

**Suburban Neighbourhood Zone**

**Assessment Provisions (AP)**

<p style="text-align: center;"><b>Desired Outcome</b></p>	
<p>DO 1</p>	<p>Low density housing is consistent with the existing local context and development pattern. Services and community facilities contribute to making the neighbourhood a convenient place to live without compromising residential amenity and character.</p>

Performance Outcomes (PO) and Deemed to Satisfy (DTS) / Designated Performance Feature (DPF) Criteria

<p style="text-align: center;"><b>Performance Outcome</b></p>	<p style="text-align: center;"><b>Deemed-to-Satisfy Criteria / Designated Performance Feature</b></p>
<p>Land Use and Intensity</p>	
<p>PO 1.1</p> <p>Predominantly low density residential development with complementary non-residential uses compatible with a low density residential character.</p>	<p>DTS/DPF 1.1</p> <p>Development comprises one or more of the following:</p> <ul style="list-style-type: none"> <li>(a) Ancillary accommodation</li> <li>(b) Community facility</li> <li>(c) Consulting room</li> <li>(d) Dwelling</li> <li>(e) Educational establishment</li> <li>(f) Office</li> <li>(g) Place of Worship</li> </ul>

	<ul style="list-style-type: none"> <li>(h) Pre-school</li> <li>(i) Recreation area</li> <li>(j) Shop</li> <li>(k) Supported accommodation.</li> </ul>				
<p>Site Dimensions and Land Division</p>					
<p>PO 2.1</p> <p>Allotments/sites created for residential purposes are of suitable size and dimension and are compatible with the housing pattern consistent to the locality.</p>	<p>DTS/DPF 2.1</p> <p>Development will not result in more than 1 dwelling on an existing allotment</p> <p>or</p> <p>Allotments/sites for residential purposes accord with the following:</p> <ul style="list-style-type: none"> <li>(a) site areas (or allotment areas in the case of land division) are not less than the following (average site area per dwelling, including common areas, applies for group dwellings or dwellings within a residential flat building):</li> </ul> <table border="1" data-bbox="833 779 1519 920"> <thead> <tr> <th style="text-align: center;">Minimum Site Area</th> </tr> </thead> <tbody> <tr> <td>Minimum site area for a detached dwelling is 450 sqm; semi-detached dwelling is 325 sqm; row dwelling is 300 sqm; group dwelling is 450 sqm; residential flat building is 300 sqm</td> </tr> </tbody> </table> <ul style="list-style-type: none"> <li>(b) site frontages (or allotment frontage in the case of land division) are not less than:</li> </ul> <table border="1" data-bbox="833 1048 1519 1189"> <thead> <tr> <th style="text-align: center;">Minimum Frontage</th> </tr> </thead> <tbody> <tr> <td>Minimum frontage for a detached dwelling is 12m; semi-detached dwelling is 10m; row dwelling is 10m; group dwelling is 15m; residential flat building is 15m</td> </tr> </tbody> </table> <p>In relation to DTS/DPF 2.1, in instances where:</p> <ul style="list-style-type: none"> <li>(c) more than one value is returned in the same field, refer to the <i>Minimum Frontage Technical and Numeric Variation layer</i> or <i>Minimum Site Area Technical and Numeric Variation layer</i> in the SA planning database to determine the applicable value relevant to the site of the proposed development</li> <li>(d) no value is returned in (a) or (b) (i.e. there is a blank field or the relevant dwelling type is not listed), then none are applicable and the relevant development cannot be classified as deemed-to-satisfy.</li> </ul>	Minimum Site Area	Minimum site area for a detached dwelling is 450 sqm; semi-detached dwelling is 325 sqm; row dwelling is 300 sqm; group dwelling is 450 sqm; residential flat building is 300 sqm	Minimum Frontage	Minimum frontage for a detached dwelling is 12m; semi-detached dwelling is 10m; row dwelling is 10m; group dwelling is 15m; residential flat building is 15m
Minimum Site Area					
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Minimum Frontage					
Minimum frontage for a detached dwelling is 12m; semi-detached dwelling is 10m; row dwelling is 10m; group dwelling is 15m; residential flat building is 15m					
<p>PO 2.2</p> <p>Development creating new allotments/sites in conjunction with retention of an existing dwelling ensures the site of the existing dwelling remains fit for purpose.</p>	<p>DTS/DPF 2.2</p> <p>Where the site of a dwelling does not comprise an entire allotment:</p> <ul style="list-style-type: none"> <li>(a) the balance of the allotment accords with site area and frontage requirements specified in Suburban Neighbourhood Zone DTS/DPF 2.1</li> <li>(b) if there is an existing dwelling on the allotment that will remain on the allotment after completion of the development, it will not contravene:             <ul style="list-style-type: none"> <li>(i) Private open space requirements specified in Design in Urban Areas Table 1 - Private Open Space</li> <li>(ii) Car parking requirements specified in Transport, Access and Parking Table 1 - General Off-Street</li> </ul> </li> </ul>				

	<p>Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas to the nearest whole number.</p>						
<p>Site coverage</p>							
<p>PO 3.1 Building footprints consistent with the character and pattern of a low-density suburban neighbourhood and provide sufficient space around buildings to limit visual impact, provide an attractive outlook and access to light and ventilation.</p>	<p>DTS/DPF 3.1 The development does not result in site coverage exceeding 50%.</p>						
<p>Building Height</p>							
<p>PO 4.1 Buildings contribute to a low-rise suburban character and complement the height of nearby buildings.</p>	<p>DTS/DPF 4.1 Building height (excluding garages, carports and outbuildings) is no greater than:</p> <p>(a) the following:</p> <table border="1" data-bbox="831 808 1520 1057"> <tr> <td style="text-align: center;"><b>Maximum Building Height (Metres)</b></td> </tr> <tr> <td>Maximum building height is 9m</td> </tr> <tr> <td>Maximum building height is 12m</td> </tr> <tr> <td style="text-align: center;"><b>Maximum Building Height (Levels)</b></td> </tr> <tr> <td>Maximum building height is 2 levels</td> </tr> <tr> <td>Maximum building height is 3 levels</td> </tr> </table> <p>(b) in all other cases (i.e. there are blank fields for both maximum building height (metres) and maximum building height (levels)) - 2 building levels up to a height of 9m.</p> <p>In relation to DTS/DPF 4.1, in instances where:</p> <p>(c) more than one value is returned in the same field, refer to the <i>Maximum Building Height (Levels) Technical and Numeric Variation layer</i> or <i>Maximum Building Height (Meters) Technical and Numeric Variation layer</i> in the SA planning database to determine the applicable value relevant to the site of the proposed development</p> <p>(d) only one value is returned for DTS/DPF 4.1(a) (i.e. there is one blank field), then the relevant height in metres or building levels applies with no criteria for the other.</p>	<b>Maximum Building Height (Metres)</b>	Maximum building height is 9m	Maximum building height is 12m	<b>Maximum Building Height (Levels)</b>	Maximum building height is 2 levels	Maximum building height is 3 levels
<b>Maximum Building Height (Metres)</b>							
Maximum building height is 9m							
Maximum building height is 12m							
<b>Maximum Building Height (Levels)</b>							
Maximum building height is 2 levels							
Maximum building height is 3 levels							
<p>Primary Street Setback</p>							
<p>PO 5.1 Buildings are setback from primary street boundaries consistent with the existing streetscape.</p>	<p>DTS/DPF 5.1 The building line of a building set back from the primary street boundary:</p> <p>(a) no more than 1m in front of the average setback to the building line of existing buildings on adjoining sites which face the same primary street (including those buildings that would adjoin the site if not separated by a public road or a vacant allotment)</p> <p>(b) where there is only one existing building on adjoining sites which face the same primary street (including those that would adjoin if not separated by a public road or a vacant allotment), no more than 1m in front of the setback to the building line of that building</p>						

	<p>or</p> <p>(c) not less than 8m where no building exists on an adjoining site with the same primary street frontage.</p>
Secondary Street Setback	
<p>PO 6.1</p> <p>Buildings are set back from secondary street boundaries (not being a rear laneway) to maintain a pattern of separation between buildings and public streets and reinforce streetscape character.</p>	<p>DTS/DPF 6.1</p> <p>Building walls are set back at least 900mm from the boundary of the allotment with the secondary street frontage, or if a dwelling on any adjoining allotment is closer to the secondary street than 900mm, the distance of that dwelling from the boundary with the secondary street (being, if relevant, the lesser of the 2 distances).</p>
Boundary Walls	
<p>PO 7.1</p> <p>Dwelling boundary walls are limited in height and length to manage visual and overshadowing impacts on adjoining properties.</p>	<p>DTS/DPF 7.1</p> <p>Except where the dwelling is located on a central site within a row dwelling or terrace arrangement, side boundary walls occur only on one side boundary and satisfy (a) or (b):</p> <p>(a) side boundary walls adjoin or abut a boundary wall of a building on adjoining land for the same or lesser length and height</p> <p>(b) side boundary walls do not:</p> <p>(i) exceed 3m in height from the top of footings</p> <p>(ii) exceed 11.5m in length</p> <p>(iii) when combined with other walls on the boundary of the subject development site, exceed a maximum 45% of the length of the boundary</p> <p>(iv) encroach within 3 metres of any other existing or proposed boundary walls on the subject land.</p>
<p>PO 7.2</p> <p>Dwellings in a semi-detached, row or terrace arrangement maintain space between buildings consistent with a low density suburban streetscape character.</p>	<p>DTS/DPF 7.2</p> <p>Dwelling walls in a semi-detached, row or terrace arrangement are setback from side boundaries shared with allotments outside the development site at least the minimum distance identified in DTS/DPF 8.1.</p>
Side Boundary Setback	
<p>PO 8.1</p> <p>Buildings are set back from side boundaries to provide:</p> <p>(a) separation between dwellings in a way that complements the character of the locality</p> <p>(b) access to natural light and ventilation for neighbours.</p>	<p>DTS/DPF 8.1</p> <p>Other than walls located on a side boundaries, building walls are set back from side boundaries:</p> <p>(a) at least 900mm where the wall is up to 3m measured from the top of the footings</p> <p>(b) other than for a wall facing a southern side boundary, at least 900mm plus 1/3 of the wall height above 3m</p> <p>(c) at least 1.9m plus 1/3 of the wall height above 3m for walls facing a southern side boundary.</p>
Rear Boundary Setback	
<p>PO 9.1</p> <p>Buildings are set back from rear boundaries to provide:</p> <p>(a) separation between dwellings in a way that complements the established character of the locality</p>	<p>DTS/DPF 9.1</p> <p>Dwelling walls are set back from the rear boundary at least:</p> <p>(a) if the size of the site is less than 301 square metres—</p> <p>(i) 3m in relation to the ground floor of the dwelling</p> <p>(ii) 5m in relation to any other building level of the</p>

<ul style="list-style-type: none"> <li>(b) access to natural light and ventilation for neighbours</li> <li>(c) private open space</li> <li>(d) space for landscaping and vegetation.</li> </ul>	<p style="text-align: center;">dwelling</p> <ul style="list-style-type: none"> <li>(b) if the size of the site is 301 square metres or more—                             <ul style="list-style-type: none"> <li>(i) 4m in relation to the ground floor of the dwelling</li> <li>(ii) 6m in relation to any other building level of the dwelling.</li> </ul> </li> </ul>
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**Table 5 - Procedural Matters (PM) - Notification**

The following table identifies, pursuant to section 107(6) of the *Planning, Development and Infrastructure Act 2016*, classes of performance assessed development that are excluded from notification. The table also identifies any exemptions to the placement of notices when notification is required.

**Interpretation**

A class of development listed in Column A is excluded from notification provided that it does not fall within a corresponding exclusion prescribed in Column B. In instances where development falls within multiple classes within Column A, each clause is to be read independently such that if a development is excluded from notification by any clause, it is, for the purposes of notification excluded irrespective of any other clause.

Class of Development (Column A)	Exceptions (Column B)
<p>1. A kind of development which, in the opinion of the relevant authority, is of a minor nature only and will not unreasonably impact on the owners or occupiers of land in the locality of the site of the development.</p>	<p>None specified.</p>
<p>2. All development undertaken by:</p> <ul style="list-style-type: none"> <li>(a) the South Australian Housing Trust either individually or jointly with other persons or bodies or</li> <li>(b) a provider registered under the Community Housing National Law participating in a program relating to the renewal of housing endorsed by the South Australian Housing Trust.</li> </ul>	<p>Except development involving any of the following:</p> <ul style="list-style-type: none"> <li>1. residential flat building(s) of 3 or more building levels</li> <li>2. the demolition of a State or Local Heritage Place</li> <li>3. the demolition of a building (except an ancillary building) in a Historic Area Overlay.</li> </ul>
<p>3. Any development involving any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> <li>(a) air handling unit, air conditioning system or exhaust fan</li> <li>(b) ancillary accommodation</li> <li>(c) building work on railway land</li> <li>(d) carport</li> <li>(e) deck</li> <li>(f) dwelling</li> <li>(g) dwelling addition</li> <li>(h) fence</li> <li>(i) outbuilding</li> <li>(j) pergola</li> <li>(k) private bushfire shelter</li> <li>(l) residential flat building</li> </ul>	<p>Except development that:</p> <ul style="list-style-type: none"> <li>1. exceeds the maximum building height specified in Suburban Neighbourhood Zone DTS/DPF 4.1 or</li> <li>2. involves a building wall (or structure) that is proposed to be situated on a side boundary (not being a boundary with a primary street or secondary street) and:                             <ul style="list-style-type: none"> <li>(a) the length of the proposed wall (or structure) exceeds 11.5m (other than where the proposed wall abuts an existing wall or structure of greater length on the adjoining allotment) or</li> <li>(b) the height of the proposed wall (or post height) exceeds 3m measured from the top of footings (other than where the proposed wall (or</li> </ul> </li> </ul>



<ul style="list-style-type: none"> <li>(m) retaining wall</li> <li>(n) shade sail</li> <li>(o) solar photovoltaic panels (roof mounted)</li> <li>(p) supported accommodation</li> <li>(q) swimming pool or spa pool</li> <li>(r) verandah</li> <li>(s) water tank.</li> </ul>	<p>post) abuts an existing wall or structure of greater height on the adjoining allotment).</p>
<p>4. Alteration of or addition to any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> <li>(a) community facility</li> <li>(b) educational establishment</li> <li>(c) pre-school.</li> </ul>	<p>Except where development does not satisfy Suburban Neighbourhood Zone DTS/DPF 1.4.</p>
<p>5. Any development involving any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> <li>(a) consulting room</li> <li>(b) office</li> <li>(c) shop.</li> </ul>	<p>Except development that:</p> <ol style="list-style-type: none"> <li>1. exceeds the maximum building height specified in Suburban Neighbourhood Zone DTS/DPF 4.1 or</li> <li>2. does not satisfy Suburban Neighbourhood Zone DTS/DPF 1.2 or</li> <li>3. involves a building wall (or structure) that is proposed to be situated on a side boundary (not being a boundary with a primary street or secondary street) and:             <ul style="list-style-type: none"> <li>(a) the length of the proposed wall (or structure) exceeds 11.5m (other than where the proposed wall abuts an existing wall or structure of greater length on the adjoining allotment) or</li> <li>(b) the height of the proposed wall (or post height) exceeds 3m measured from the top of footings (other than where the proposed wall (or post) abuts an existing wall or structure of greater height on the adjoining allotment).</li> </ul> </li> </ol>
<p>6. Any development involving any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> <li>(a) internal building works</li> <li>(b) land division</li> <li>(c) recreation area</li> <li>(d) replacement building</li> <li>(e) temporary accommodation in an area affected by bushfire.</li> <li>(f) tree damaging activity.</li> </ul>	<p>None specified.</p>
<p>7. Demolition.</p>	<p>Except any of the following:</p> <ol style="list-style-type: none"> <li>1. the demolition of a State or Local Heritage Place</li> <li>2. the demolition of a building (except an ancillary building) in a Historic Area Overlay.</li> </ol>

None specified.

**Placement of Notices - Exemptions for Restricted Development**

None specified.

## Part 3 - Overlays

### Affordable Housing Overlay

#### Assessment Provisions (AP)

Desired Outcome	
DO 1	Affordable housing is integrated with residential and mixed use development.
DO 2	Affordable housing caters for a variety of household structures.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Land Division	
PO 1.1 Development comprising 20 or more dwellings / allotments incorporates affordable housing.	DTS/DPF 1.1 Development results in 0-19 additional allotments / dwellings.
PO 1.2 Development comprising 20 or more dwellings or residential allotments provides housing suited to a range of incomes including households with low to moderate incomes.	DTS/DPF 1.2 Development comprising 20 or more dwellings / or residential allotments includes a minimum of 15% affordable housing except where:  (a) it can be demonstrated that any shortfall in affordable housing has been provided in a previous stage of development or (b) it can be demonstrated that any shortfall in affordable housing will be accommodated in a subsequent stage or stages of development.
PO 1.3 Affordable housing is distributed throughout the development to avoid an overconcentration.	DTS/DPF 1.3 None are applicable.
Built Form and Character	
PO 2.1 Affordable housing is designed to complement the design and	DTS/DPF 2.1 None are applicable.

<p>character of residential development within the locality.</p>	
<p>Affordable Housing Incentives</p>	
<p>PO 3.1 To support the provision of affordable housing, minimum allotment sizes may be reduced below the minimum allotment size specified in a zone while providing allotments of a suitable size and dimension to accommodate dwellings with a high standard of occupant amenity.</p>	<p>DTS/DPF 3.1 The minimum site area specified for a dwelling can be reduced by up to 20%, or the maximum density per hectare increased by up to 20%, where it is to be used to accommodate affordable housing except where the development is located within the Character Area Overlay or Historic Area Overlay.</p>
<p>PO 3.2 To support the provision of affordable housing, building heights may be increased above the maximum specified in a zone.</p>	<p>DTS/DPF 3.2 Where a building incorporates dwellings above ground level and includes at least 15% affordable housing, the maximum building height specified in any relevant zone policy can be increased by 1 building level in the:</p> <ul style="list-style-type: none"> <li>(a) Business Neighbourhood Zone</li> <li>(b) City Living Zone</li> <li>(c) Established Neighbourhood Zone</li> <li>(d) General Neighbourhood Zone</li> <li>(e) Hills Neighbourhood Zone</li> <li>(f) Housing Diversity Neighbourhood Zone</li> <li>(g) Neighbourhood Zone</li> <li>(h) Master Planned Neighbourhood Zone</li> <li>(i) Master Planned Renewal Zone</li> <li>(j) Master Planned Township Zone</li> <li>(k) Rural Neighbourhood Zone</li> <li>(l) Suburban Business Zone</li> <li>(m) Suburban Neighbourhood Zone</li> <li>(n) Township Neighbourhood Zone</li> <li>(o) Township Zone</li> <li>(p) Urban Renewal Neighbourhood Zone</li> <li>(q) Waterfront Neighbourhood Zone</li> </ul> <p>and up to 30% in any other zone, except where:</p> <ul style="list-style-type: none"> <li>(a) the development is located within the Character Area Overlay or Historic Area Overlay or</li> <li>(b) other height incentives already apply to the development.</li> </ul>
<p>Movement and Car Parking</p>	
<p>PO 4.1 Sufficient car parking is provided to meet the needs of occupants of affordable housing.</p>	<p>DTS/DPF 4.1 Dwellings constituting affordable housing are provided with car parking in accordance with the following:</p> <ul style="list-style-type: none"> <li>(a) 0.3 carparks per dwelling within a building which incorporates dwellings located above ground level within either: <ul style="list-style-type: none"> <li>(i) 200 metres of any section of road reserve along which a bus service operates as a high frequency public transit service<sup>(2)</sup></li> <li>(ii) is within 400 metres of a bus interchange<sup>(1)</sup></li> <li>(iii) is within 400 metres of an O-Bahn interchange<sup>(1)</sup></li> <li>(iv) is within 400 metres of a passenger rail station<sup>(1)</sup></li> <li>(v) is within 400 metres of a passenger tram</li> </ul> </li> </ul>

	<p style="text-align: center;">station<sup>(1)</sup></p> <p>(vi) is within 400 metres of the Adelaide Parklands.</p> <p style="text-align: center;">or</p> <p>(b) 1 carpark per dwelling for any other dwelling.</p> <p>[NOTE(S): (1) Measured from an area that contains any platform(s), shelter(s) or stop(s) where people congregate for the purpose waiting to board a bus, tram or train, but does not include areas used for the parking of vehicles. (2) A high frequency public transit service is a route serviced every 15 minutes between 7.30am and 6.30pm Monday to Friday and every 30 minutes at night, Saturday, Sunday and public holidays until 10pm.]</p>
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**Procedural Matters (PM) - Referrals**

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
Development for the purposes of the provision of affordable housing (applying the criteria determined under regulation 4 of the <i>South Australian Housing Trust Regulations 2010</i> ).	Minister responsible for administering the <i>South Australian Housing Trust Act 1995</i> .	To provide direction on the conditions required to secure the provision of dwellings or allotments for affordable housing.	Development of a class to which Schedule 9 clause 3 item 20 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.

**Airport Building Heights (Regulated) Overlay**

**Assessment Provisions (AP)**

Desired Outcome	
DO 1	Management of potential impacts of buildings and generated emissions to maintain operational and safety requirements of registered and certified commercial and military airfields, airports, airstrips and helicopter landing sites.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Built Form	

<p>PO 1.1</p> <p>Building height does not pose a hazard to the operation of a certified or registered aerodrome.</p>	<p>DTS/DPF 1.1</p> <p>Buildings are located outside the area identified as 'All structures' (no height limit is prescribed) and do not exceed the height specified in the Airport Building Heights (Regulated) Overlay which applies to the subject site as shown on the SA Property and Planning Atlas.</p> <p>In instances where more than one value applies to the site, the lowest value relevant to the site of the proposed development is applicable.</p>
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### Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
<p>Any of the following classes of development:</p> <p>(a) building located in an area identified as 'All structures' (no height limit is prescribed) or will exceed the height specified in the <i>Airport Building Heights (Regulated) Overlay</i></p> <p>(b) building comprising exhaust stacks that generates plumes, or may cause plumes to be generated, above a height specified in the <i>Airport Building Heights (Regulated) Overlay</i>.</p>	<p>The airport-operator company for the relevant airport within the meaning of the <i>Airports Act 1996</i> of the Commonwealth or, if there is no airport-operator company, the Secretary of the Minister responsible for the administration of the <i>Airports Act 1996</i> of the Commonwealth.</p>	<p>To provide expert assessment and direction to the relevant authority on potential impacts on the safety and operation of aviation activities.</p>	<p>Development of a class to which Schedule 9 clause 3 item 1 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.</p>

### Hazards (Flooding - Evidence Required) Overlay

#### Assessment Provisions (AP)

Desired Outcome	
DO 1	Development adopts a precautionary approach to mitigate potential impacts on people, property, infrastructure and the environment from potential flood risk through the appropriate siting and design of development.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Flood Resilience	
<p>PO 1.1</p> <p>Development is sited, designed and constructed to minimise the risk of entry of potential floodwaters where the entry of flood waters is likely to result in undue damage to or compromise ongoing activities within buildings.</p>	<p>DTS/DPF 1.1</p> <p>Habitable buildings, commercial and industrial buildings, and buildings used for animal keeping incorporate a finished floor level at least 300mm above:</p> <p>(a) the highest point of top of kerb of the primary street or</p> <p>(b) the highest point of natural ground level at the primary street boundary where there is no kerb</p>

**Procedural Matters (PM) - Referrals**

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

**Stormwater Management Overlay**

**Assessment Provisions (AP)**

Desired Outcome	
DO 1	Development incorporates water sensitive urban design techniques to capture and re-use stormwater.

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
<p>PO 1.1</p> <p>Residential development is designed to capture and re-use stormwater to:</p> <ul style="list-style-type: none"> <li>(a) maximise conservation of water resources</li> <li>(b) manage peak stormwater runoff flows and volume to ensure the carrying capacities of downstream systems are not overloaded</li> <li>(c) manage stormwater runoff quality.</li> </ul>	<p>DTS/DPF 1.1</p> <p>Residential development comprising detached, semi-detached or row dwellings, or less than 5 group dwellings or dwellings within a residential flat building:</p> <ul style="list-style-type: none"> <li>(a) includes rainwater tank storage:                             <ul style="list-style-type: none"> <li>(i) connected to at least:                                     <ul style="list-style-type: none"> <li>A. in relation to a detached dwelling (not in a battle-axe arrangement), semi-detached dwelling or row dwelling, 60% of the roof area</li> <li>B. in all other cases, 80% of the roof area</li> </ul> </li> <li>(ii) connected to either a toilet, laundry cold water outlets or hot water service for sites less than 200m<sup>2</sup></li> <li>(iii) connected to one toilet and either the laundry cold water outlets or hot water service for sites of 200m<sup>2</sup> or greater</li> <li>(iv) with a minimum total capacity in accordance with Table 1</li> <li>(v) where detention is required, includes a 20-25 mm diameter slow release orifice at the bottom of the detention component of the tank</li> </ul> </li> <li>(b) incorporates dwelling roof area comprising at least 80% of the site's impervious area</li> </ul> <p>Table 1: Rainwater Tank</p>

Site size (m <sup>2</sup> )	Minimum retention volume (Litres)	Minimum detention volume (Litres)
<200	1000	1000
200-400	2000	Site perviousness <30%: 1000 Site perviousness ≥30%: N/A
>401	4000	Site perviousness <35%: 1000 Site perviousness ≥35%: N/A

**Procedural Matters (PM) - Referrals**

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

**Traffic Generating Development Overlay**

**Assessment Provisions (AP)**

Desired Outcome	
DO 1	Safe and efficient operation of Urban Transport Routes and Major Urban Transport Routes for all road users.
DO 2	Provision of safe and efficient access to and from urban transport routes and major urban transport routes.

Performance Outcomes (PO) and Deemed to Satisfy (DTS) / Designated Performance Feature (DPF) Criteria

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Traffic Generating Development	
PO 1.1 Development designed to minimise its potential impact on the safety, efficiency and functional performance of the State Maintained Road	DTS/DPF 1.1 Access is obtained directly from a State Maintained Road where it involves any of the following types of development:

network.	<ul style="list-style-type: none"> <li>(a) land division creating 50 or more additional allotments</li> <li>(b) commercial development with a gross floor area of 10,000m<sup>2</sup> or more</li> <li>(c) retail development with a gross floor area of 2,000m<sup>2</sup> or more</li> <li>(d) a warehouse or transport depot with a gross leasable floor area of 8,000m<sup>2</sup> or more</li> <li>(e) industry with a gross floor area of 20,000m<sup>2</sup> or more</li> <li>(f) educational facilities with a capacity of 250 students or more.</li> </ul>
<p>PO 1.2</p> <p>Access points sited and designed to accommodate the type and volume of traffic likely to be generated by development.</p>	<p>DTS/DPF 1.2</p> <p>Access is obtained directly from a State Maintained Road where it involves any of the following types of development:</p> <ul style="list-style-type: none"> <li>(a) land division creating 50 or more additional allotments</li> <li>(b) commercial development with a gross floor area of 10,000m<sup>2</sup> or more</li> <li>(c) retail development with a gross floor area of 2,000m<sup>2</sup> or more</li> <li>(d) a warehouse or transport depot with a gross leasable floor area of 8,000m<sup>2</sup> or more</li> <li>(e) industry with a gross floor area of 20,000m<sup>2</sup> or more</li> <li>(f) educational facilities with a capacity of 250 students or more.</li> </ul>
<p>PO 1.3</p> <p>Sufficient accessible on-site queuing provided to meet the needs of the development so that queues do not impact on the State Maintained Road network.</p>	<p>DTS/DPF 1.3</p> <p>Access is obtained directly from a State Maintained Road where it involves any of the following types of development:</p> <ul style="list-style-type: none"> <li>(a) land division creating 50 or more additional allotments</li> <li>(b) commercial development with a gross floor area of 10,000m<sup>2</sup> or more</li> <li>(c) retail development with a gross floor area of 2,000m<sup>2</sup> or more</li> <li>(d) a warehouse or transport depot with a gross leasable floor area of 8,000m<sup>2</sup> or more</li> <li>(e) industry with a gross floor area of 20,000m<sup>2</sup> or more</li> <li>(f) educational facilities with a capacity of 250 students or more.</li> </ul>

**Procedural Matters (PM) - Referrals**

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
<p>Except where all of the relevant deemed-to-satisfy criteria are met, any of the following classes of development that are proposed within 250m of a State Maintained Road:</p>	<p>Commissioner of Highways.</p>	<p>To provide expert technical assessment and direction to the Relevant Authority on the safe and efficient operation and management of all roads</p>	<p>Development of a class to which Schedule 9 clause 3 item</p>



<ul style="list-style-type: none"> <li>(a) land division creating 50 or more additional allotments</li> <li>(b) commercial development with a gross floor area of 10,000m<sup>2</sup> or more</li> <li>(c) retail development with a gross floor area of 2,000m<sup>2</sup> or more</li> <li>(d) a warehouse or transport depot with a gross leasable floor area of 8,000m<sup>2</sup> or more</li> <li>(e) industry with a gross floor area of 20,000m<sup>2</sup> or more</li> <li>(f) educational facilities with a capacity of 250 students or more.</li> </ul>		<p>relevant to the Commissioner of Highways as described in the Planning and Design Code.</p>	<p>7 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.</p>
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## Urban Tree Canopy Overlay

### Assessment Provisions (AP)

Desired Outcome	
DO 1	Residential development preserves and enhances urban tree canopy through the planting of new trees and retention of existing mature trees where practicable.

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature																				
<p>PO 1.1</p> <p>Trees are planted or retained to contribute to an urban tree canopy.</p>	<p>DTS/DPF 1.1</p> <p>Tree planting is provided in accordance with the following:</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="background-color: #d4edda;">Site size per dwelling (m<sup>2</sup>)</th> <th style="background-color: #d4edda;">Tree size* and number required per dwelling</th> </tr> </thead> <tbody> <tr> <td style="text-align: center;">&lt;450</td> <td style="text-align: center;">1 small tree</td> </tr> <tr> <td style="text-align: center;">450-800</td> <td style="text-align: center;">1 medium tree or 2 small trees</td> </tr> <tr> <td style="text-align: center;">&gt;800</td> <td style="text-align: center;">1 large tree or 2 medium trees or 4 small trees</td> </tr> </tbody> </table> <p>*refer Table 1 Tree Size</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th colspan="4" style="background-color: #d4edda;">Table 1 Tree Size</th> </tr> <tr> <th style="background-color: #d4edda;">Tree size</th> <th style="background-color: #d4edda;">Mature height (minimum)</th> <th style="background-color: #d4edda;">Mature spread (minimum)</th> <th style="background-color: #d4edda;">Soil area around tree within development site (minimum)</th> </tr> </thead> <tbody> <tr> <td style="text-align: center;">Small</td> <td style="text-align: center;">4 m</td> <td style="text-align: center;">2m</td> <td style="text-align: center;">10m<sup>2</sup> and min. dimension of 1.5m</td> </tr> </tbody> </table>	Site size per dwelling (m <sup>2</sup> )	Tree size* and number required per dwelling	<450	1 small tree	450-800	1 medium tree or 2 small trees	>800	1 large tree or 2 medium trees or 4 small trees	Table 1 Tree Size				Tree size	Mature height (minimum)	Mature spread (minimum)	Soil area around tree within development site (minimum)	Small	4 m	2m	10m <sup>2</sup> and min. dimension of 1.5m
Site size per dwelling (m <sup>2</sup> )	Tree size* and number required per dwelling																				
<450	1 small tree																				
450-800	1 medium tree or 2 small trees																				
>800	1 large tree or 2 medium trees or 4 small trees																				
Table 1 Tree Size																					
Tree size	Mature height (minimum)	Mature spread (minimum)	Soil area around tree within development site (minimum)																		
Small	4 m	2m	10m <sup>2</sup> and min. dimension of 1.5m																		

	Medium	6 m	4 m	30m <sup>2</sup> and min. dimension of 2m
	Large	12 m	8m	60m <sup>2</sup> and min. dimension of 4m
<p>The discount in Column D of Table 2 discounts the number of trees required to be planted in DTS/DPF 1.1 where existing tree(s) are retained on the subject land that meet the criteria in Columns A, B and C of Table 2, and are not a species identified in Regulation 3F(4)(b) of the Planning Development and Infrastructure (General) Regulations 2017.</p>				
<p><b>Table 2 Tree Discounts</b></p>				
	Retained tree height (Column A)	Retained tree spread (Column B)	Retained soil area around tree within development site (Column C)	Discount applied (Column D)
	4-6m	2-4m	10m <sup>2</sup> and min. dimension of 1.5m	2 small trees (or 1 medium tree)
	6-12m	4-8m	30m <sup>2</sup> and min. dimension of 3m	2 medium trees (or 4 small trees)
	>12m	>8m	60m <sup>2</sup> and min. dimension of 6m	2 large trees (or 4 medium trees, or 8 small trees)
<p>Note: In order to satisfy DTS/DPF 1.1, payment may be made in accordance with a relevant off-set scheme established by the Minister under section 197 of the Planning, Development and Infrastructure Act 2016, provided the provisions and requirements of that scheme are satisfied. For the purposes of section 102(4) of the Planning, Development and Infrastructure Act 2016, an applicant may elect for any of the matters in DTS/DPF 1.1 to be reserved.</p>				

**Procedural Matters (PM) - Referrals**

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory
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			Reference
None	None	None	None

## Part 4 - General Development Policies

### Clearance from Overhead Powerlines

#### Assessment Provisions (AP)

Desired Outcome	
DO 1	Protection of human health and safety when undertaking development in the vicinity of overhead transmission powerlines.

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
<p>PO 1.1</p> <p>Buildings are adequately separated from aboveground powerlines to minimise potential hazard to people and property.</p>	<p>DTS/DPF 1.1</p> <p>One of the following is satisfied:</p> <ul style="list-style-type: none"> <li>(a) a declaration is provided by or on behalf of the applicant to the effect that the proposal would not be contrary to the regulations prescribed for the purposes of section 86 of the <i>Electricity Act 1996</i></li> <li>(b) there are no aboveground powerlines adjoining the site that are the subject of the proposed development.</li> </ul>

### Design in Urban Areas

#### Assessment Provisions (AP)

Desired Outcome	
DO 1	<p>Development is:</p> <ul style="list-style-type: none"> <li>(a) contextual - by considering, recognising and carefully responding to its natural surroundings or built environment and positively contributing to the character of the locality</li> <li>(b) durable - fit for purpose, adaptable and long lasting</li> <li>(c) inclusive - by integrating landscape design to optimise pedestrian and cyclist usability, privacy and equitable access and promoting the provision of quality spaces integrated with the public realm that can be used for access and recreation and help optimise security and safety both internally and within the public realm, for occupants and visitors</li> <li>(d) sustainable - by integrating sustainable techniques into the design and siting of development and landscaping to improve community health, urban heat, water management, environmental performance, biodiversity and local amenity and to minimise energy consumption.</li> </ul>

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance
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## Feature

All Development

### On-site Waste Treatment Systems

PO 6.1

Dedicated on-site effluent disposal areas do not include any areas to be used for, or could be reasonably foreseen to be used for, private open space, driveways or car parking.

DTS/DPF 6.1

Effluent disposal drainage areas do not:

- (a) encroach within an area used as private open space or result in less private open space than that specified in Design in Urban Areas Table 1 - Private Open Space
- (b) use an area also used as a driveway
- (c) encroach within an area used for on-site car parking or result in less on-site car parking than that specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas.

### Car parking appearance

PO 7.1

Development facing the street is designed to minimise the negative impacts of any semi-basement and undercroft car parking on streetscapes through techniques such as:

- (a) limiting protrusion above finished ground level
- (b) screening through appropriate planting, fencing and mounding
- (c) limiting the width of openings and integrating them into the building structure.

DTS/DPF 7.1

None are applicable.

### Earthworks and sloping land

PO 8.1

Development, including any associated driveways and access tracks, minimises the need for earthworks to limit disturbance to natural topography.

DTS/DPF 8.1

Development does not involve any of the following:

- (a) excavation exceeding a vertical height of 1m
- (b) filling exceeding a vertical height of 1m
- (c) a total combined excavation and filling vertical height of 2m or more.

PO 8.2

Driveways and access tracks designed and constructed to allow safe and convenient access on sloping land.

DTS/DPF 8.2

Driveways and access tracks on sloping land (with a gradient exceeding 1 in 8) satisfy (a) and (b):

- (a) do not have a gradient exceeding 25% (1-in-4) at any point along the driveway
- (b) are constructed with an all-weather trafficable surface.

PO 8.3

Driveways and access tracks on sloping land (with a gradient exceeding 1 in 8):

- (a) do not contribute to the instability of embankments and cuttings
- (b) provide level transition areas for the safe movement of people and goods to and from the development
- (c) are designed to integrate with the natural topography of the land.

DTS/DPF 8.3

None are applicable.

<p>PO 8.4</p> <p>Development on sloping land (with a gradient exceeding 1 in 8) avoids the alteration of natural drainage lines and includes on site drainage systems to minimise erosion.</p>	<p>DTS/DPF 8.4</p> <p>None are applicable.</p>
<p>PO 8.5</p> <p>Development does not occur on land at risk of landslip or increase the potential for landslip or land surface instability.</p>	<p>DTS/DPF 8.5</p> <p>None are applicable.</p>
<p>Overlooking / Visual Privacy (low rise buildings)</p>	
<p>PO 10.1</p> <p>Development mitigates direct overlooking from upper level windows to habitable rooms and private open spaces of adjoining residential uses in neighbourhood-type zones.</p>	<p>DTS/DPF 10.1</p> <p>Upper level windows facing side or rear boundaries shared with a residential use in a neighbourhood-type zone:</p> <ul style="list-style-type: none"> <li>(a) are permanently obscured to a height of 1.5m above finished floor level and are fixed or not capable of being opened more than 125mm</li> <li>(b) have sill heights greater than or equal to 1.5m above finished floor level</li> <li>(c) incorporate screening with a maximum of 25% openings, permanently fixed no more than 500mm from the window surface and sited adjacent to any part of the window less than 1.5 m above the finished floor level.</li> </ul>
<p>PO 10.2</p> <p>Development mitigates direct overlooking from balconies to habitable rooms and private open space of adjoining residential uses in neighbourhood type zones.</p>	<p>DTS/DPF 10.2</p> <p>One of the following is satisfied:</p> <ul style="list-style-type: none"> <li>(a) the longest side of the balcony or terrace will face a public road, public road reserve or public reserve that is at least 15m wide in all places faced by the balcony or terrace or</li> <li>(b) all sides of balconies or terraces on upper building levels are permanently obscured by screening with a maximum 25% transparency/openings fixed to a minimum height of: <ul style="list-style-type: none"> <li>(i) 1.5m above finished floor level where the balcony is located at least 15 metres from the nearest habitable window of a dwelling on adjacent land or</li> <li>(ii) 1.7m above finished floor level in all other cases</li> </ul> </li> </ul>
<p>All residential development</p>	
<p>Front elevations and passive surveillance</p>	
<p>PO 17.1</p> <p>Dwellings incorporate windows facing primary street frontages to encourage passive surveillance and make a positive contribution to the streetscape.</p>	<p>DTS/DPF 17.1</p> <p>Each dwelling with a frontage to a public street:</p> <ul style="list-style-type: none"> <li>(a) includes at least one window facing the primary street from a habitable room that has a minimum internal room dimension of 2.4m</li> <li>(b) has an aggregate window area of at least 2m<sup>2</sup> facing the primary street.</li> </ul>
<p>PO 17.2</p> <p>Dwellings incorporate entry doors within street frontages to address the street and provide a legible entry point for visitors.</p>	<p>DTS/DPF 17.2</p> <p>Dwellings with a frontage to a public street have an entry door visible from the primary street boundary.</p>

Outlook and Amenity	
<p>PO 18.1</p> <p>Living rooms have an external outlook to provide a high standard of amenity for occupants.</p>	<p>DTS/DPF 18.1</p> <p>A living room of a dwelling incorporates a window with an external outlook of the street frontage, private open space, public open space, or waterfront areas.</p>
Residential Development - Low Rise	
External appearance	
<p>PO 20.1</p> <p>Garaging is designed to not detract from the streetscape or appearance of a dwelling.</p>	<p>DTS/DPF 20.1</p> <p>Garages and carports facing a street:</p> <ul style="list-style-type: none"> <li>(a) are situated so that no part of the garage or carport will be in front of any part of the building line of the dwelling</li> <li>(b) are set back at least 5.5m from the boundary of the primary street</li> <li>(c) have a garage door / opening width not exceeding 7m</li> <li>(d) have a garage door / opening width not exceeding 50% of the site frontage unless the dwelling has two or more building levels at the building line fronting the same public street.</li> </ul>
<p>PO 20.2</p> <p>Dwelling elevations facing public streets and common driveways make a positive contribution to the streetscape and the appearance of common driveway areas.</p>	<p>DTS/DPF 20.2</p> <p>Each dwelling includes at least 3 of the following design features within the building elevation facing a primary street, and at least 2 of the following design features within the building elevation facing any other public road (other than a laneway) or a common driveway:</p> <ul style="list-style-type: none"> <li>(a) a minimum of 30% of the building wall is set back an additional 300mm from the building line</li> <li>(b) a porch or portico projects at least 1m from the building wall</li> <li>(c) a balcony projects from the building wall</li> <li>(d) a verandah projects at least 1m from the building wall</li> <li>(e) eaves of a minimum 400mm width extend along the width of the front elevation</li> <li>(f) a minimum 30% of the width of the upper level projects forward from the lower level primary building line by at least 300mm</li> <li>(g) a minimum of two different materials or finishes are incorporated on the walls of the front building elevation, with a maximum of 80% of the building elevation in a single material or finish.</li> </ul>
<p>PO 20.3</p> <p>The visual mass of larger buildings is reduced when viewed from adjoining allotments or public streets.</p>	<p>DTS/DPF 20.3</p> <p>None are applicable</p>
Private Open Space	

<p>PO 21.1</p> <p>Dwellings are provided with suitable sized areas of usable private open space to meet the needs of occupants.</p>	<p>DTS/DPF 21.1</p> <p>Private open space is provided in accordance with Design in Urban Areas Table 1 - Private Open Space.</p>										
<p>PO 21.2</p> <p>Private open space is positioned to provide convenient access from internal living areas.</p>	<p>DTS/DPF 21.2</p> <p>Private open space is directly accessible from a habitable room.</p>										
<p><b>Landscaping</b></p>											
<p>PO 22.1</p> <p>Soft landscaping is incorporated into development to:</p> <ul style="list-style-type: none"> <li>(a) minimise heat absorption and reflection</li> <li>(b) contribute shade and shelter</li> <li>(c) provide for stormwater infiltration and biodiversity</li> <li>(d) enhance the appearance of land and streetscapes.</li> </ul>	<p>DTS/DPF 22.1</p> <p>Residential development incorporates soft landscaping with a minimum dimension of 700mm provided in accordance with (a) and (b):</p> <ul style="list-style-type: none"> <li>(a) a total area as determined by the following table: <table border="1" data-bbox="917 728 1520 1182"> <thead> <tr> <th style="background-color: #1a3d54; color: white;">Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m<sup>2</sup>)</th> <th style="background-color: #1a3d54; color: white;">Minimum percentage of site</th> </tr> </thead> <tbody> <tr> <td>&lt;150</td> <td>10%</td> </tr> <tr> <td>150-200</td> <td>15%</td> </tr> <tr> <td>&gt;200-450</td> <td>20%</td> </tr> <tr> <td>&gt;450</td> <td>25%</td> </tr> </tbody> </table> </li> <li>(b) at least 30% of any land between the primary street boundary and the primary building line.</li> </ul>	Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m <sup>2</sup> )	Minimum percentage of site	<150	10%	150-200	15%	>200-450	20%	>450	25%
Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m <sup>2</sup> )	Minimum percentage of site										
<150	10%										
150-200	15%										
>200-450	20%										
>450	25%										
<p><b>Car parking, access and manoeuvrability</b></p>											
<p>PO 23.1</p> <p>Enclosed car parking spaces are of dimensions to be functional, accessible and convenient.</p>	<p>DTS/DPF 23.1</p> <p>Residential car parking spaces enclosed by fencing, walls or other structures have the following internal dimensions (separate from any waste storage area):</p> <ul style="list-style-type: none"> <li>(a) single width car parking spaces: <ul style="list-style-type: none"> <li>(i) a minimum length of 5.4m per space</li> <li>(ii) a minimum width of 3.0m</li> <li>(iii) a minimum garage door width of 2.4m</li> </ul> </li> <li>(b) double width car parking spaces (side by side): <ul style="list-style-type: none"> <li>(i) a minimum length of 5.4m</li> <li>(ii) a minimum width of 5.4m</li> <li>(iii) minimum garage door width of 2.4m per space.</li> </ul> </li> </ul>										
<p>PO 23.2</p> <p>Uncovered car parking space are of dimensions to be functional, accessible and convenient.</p>	<p>DTS/DPF 23.2</p> <p>Uncovered car parking spaces have:</p> <ul style="list-style-type: none"> <li>(a) a minimum length of 5.4m</li> <li>(b) a minimum width of 2.4m</li> </ul>										

	<p>(c) a minimum width between the centre line of the space and any fence, wall or other obstruction of 1.5m.</p>
<p>PO 23.3</p> <p>Driveways and access points are located and designed to facilitate safe access and egress while maximising land available for street tree planting, domestic waste collection, landscaped street frontages and on-street parking.</p>	<p>DTS/DPF 23.3</p> <p>Driveways and access points satisfy (a) or (b):</p> <ul style="list-style-type: none"> <li>(a) sites with a frontage to a public road of 10m or less, have a width between 3.0 and 3.2 metres measured at the property boundary and are the only access point provided on the site</li> <li>(b) sites with a frontage to a public road greater than 10m: <ul style="list-style-type: none"> <li>(i) have a maximum width of 5m measured at the property boundary and are the only access point provided on the site;</li> <li>(ii) have a width between 3.0 metres and 3.2 metres measured at the property boundary and no more than two access points are provided on site, separated by no less than 1m.</li> </ul> </li> </ul>
<p>PO 23.4</p> <p>Vehicle access is safe, convenient, minimises interruption to the operation of public roads and does not interfere with street infrastructure or street trees.</p>	<p>DTS/DPF 23.4</p> <p>Vehicle access to designated car parking spaces satisfy (a) or (b):</p> <ul style="list-style-type: none"> <li>(a) is provided via a lawfully existing or authorised access point or an access point for which consent has been granted as part of an application for the division of land</li> <li>(b) where newly proposed, is set back: <ul style="list-style-type: none"> <li>(i) 0.5m or more from any street furniture, street pole, infrastructure services pit, or other stormwater or utility infrastructure unless consent is provided from the asset owner</li> <li>(ii) 2m or more from the base of the trunk of a street tree unless consent is provided from the tree owner for a lesser distance</li> <li>(iii) 6m or more from the tangent point of an intersection of 2 or more roads</li> <li>(iv) outside of the marked lines or infrastructure dedicating a pedestrian crossing.</li> </ul> </li> </ul>
<p>PO 23.5</p> <p>Driveways are designed to enable safe and convenient vehicle movements from the public road to on-site parking spaces.</p>	<p>DTS/DPF 23.5</p> <p>Driveways are designed and sited so that:</p> <ul style="list-style-type: none"> <li>(a) the gradient from the place of access on the boundary of the allotment to the finished floor level at the front of the garage or carport is not steeper than 1-in-4 on average</li> <li>(b) they are aligned relative to the street so that there is no more than a 20 degree deviation from 90 degrees between the centreline of any dedicated car parking space to which it provides access (measured from the front of that space) and the road boundary.</li> <li>(c) if located so as to provide access from an alley, lane or right of way - the alley, lane or right of way is at least 6.2m wide along the boundary of the allotment / site</li> </ul>
<p>PO 23.6</p> <p>Driveways and access points are designed and distributed to optimise the provision of on-street visitor parking.</p>	<p>DTS/DPF 23.6</p> <p>Where on-street parking is available abutting the site's street frontage, on-street parking is retained in accordance with the following requirements:</p>



	<ul style="list-style-type: none"> <li>(a) minimum 0.33 on-street spaces per dwelling on the site (rounded up to the nearest whole number)</li> <li>(b) minimum car park length of 5.4m where a vehicle can enter or exit a space directly</li> <li>(c) minimum carpark length of 6m for an intermediate space located between two other parking spaces or to an end obstruction where the parking is indented.</li> </ul>
<b>Waste storage</b>	
<p>PO 24.1</p> <p>Provision is made for the convenient storage of waste bins in a location screened from public view.</p>	<p>DTS/DPF 24.1</p> <p>Where dwellings abut both side boundaries a waste bin storage area is provided behind the building line of each dwelling that:</p> <ul style="list-style-type: none"> <li>(a) has a minimum area of 2m<sup>2</sup> with a minimum dimension of 900mm (separate from any designated car parking spaces or private open space); and</li> <li>(b) has a continuous unobstructed path of travel (excluding moveable objects like gates, vehicles and roller doors) with a minimum width of 800mm between the waste bin storage area and the street.</li> </ul>
<b>Design of Transportable Buildings</b>	
<p>PO 25.1</p> <p>The sub-floor space beneath transportable buildings is enclosed to give the appearance of a permanent structure.</p>	<p>DTS/DPF 25.1</p> <p>Buildings satisfy (a) or (b):</p> <ul style="list-style-type: none"> <li>(a) are not transportable</li> <li>(b) the sub-floor space between the building and ground level is clad in a material and finish consistent with the building.</li> </ul>
Group Dwellings, Residential Flat Buildings and Battle axe Development	
<b>Amenity</b>	
<p>PO 31.2</p> <p>The orientation and siting of buildings minimises impacts on the amenity, outlook and privacy of occupants and neighbours.</p>	<p>DTS/DPF 31.2</p> <p>None are applicable.</p>
<p>PO 31.3</p> <p>Development maximises the number of dwellings that face public open space and public streets and limits dwellings oriented towards adjoining properties.</p>	<p>DTS/DPF 31.3</p> <p>None are applicable.</p>
<p>PO 31.4</p> <p>Battle-axe development is appropriately sited and designed to respond to the existing neighbourhood context.</p>	<p>DTS/DPF 31.4</p> <p>Dwelling sites/allotments are not in the form of a battle-axe arrangement.</p>
<b>Car parking, access and manoeuvrability</b>	
<p>PO 33.1</p> <p>Driveways and access points are designed and distributed to optimise the provision of on-street visitor parking.</p>	<p>DTS/DPF 33.1</p> <p>Where on-street parking is available directly adjacent the site, on-street parking is retained adjacent the subject site in accordance with the following requirements:</p> <ul style="list-style-type: none"> <li>(a) minimum 0.33 on-street car parks per proposed dwelling (rounded up to the nearest whole number)</li> <li>(b) minimum car park length of 5.4m where a vehicle can enter or exit a space directly</li> </ul>

	(c) minimum carpark length of 6m for an intermediate space located between two other parking spaces or to an end obstruction where the parking is indented.
PO 33.4 Residential driveways that service more than one dwelling or a dwelling on a battle-axe site are designed to allow passenger vehicles to enter and exit and manoeuvre within the site in a safe and convenient manner.	DTS/DPF 33.4 Driveways providing access to more than one dwelling, or a dwelling on a battle-axe site, allow a B85 passenger vehicle to enter and exit the garages or parking spaces in no more than a three-point turn manoeuvre.
PO 33.5 Dwellings are adequately separated from common driveways and manoeuvring areas.	DTS/DPF 33.5 Dwelling walls with entry doors or ground level habitable room windows are set back at least 1.5m from any driveway or area designated for the movement and manoeuvring of vehicles.
<b>Soft landscaping</b>	
PO 34.2 Battle-axe or common driveways incorporate landscaping and permeability to improve appearance and assist in stormwater management.	DTS/DPF 34.2 Battle-axe or common driveways satisfy (a) and (b):  (a) are constructed of a minimum of 50% permeable or porous material  (b) where the driveway is located directly adjacent the side or rear boundary of the site, soft landscaping with a minimum dimension of 1m is provided between the driveway and site boundary (excluding along the perimeter of a passing point).
<b>Laneway Development</b>	
<b>Infrastructure and Access</b>	
PO 44.1 Development with a primary street comprising a laneway, alley, lane, right of way or similar minor thoroughfare only occurs where:  (a) existing utility infrastructure and services are capable of accommodating the development (b) the primary street can support access by emergency and regular service vehicles (such as waste collection) (c) it does not require the provision or upgrading of infrastructure on public land (such as footpaths and stormwater management systems) (d) safety of pedestrians or vehicle movement is maintained (e) any necessary grade transition is accommodated within the site of the development to support an appropriate development intensity and orderly development of land fronting minor thoroughfares.	DTS/DPF 44.1 Development with a primary street frontage that is not an alley, lane, right of way or similar public thoroughfare.

**Table 1 - Private Open Space**

Dwelling Type	Dwelling / Site Configuration	Minimum Rate
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Dwelling (at ground level, other than a residential flat building that includes above ground dwellings)		<p>Total private open space area:</p> <p>(a) Site area &lt;301m<sup>2</sup>: 24m<sup>2</sup> located behind the building line.</p> <p>(b) Site area ≥ 301m<sup>2</sup>: 60m<sup>2</sup> located behind the building line.</p> <p>Minimum directly accessible from a living room: 16m<sup>2</sup> / with a minimum dimension 3m.</p>
Cabin or caravan (permanently fixed to the ground) in a residential park or caravan and tourist park		Total area: 16m <sup>2</sup> , which may be uses as second car parking space, provided on each site intended for residential occupation.
Dwelling in a residential flat building or mixed use building which incorporate above ground level dwellings	Dwellings at ground level:	15m <sup>2</sup> / minimum dimension 3m
	Dwellings above ground level:	
	Studio (no separate bedroom)	4m <sup>2</sup> / minimum dimension 1.8m
	One bedroom dwelling	8m <sup>2</sup> / minimum dimension 2.1m
	Two bedroom dwelling	11m <sup>2</sup> / minimum dimension 2.4m
	Three + bedroom dwelling	15 m <sup>2</sup> / minimum dimension 2.6m

## Infrastructure and Renewable Energy Facilities

### Assessment Provisions (AP)

<b>Desired Outcome</b>	
DO 1	Efficient provision of infrastructure networks and services, renewable energy facilities and ancillary development in a manner that minimises hazard, is environmentally and culturally sensitive and manages adverse visual impacts on natural and rural landscapes and residential amenity.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

<b>Performance Outcome</b>	<b>Deemed-to-Satisfy Criteria / Designated Performance Feature</b>
Water Supply	
<p>PO 11.2</p> <p>Dwellings are connected to a reticulated water scheme or mains water supply with the capacity to meet the requirements of the intended use. Where this is not available an appropriate rainwater tank or storage system for domestic use is provided.</p>	<p>DTS/DPF 11.2</p> <p>A dwelling is connected, or will be connected, to a reticulated water scheme or mains water supply with the capacity to meet the requirements of the development. Where this is not available it is serviced by a rainwater tank or tanks capable of holding at least 50,000 litres of water which is:</p> <p>(a) exclusively for domestic use</p>

	(b) connected to the roof drainage system of the dwelling.
Wastewater Services	
<p>PO 12.1</p> <p>Development is connected to an approved common wastewater disposal service with the capacity to meet the requirements of the intended use. Where this is not available an appropriate on-site service is provided to meet the ongoing requirements of the intended use in accordance with the following:</p> <ul style="list-style-type: none"> <li>(a) it is wholly located and contained within the allotment of the development it will service</li> <li>(b) in areas where there is a high risk of contamination of surface, ground, or marine water resources from on-site disposal of liquid wastes, disposal systems are included to minimise the risk of pollution to those water resources</li> <li>(c) septic tank effluent drainage fields and other wastewater disposal areas are located away from watercourses and flood prone, sloping, saline or poorly drained land to minimise environmental harm.</li> </ul>	<p>DTS/DPF 12.1</p> <p>Development is connected, or will be connected, to an approved common wastewater disposal service with the capacity to meet the requirements of the development. Where this is not available it is instead capable of being serviced by an on-site waste water treatment system in accordance with the following:</p> <ul style="list-style-type: none"> <li>(a) the system is wholly located and contained within the allotment of development it will service; and</li> <li>(b) the system will comply with the requirements of the South Australian Public Health Act 2011.</li> </ul>
<p>PO 12.2</p> <p>Effluent drainage fields and other wastewater disposal areas are maintained to ensure the effective operation of waste systems and minimise risks to human health and the environment.</p>	<p>DTS/DPF 12.2</p> <p>Development is not built on, or encroaches within, an area that is, or will be, required for a sewerage system or waste control system.</p>

## Interface between Land Uses

### Assessment Provisions (AP)

Desired Outcome	
DO 1	Development is located and designed to mitigate adverse effects on or from neighbouring and proximate land uses.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Overshadowing	
<p>PO 3.1</p> <p>Overshadowing of habitable room windows of adjacent residential land uses in:</p> <ul style="list-style-type: none"> <li>a. a neighbourhood-type zone is minimised to maintain access to direct winter sunlight</li> <li>b. other zones is managed to enable access to direct winter sunlight.</li> </ul>	<p>DTS/DPF 3.1</p> <p>North-facing windows of habitable rooms of adjacent residential land uses in a neighbourhood-type zone receive at least 3 hours of direct sunlight between 9.00am and 3.00pm on 21 June.</p>
<p>PO 3.2</p> <p>Overshadowing of the primary area of private open space or communal open space of adjacent residential land uses in:</p>	<p>DTS/DPF 3.2</p> <p>Development maintains 2 hours of direct sunlight between 9.00 am and 3.00 pm on 21 June to adjacent residential land uses in a</p>

<p>a. a neighbourhood type zone is minimised to maintain access to direct winter sunlight</p> <p>b. other zones is managed to enable access to direct winter sunlight.</p>	<p>neighbourhood-type zone in accordance with the following:</p> <p>a. for ground level private open space, the smaller of the following:</p> <p>i. half the existing ground level open space</p> <p>or</p> <p>ii. 35m<sup>2</sup> of the existing ground level open space (with at least one of the area's dimensions measuring 2.5m)</p> <p>b. for ground level communal open space, at least half of the existing ground level open space.</p>
<p>PO 3.3</p> <p>Development does not unduly reduce the generating capacity of adjacent rooftop solar energy facilities taking into account:</p> <p>(a) the form of development contemplated in the zone</p> <p>(b) the orientation of the solar energy facilities</p> <p>(c) the extent to which the solar energy facilities are already overshadowed.</p>	<p>DTS/DPF 3.3</p> <p>None are applicable.</p>

## Site Contamination

### Assessment Provisions (AP)

Desired Outcome	
DO 1	Ensure land is suitable for the proposed use in circumstances where it is, or may have been, subject to site contamination.

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
<p>PO 1.1</p> <p>Ensure land is suitable for use when land use changes to a more sensitive use.</p>	<p>DTS/DPF 1.1</p> <p>Development satisfies (a), (b), (c) or (d):</p> <p>(a) does not involve a change in the use of land</p> <p>(b) involves a change in the use of land that does not constitute a change to a more sensitive use</p> <p>(c) involves a change in the use of land to a more sensitive use on land at which site contamination is unlikely to exist (as demonstrated in a site contamination declaration form)</p> <p>(d) involves a change in the use of land to a more sensitive use on land at which site contamination exists, or may exist (as demonstrated in a site contamination declaration form), and satisfies both of the following:</p> <p>(i) a site contamination audit report has been prepared under Part 10A of the <i>Environment Protection Act 1993</i> in relation to the land within the previous 5 years which states that-</p> <p>A. site contamination does not exist (or no longer exists) at the land</p> <p>or</p> <p>B. the land is suitable for the proposed use or range of uses (without the need for</p>

	<p>any further remediation) or</p> <p>C. where remediation is, or remains, necessary for the proposed use (or range of uses), remediation work has been carried out or will be carried out (and the applicant has provided a written undertaking that the remediation works will be implemented in association with the development)</p> <p>and</p> <p>(ii) no other class 1 activity or class 2 activity has taken place at the land since the preparation of the site contamination audit report (as demonstrated in a site contamination declaration form).</p>
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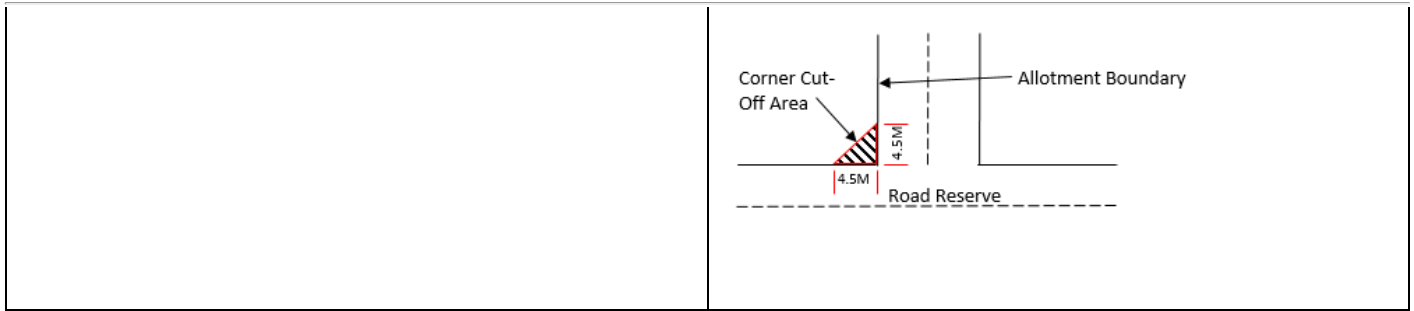
## Transport, Access and Parking

### Assessment Provisions (AP)

Desired Outcome	
DO 1	A comprehensive, integrated and connected transport system that is safe, sustainable, efficient, convenient and accessible to all users.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Vehicle Parking Rates	
<p>PO 5.1</p> <p>Sufficient on-site vehicle parking and specifically marked accessible car parking places are provided to meet the needs of the development or land use having regard to factors that may support a reduced on-site rate such as:</p> <ul style="list-style-type: none"> <li>(a) availability of on-street car parking</li> <li>(b) shared use of other parking areas</li> <li>(c) in relation to a mixed-use development, where the hours of operation of commercial activities complement the residential use of the site, the provision of vehicle parking may be shared</li> <li>(d) the adaptive reuse of a State or Local Heritage Place.</li> </ul>	<p>DTS/DPF 5.1</p> <p>Development provides a number of car parking spaces on-site at a rate no less than the amount calculated using one of the following, whichever is relevant:</p> <ul style="list-style-type: none"> <li>(a) Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements</li> <li>(b) Transport, Access and Parking Table 2 - Off-Street Vehicle Parking Requirements in Designated Areas</li> <li>(c) if located in an area where a lawfully established carparking fund operates, the number of spaces calculated under (a) or (b) less the number of spaces offset by contribution to the fund.</li> </ul>
Corner Cut-Offs	
<p>PO 10.1</p> <p>Development is located and designed to ensure drivers can safely turn into and out of public road junctions.</p>	<p>DTS/DPF 10.1</p> <p>Development does not involve building work, or building work is located wholly outside the land shown as Corner Cut-Off Area in the following diagram:</p>



**Table 1 - General Off-Street Car Parking Requirements**

The following parking rates apply and if located in an area where a lawfully established carparking fund operates, the number of spaces is reduced by an amount equal to the number of spaces offset by contribution to the fund.

Class of Development	Car Parking Rate (unless varied by Table 2 onwards)  Where a development comprises more than one development type, then the overall car parking rate will be taken to be the sum of the car parking rates for each development type.
<b>Residential Development</b>	
<b>Detached Dwelling</b>	Dwelling with 1 bedroom (including rooms capable of being used as a bedroom) - 1 space per dwelling.  Dwelling with 2 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.
<b>Group Dwelling</b>	Dwelling with 1 or 2 bedrooms (including rooms capable of being used as a bedroom) - 1 space per dwelling.  Dwelling with 3 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.  0.33 spaces per dwelling for visitor parking where development involves 3 or more dwellings.
<b>Residential Flat Building</b>	Dwelling with 1 or 2 bedrooms (including rooms capable of being used as a bedroom) - 1 space per dwelling.  Dwelling with 3 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.  0.33 spaces per dwelling for visitor parking where development involves 3 or more dwellings.
<b>Row Dwelling where vehicle access is from the primary street</b>	Dwelling with 1 bedroom (including rooms capable of being used as a bedroom) - 1 space per dwelling.  Dwelling with 2 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.
<b>Row Dwelling where vehicle access is not from the primary street (i.e. rear-loaded)</b>	Dwelling with 1 or 2 bedrooms (including rooms capable of being used as a bedroom) - 1 space per dwelling.  Dwelling with 3 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.
<b>Semi-Detached Dwelling</b>	Dwelling with 1 bedroom (including rooms capable of being used as a bedroom) - 1 space per dwelling.  Dwelling with 2 or more bedrooms (including rooms capable of being used as a

	bedroom) - 2 spaces per dwelling, 1 of which is to be covered.
<b>Aged / Supported Accommodation</b>	
<b>Retirement village</b>	<p>Dwelling with 1 or 2 bedrooms (including rooms capable of being used as a bedroom) - 1 space per dwelling.</p> <p>Dwelling with 3 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling.</p> <p>0.2 spaces per dwelling for visitor parking.</p>
<b>Supported accommodation</b>	0.3 spaces per bed.
<b>Residential Development (Other)</b>	
<b>Ancillary accommodation</b>	No additional requirements beyond those associated with the main dwelling.
<b>Residential park</b>	<p>Dwelling with 1 or 2 bedrooms (including rooms capable of being used as a bedroom) - 1 space per dwelling.</p> <p>Dwelling with 3 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling.</p> <p>0.2 spaces per dwelling for visitor parking.</p>
<b>Student accommodation</b>	0.3 spaces per bed.
<b>Workers' accommodation</b>	0.5 spaces per bed plus 0.2 spaces per bed for visitor parking.
<b>Tourist</b>	
<b>Caravan park / tourist park</b>	<p>Parks with 100 sites or less - a minimum of 1 space per 10 sites to be used for accommodation.</p> <p>Parks with more than 100 sites - a minimum of 1 space per 15 sites used for accommodation.</p> <p>A minimum of 1 space for every caravan (permanently fixed to the ground) or cabin.</p>
<b>Tourist accommodation</b>	1 car parking space per accommodation unit / guest room.
<b>Commercial Uses</b>	
<b>Auction room/ depot</b>	1 space per 100m <sup>2</sup> of building floor area plus an additional 2 spaces.
<b>Automotive collision repair</b>	3 spaces per service bay.
<b>Call centre</b>	8 spaces per 100m <sup>2</sup> of gross leasable floor area.
<b>Motor repair station</b>	3 spaces per service bay.
<b>Office</b>	4 spaces per 100m <sup>2</sup> of gross leasable floor area.



<b>Retail fuel outlet</b>	3 spaces per 100m <sup>2</sup> gross leasable floor area.
<b>Service trade premises</b>	2.5 spaces per 100m <sup>2</sup> of gross leasable floor area  1 space per 100m <sup>2</sup> of outdoor area used for display purposes.
<b>Shop (no commercial kitchen)</b>	5.5 spaces per 100m <sup>2</sup> of gross leasable floor area where not located in an integrated complex containing two or more tenancies (and which may comprise more than one building) where facilities for off-street vehicle parking, vehicle loading and unloading, and the storage and collection of refuse are shared.  5 spaces per 100m <sup>2</sup> of gross leasable floor area where located in an integrated complex containing two or more tenancies (and which may comprise more than one building) where facilities for off-street vehicle parking, vehicle loading and unloading, and the storage and collection of refuse are shared.
<b>Shop (in the form of a bulky goods outlet)</b>	2.5 spaces per 100m <sup>2</sup> of gross leasable floor area.
<b>Shop (in the form of a restaurant or involving a commercial kitchen)</b>	Premises with a dine-in service only (which may include a take-away component with no drive-through) - 0.4 spaces per seat.  Premises with take-away service but with no seats - 12 spaces per 100m <sup>2</sup> of total floor area plus a drive-through queue capacity of ten vehicles measured from the pick-up point.  Premises with a dine-in and drive-through take-away service - 0.3 spaces per seat plus a drive through queue capacity of 10 vehicles measured from the pick-up point.
<b>Community and Civic Uses</b>	
<b>Childcare centre</b>	0.25 spaces per child
<b>Library</b>	4 spaces per 100m <sup>2</sup> of total floor area.
<b>Community facility</b>	10 spaces per 100m <sup>2</sup> of total floor area.
<b>Hall / meeting hall</b>	0.2 spaces per seat.
<b>Place of worship</b>	1 space for every 3 visitor seats.
<b>Pre-school</b>	1 per employee plus 0.25 per child (drop off/pick up bays)
<b>Educational establishment</b>	For a primary school - 1.1 space per full time equivalent employee plus 0.25 spaces per student for a pickup/set down area either on-site or on the public realm within 300m of the site.  For a secondary school - 1.1 per full time equivalent employee plus 0.1 spaces per student for a pickup/set down area either on-site or on the public realm within 300m of the site.

	For a tertiary institution - 0.4 per student based on the maximum number of students on the site at any time.
<b>Health Related Uses</b>	
<b>Hospital</b>	4.5 spaces per bed for a public hospital.  1.5 spaces per bed for a private hospital.
<b>Consulting room</b>	4 spaces per consulting room excluding ancillary facilities.
<b>Recreational and Entertainment Uses</b>	
<b>Cinema complex</b>	0.2 spaces per seat.
<b>Concert hall / theatre</b>	0.2 spaces per seat.
<b>Hotel</b>	1 space for every 2m <sup>2</sup> of total floor area in a public bar plus 1 space for every 6m <sup>2</sup> of total floor area available to the public in a lounge, beer garden plus 1 space per 2 gaming machines, plus 1 space per 3 seats in a restaurant.
<b>Indoor recreation facility</b>	6.5 spaces per 100m <sup>2</sup> of total floor area for a Fitness Centre  4.5 spaces per 100m <sup>2</sup> of total floor area for all other Indoor recreation facilities.
<b>Industry/Employment Uses</b>	
<b>Fuel depot</b>	1.5 spaces per 100m <sup>2</sup> total floor area  1 spaces per 100m <sup>2</sup> of outdoor area used for fuel depot activity purposes.
<b>Industry</b>	1.5 spaces per 100m <sup>2</sup> of total floor area.
<b>Store</b>	0.5 spaces per 100m <sup>2</sup> of total floor area.
<b>Timber yard</b>	1.5 spaces per 100m <sup>2</sup> of total floor area  1 space per 100m <sup>2</sup> of outdoor area used for display purposes.
<b>Warehouse</b>	0.5 spaces per 100m <sup>2</sup> total floor area.
<b>Other Uses</b>	
<b>Funeral Parlour</b>	1 space per 5 seats in the chapel plus 1 space for each vehicle operated by the parlour.
<b>Radio or Television Station</b>	5 spaces per 100m <sup>2</sup> of total building floor area.

## Table 2 - Off-Street Car Parking Requirements in Designated Areas

The following parking rates apply in any zone, subzone or other area described in the 'Designated Areas' column subject to the following:

- (a) the location of the development is unable to satisfy the requirements of Table 2 – Criteria (other than where a location is exempted from the application of those criteria)
- or
- (b) the development satisfies Table 2 – Criteria (or is exempt from those criteria) and is located in an area where a lawfully established carparking fund operates, in which case the number of spaces are reduced by an amount equal to the number of spaces offset by contribution to the fund.

Class of Development	Car Parking Rate		Designated Areas
	Minimum number of spaces	Maximum number of spaces	
<p><b>Where a development comprises more than one development type, then the overall car parking rate will be taken to be the sum of the car parking rates for each development type.</b></p>			
<b>Development generally</b>			
<b>All classes of development</b>	No minimum.	<p>No maximum except in the Primary Pedestrian Area identified in the Primary Pedestrian Area Concept Plan, where the maximum is:</p> <p>1 space for each dwelling with a total floor area less than 75 square metres</p> <p>2 spaces for each dwelling with a total floor area between 75 square metres and 150 square metres</p> <p>3 spaces for each dwelling with a total floor area greater than 150 square metres.</p> <p>Residential flat building or Residential component of a multi-storey building: 1 visitor space for each 6 dwellings.</p>	<p>Capital City Zone</p> <p>City Main Street Zone</p> <p>City Riverbank Zone</p> <p>Adelaide Park Lands Zone</p> <p>Business Neighbourhood Zone (within the City of Adelaide)</p> <p>The St Andrews Hospital Precinct Subzone and Women's and Children's Hospital Precinct Subzone of the Community Facilities Zone</p>
<b>Non-residential development</b>			
<b>Non-residential development</b> excluding tourist accommodation	3 spaces per 100m <sup>2</sup> of gross leasable floor area.	5 spaces per 100m <sup>2</sup> of gross leasable floor area.	<p>City Living Zone</p> <p>Urban Corridor (Boulevard) Zone</p> <p>Urban Corridor (Business) Zone</p> <p>Urban Corridor (Living) Zone</p> <p>Urban Corridor (Main Street ) Zone</p>

			Urban Neighbourhood Zone
<b>Non-residential development</b> excluding tourist accommodation	3 spaces per 100m <sup>2</sup> of gross leasable floor area.	6 spaces per 100m <sup>2</sup> of gross leasable floor area.	Strategic Innovation Zone Suburban Activity Centre Zone Suburban Business Zone Business Neighbourhood Zone Suburban Main Street Zone Urban Activity Centre Zone
<b>Tourist accommodation</b>	1 space for every 4 bedrooms up to 100 bedrooms plus 1 space for every 5 bedrooms over 100 bedrooms	1 space per 2 bedrooms up to 100 bedrooms and 1 space per 4 bedrooms over 100 bedrooms	City Living Zone Urban Activity Centre Zone Urban Corridor (Boulevard) Zone Urban Corridor (Business) Zone Urban Corridor (Living) Zone Urban Corridor (Main Street ) Zone Urban Neighbourhood Zone
<b>Residential development</b>			
<b>Residential component of a multi-storey building</b>	Dwelling with no separate bedroom -0.25 spaces per dwelling  1 bedroom dwelling - 0.75 spaces per dwelling  2 bedroom dwelling - 1 space per dwelling  3 or more bedroom dwelling - 1.25 spaces per dwelling  0.25 spaces per dwelling for visitor parking.	None specified.	City Living Zone Strategic Innovation Zone Urban Activity Centre Zone Urban Corridor (Boulevard) Zone Urban Corridor (Business) Zone Urban Corridor (Living) Zone Urban Corridor (Main Street ) Zone Urban Neighbourhood Zone
<b>Residential flat building</b>	Dwelling with no separate bedroom -0.25 spaces per dwelling  1 bedroom dwelling - 0.75 spaces per dwelling  2 bedroom dwelling - 1 space per dwelling  3 or more bedroom dwelling - 1.25 spaces per dwelling  0.25 spaces per dwelling for visitor parking.	None specified.	City Living Zone Urban Activity Centre Zone Urban Corridor (Boulevard) Zone Urban Corridor (Business) Zone Urban Corridor (Living) Zone Urban Corridor (Main Street ) Zone Urban Neighbourhood Zone

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Table 2 - Criteria:

The following criteria are used in conjunction with Table 2. The 'Exception' column identifies locations where the criteria do not apply and the car parking rates in Table 2 are applicable.

Criteria	Exceptions
<p><b>The designated area is wholly located within Metropolitan Adelaide and any part of the development site satisfies one or more of the following:</b></p> <ul style="list-style-type: none"> <li>(a) is within 200 metres of any section of road reserve along which a bus service operates as a high frequency public transit service<sup>(2)</sup></li> <li>(b) is within 400 metres of a bus interchange<sup>(1)</sup></li> <li>(c) is within 400 metres of an O-Bahn interchange<sup>(1)</sup></li> <li>(d) is within 400 metres of a passenger rail station<sup>(1)</sup></li> <li>(e) is within 400 metres of a passenger tram station<sup>(1)</sup></li> <li>(f) is within 400 metres of the Adelaide Parklands.</li> </ul>	<ul style="list-style-type: none"> <li>(a) All zones in the City of Adelaide</li> <li>(b) Strategic Innovation Zone in the following locations:                             <ul style="list-style-type: none"> <li>(i) City of Burnside</li> <li>(ii) City of Marion</li> <li>(iii) City of Mitcham</li> </ul> </li> <li>(c) Urban Corridor (Boulevard) Zone</li> <li>(d) Urban Corridor (Business) Zone</li> <li>(e) Urban Corridor (Living) Zone</li> <li>(f) Urban Corridor (Main Street ) Zone</li> <li>(g) Urban Neighbourhood Zone</li> </ul>

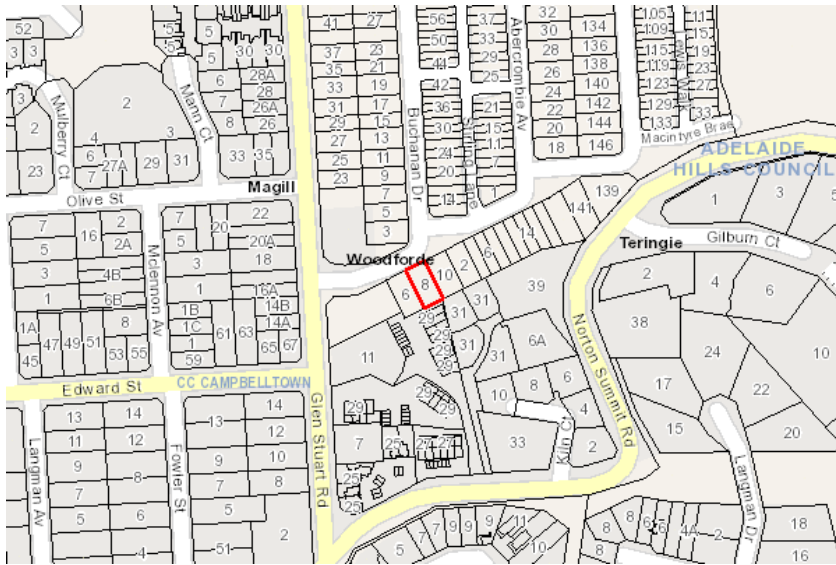
[NOTE(S): (1) Measured from an area that contains any platform(s), shelter(s) or stop(s) where people congregate for the purpose waiting to board a bus, tram or train, but does not include areas used for the parking of vehicles. (2) A high frequency public transit service is a route serviced every 15 minutes between 7.30am and 6.30pm Monday to Friday and every 30 minutes at night, Saturday, Sunday and public holidays until 10pm.]

**8 BUCHANAN DR WOODFORDE SA 5072**

**Address:**

Click to view a detailed interactive [SAILIS](#) in SAILIS

To view a detailed interactive property map in SAPPa click on the map below



**Property Zoning Details**

**Local Variation (TNV)**

Maximum Building Height (Metres) (*Maximum building height is 12m*)

Maximum Building Height (Metres) (*Maximum building height is 9m*)

Minimum Frontage (*Minimum frontage for a detached dwelling is 12m; semi-detached dwelling is 10m; row dwelling is 10m; group dwelling is 15m; residential flat building is 15m*)

Minimum Site Area (*o\_o\_o\_Minimum site area for a detached dwelling is 450 sqm; semi-detached dwelling is 325 sqm; row dwelling is 300 sqm; group dwelling is 450 sqm; residential flat building is 300 sqm*)

Maximum Building Height (Levels) (*Maximum building height is 2 levels*)

Maximum Building Height (Levels) (*Maximum building height is 3 levels*)

**Overlay**

Airport Building Heights (Regulated) (*All structures over 30 metres*)

Affordable Housing

Hazards (Bushfire - Urban Interface)

Hazards (Flooding - Evidence Required)

Prescribed Wells Area

Regulated and Significant Tree

Stormwater Management

Traffic Generating Development

Urban Tree Canopy

**Zone**

Housing Diversity Neighbourhood

Suburban Neighbourhood

**Selected Development(s)**

Retaining wall

**This development may be subject to multiple assessment pathways. Please review the document below to determine which pathway may be applicable based on the proposed development compliances to standards.**

*If no assessment pathway is shown this mean the proposed development will default to performance assessed. Please contact your local council in this instance. Refer to Part 1 - Rules of Interpretation - Determination of Classes of Development*

**Property Policy Information for above selection**

Retaining wall - Code Assessed - Performance Assessed

## Part 2 - Zones and Sub Zones

### Housing Diversity Neighbourhood Zone

#### Assessment Provisions (AP)

Desired Outcome	
DO 1	Medium density housing supports a range of needs and lifestyles, located within easy reach of a diversity of services and facilities. Employment and community service uses contribute to making the neighbourhood a convenient place to live without compromising residential amenity.

#### Table 5 - Procedural Matters (PM) - Notification

The following table identifies, pursuant to section 107(6) of the *Planning, Development and Infrastructure Act 2016*, classes of performance assessed development that are excluded from notification. The table also identifies any exemptions to the placement of notices when notification is required.

#### Interpretation

A class of development listed in Column A is excluded from notification provided that it does not fall within a corresponding exclusion prescribed in Column B. In instances where development falls within multiple classes within Column A, each clause is to be read independently such that if a development is excluded from notification by any clause, it is, for the purposes of notification excluded irrespective of any other clause.

Class of Development (Column A)	Exceptions (Column B)
1. A kind of development which, in the opinion of the relevant authority, is of a minor nature only and will not unreasonably impact on the owners or occupiers of land in the locality of the site of the development.	None specified.
2. All development undertaken by: <ul style="list-style-type: none"> <li>(a) the South Australian Housing Trust either individually or jointly with other persons or bodies or</li> <li>(b) a provider registered under the Community Housing National Law participating in a program relating to the renewal of housing endorsed by the South Australian Housing Trust.</li> </ul>	Except development involving any of the following: <ul style="list-style-type: none"> <li>1. residential flat building(s) of 3 storeys or greater</li> <li>2. the demolition of a State or Local Heritage Place</li> <li>3. the demolition of a building (except an ancillary building) in a Historic Area Overlay.</li> </ul>
3. Any development involving any of the following (or of any combination of any of the following): <ul style="list-style-type: none"> <li>(a) air handling unit, air conditioning system or exhaust fan</li> <li>(b) ancillary accommodation</li> <li>(c) building work on railway lands</li> </ul>	Except development that: <ul style="list-style-type: none"> <li>1. exceeds the maximum building height specified in Housing Diversity Neighbourhood Zone 3.1 or</li> <li>2. involves a building wall (or structure) that is proposed to be</li> </ul>

<ul style="list-style-type: none"> <li>(d) carport</li> <li>(e) deck</li> <li>(f) demolition</li> <li>(g) dwelling</li> <li>(h) dwelling addition</li> <li>(i) fence</li> <li>(j) outbuilding</li> <li>(k) pergola</li> <li>(l) private bushfire shelter</li> <li>(m) recreation area</li> <li>(n) residential flat building</li> <li>(o) retaining wall</li> <li>(p) retirement facility</li> <li>(q) shade sail</li> <li>(r) solar photovoltaic panels (roof mounted)</li> <li>(s) student accommodation</li> <li>(t) supported accommodation</li> <li>(u) swimming pool or spa pool</li> <li>(v) verandah</li> <li>(w) water tank.</li> </ul>	<p>situated on a side boundary (not being a boundary with a primary street or secondary street) and:</p> <ul style="list-style-type: none"> <li>(a) the length of the proposed wall (or structure) exceeds 11.5m (other than where the proposed wall abuts an existing wall or structure of greater length on the adjoining allotment)</li> <li>or</li> <li>(b) the height of the proposed wall (or post height) exceeds 3m measured from the top of footings (other than where the proposed wall (or post) abuts an existing wall or structure of greater height on the adjoining allotment).</li> </ul>
<p>4. Alteration of or addition to any development involving any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> <li>(a) community facility</li> <li>(b) educational establishment</li> <li>(c) pre-school.</li> </ul>	<p>Except development that does not satisfy Housing Diversity Neighbourhood Zone DTS/DPF 1.4.</p>
<p>5. Any development involving any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> <li>(a) consulting room</li> <li>(b) office</li> <li>(c) shop.</li> </ul>	<p>Except development that:</p> <ul style="list-style-type: none"> <li>1. exceeds the maximum building height specified in Housing Diversity Neighbourhood Zone 3.1</li> <li>or</li> <li>2. does not satisfy Housing Diversity Neighbourhood Zone DTS/DPF 1.2</li> <li>or</li> <li>3. involves a building wall (or structure) that is proposed to be situated on a side boundary (not being a boundary with a primary street or secondary street) and:             <ul style="list-style-type: none"> <li>(a) the length of the proposed wall (or structure) exceeds 11.5m (other than where the proposed wall abuts an existing wall or structure of greater length on the adjoining allotment)</li> <li>or</li> <li>(b) the height of the proposed wall (or post height) exceeds 3m measured from the top of footings (other than where the proposed wall (or post) abuts an existing wall or structure of greater height on the adjoining allotment).</li> </ul> </li> </ul>
<p>6. Any development involving any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> <li>(a) internal building works</li> <li>(b) land division</li> </ul>	<p>None specified.</p>



<ul style="list-style-type: none"> <li>(c) replacement building</li> <li>(d) temporary accommodation in an area affected by bushfire</li> <li>(e) tree damaging activity.</li> </ul>	
<p>7. Demolition.</p>	<p>Except any of the following:</p> <ul style="list-style-type: none"> <li>1. the demolition of a State or Local Heritage Place</li> <li>2. the demolition of a building (except an ancillary building) in a Historic Area Overlay.</li> </ul>

**Placement of Notices - Exemptions for Performance Assessed Development**

None specified.

**Placement of Notices - Exemptions for Restricted Development**

None specified.

**Suburban Neighbourhood Zone**

**Assessment Provisions (AP)**

<b>Desired Outcome</b>	
DO 1	<p>Low density housing is consistent with the existing local context and development pattern. Services and community facilities contribute to making the neighbourhood a convenient place to live without compromising residential amenity and character.</p>

**Table 5 - Procedural Matters (PM) - Notification**

The following table identifies, pursuant to section 107(6) of the *Planning, Development and Infrastructure Act 2016*, classes of performance assessed development that are excluded from notification. The table also identifies any exemptions to the placement of notices when notification is required.

**Interpretation**

A class of development listed in Column A is excluded from notification provided that it does not fall within a corresponding exclusion prescribed in Column B. In instances where development falls within multiple classes within Column A, each clause is to be read independently such that if a development is excluded from notification by any clause, it is, for the purposes of notification excluded irrespective of any other clause.

<b>Class of Development (Column A)</b>	<b>Exceptions (Column B)</b>
<p>1. A kind of development which, in the opinion of the relevant authority, is of a minor nature only and will not unreasonably impact on the owners or occupiers of land in the locality of the site of the development.</p>	<p>None specified.</p>
<p>2. All development undertaken by: (a) the South Australian Housing Trust either</p>	<p>Except development involving any of the following:</p>

<p>individually or jointly with other persons or bodies or (b) a provider registered under the Community Housing National Law participating in a program relating to the renewal of housing endorsed by the South Australian Housing Trust.</p>	<ol style="list-style-type: none"> <li>1. residential flat building(s) of 3 or more building levels</li> <li>2. the demolition of a State or Local Heritage Place</li> <li>3. the demolition of a building (except an ancillary building) in a Historic Area Overlay.</li> </ol>
<p>3. Any development involving any of the following (or of any combination of any of the following):</p> <ol style="list-style-type: none"> <li>(a) air handling unit, air conditioning system or exhaust fan</li> <li>(b) ancillary accommodation</li> <li>(c) building work on railway land</li> <li>(d) carport</li> <li>(e) deck</li> <li>(f) dwelling</li> <li>(g) dwelling addition</li> <li>(h) fence</li> <li>(i) outbuilding</li> <li>(j) pergola</li> <li>(k) private bushfire shelter</li> <li>(l) residential flat building</li> <li>(m) retaining wall</li> <li>(n) shade sail</li> <li>(o) solar photovoltaic panels (roof mounted)</li> <li>(p) supported accommodation</li> <li>(q) swimming pool or spa pool</li> <li>(r) verandah</li> <li>(s) water tank.</li> </ol>	<p>Except development that:</p> <ol style="list-style-type: none"> <li>1. exceeds the maximum building height specified in Suburban Neighbourhood Zone DTS/DPF 4.1 or</li> <li>2. involves a building wall (or structure) that is proposed to be situated on a side boundary (not being a boundary with a primary street or secondary street) and:             <ol style="list-style-type: none"> <li>(a) the length of the proposed wall (or structure) exceeds 11.5m (other than where the proposed wall abuts an existing wall or structure of greater length on the adjoining allotment) or</li> <li>(b) the height of the proposed wall (or post height) exceeds 3m measured from the top of footings (other than where the proposed wall (or post) abuts an existing wall or structure of greater height on the adjoining allotment).</li> </ol> </li> </ol>
<p>4. Alteration of or addition to any of the following (or of any combination of any of the following):</p> <ol style="list-style-type: none"> <li>(a) community facility</li> <li>(b) educational establishment</li> <li>(c) pre-school.</li> </ol>	<p>Except where development does not satisfy Suburban Neighbourhood Zone DTS/DPF 1.4.</p>
<p>5. Any development involving any of the following (or of any combination of any of the following):</p> <ol style="list-style-type: none"> <li>(a) consulting room</li> <li>(b) office</li> <li>(c) shop.</li> </ol>	<p>Except development that:</p> <ol style="list-style-type: none"> <li>1. exceeds the maximum building height specified in Suburban Neighbourhood Zone DTS/DPF 4.1 or</li> <li>2. does not satisfy Suburban Neighbourhood Zone DTS/DPF 1.2 or</li> <li>3. involves a building wall (or structure) that is proposed to be situated on a side boundary (not being a boundary with a primary street or secondary street) and:             <ol style="list-style-type: none"> <li>(a) the length of the proposed wall (or structure) exceeds 11.5m (other than where the proposed wall abuts an existing wall or structure of greater length on the adjoining allotment) or</li> <li>(b) the height of the proposed wall (or post height)</li> </ol> </li> </ol>

	exceeds 3m measured from the top of footings (other than where the proposed wall (or post) abuts an existing wall or structure of greater height on the adjoining allotment).
6. Any development involving any of the following (or of any combination of any of the following): (a) internal building works (b) land division (c) recreation area (d) replacement building (e) temporary accommodation in an area affected by bushfire. (f) tree damaging activity.	None specified.
7. Demolition.	Except any of the following:  1. the demolition of a State or Local Heritage Place 2. the demolition of a building (except an ancillary building) in a Historic Area Overlay.

**Placement of Notices - Exemptions for Performance Assessed Development**

None specified.

**Placement of Notices - Exemptions for Restricted Development**

None specified.

## Part 4 - General Development Policies

### Design in Urban Areas

#### Assessment Provisions (AP)

<b>Desired Outcome</b>	
DO 1	<p>Development is:</p> <ul style="list-style-type: none"> <li>(a) contextual - by considering, recognising and carefully responding to its natural surroundings or built environment and positively contributing to the character of the locality</li> <li>(b) durable - fit for purpose, adaptable and long lasting</li> <li>(c) inclusive - by integrating landscape design to optimise pedestrian and cyclist usability, privacy and equitable access and promoting the provision of quality spaces integrated with the public realm that can be used for access and recreation and help optimise security and safety both internally and within the public realm, for occupants and visitors</li> <li>(d) sustainable - by integrating sustainable techniques into the design and siting of development and landscaping to improve community health, urban heat, water management, environmental performance, biodiversity and local amenity and to minimise energy consumption.</li> </ul>

<b>Performance Outcome</b>	<b>Deemed-to-Satisfy Criteria /</b>
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		<b>Designated Performance Feature</b>
All Development		
Fences and walls		
PO 9.1 Fences, walls and retaining walls of sufficient height maintain privacy and security without unreasonably impacting visual amenity and adjoining land's access to sunlight or the amenity of public places.	DTS/DPF 9.1 None are applicable.	
PO 9.2 Landscaping is incorporated on the low side of retaining walls that are visible from public roads and public open space to minimise visual impacts.	DTS/DPF 9.2 A vegetated landscaped strip 1m wide or more is provided against the low side of a retaining wall.	