

DEVELOPMENT NO.:	21018753
APPLICANT:	Kate Bishop Bella Casa, Ashton
ADDRESS:	159 RIDGE RD ASHTON SA 5137 CT 5756/921 F130666 AL2
NATURE OF DEVELOPMENT:	Tourist Accommodation & associated free standing advertisement
ZONING INFORMATION:	<p>Zones:</p> <ul style="list-style-type: none"> • Hills Face <p>Overlays:</p> <ul style="list-style-type: none"> • Water Resources • Environment and Food Production Area • Hazards (Bushfire - High Risk) • Heritage Adjacency • Hazards (Flooding - Evidence Required) • Mount Lofty Ranges Water Supply Catchment (Area 1) • Native Vegetation • Prescribed Wells Area • Regulated and Significant Tree • State Significant Native Vegetation
LODGEMENT DATE:	9 Aug 2021
RELEVANT AUTHORITY:	Assessment Panel at Adelaide Hills Council
PLANNING & DESIGN CODE VERSION:	2021.10
CATEGORY OF DEVELOPMENT:	Code Assessed - Performance Assessed
NOTIFICATION:	Yes
RECOMMENDING OFFICER:	Doug Samardzija Statutory Planner
REFERRALS STATUTORY:	Environment Protection Authority South Australian Country Fire Service
REFERRALS NON-STATUTORY:	Environmental Health Department

CONTENTS:

ATTACHMENT 1: Minutes of CAP Meeting 12 January 2022 ATTACHMENT 2: Amended Plans

Please refer to the original CAP report and attachments for further details relating to the application.

DETAILED DESCRIPTION OF PROPOSAL:

The proposal is for the establishment of a new small scale, single tourist accommodation ‘module’ comprising a ‘bedsit’ suite and free-standing advertising display signage at 159 Ridge Road Ashton.

The proposed tourist accommodation, in this form, commonly referred to in contemporary terms as a ‘pod’, is basic in its composition and compact, with 7.77 metres overall length, 4.68 metres width and a maximum height above ground of 3.77 metres to the top of its flat-skillion roofline, and comprising a ‘bedsit’ bedroom / living area along with a compact shower and toilet amenities and kitchenette.

The proposed tourist accommodation is to be situated upon the subject land, setback 50.0 metres from the Ridge Road frontage of the site, 160 metres from the south-western side property boundary and 65 metres from the eastern side property boundary. The proposed accommodation is situated approximately 40 metres from an existing implement shed which has been approved to be utilised as a cellar door facility and in excess of 90 metres from the existing dwelling. The rear property boundary lies in excess of 430 metres to the north-east.

The proposed building is to be finished in a composite of materials including colour-finished trimdeck profile metal roof sheeting and trims in 'monument' (dark grey colour), with composite wood panelling in a timber-look finish, feature timber battens and decking, and predominant glazing to the northern aspect to take advantage of the available views.

The proposed free-standing advertising display is to be comprised of a galvanised metal 'square' frame dimensioned 0.8 metres wide x 0.7 metres high, constructed to be fixed 0.3 metres above ground level. The proposed signage is to be situated at the Ridge Road property frontage immediately south-west of the proposed access to the tourist accommodation pod and approximately 40 metres south-west of the existing main driveway to the property's dwelling and cellar door.

The proposed signage is to contain advertising for the '*Bella Casa Vineyard Accommodation*' and contains email and website details and graphics. The signage will not be illuminated in any way, or move or flash.

SUBJECT LAND & LOCALITY:

Site Description:

Location reference: 159 RIDGE RD ASHTON SA 5137

Title ref.: CT 5756/921 **Plan Parcel:** F130666 AL2 **Council:** ADELAIDE HILLS COUNCIL

DISCUSSION OF REVISED DRAWINGS & CONTOUR PLAN:

At the CAP meeting on 12 January 2022, the Panel deferred consideration of this application for the provision of the following information:

- 1) A detailed site and contour plan with location of access to tourist pod, CFS turnaround, detailed sign position and proposed landscaping.
- 2) Site specific elevations taking into account the nature of the site and any cut and fill.

The applicant has now provided a response and amended plans which are discussed below.

(1) A detailed site and contour plan with location of access to tourist pod, CFS turnaround, detailed sign position and proposed landscaping.

During the Council Assessment Panel meeting on 12 January 2022, the Panel concluded that the plans provided with the application did not accurately and sufficiently depict the location of the proposed tourist accommodation and signage, as well as the associated access and CFS turning area. The Applicant's planning consultant has provided a report and amended site plan addressing the matters.

In addition, a wastewater plan, approved by Council's Health Department, has been provided which details of the location of the pod in relation to the contours of the land.

In relation to the landscaping, the applicant has provided a response which includes images depicting the location of the proposed pod. The images shows the pods visibility from the road when viewed from the entry point where

the sign is proposed which highlights that the views would be limited and as such no further landscaping would be required. Furthermore, applicant argues that additional landscaping would limit the views of the vineyard. No further details have been shown on amended site plan in relation to landscaping requested along the southern and south/eastern end of the pod as stipulated in the recommended condition 7.

(2) Site specific elevations taking into account the nature of the site and any cut and fill.

In addition to the amended site plan and contour plan, the Panel requested that site specific elevation drawings be provided taking into account the nature of the site and any cut and fill associated. Amended elevation drawings have been provided which illustrate the natural ground line and the proposed finished floor level of the pod. The drawings illustrated that the proposed works will not result in any cut and fill of the site but rather the building has been designed to be elevated above the natural ground to work with the natural slope of the land.

CONCLUSION

The assessment has contemplated the statutory requirements of the Code and the legislation in processing the application.

The proposed scale and nature of the tourist accommodation presents a reasonably appropriate form of development within the Hills Face Zone. Whilst there were concerns raised by the representors about the appropriateness of the use in the zone, safety and amenity impacts, the proposal is considered to be of low scale compact building design and site layout, including car parking suitable to cater for the intended land use without any obtuse impacts upon the visual character or pleasant amenity of the locality. Amended documentation provided also provides clear indication of the location of the proposed pod and signage which demonstrates that the proposed development is going to be of low scale which will not dominate the landscape. Plans further demonstrate that CFS access and turning areas can be satisfied.

The signage associated with the proposed tourist accommodation is considered to be of appropriate size and scale consistent with the requirements of the Hills Face Zone. Whilst the sign is proposed along the front property boundary it is considered to be appropriate and low impact given that the external finishes, size and the fact that the sign would be advertising lawful use of land.

Accordingly, it is recommended that Planning Consent be granted, subject to conditions of consent.

RECOMMENDATION

It is recommended that the Council Assessment Panel/SCAP resolve that:

- 1) Pursuant to Section 107(2)(c) of the Planning, Development and Infrastructure Act 2016, and having undertaken an assessment of the application against the Planning and Design Code, the application is NOT seriously at variance with the provisions of the Planning and Design Code; and**
- 2) Development Application Number 21018753 by Kate Bishop and Bella Casa Ashton for Tourist Accommodation & associated free standing advertisement at 159 Ridge Road Ashton is GRANTED Planning Consent subject to the following conditions:**

CONDITIONS

1) Development in Accordance with Approved Plans

The development granted shall be undertaken and completed in accordance with the stamped plans and documentation, except where varied by conditions below (if any).

2) Flood Lighting

Flood lighting shall be restricted to that necessary for security purposes only and shall be directed and shielded in such a manner as to not cause nuisance to adjacent properties.

3) External Finishes

The external finishes to the building herein approved shall be as follows:

WALLS: Vertical wood panelling in a timber-look finish or similar
ROOF: Colorbond Monument or similar

4) Use of Building

The person(s) having the benefit of this consent shall refrain from permitting the use of the building (or any part thereof) for provision long term accommodation or as a separate dwelling. The tourist accommodation unit shall be used and operated on a short term rental arrangement with a maximum of a one week stay per occupancy.

A logbook shall be kept of all occupancies for each calendar year and made available for inspection by the Council upon request.

5) Stormwater Overflow

All roof run-off generated by the development hereby approved shall be managed on-site to the satisfaction of Council using design techniques such as:

- Rainwater tanks
- Grassed swales
- Stone filled trenches
- Small infiltration basins

Stormwater overflow management shall be designed so as to not permit trespass into the effluent disposal area. Stormwater shall be managed on site with no stormwater to trespass onto adjoining properties.

6) External Colours of Signage

The external colours of the sign herein approved shall be comprised of non-reflective materials and finishes.

Any lighting associated with the sign shall be switched off at midnight on each day and shall not be switched back on before sunrise the following day.

7) Landscaping

- a) The southern and south-eastern elevations of the tourist accommodation herein approved, including the associated rainwater tank shall be planted with locally endemic tree and shrub species to the reasonable satisfaction of Council staff.
- b) Such landscaping shall be planted in the next planting season following occupation of the tourist accommodation herein approved.
- c) Landscaping shall thereafter be maintained in good health and condition at all times. Any landscaping that dies or becomes seriously diseased shall be replaced in the next available planting season.

Conditions imposed by South Australian Country Fire Service under Section 122 of the Act:

1) Siting

'The Planning and Design Code' Hazards (Bushfire – High Risk) Overlay (Performance Objective 2.1, 4.2, 4.3) details the mandatory requirements for buildings and structures to be located away from areas that pose an unacceptable bushfire risk in order to provide sufficient defensible space for occupants and fire fighters; ensure radiant heat levels at the buildings are minimised in line with the assessed bushfire attack level & construction level; whilst maintaining reduced fuel loads and ensuring it can be maintained in perpetuity by the occupants:

- **Outbuildings and other ancillary structures shall be sited no closer than 6m from the habitable building, unless built to building code requirements for associated structures in Bushfire Prone Areas.**

2) Access to Habitable Building

'The Planning and Design Code' Hazards (Bushfire – High Risk) Overlay (Performance Objective 6.2) details the mandatory requirements for 'Private' roads and driveways to facilitate safe and effective firefighting, evacuation where required. These requirements apply when the path of travel to the furthest point of the building is more than 60m from the nearest public road:

- **A clear and unobstructed vehicle or pedestrian pathway shall be provided; no greater than 60 metres in length between the most distant part of the habitable building and the nearest part of the formed public access way.**
- **The driveway shall be connected to a formed, all-weather public road with the transition area between the road and driveway having a gradient of not more than 7 degrees (1-in-8).**
- **Access to the building site shall be of all-weather construction, with a minimum formed road surface width of 3 metres and must allow forward entry and exit for large fire-fighting vehicles, to within 60m of the furthest point of the building. or**
- **(4m where the gradient of the driveway is steeper than 12 degrees (1-in-4.5))**
- **The all-weather road shall allow fire-fighting vehicles to safely enter and exit the allotment in a forward direction by incorporating either:**
 1. **A loop road around the building, OR**
 2. **A turning area with a minimum radius of 12.5 metres, OR**
 3. **A 'T' or 'Y' shaped turning area with a minimum formed length of 11 metres and minimum internal radii of 9.5 metres OR**
 4. **A 'U' shaped 'drive-through' option.**
- **Private access shall have minimum internal radii of 9.5 metres on all bends.**
- **Private access shall provide overhead clearance of not less than 4.0m horizontally and vertically between the driveway surface and overhanging branches or other obstructions, including buildings and/or structures.**
- **Private access shall provide overhead clearances of not less than 4.0m horizontally and vertically between the driveway surface and overhanging branches or other obstructions, including buildings and/or structures.**
- **The all-weather road shall incorporate passing bays. The combined width of the passing bay & access track shall be 6m, and a minimum formed length of 17 metres. The passing bays should be constructed at 200 metre intervals along the road or driveway. Where it is necessary to provide adequate visibility, such as the nearest point to the public road or other passing bay, passing bays may be required at intervals of less than 200 metres.**
- **The gradient of the access road shall not exceed 16 degrees (1-in-3.5) at any point along the driveway. In steep terrain exceeding 10 degrees the surface should be sealed.**
- **The cross fall of the driveway shall be not more than 6 degrees (1-in-9.5) at any point along the driveway. In steep terrain roads shall be widened and appropriate guard rails and visibility markers should be installed on sides where a steep downslope is present.**
- **Solid crossings over waterways shall be provided to withstand the weight of large bushfire appliances (GVM 21 tonnes).**

3) Water Supply & Access (to dedicated water supply)

Ministerial Building Standard MBS008 “Designated bushfire prone areas – additional requirements” July 2020, as published under the *Planning, Development and Infrastructure Act 2016*, provides the technical details of the dedicated water supply for bushfire fighting for the bushfire zone.

‘The Planning and Design Code’ Hazards (Bushfire – High Risk) Overlay (Performance Objective 4.3) details the mandatory requirements for the site to provide a dedicated hardstand area in a location that allows fire fighting vehicles to safely access the dedicated water supply.

Where a water storage facility is required to have a fire authority fitting, the following will apply:

- The water supply outlet shall be easily accessible and clearly identifiable from the access way and at a distance of no greater than 60 metres from the proposed dwelling.
- The dedicated water supply and its location should be identified with suitable signage (i.e. blue sign with white lettering “FIRE WATER”).
- Access to the dedicated water supply shall be of all-weather construction, with a minimum formed road surface width of 3 metres.
- Provision shall be made adjacent the water supply for a nominally level hardstand area (capable of supporting fire-fighting vehicles with a gross vehicle mass (GVM) of 21 tonnes) that is a distance equal to or less than 6 metres from the water supply outlet.
- SA CFS appliance’s inlet is rear mounted; therefore the outlet/water storage shall be positioned so that the SA CFS appliance can easily connect to it rear facing.
- A gravity fed water supply outlet may be remotely located from the tank to provide adequate access.
- All non-metal water supply pipes for bushfire fighting purposes (other than flexible connections and hoses for fire-fighting) shall be buried below ground to a minimum depth of 300mm with no non-metal parts above ground level.
- All water supply pipes for draughting purposes shall be capable of withstanding the required pressure for draughting.
- Ideally a remote water supply outlet should be gravity fed, where this is not possible the following dimensions shall be considered as the maximum capability in any hydraulic design for draughting purposes:
 1. The dedicated water supply outlet for draughting purposes shall not exceed 5 metres maximum vertical lift (calculated on the height of the hardstand surface to the lowest point of the storage) and no greater than 6 metres horizontal distance.
 2. The suction outlet pipework from the tank shall be fitted with an inline non return valve of nominal internal diameter not less than that of the suction pipe and be located from the lowest point of extract from the tank. All fittings shall be installed to allow for easy maintenance.

Pools are permissible as the dedicated firefighting water supply, if the following can be achieved:

- Provision shall be made adjacent to the water supply for a nominally level hardstand area (capable of supporting fire-fighting vehicles with a gross vehicle mass (GVM) of 21 tonnes), that is a distance equal to or less than 3m to edge of water source; or
- a gravity fed outlet can be incorporated into the design of the plumbing; and
- is unobstructed by associated landscaping and barriers.

Access via a removable inspection opening is permissible if the following can be achieved:

- Provision shall be made adjacent to the water supply for a nominally level hardstand area (capable of supporting fire-fighting vehicles with a gross vehicle mass (GVM) of 21 tonnes), that is a distance equal to or less than 3m to edge of the tank and
- the opening is a minimum of 200mm wide and is not more than 1.5m above ground level and no lower than 5m to the lowest point of the water source.
- is unobstructed by associated landscaping and barriers.

4) **Vegetation Management**

'The Planning and Design Code' Hazards (Bushfire – High Risk) Overlay (Performance Objective 4.2) details the mandatory requirements to establish and maintain an asset protection zone. As such, landscaping shall include bushfire protection features that will prevent or inhibit the spread of bushfires and minimise the risk to life and/or damage to buildings and property and maintain a fuel reduced zone for safe movement of occupants and fire fighters.

A vegetation management zone (VMZ) shall be established and maintained within 20 metres of the habitable building (or to the property boundaries – whichever comes first) as follows:

- The number of trees and understorey plants existing and to be established within the VMZ shall be reduced and maintained such that when considered overall a maximum coverage of 30% is attained, and so that the leaf area of shrubs is not continuous. Careful selection of the vegetation will permit the 'clumping' of shrubs where desirable, for diversity, and privacy and yet achieve the 'overall maximum coverage of 30%'.
- Reduction of vegetation shall be in accordance with SA Native Vegetation Act 1991 and SA Native Vegetation Regulations 2017.
- Trees and shrubs shall not be planted closer to the building(s) than the distance equivalent to their mature height.
- Trees and shrubs must not overhang the roofline of the building, touch walls, windows or other elements of the building.
- Shrubs must not be planted under trees and must be separated by at least 1.5 times their mature height from the trees' lowest branches.
- Grasses within the zone shall be reduced to a maximum height of 10cm during the Fire Danger Season.
- No understorey vegetation shall be established within 1 metre of the habitable building (understorey is defined as plants and bushes up to 2 metres in height).
- Flammable objects such as plants, mulches and fences must not be located adjacent to vulnerable parts of the building such as windows, decks and eaves
- The VMZ shall be maintained to be free of accumulated dead vegetation

ADVISORY NOTES

General Notes

- 1) No work can commence on this development unless a Development Approval has been obtained. If one or more consents have been granted on this Decision Notification Form, you must not start any site works or building work or change of use of the land until you have received notification that Development Approval has been granted.
- 2) Appeal rights – General rights of review and appeal exist in relation to any assessment, request, direction or act of a relevant authority in relation to the determination of this application, including conditions.
- 3) A decision of the Commission in respect of a development classified as restricted development in respect of which representations have been made under section 110 of the Act does not operate:
 - a) Until the time within which any person who made any such representation may appeal against a decision to grant the development authorisation has expired; or
 - b) If an appeal is commenced:
 - i. until the appeal is dismissed, struck out or withdrawn; or
 - ii. until the questions raised by the appeal have been fully determined (other than any question as to costs).

Planning Consent

- 1) This Planning Consent is valid for a period of twenty-four (24) months commencing from the date of the decision.

Building Consent must be applied for prior to the expiry of the Planning Consent.

- 2) Management of the property during construction shall be undertaken in such a manner as to prevent denudation, erosion or pollution of the environment.

Advisory Notes imposed by Environment Protection Authority under Section 122 of the Act

- 3) The applicant/owner/operator are reminded of its general environmental duty, as required by section 25 of the *Environment Protection Act 1993*, to take all reasonable and practicable measures to ensure that activities on the site and associated with the site (including during construction) do not pollute the environment in a way which causes or may cause environmental harm.
- 4) More information about the Environment Protection Authority and the Environment Protection Act and policies can be found at: www.epa.sa.gov.au .

Advisory Notes imposed by South Australian Country Fire Service under Section 122 of the Act

- 5) Building Considerations

Ministerial Building Standard MBS008 “Designated bushfire prone areas - additional requirements” 2020, as published under the Planning, Development and Infrastructure Act 2016 applies to this site.

Please refer to the National Construction Code (NCC), relevant standards and state provisions for construction requirements and performance provisions.

A site Bushfire Attack Level (BAL) assessment is a requirement in accordance with the NCC and Australian Standard™3959 (AS3959) “Construction of Buildings in Bushfire Prone Areas”.

- 6) The subject land is known to be within 500m of a former landfill site where there is a site contamination audit being undertaken on behalf of the Adelaide Hills Council (Council). Landfill gas has been detected on the former landfill site. However, the source (anthropogenic or natural) and extent of this gas is subject to ongoing monitoring and further analysis. At this stage, it is unknown whether or not landfill gas is migrating offsite, noting that testing for landfill gas has so far only occurred within the site of the former landfill. While the Environment Protection Authority (EPA) has not issued any formal advice or direction to the Council in relation to the proposed development, its general advice suggests that in the absence of site-specific risk information, an effective control measure is a 500m buffer between new development and a landfill, measured from the outer boundary of the area containing waste: see EPA Information Sheet ‘Landfill gas and development near landfills – advice for planning authorities and developers’ issued February 2021.

The applicant is reminded that if they elect to proceed with the development in the absence of site-specific risk information:

1. They do so entirely at their own risk.
2. Under the Environment Protection Act 1993, a developer may be considered to have caused site contamination if the development creates a risk to future residents or occupiers from landfill gas.
3. The Council accepts no responsibility for any harm to persons, or any harm or damage to, or loss of property, or any other detriment resulting from the applicant’s actions.

It is the applicant’s responsibility to ensure that all appropriate steps are undertaken to minimise the potential harm or damage to property or persons arising from this situation.

Any queries in regards to landfill gas migration or site contamination should be directed to the EPA Hotline on 1800-729-175.

OFFICER MAKING RECOMMENDATION

Name: Doug Samardzija
Title: Statutory Planner

**ADELAIDE HILLS COUNCIL
MINUTES OF COUNCIL ASSESSMENT PANEL MEETING
WEDNESDAY 12 JANUARY 2022
63 MOUNT BARKER ROAD, STIRLING
AND
ZOOM VIRTUAL MEETING ROOM
*[Please Note: These minutes are unconfirmed until 9 February 2022]***

9.2 Development Application 21018753 by Kate Bishop for tourist accommodation and associated free standing advertisement at 159 Ridge Road, Ashton

9.2.1 Representations

Name of Representor	Address of Representor	Nominated Speaker
Kym & Sophie Nitschke	Lot 39 (141) Ridge Road Ashton	Sydney McDonald Botten Levinson

The applicant's representative, Mark Kwiatkowski (Planning Consultant), addressed the Panel.

9.2.2 Decision of Panel

The following was adopted by consensus of all members (4)

The Council Assessment Panel DEFERS consideration of Development Application Number 21018753 by Kate Bishop and Bella Casa Ashton for Tourist Accommodation & associated free standing advertisement at 159 Ridge Road Ashton to enable the applicant to provide:

- 1) A detailed site and contour plan with location of access to tourist pod, CFS turnaround, detailed sign position and proposed landscaping.**
- 2) Site specific elevations taking into account the nature of the site and any cut and fill.**



Town Planning Specialists
Planning Private Certifiers

Given the proximity and the location of the pod near the existing vines, the need for additional landscaping would limit the views of the rolling vines and hills from the window of the pod. The existing vegetation will provide sufficient screening of the built form from adjoining properties.

I note the following images which show the exact location and extent of built form visible from the street based on the client to demonstrate height and length of the pod (on closest wall to road - the southern wall).



Figures 2 and 3 – Images of length and height of pod and view from street of pod and sign

Once the new vines are established, the pod will not be highly visible from the street and the proposed sign will also not be highly noticeable as per the image below.



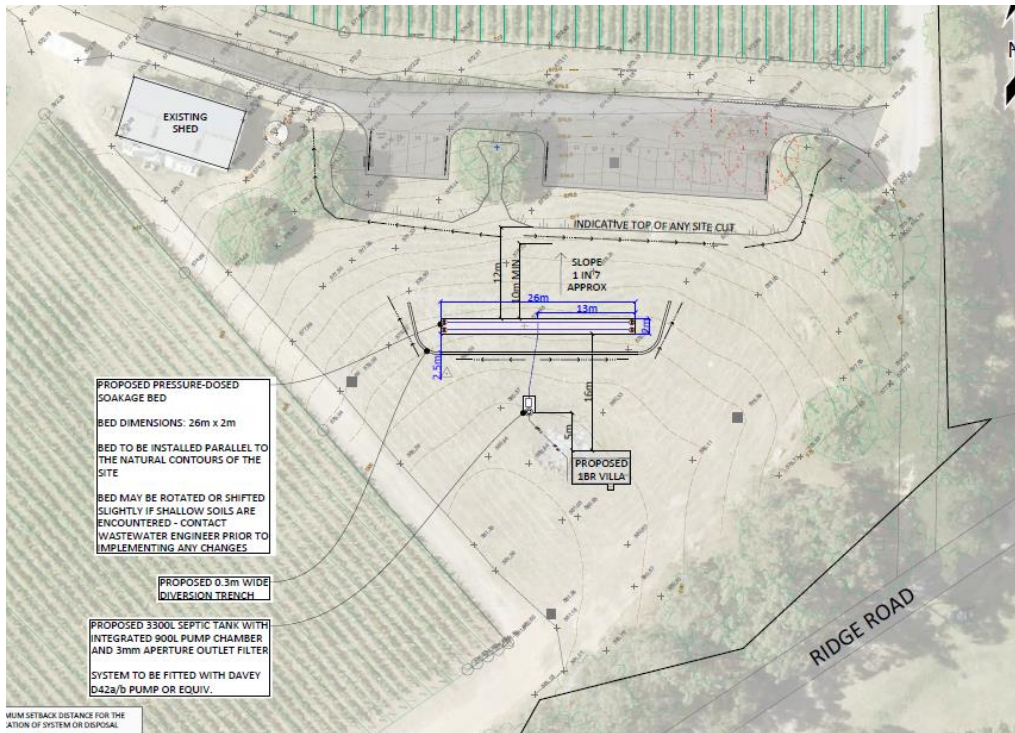
Figure 4 - View of the pod from street based on the height and length of pod and established vines as per measured height and width of building onsite.



Town Planning Specialists
Planning Private Certifiers

The Waste water plan (attached) also shows the contours of the site, the location of the villa and shows that the location of the proposed pod will be located in a relatively flat portion of the ridge which will not result in the need for excessive cut and fill.

The amended elevations reflect the nature of the site and any cut and fill.



Additional Elevations and perspective view illustrating proposed stepped feature fencing to street which will aid in reducing the visual impact of the dwelling when viewed from the street.

3.0 Conclusion

The application seeks a modest small scale tourist accommodation building for up to two guests with an area of 36 square metres. The proposal will have an overall height of 3.7 meters and will be constructed of lightweight materials. The natural, non-reflective neutral colours of the proposed building will not result in unacceptable visual impacts complementing the existing rural environment and sits comfortably on the existing site set amongst the vines with appropriate siting and landscaping in keeping with the intent of the Zone.

The proposal is a suitable development providing a tourist facility in the form of 'Tourist Accommodation' which is in keeping with the intent of the Hills Face Zoning of the Land. The proposal will component the use of the land for viticultural purposes and proposes a well-designed modest proposal in addition to the existing buildings onsite.



Town Planning Specialists
Planning Private Certifiers

The proposal will have an acceptable impact on the amenity of the adjoining properties for the reasons aforementioned and given the small scale nature of the proposal, contextually, the proposal results in a built form with the appearance of an outbuilding which is smaller than the numerous examples of larger rural outbuildings in the immediate locality on the rural living allotments within the Hills Face Zone. Further, it is considered that the proposal will not pose an unacceptable risk from a fire hazard / risk perspective.

After careful consideration of the proposed development and having regard to the relevant provisions of the Planning and Design Code, it is my opinion, that the application represents an appropriate form of development in the context of the Hills Face Zone and the unique circumstances of the subject land and locality.

For all the reasons outlined in this response and previous correspondence, we consider the proposed development to satisfy the pertinent Planning and Design Code provisions to warrant development plan consent. Therefore, I contend that the proposal represents an appropriate form of development and warrants support.

Please confirm when this proposal will be considered by the Council Assessment Panel and the date and time of the meeting. A representative shall attend at this meeting in support of the proposal.

We look forward to your support of this proposal. If you have any further questions regarding this application or require additional information, please contact me on 0499 933 311.

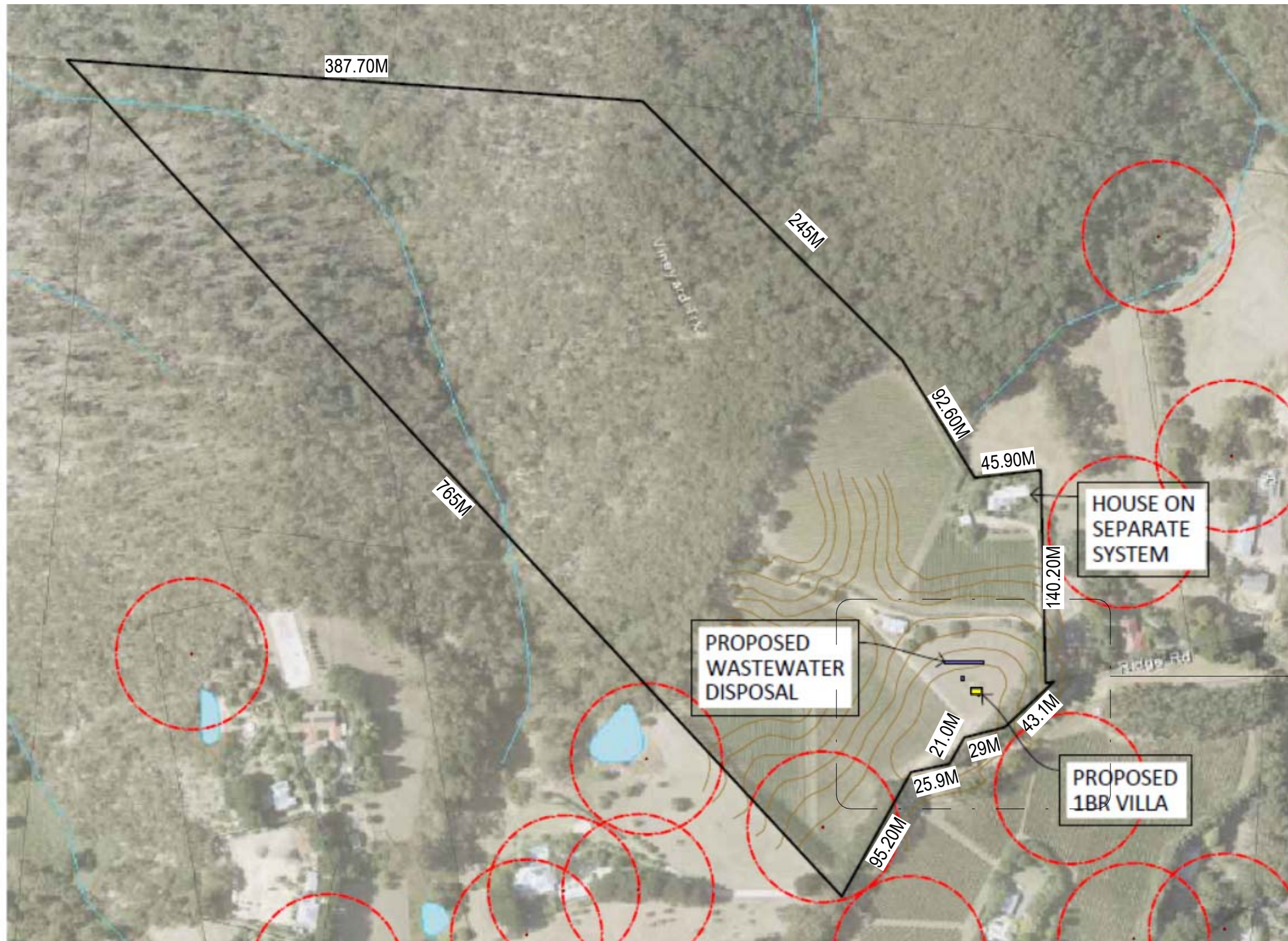
Yours Sincerely,

A handwritten signature in black ink, appearing to read 'Mark Kwiatkowski', written in a cursive style.

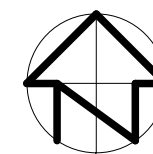
Mark Kwiatkowski MPIA CPP

Director + Principal Urban Planner

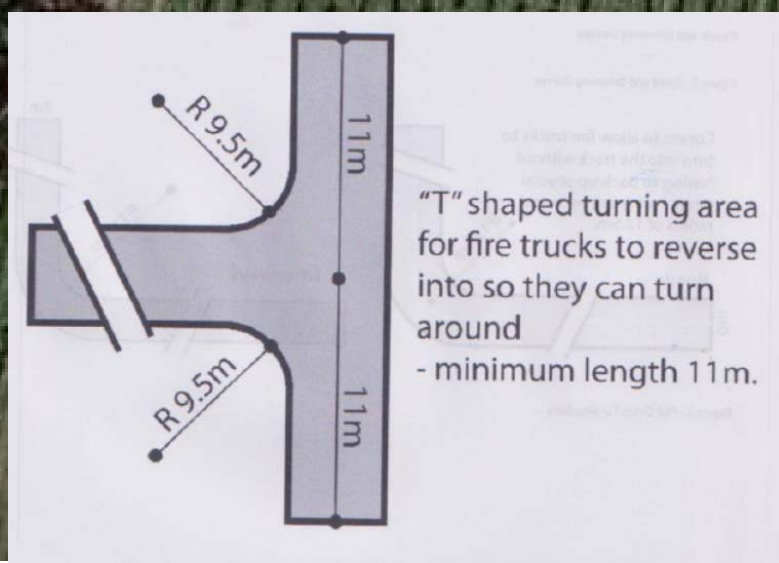
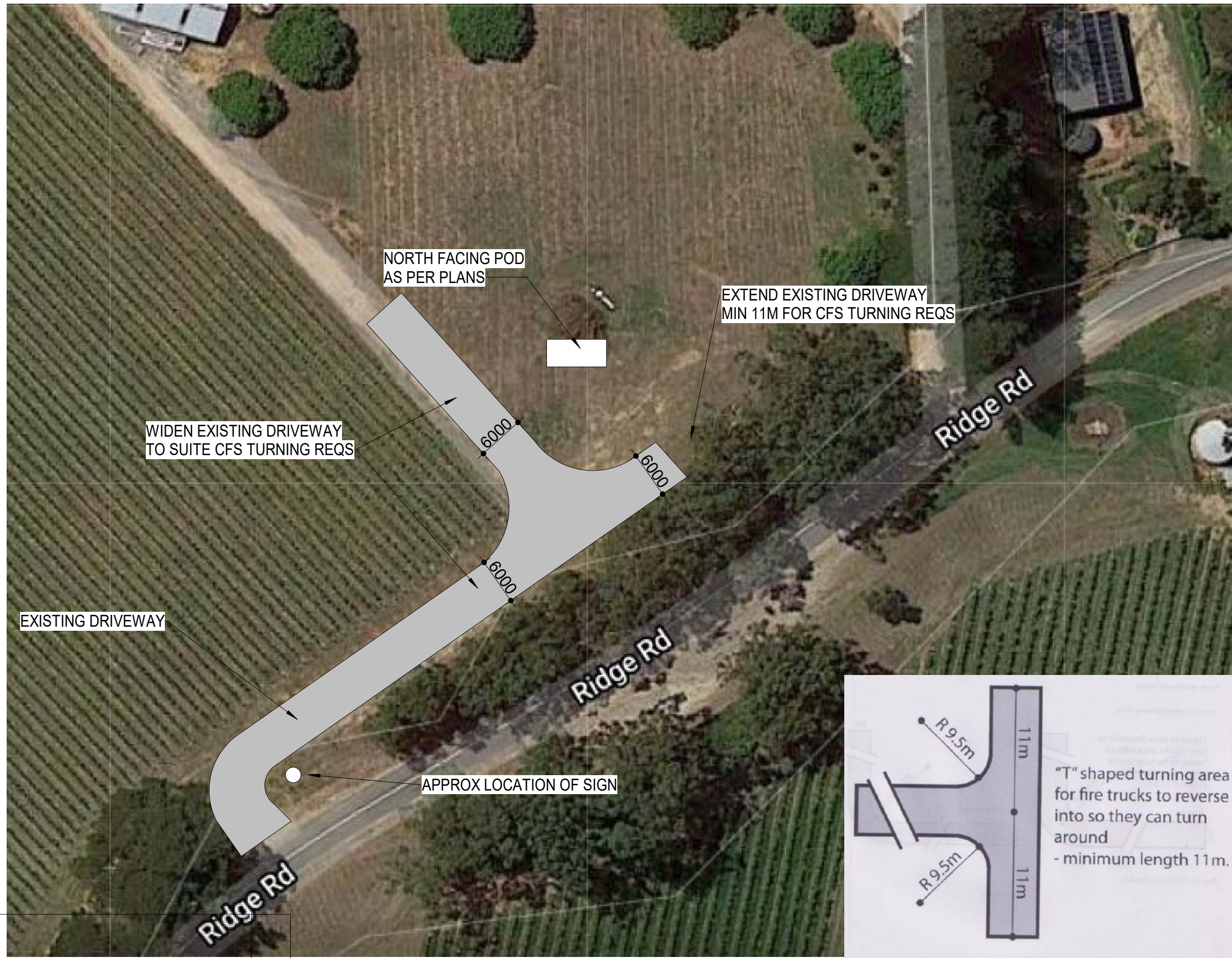
Adelaide Planning & Development Solutions - Town Planning Specialists | Planning Private Certifiers



1
2 OF 3



LOCATION PLAN 1:3000



**SITE PLAN
1:500**


 E: ross@sabd.net.au
 M: 0407 407 629
 ABN: 66 156 567 403
© COPYRIGHT SA BUILDING DESIGNERS PTY LTD

CLIENT
 BISHOP
ADDRESS
 159 Ridge Rd,
 ASHTON

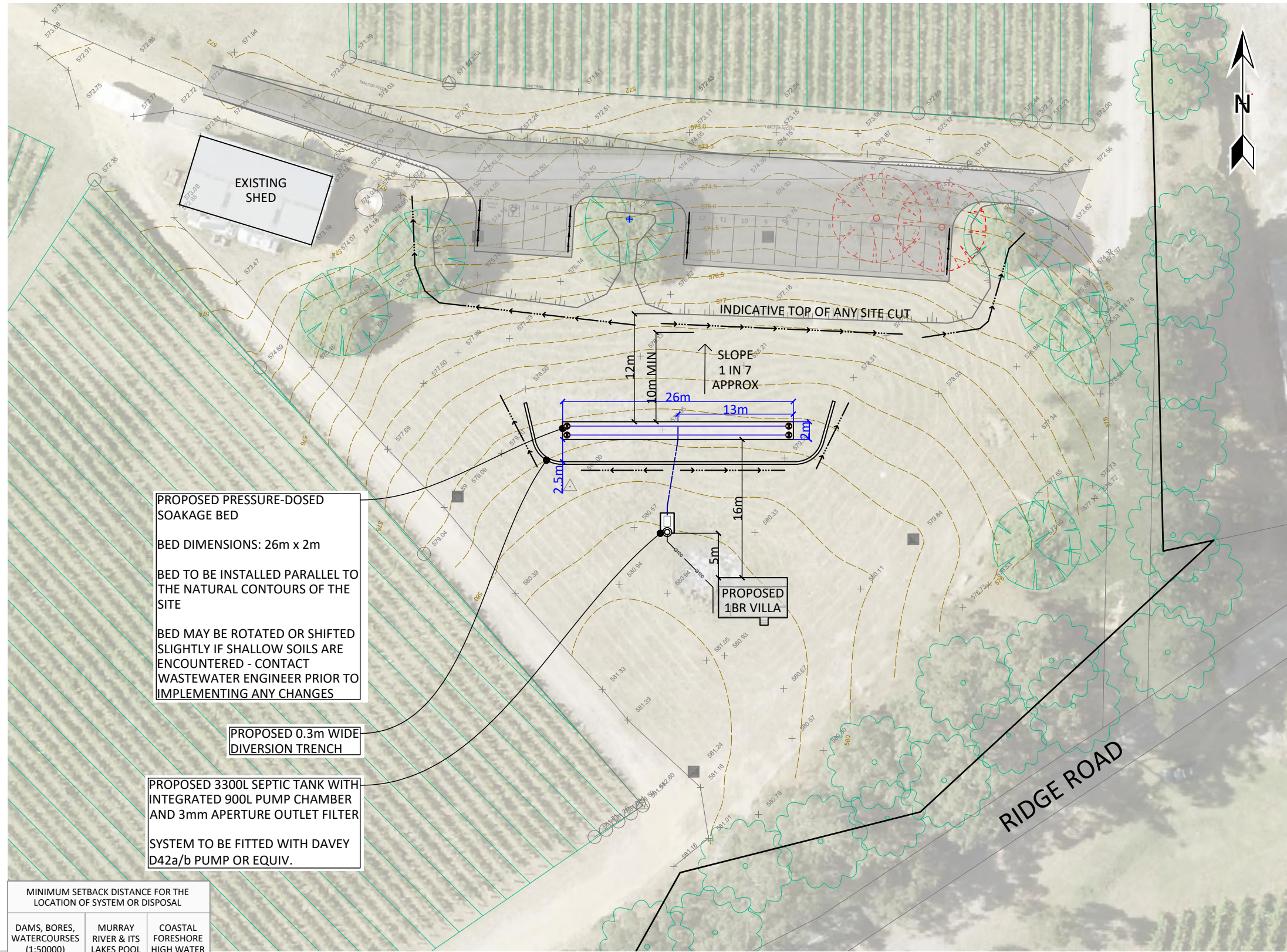
DATE
 18/1/22
PROJECT NUMBER
 6446

DRAWN
 R.V
SHEET NO
 2 OF 3

PLANNING APPROVAL
 CONSTRUCTION: BRICK VENEER
Contractors are to verify all dimensions and levels on the drawing before commencing any work. Any discrepancies or contradictions will be reported to the designer immediately. Figured dimensions will take preference to scale. These plans shall be read in conjunction with all other relevant documentation i.e. specifications, schedules, consultants & authorities' reports etc.

LEGEND

- DN100 MAIN DRAIN
MIN. 1 IN 60 (1.65%) GRADE
IDEALLY 1 IN 50 (2%) GRADE
TO BE INSTALLED IN
ACCORDANCE WITH AS3500
- DN100 MAIN DRAIN
MIN. 1 IN 100 (1%) GRADE
TO BE INSTALLED IN
ACCORDANCE WITH AS3500
- SUPPLY LINE
40mm LILAC STRIPED
PE PIPE OR LILAC
CODED uPVC EQUIV.
MIN. 300mm OF COVER IN
AREAS NOT SUBJECT TO
VEHICLE LOADS
INCREASE TO MIN. 750mm
OF COVER FOR UNSEALED
AREAS SUBJECT TO VEHICLE
LOADS
- DOSING LINE
- ⊙ INSPECTION OPENING
TO BE LOCATED MAX.
EVERY 30m
- FLUSH VALVES IN
LILAC VALVE BOX
(BALL VALVES AND DURA OR
EQUIV. BRAND VALVE BOX)
- ↔ DISPOSAL
DIMENSIONS
- ↔ SETBACK
DISTANCES



PROPOSED PRESSURE-DOSED SOAKAGE BED
 BED DIMENSIONS: 26m x 2m
 BED TO BE INSTALLED PARALLEL TO THE NATURAL CONTOURS OF THE SITE
 BED MAY BE ROTATED OR SHIFTED SLIGHTLY IF SHALLOW SOILS ARE ENCOUNTERED - CONTACT WASTEWATER ENGINEER PRIOR TO IMPLEMENTING ANY CHANGES

PROPOSED 0.3m WIDE DIVERSION TRENCH

PROPOSED 3300L SEPTIC TANK WITH INTEGRATED 900L PUMP CHAMBER AND 3mm APERTURE OUTLET FILTER
 SYSTEM TO BE FITTED WITH DAVEY D42a/b PUMP OR EQUIV.

MINIMUM SETBACK DISTANCE FOR THE LOCATION OF SYSTEM OR DISPOSAL

TREATMENT SYSTEM	DAMS, BORES, WATERCOURSES (1:50000)	MURRAY RIVER & ITS LAKES POOL LEVEL	COASTAL FORESHORE HIGH WATER LEVEL
TREATMENT SYSTEM	10m	-	-
DISPOSAL FIELD	50m	100m	100m

NOTES
 MINIMUM CLEARANCE MUST BE MAINTAINED UNLESS ENCROACHMENT PERMITTED BY GOVERNING BODY
 INSTALLER TO VERIFY SETBACK DISTANCES PRIOR TO COMMENCEMENT OF WORK

MINIMUM DISTANCE FOR THE LOCATION OF SYSTEM OR DISPOSAL (u.n.o)

TREATMENT SYSTEM	DOWNSLOPE OF FOUNDATIONS	UPSLOPE OF FOUNDATIONS	FLAT SITE
PRIMARY TREATMENT SYSTEM (SEPTIC OR EQUIV.)	2.5m	2.5m	2.5m
AEROBIC SYSTEM	3m	3m	3m
SURFACE IRRIGATION	1.5m	3m	1.5m
SHALLOW SUBSURFACE IRRIGATION	1.5m	3m	1.5m
SUBSURFACE DISPOSAL (SOAKAGE)	3m	6m	3m

NOTES
 CONTRACTOR MUST ENSURE THAT MINIMUM SETBACK DISTANCES ARE MAINTAINED
 ALL DIMENSIONS TO BE CHECKED PRIOR TO INSTALLATION

PRESSURE DOSED SOAKAGE

BED	DOSING LINES PER BED	SQUIRT HOLE SPACING	SQUIRT HOLE Ø	BED LENGTH L	BED WIDTH W	SPACING A	SPACING B
1	4	1500m c/c	5mm	26m	2m	500	1000

NOTE:
 ENGINEER TO BE CONTACTED IMMEDIATELY FOR THE FOLLOWING:
 - EXPECTED EXCAVATION DEPTH CANNOT BE MAINTAINED
 - HARD ROCK, PREDOMINANT QUARTZ VEINOR STIFF CLAY FOUND
 - WHERE INSTALLER IS UNSURE OF SPECIFICATIONS
 - IF GROUNDWATER IS ENCOUNTERED
 - IF PROPOSED DISPOSAL AREA IS FOUND TO BE UNSUITABLE DUE TO TERRAIN (SUCH AS IF THE SITE IS CONCAVED) OR EXISTING/PREVAILING DRAINAGE ISSUES (IE LACK OF SITE DRAINAGE, DIRECT DISCHARGE FROM DOWNPIPES)
 - IF SIGNIFICANT ROOTS ARE FOUND THROUGH THE EXCAVATION AREA (THIS IS AN INDICATION THE TRENCH MAY HAVE A REDUCED LIFESPAN)

SITE NOTES

1. This plan shall be read in conjunction with any site drainage/stormwater management plans, architectural drawings and detail sheet specifications. Engineer to be contacted if discrepancies are found.
2. Boundaries shown are indicative only, and to be confirmed with the owner, via the property title or by a surveyor (where unclear) prior to installation.
3. Watercourses, bores, dams, and contours obtained from DEW
4. Satellite image (where shown) for reference, obtained from DEW or DPTI
5. All dimensions and locations of buildings shown are approximate and must be confirmed onsite by the installer. Where discrepancies are noted, the engineer must be contacted.

WASTEWATER NOTES

1. All stormwater discharge and run-off from the roof, roofwater collection (rainwater tanks), and site drainage systems to be diverted away from the wastewater disposal area.
2. This design accounts for at least 100m² of recreational space.
3. The contractor must locate all services within the works area prior to installation/excavations. Services, if shown on the plan provided, are indicative and serve as a reminder.
4. Visual and audible alarm (where required) to be installed in a suitable location (such as on top of the tank), installer to discuss with owner and select location as per their preference.

A	21/07/21	Initial release

AMENDMENTS

This drawing is copyright to Maxwell Consulting Engineers. No part of this drawing, including whole or part shall be used for any purpose or site other than for which it was prepared. Nor may it be used by any third party without prior written consent from Maxwell Consulting Engineers. Contractors must set out all work and verify all conditions, levels and dimensions on site prior to commencement of any work or making of any shop drawings. All work must be executed in accordance with the rules, regulations, by laws and requirements of all authorities having jurisdiction over any part of the work. This drawing is not to be used for dimensional setout.



MAXWELL CONSULTING ENGINEERS
 ABN: 85 600 518 741 ACN: 600 518 741
 12 James Schofield Dr, Adelaide Airport, 5950
 Sherie Yang: 0424 795 745
 Email: swe@maxwellengineers.com.au

CLIENT: **BELLA CASA**

PROJECT TITLE: **ME1273**

SITE ADDRESS: **159 RIDGE ROAD ASHTON**

DRAWING TITLE: **WASTEWATER PLAN**

SHEET No.: **P1** COUNCIL: **ADELAIDE HILLS**

SCALE: **1:500 @ A3** DESIGNED: **SY**

DATE: **21/07/21** DRAWN: **SY**

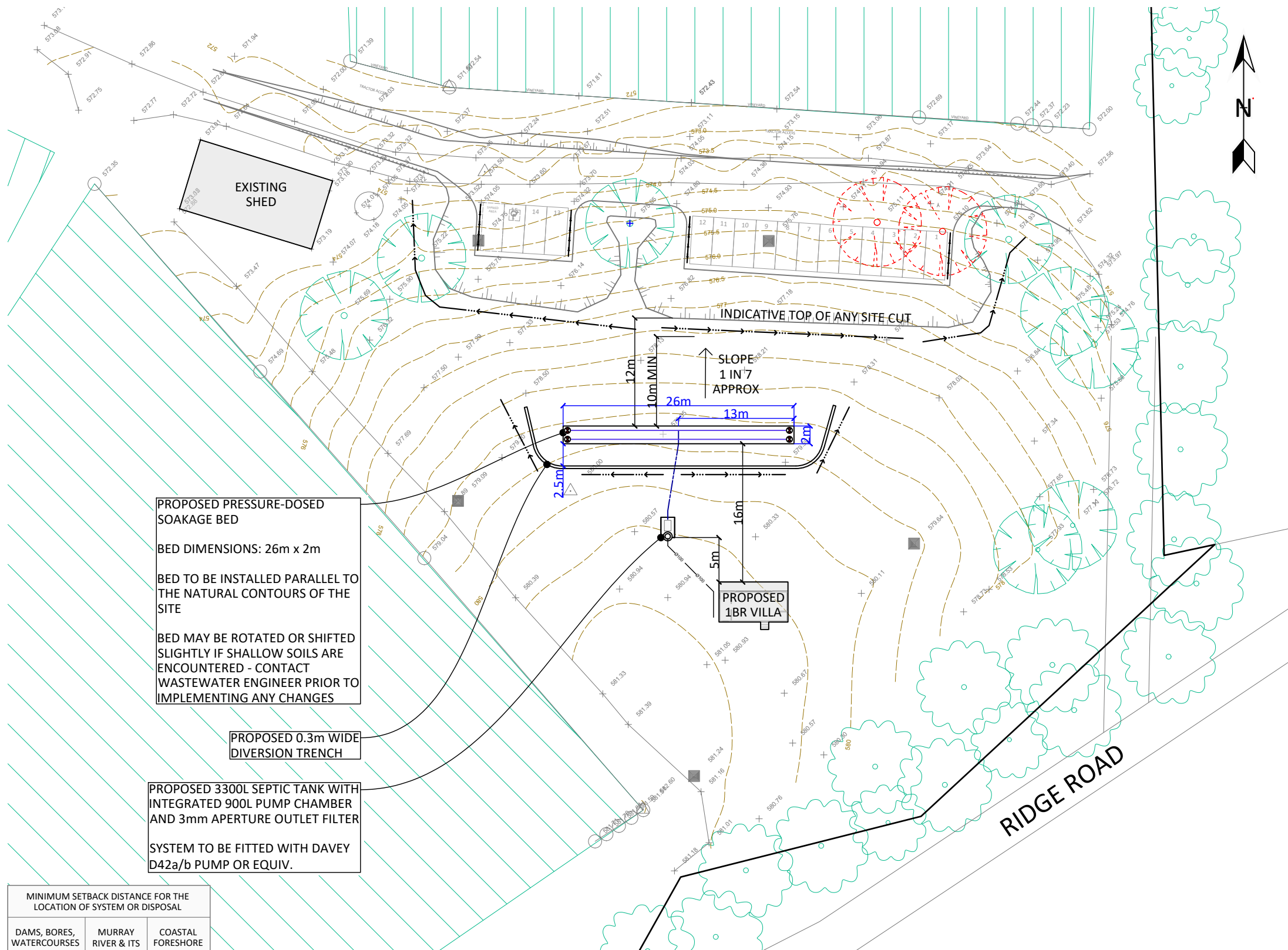
This drawing is the copyright of Maxwell Consulting Engineers and may not be altered, reproduced or transmitted in any form or by any means, in part or whole without express written consent from Maxwell Consulting Engineers. ABN: 85 600 518 741

WASTEWATER PLAN



LEGEND

- DN100 MAIN DRAIN
MIN. 1 IN 60 (1.65%) GRADE
IDEALLY 1 IN 50 (2%) GRADE
TO BE INSTALLED IN
ACCORDANCE WITH AS3500
- DN100 MAIN DRAIN
MIN. 1 IN 100 (1%) GRADE
TO BE INSTALLED IN
ACCORDANCE WITH AS3500
- SUPPLY LINE
40mm LILAC STRIPED
PE PIPE OR LILAC
CODED uPVC EQUIV.
MIN. 300mm OF COVER IN
AREAS NOT SUBJECT TO
VEHICLE LOADS
INCREASE TO MIN. 750mm
OF COVER FOR UNSEALED
AREAS SUBJECT TO VEHICLE
LOADS
- DOSING LINE
- ⊙ INSPECTION OPENING
TO BE LOCATED MAX.
EVERY 30m
- FLUSH VALVES IN
LILAC VALVE BOX
(BALL VALVES AND DURA OR
EQUIV. BRAND VALVE BOX)
- ↔ DISPOSAL
DIMENSIONS
- ↔ SETBACK
DISTANCES



PROPOSED PRESSURE-DOSED SOAKAGE BED
 BED DIMENSIONS: 26m x 2m
 BED TO BE INSTALLED PARALLEL TO THE NATURAL CONTOURS OF THE SITE
 BED MAY BE ROTATED OR SHIFTED SLIGHTLY IF SHALLOW SOILS ARE ENCOUNTERED - CONTACT WASTEWATER ENGINEER PRIOR TO IMPLEMENTING ANY CHANGES

PROPOSED 0.3m WIDE DIVERSION TRENCH

PROPOSED 3300L SEPTIC TANK WITH INTEGRATED 900L PUMP CHAMBER AND 3mm APERTURE OUTLET FILTER
 SYSTEM TO BE FITTED WITH DAVEY D42a/b PUMP OR EQUIV.

MINIMUM SETBACK DISTANCE FOR THE LOCATION OF SYSTEM OR DISPOSAL			
TREATMENT SYSTEM	DAMS, BORES, WATERCOURSES (1:50000)	MURRAY RIVER & ITS LAKES POOL LEVEL	COASTAL FORESHORE HIGH WATER LEVEL
TREATMENT SYSTEM	10m	-	-
DISPOSAL FIELD	50m	100m	100m

MINIMUM DISTANCE FOR THE LOCATION OF SYSTEM OR DISPOSAL (u.n.o)			
TREATMENT SYSTEM	DOWNSLOPE OF FOUNDATIONS	UPSLOPE OF FOUNDATIONS	FLAT SITE
PRIMARY TREATMENT SYSTEM (SEPTIC OR EQUIV.)	2.5m	2.5m	2.5m
AEROBIC SYSTEM	3m	3m	3m
SURFACE IRRIGATION	1.5m	3m	1.5m
SHALLOW SUBSURFACE IRRIGATION	1.5m	3m	1.5m
SUBSURFACE DISPOSAL (SOAKAGE)	3m	6m	3m

PRESSURE DOSED SOAKAGE							
BED	DOSING LINES PER BED	SQUIRT HOLE SPACING	SQUIRT HOLE Ø	BED LENGTH L	BED WIDTH W	SPACING A	SPACING B
1	4	1500m c/c	5mm	26m	2m	500	1000

NOTE:
 ENGINEER TO BE CONTACTED IMMEDIATELY FOR THE FOLLOWING:

- EXPECTED EXCAVATION DEPTH CANNOT BE MAINTAINED
- HARD ROCK, PREDOMINANT QUARTZ VEINOR STIFF CLAY FOUND
- WHERE INSTALLER IS UNSURE OF SPECIFICATIONS
- IF GROUNDWATER IS ENCOUNTERED
- IF PROPOSED DISPOSAL AREA IS FOUND TO BE UNSUITABLE DUE TO TERRAIN (SUCH AS IF THE SITE IS CONCAVED) OR EXISTING/PREVAILING DRAINAGE ISSUES (IE LACK OF SITE DRAINAGE, DIRECT DISCHARGE FROM DOWNPIPES)
- IF SIGNIFICANT ROOTS ARE FOUND THROUGH THE EXCAVATION AREA (THIS IS AN INDICATION THE TRENCH MAY HAVE A REDUCED LIFESPAN)

SITE NOTES

1. This plan shall be read in conjunction with any site drainage/stormwater management plans, architectural drawings and detail sheet specifications. Engineer to be contacted if discrepancies are found.
2. Boundaries shown are indicative only, and to be confirmed with the owner, via the property title or by a surveyor (where unclear) prior to installation.
3. Watercourses, bores, dams, and contours obtained from DEW
4. Satellite image (where shown) for reference, obtained from DEW or DPPI
5. All dimensions and locations of buildings shown are approximate and must be confirmed onsite by the installer. Where discrepancies are noted, the engineer must be contacted.

WASTEWATER NOTES

1. All stormwater discharge and run-off from the roof, roofwater collection (rainwater tanks), and site drainage systems to be diverted away from the wastewater disposal area.
2. This design accounts for at least 100m² of recreational space.
3. The contractor must locate all services within the works area prior to installation/excavations. Services, if shown on the plan provided, are indicative and serve as a reminder.
4. Visual and audible alarm (where required) to be installed in a suitable location (such as on top of the tank), installer to discuss with owner and select location as per their preference.

A	21/07/21	Initial release
---	----------	-----------------

AMENDMENTS

This drawing is copyright to Maxwell Consulting Engineers. No part of this drawing, including whole or part shall be used for any purpose or site other than for which it was prepared. Nor may it be used by any third party without prior written consent from Maxwell Consulting Engineers. Contractors must set out all work and verify all conditions, levels and dimensions on site prior to commencement of any work or making of any shop drawings. All work must be executed in accordance with the rules, regulations, by laws and requirements of all authorities having jurisdiction over any part of the work. This drawing is not to be used for dimensional setout.



MAXWELL CONSULTING ENGINEERS
 ABN: 85 600 518 741 ACN: 600 518 741
 12 James Schofield Dr, Adelaide Airport, 5950
 Sherie Yang: 0424 795 745
 Email: swe@maxwellengineers.com.au

CLIENT: BELLA CASA	
PROJECT TITLE: ME1273	
SITE ADDRESS: 159 RIDGE ROAD ASHTON	
DRAWING TITLE: WASTEWATER PLAN	
SHEET No.: P2	COUNCIL: ADELAIDE HILLS
SCALE: 1:500 @ A3	DESIGNED: SY
DATE: 21/07/21	DRAWN: SY

This drawing is the copyright of Maxwell Consulting Engineers and may not be altered, reproduced or transmitted in any form or by any means, in part or whole without express written consent from Maxwell Consulting Engineers. ABN: 85 600 518 741

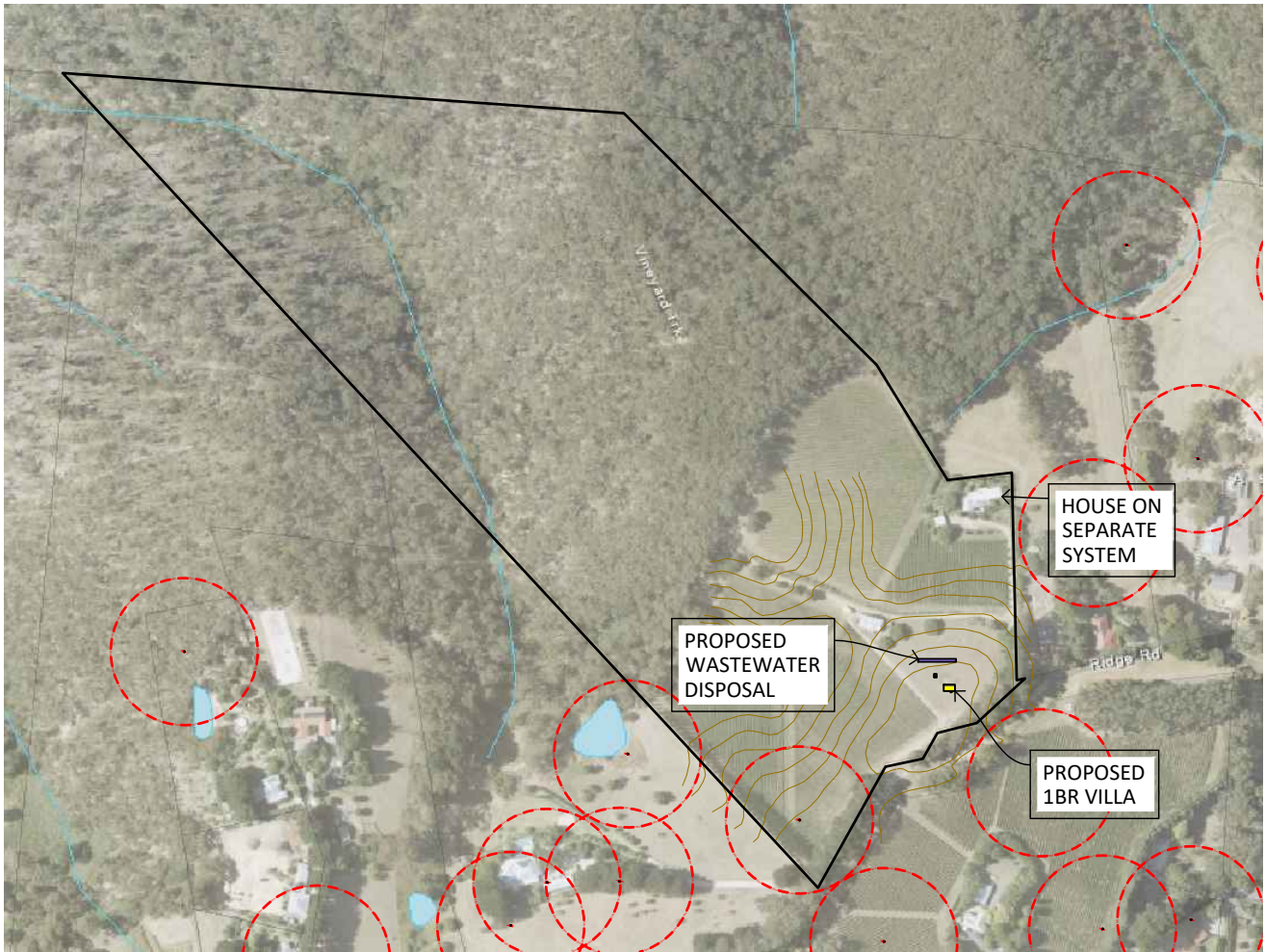
WASTEWATER PLAN





MAXWELL CONSULTING ENGINEERS
 ABN: 85 600 518 741
 12 James Schofield Dr, Adelaide Airport, 5950

Sherie Yang: 0424 795 745
 Email: swe@maxwellengineers.com.au



SITE PLAN

(APPROX. LOCATION & BOUNDARIES SHOWN)

NOTE, BORES IF SHOWN ARE APPROX.
 REFER TO WATERCONNECT LOCATION PLAN



CONNECTED BUILDINGS



WASTEWATER TREATMENT
 AND DISPOSAL

CLIENT: BELLA CASA	
PROJECT TITLE: ME1273	
SITE ADDRESS: 159 RIDGE ROAD ASHTON	
DRAWING TITLE: SITE PLAN	
SHEET No.: C1	COUNCIL: ADELAIDE HILLS
SCALE: 1:5000 @ A4	DESIGNED: SY
DATE: 21/07/21	DRAWN: SY
<small>This drawing is the copyright of Maxwell Consulting Engineers. No part of this drawing, including whole or part shall be used for any purpose or site other than for which it was prepared. Nor may it be used by any third party without prior written consent from Maxwell Consulting Engineers. Contractors must set out all work and verify all conditions, levels and dimensions on site prior to commencement of any work or making of any shop drawings. All work must be executed in accordance with the rules, regulations, by laws and requirements of all authorities having jurisdiction over any part of the work. This drawing may not be altered, reproduced or transmitted in any form or by any means, in part or whole without express written consent from Maxwell Consulting Engineers. ABN: 85 600 518 741</small>	



MAXWELL CONSULTING ENGINEERS
 ABN: 85 600 518 741
 12 James Schofield Dr, Adelaide Airport, 5950

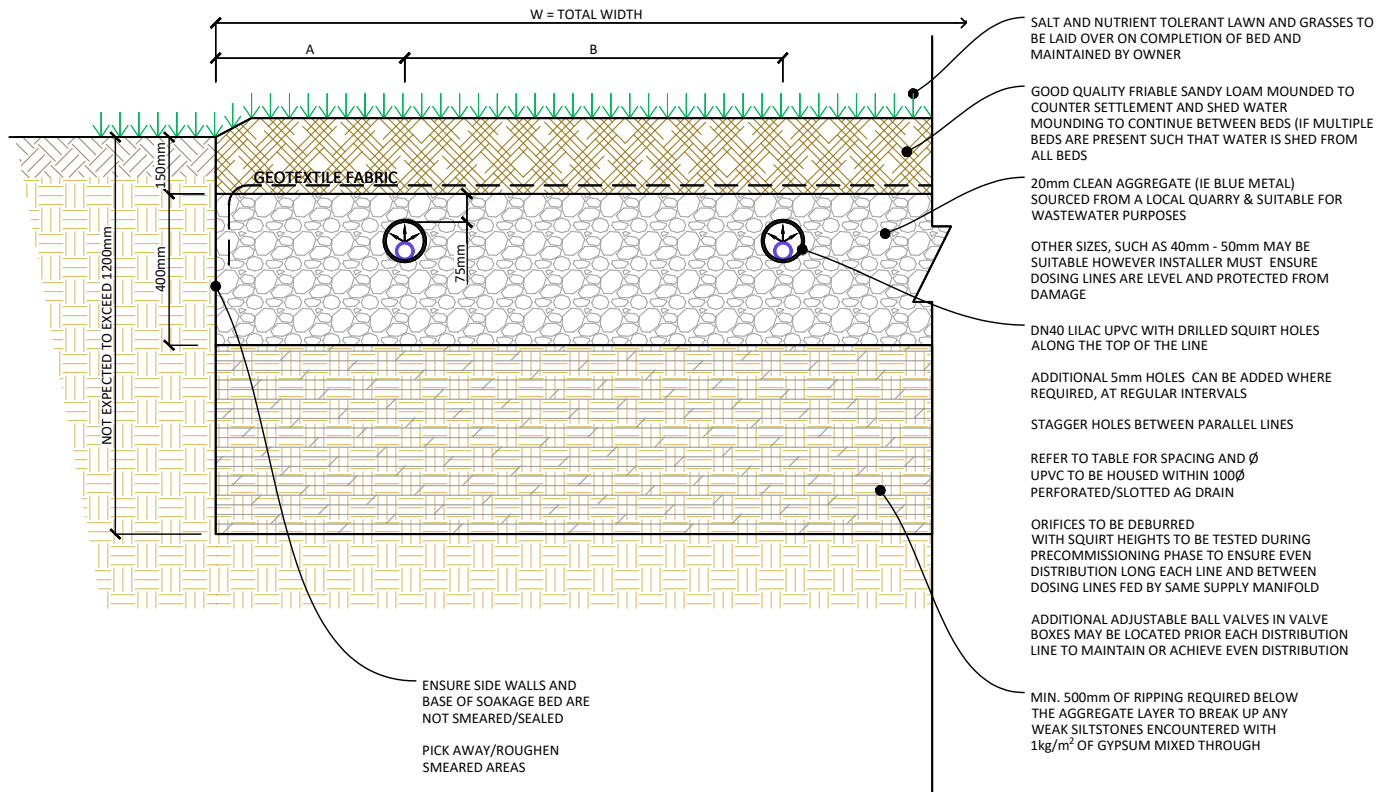
Sherie Yang: 0424 795 745
 Email: swe@maxwellengineers.com.au

PRESSURE DOSED SOAKAGE							
BED	DOSING LINES PER BED	SQUIRT HOLE SPACING	SQUIRT HOLE Ø	BED LENGTH L	BED WIDTH W	SPACING A	SPACING B
1	4	1500m c/c	5mm	26m	2m	500	1000

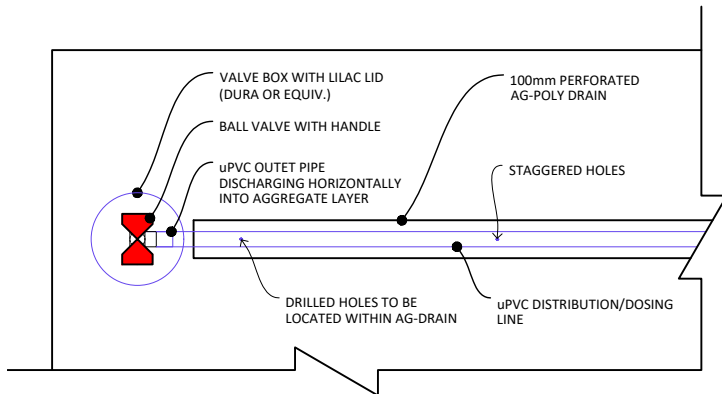
NOTE:

ENGINEER TO BE CONTACTED IMMEDIATELY FOR THE FOLLOWING:

- EXPECTED EXCAVATION DEPTH CANNOT BE MAINTAINED
- HARD ROCK, PREDOMINANT QUARTZ VEINOR STIFF CLAY FOUND
- WHERE INSTALLER IS UNSURE OF SPECIFICATIONS
- IF GROUNDWATER IS ENCOUNTERED
- IF PROPOSED DISPOSAL AREA IS FOUND TO BE UNSUITABLE DUE TO TERRAIN (SUCH AS IF THE SITE IS CONCAVED) OR EXISTING/PREVAILING DRAINAGE ISSUES (IE LACK OF SITE DRAINAGE, DIRECT DISCHARGE FROM DOWNPIPES)
- IF SIGNIFICANT ROOTS ARE FOUND THROUGH THE EXCAVATION AREA (THIS IS AN INDICATION THE TRENCH MAY HAVE A REDUCED LIFESPAN)



SOAKAGE SPECIFICATIONS

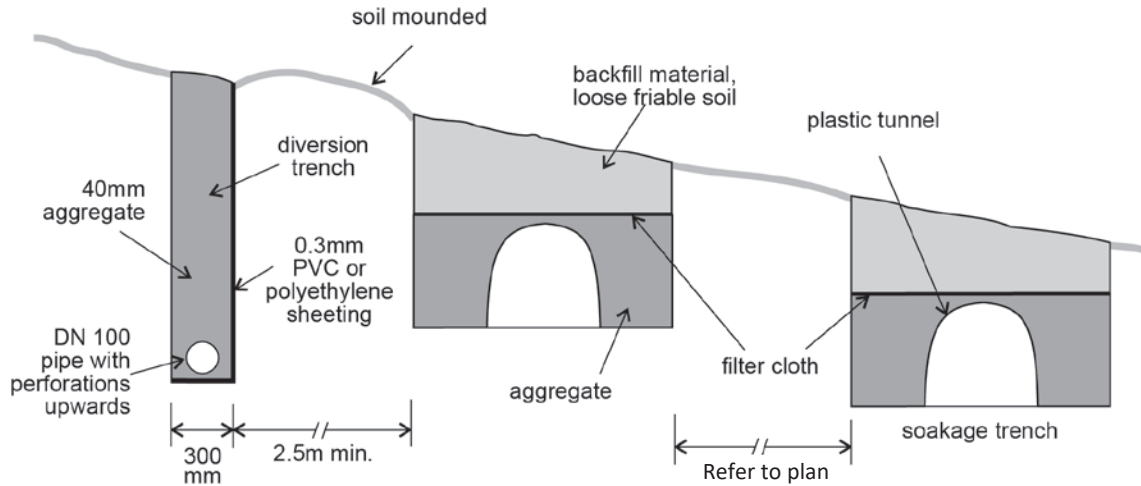


FLUSH LINE SPECIFICATIONS

(OTHER CONFIGURATIONS CAN ALSO BE CONSIDERED, SUCH AS SHARED VALVE BOXES)

CLIENT:	BELLA CASA		
PROJECT TITLE:	ME1273		
SITE ADDRESS:	159 RIDGE ROAD ASHTON		
DRAWING TITLE:	SOAKAGE DETAILS		
SHEET No.:	S1	COUNCIL:	ADELAIDE HILLS
SCALE:	NTS @ A4	DESIGNED:	SY
DATE:	21/07/21	DRAWN:	SY
<p>This drawing is the copyright of Maxwell Consulting Engineers. No part of this drawing, including whole or part shall be used for any purpose or site other than for which it was prepared. Nor may it be used by any third party without prior written consent from Maxwell Consulting Engineers. Contractors must set out all work and verify all conditions, levels and dimensions on site prior to commencement of any work or making of any shop drawings. All work must be executed in accordance with the rules, regulations, by laws and requirements of all authorities having jurisdiction over any part of the work. This drawing may not be altered, reproduced or transmitted in any form or by any means, in part or whole without express written consent from Maxwell Consulting Engineers. ABN: 85 600 518 741</p>			

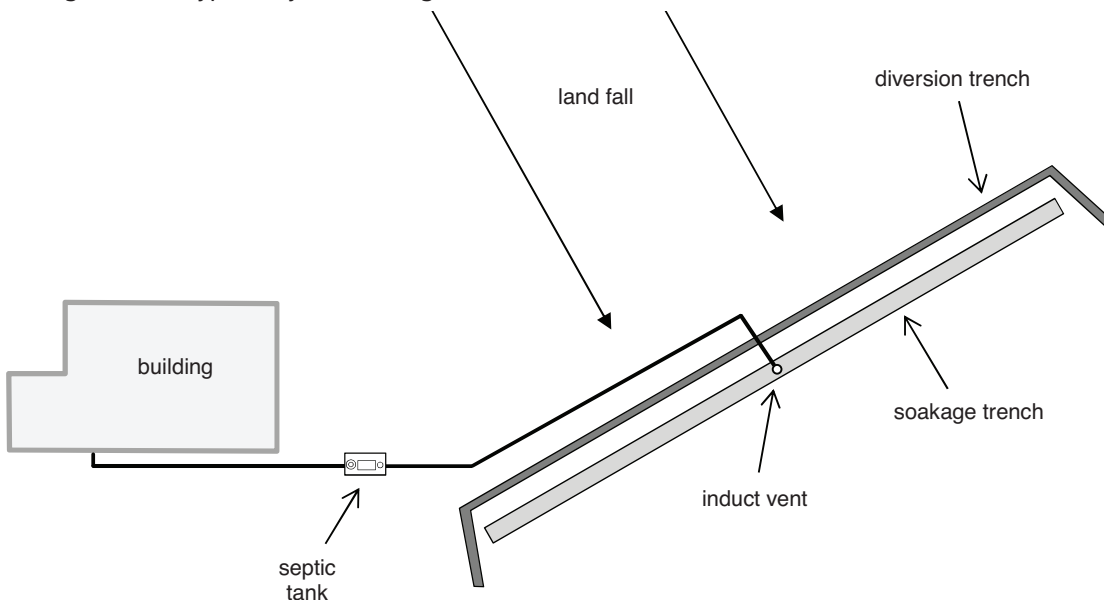
Figure A11: Typical diversion and soakage trench section

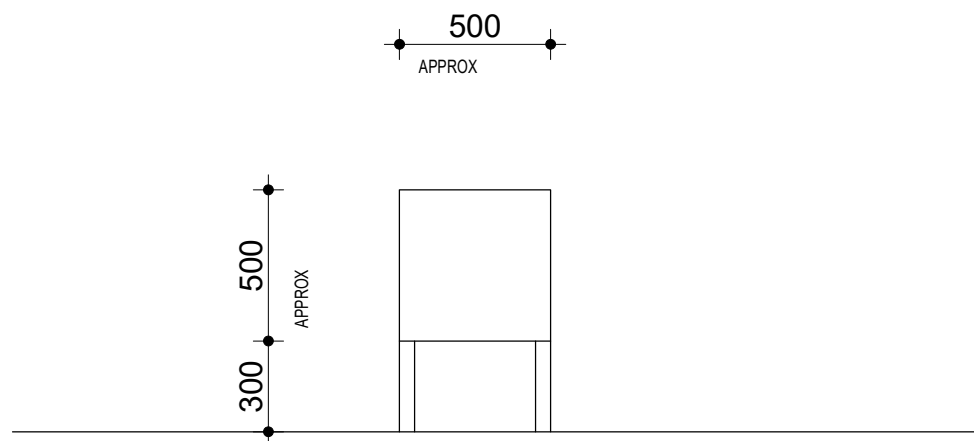


Additional notes from

- Diversion trench to extend min. 200mm below the depth of the aggregate layer within the soakage bed
- The exact construction technique can be discussed prior to installation to potentially reduce costs
- Please note that an impermeable PVC or polyethylene sheeting layer is required along the low side and at base of the diversion trench to be effective in redirecting run-off and cannot be substituted with geotextile fabric (permeable)

Figure A12: Typical layout utilising a diversion trench





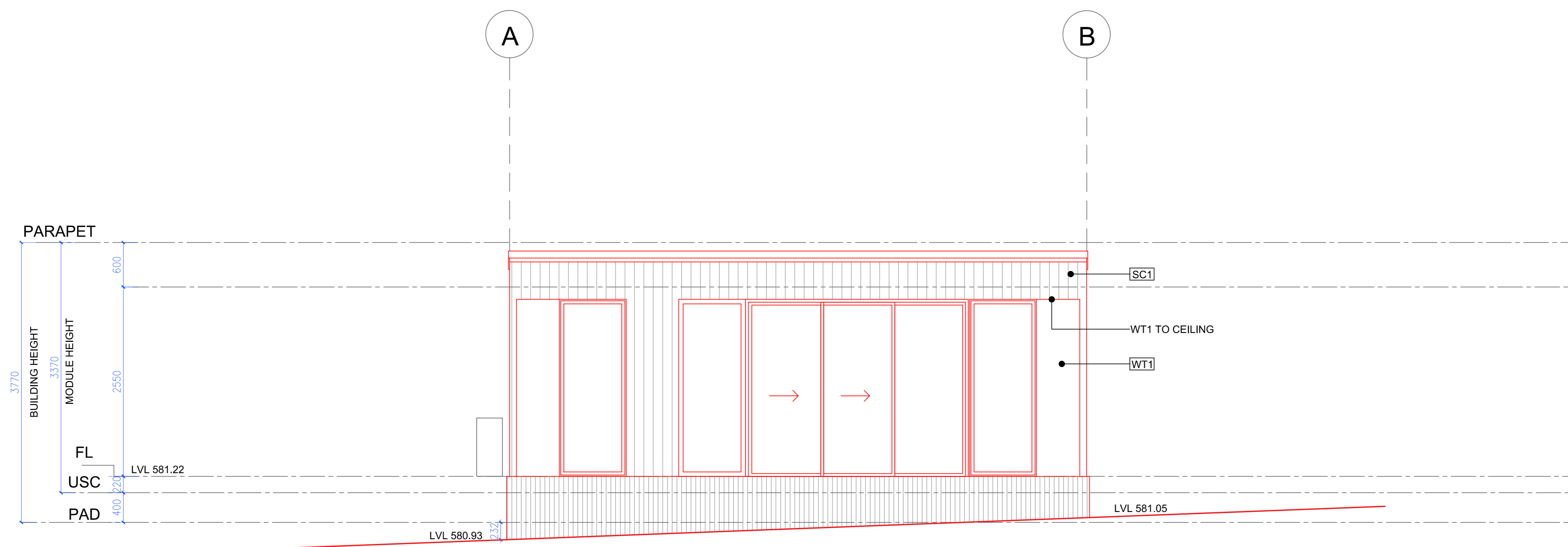
SIGNAGE
1:25



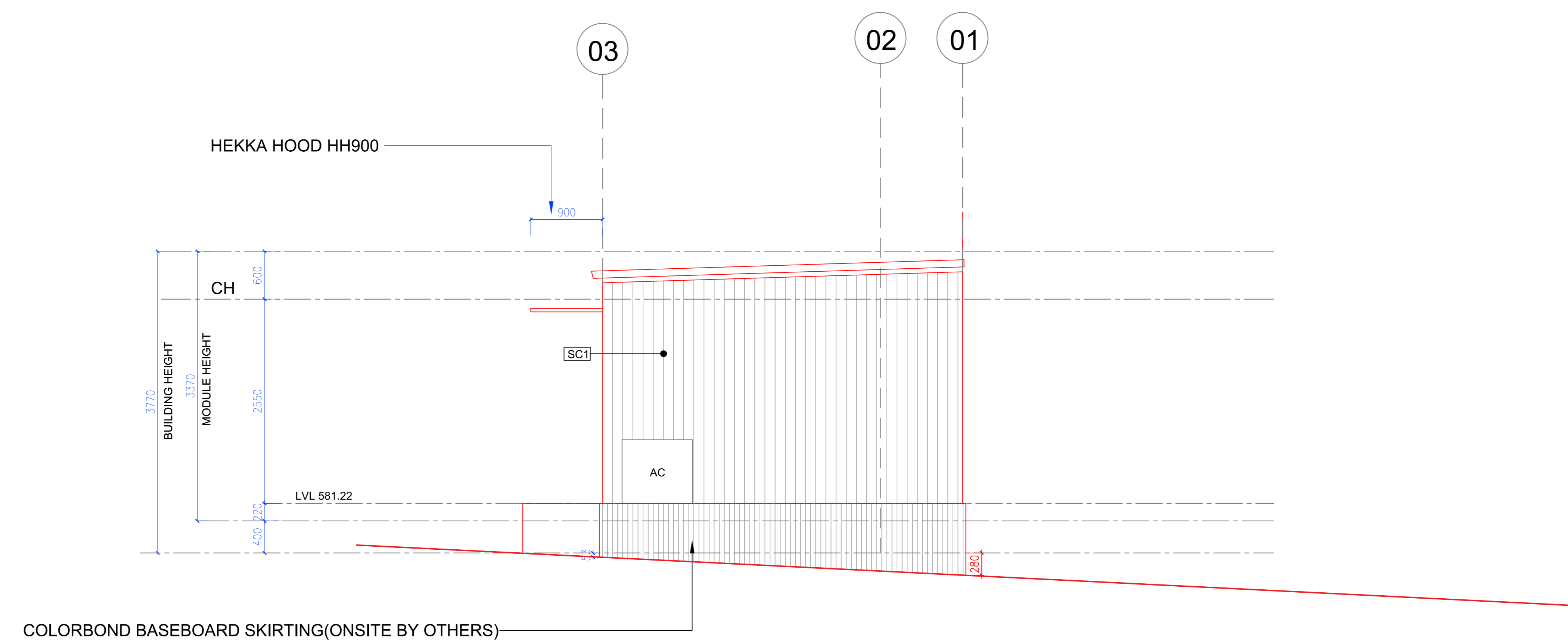
PRACTICAL EXAMPLE

EXTERNAL FINISHES LEGEND

- SC1 STANDING SEAM VERTICAL WALL CLADDING
- SCR1 COLORBOND BASEBOARD SKIRTING(ONSITE BY OTHERS)
- TDR TRIMDEK ROOF SHEETING
- WT1 WEATHERGROOVE NATURAL 150 CLADDING



A ELEVATION A
A03 1:100



B ELEVATION-B
A03 1:100

NOT FOR CONSTRUCTION-REFERENCE ONLY



CLIENT SIGNATURE:
NOTE

DATE:

CLIENT DETAILS

159 RIDGE ROAD,
ASHTON SOUTH AUSTRALIA

PROJECT DETAILS

BISHOP



"PRELIMINARY ISSUES"

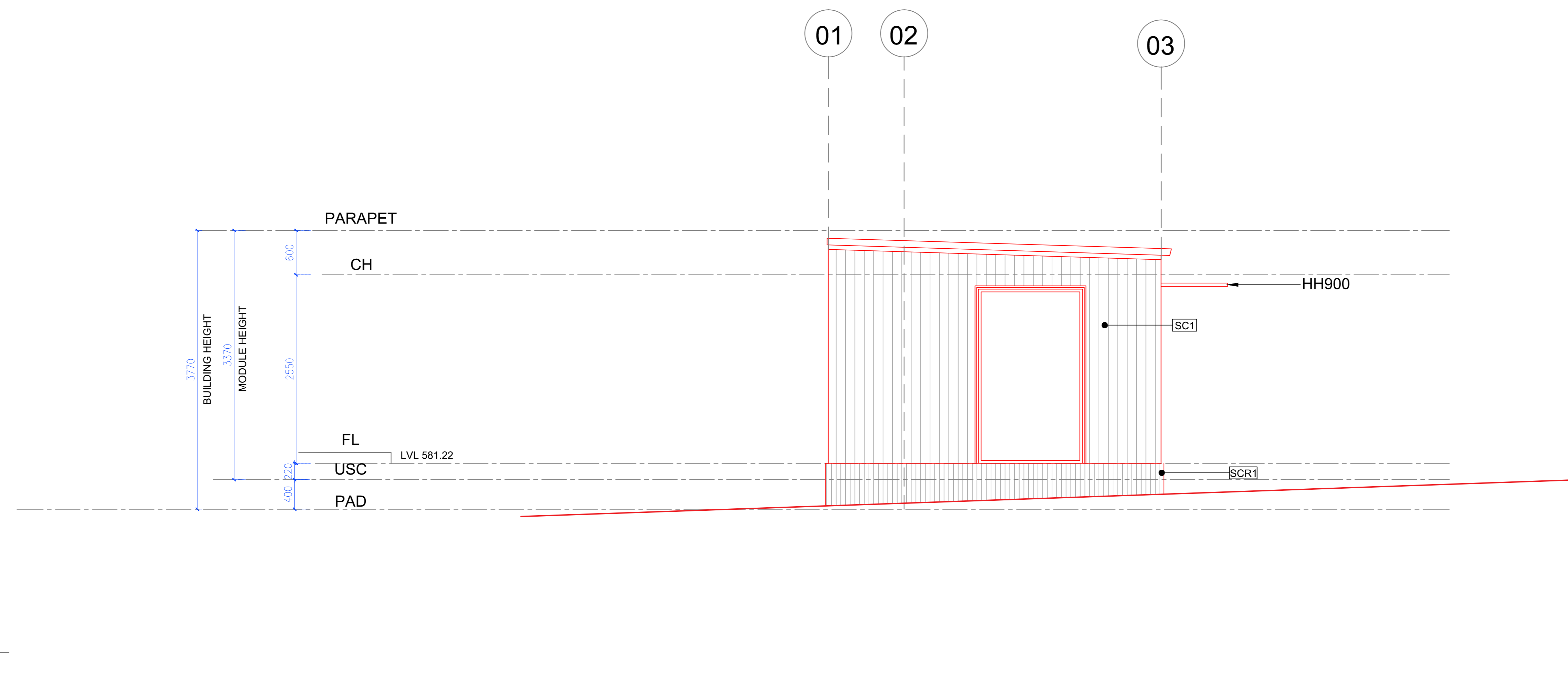
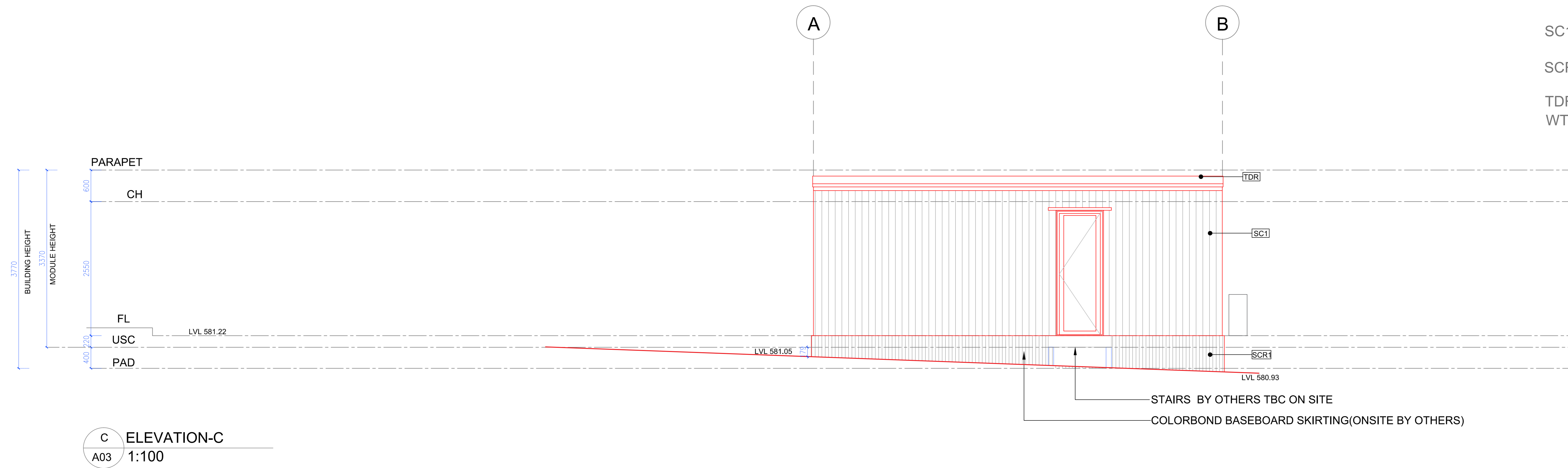
ELEVATIONS

DRAWN BY JW	DATE 30.08.2021	REV. E
SCALE 1:100	CHECKED BY -	SHEET NO. A04
PROJECT NO.	CONCEPT	

SCALED AS INDICATED ON A3 PAPER

EXTERNAL FINISHES LEGEND

- SC1 STANDING SEAM VERTICAL WALL CLADDING
- SCR1 COLORBOND BASEBOARD SKIRTING(ONSITE BY OTHERS)
- TDR TRIMDEK ROOF SHEETING
- WT1 WEATHERGROOVE NATURAL 150 CLADDING




NOT FOR CONSTRUCTION-REFERENCE ONLY



CLIENT SIGNATURE: _____ DATE: _____
NOTE

CLIENT DETAILS
159 RIDGE ROAD,
ASHTON SOUTH AUSTRALIA

PROJECT DETAILS
BISHOP 

"PRELIMINARY ISSUES"		
ELEVATIONS		
DRAWN BY JW	DATE 30.08.2021	REV. E
SCALE 1:100	CHECKED BY -	
PROJECT NO.	CONCEPT	
		SHEET NO. A05

