

**CAP MEETING – 9 NOVEMBER 2022
ITEM 8.2**

DEVELOPMENT NO.:	22019350
APPLICANT:	Ron Danvers
ADDRESS:	19 Laurel Road, Stirling (Lot 3; CT 5485/392)
NATURE OF DEVELOPMENT:	Alterations and additions to State Heritage Place (dwelling – former Coach House) including partial demolition, ancillary accommodation with associated garage, pergola, water tanks, retaining walls, and masonry fence
ZONING INFORMATION:	<p>Zones:</p> <ul style="list-style-type: none"> Established Neighbourhood Zone <p>Overlays:</p> <ul style="list-style-type: none"> Historic Area (AdHi2) Hazards (Bushfire - Medium Risk) Hazards (Flooding - Evidence Required) Limited Land Division Mount Lofty Ranges Water Supply Catchment (Area 2) Native Vegetation Prescribed Water Resources Area Regulated and Significant Tree State Heritage Place Stormwater Management Urban Tree Canopy <p>Local Variations (TNV)</p> <ul style="list-style-type: none"> Minimum Site Area (Minimum site area is 2,000 sqm) Maximum Building Height (Levels) (Maximum building height is 2 levels) Minimum Side Boundary Setback (Minimum side boundary setback is 2m) Site Coverage (Maximum site coverage is 50 per cent)
LODGEMENT DATE:	28 June 2022
RELEVANT AUTHORITY:	Assessment Panel at Adelaide Hills Council
PLANNING & DESIGN CODE VERSION:	2022.11 (23 June 2022 – 6 July 2022)
CATEGORY OF DEVELOPMENT:	Code Assessed – Performance Assessed
NOTIFICATION:	Yes
RECOMMENDING OFFICER:	Sebastien Paraskevopoulos
REFERRALS STATUTORY:	State Heritage
REFERRALS NON-STATUTORY:	Council Engineering

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DETAILED DESCRIPTION OF PROPOSAL:

The application proposes alterations and additions to an existing two storey detached dwelling and the construction of a two-storey detached ancillary accommodation building with garage. Earthworks and retaining walls are associated with the proposal, along with a masonry wall, pergola, and water storage tanks. The existing detached dwelling is the former Coach House building within the St Vigeans Estate and is a State Heritage Place. A conservatory, bay window, verandah and balcony will be added to this dwelling, and internal modifications will be undertaken to accommodate an open plan kitchen, dining and living area, two bedrooms and study, family room, and bathroom. An outside attached utility room and toilet will remain. Directly adjacent the dwelling, a new masonry wall (2m maximum height) will also be constructed along the boundary to the west.

The works result in the partial demolition of the State Heritage Place. These works are limited to the removal of the existing bathroom, kitchen, internal spiral staircase, external staircase, some internal walls, and the front verandah which is not an original element of the State Heritage Place.

The proposal also includes the construction of a two-storey ancillary accommodation building to the north of the existing dwelling. This building comprises an open studio area and bathroom on the first level, and a three car garage and workshop area at ground level below. Adjacent to this building is a raised garden area with retaining wall (3.2m maximum height) and pergola.

The alterations and additions to the existing dwelling will result in a floor area of approximately 196m² across both levels, a 30m² increase from the existing floor area. The works will not alter the overall height of the dwelling, which is 10.7m above ground level (to the roof lantern of the building). The proposed ancillary accommodation building has a combined floor area of approximately 143m² over both levels, with a building footprint of approximately 98m² (including the verandah and staircase aspects). The maximum height of this building is 8.14m.

Boundary setbacks remain largely the same with regard to the existing dwelling. The addition of the conservatory would technically reduce the front boundary setback of the building; however, this is within the footprint of the existing verandah and raised porch area. Similar to the existing dwelling, the ancillary accommodation building is set well back from the street, toward the rear boundary. It is also of a similar orientation, facing east toward Laurel Road. It has a 2m west rear boundary setback, 6.4m north side boundary setback, and a 49.5m east front boundary setback.

Earthworks consisting of excavation up to approximately 2.3m are proposed to provide a level site area for the ancillary accommodation building, increasing the difference in ground levels between the proposed site area and the tennis court of the rear neighbour to 3.88m. Filling of approximately 1.46m is also proposed, although this is limited to facilitating the proposed raised garden area to the north side of the ancillary accommodation building.

The proposal features a combination of neutral colours and finishes. This includes sandstone render used for the ancillary accommodation building, masonry walls, and retaining walls. The roof of the ancillary accommodation building will be finished in 'Woodland Grey', which will match that of the existing dwelling.

BACKGROUND:

The Coach House element of St Vigeans Estate is located at 19 Laurel Road. The other elements of the State Heritage Place are located at 17, 13, and 9 Laurel Road. The subject land has been subject to two development applications under the *Development Act 1993*, and one more recently under the *Planning, Development and Infrastructure Act 2016*, as described in the table below.

The most recent of those applications proposed a two storey, 474m² addition to the existing dwelling. This addition was proposed to the north of the dwelling, similar in location to the ancillary accommodation building subject of the current application but was longer in length and had a shallower west rear boundary setback of 0.7m. This application was withdrawn on 2 May 2022.

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APPROVAL DATE	APPLICATION NUMBER	DESCRIPTION OF PROPOSAL
N/A	21021696	Two storey dwelling alterations and additions (including partial demolition of a State Heritage Place), verandah and retaining walls – WITHDRAWN
9 October 2001	473/950/01	Salt Damp Eradication
N/A	473/959/09	Alteration to the façade of a state heritage place (restoration to sandstone, repainting and mortar removal – LAPSED

SUBJECT LAND & LOCALITY:

Location reference: 19 Laurel Road, Stirling SA 5152

Title ref.: CT:5485/392 **Plan Parcel:** Lot 3 Sec: 48 FP: 11907

Site Description:

The subject land is irregularly shaped, with a primary street frontage to Laurel Road, and a ‘handle’ that provides non-vehicular access to Ayers Hill Road. It has a total site area of 2600m², and a frontage width of 24.1m which broadens out at the rear to a depth exceeding 60m. The land is used for residential purposes, and the existing dwelling itself is setback to the rear south-west corner of the land.

The land has a moderate to steep natural slope (approximately 1:6.5) descending from the rear of the allotment to the roadside. The land descends more steeply inwards from the proposed site area of the ancillary accommodation building and the edge of the existing internal driveway.

The land is connected to SA Water and Sewer Mains.

The former coach house building is a State Heritage Place.

Locality:

The property is located on the western side of Laurel Road, within the *Established Neighbourhood Zone* of the Planning and Design Code (this was formerly the *Country Living (Ayers Hill Road Historic) Policy Area* of the superseded Adelaide Hills Council Development Plan).

This area is characterised by typically larger style dwellings on large allotments within a well-established low density residential neighbourhood. Dwellings are usually well hidden from public view, due to considerable front setbacks, along with well-maintained gardens which act as a natural form of screening.

To the east of Laurel Road is the *Rural Neighbourhood Zone*. Allotment sizes are consistent in the locality and dwellings remain mostly secluded due to generous setbacks, gardens and hedging.

There are a number of State and Local Heritage Places in both zones of the locale, which also contribute to the character of the area.

The subject land is identified on **Attachment 2 – Subject Land/Representation Map**. The zoning is shown on the map in **Attachment 3 – Zoning Map**.

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CONSENT TYPE REQUIRED:

Planning Consent

CATEGORY OF DEVELOPMENT:

● **PER ELEMENT:**

- Ancillary accommodation: Code Assessed – Performance Assessed
- Dwelling addition: Code Assessed – Performance Assessed
- Internal building work: Code Assessed – Performance Assessed
- Partial demolition of a building or structure: Code Assessed – Performance Assessed
- Retaining wall: Code Assessed – Performance Assessed
- Water tanks: Code Assessed – Performance Assessed

● **OVERALL APPLICATION CATEGORY:**

Code Assessed – Performance Assessed

● **REASON**

The Planning and Design Code provides no ‘Accepted’ or ‘Deemed to Satisfy’ pathway for any of the above elements –nor are they categorised as ‘Restricted’ under Table 4 of the zone. Therefore, as per sections 105 (b) and 107 of the *Planning Development & Infrastructure Act 2016*, the development is categorised as Code Assessed – Performance Assessed.

PUBLIC NOTIFICATION

● **REASON**

The development was publically notified on the basis that partial demolition works to a State Heritage Place are proposed. This is specified under Table 5 item 6, where ‘demolition’ is listed as excluded from public notice, except where demolition in relation to a State Heritage Place is proposed.

Public notification was undertaken between 8 September 2022 and 29 September 2022.

LIST OF REPRESENTATIONS

Four (4) representations were received during the public notification period. Two (2) were in support of the development (one (1) with some concerns), while the remaining two (2) were not in support.

Representor Name	Representor’s Property Address	Wishes to be heard (Y/N)	Nominated Speaker (if relevant)
Charles Gilchrist	73 Church Terrace, Walkerville	No	N/A
Gavin Carney	36 Ayers Hill Road, Stirling	Yes	David Hutchison
Lisa Greenstreet	18 Laurel Road, Stirling	No	N/A

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- **SUMMARY**

The following is a summary of the issues raised in the representations:

- Alterations to the State Heritage Place
- Proximity of the ancillary accommodation building to neighbouring rear boundary
- Visual impact of the ancillary accommodation building
- Overshadowing of outdoor areas
- Overlooking
- Smoke and odour from the wood heater flue
- Loss of landscaping/trees along the west boundary (including within 36 Ayers Hill Road)
- Failure to respect the Historic Area Overlay
- Potential easement encroachment
- Stormwater management
- Proposal is for two dwellings
- Failure to survey the land

In addition to their written response, the applicant has provided updated plans (including a survey plan by Alexander Symonds), which resolves potential easement encroachment, and provides more detail regarding driveway levels and earthworks.

A copy of the representations is included as **Attachment 4 – Representations** and the applicant's response is provided in **Attachment 5 – Response to Representations**.

AGENCY REFERRALS

- **Stage Heritage**

As per the Procedural Matters – Referrals table of the *State Heritage Overlay*, the development was referred to Heritage SA, who provided their response on 5 October 2021. They considered the development to be acceptable in relation to the State Heritage Place itself and also the State Heritage Place on adjoining land. No conditions were directed however two advisory notes were imposed.

For full details of State Heritage's response, see **Attachment 6 – Referral Response**.

INTERNAL REFERRALS

- **Council Engineering**

The application was referred to Council's Technical Officer, who provided comment on the proposal and advised the requirement for a stormwater management plan and calculations to be provided prior to issuing Building Consent.

A copy of the referral responses is included as **Attachment 6 – Referral Responses**.

PLANNING ASSESSMENT

Desired outcomes

Desired outcomes are policies designed to aid the interpretation of performance outcomes by setting a general policy agenda for a zone, subzone, overlay or general development policies module. Where a relevant authority is uncertain as to whether or how a performance outcome applies to a development, the desired outcome(s) may inform its consideration of the relevance and application of a performance outcome or assist in assessing the merits of the development against the applicable performance outcomes collectively.

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Performance outcomes

Performance outcomes are policies designed to facilitate assessment according to specified factors, including land use, site dimensions and land division, built form, character and hazard risk minimisation.

Designated performance features

In order to assist a relevant authority to interpret the performance outcomes, in some cases the policy includes a standard outcome which will generally meet the corresponding performance outcome (a designated performance feature or DPF). A DPF provides a guide to a relevant authority as to what is generally considered to satisfy the corresponding performance outcome but does not need to necessarily be satisfied to meet the performance outcome, and does not derogate from the discretion to determine that the outcome is met in another way, or from the need to assess development on its merits against all relevant policies.

The application has been assessed against the relevant provisions of the Planning & Design Code, which are contained in **Attachment 7 – Relevant P&D Code Policies**.

Established Neighbourhood Zone

Desired Outcomes	
DO 1	A neighbourhood that includes a range of housing types, with new buildings sympathetic to the predominant built form character and development patterns.
DO 2	Maintain the predominant streetscape character, having regard to key features such as roadside plantings, footpaths, front yards, and space between crossovers.
Performance Outcome (PO) and Designated Performance Feature (DPF) criteria	
PO 1.1 & DPF 1.1; PO 3.1 & DPF 3.1; PO 4.1 & DPF 4.1; PO 4.2 & DPF 4.2; PO 8.1 & DPF 8.1; PO 9.1 & DPF 9.1; PO 10.1 & DPF 10.1; PO 10.2; PO 11.1 & DPF 11.1; PO 11.2 & DPF 11.2	

In reference to DO 1, the proposed ancillary accommodation building offers a new type of habitable space on the land, whilst being well setback from the roadside as per the prevailing pattern of development in the locale. This new building is also sympathetic in form, scale, and character with the existing dwelling. With regard to DO 2, streetscape character would remain unaffected by the proposal due to the significant front set-back and landscaped garden.

The proposed dwelling additions do not increase any of the existing side or rear boundary setbacks. The addition of the conservatory technically reduces the front boundary setback and infringes DPF 4.2, however, considering the distance of this setback (approximately 43.5m) and the dense, mature vegetation between, it is considered that streetscape character will remain as is, thereby satisfying the associated PO.

The alterations and additions will not affect the height of the dwelling, nor will they exceed the 50 per cent site coverage limit specified by DPF 3.1 (all elements of the proposal would total approximately 13 per cent site coverage).

The policies applied to ancillary accommodation by the Planning and Design Code are different to those which are applicable to dwellings or dwelling additions in the zone. Rather than being informed by several policies, the siting, scale, and design of ancillary buildings (including ancillary accommodation) is directed by DPF 11.1.

With regard to boundary setback requirements, DPF 11.1 is not overly descriptive, aside from stating that buildings can be constructed on boundary lines so long as their length does not exceed 8m. The height requirements of the DPF are more relevant, specifying a 3m wall height and 5m building height. In these regards, the ancillary accommodation building is proposed with a 2m west rear boundary setback, with a wall height of 5.52m and an overall building height of 8.14m. When considering compliance with PO 11.1, these elements should be considered together, and in

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association with the 3.88m difference in levels between the floor level of the proposed ancillary accommodation building and the neighbouring ground level of 36 Ayers Hill Road. The difference in levels effectively blocks the view of the entire ground floor of the proposed building, and only the extent of the first floor is visible from this neighbouring perspective. This is similarly the case with the adjacent neighbour at 38 Ayers Hill Road, where a difference in levels essentially covers the view of the majority of the ground floor from the elevation looking south, while also being setback by 6.4m. In conjunction with the above, it should be acknowledged that the two-storey portion of the building is limited to 10.5m in length. Virtually no view of the ancillary accommodation building from the road would be available, due to the considerable front boundary setback and dense, mature vegetation between.

Additionally, while the floor area of the proposal exceeds the 60m² limit recommended by DPF 11.1, it is distributed across a building footprint of approximately 98m², which is less than that of the dwelling. On an allotment of 2600m², a variance of this nature is not considered excessive, while also factoring in the higher neighbouring perspectives of the building and low impact on the streetscape.

Considering the above, the extent of the setbacks, height, and scale of the ancillary accommodation building are not deemed to be at serious variance with PO 11.1.

PO 11.2 is considered met, with the proposed ancillary accommodation building not occupying any existing private open space associated with the dwelling and increasing the amount of car parking space on site with proposed accommodation for three vehicles undercover.

OVERLAYS

The proposal is not at variance with or impacted by the following Overlays: Hazards (Flooding - Evidence Required); Limited Land Division; Native Vegetation; Prescribed Water Resources Area; Urban Tree Canopy.

The following are considered to be relevant Overlay matters, to varying degrees in assessment of the proposed development.

Hazards (Bushfire - Medium Risk)

Desired Outcomes	
DO 1	Development, including land division responds to the medium level of bushfire risk and potential for ember attack and radiant heat by siting and designing buildings in a manner that mitigates the threat and impact of bushfires on life and property taking into account the increased frequency and intensity of bushfires as a result of climate change.
DO 2	To facilitate access for emergency service vehicles to aid the protection of lives and assets from bushfire danger.
Performance Outcome (PO) and Designated Performance Feature (DPF) criteria	
PO 1.1; PO 2.1; PO 2.2 & DPF 2.2; PO 3.1; PO 3.2 & DPF 3.2; PO 3.3; PO 5.1 & DPF 5.1; PO 5.2 & DPF 5.2; PO 5.3	

The proposed site plan demonstrates an on-site manoeuvring area for Country Fire Service (CFS) access, and there is ample space for on-site fire-fighting water provision. The alterations and additions to the existing dwelling are not considered to increase the risk of bushfire hazard compared to the current arrangement. The proposed ancillary accommodation building is not deemed to be sited in an area which poses an unacceptable risk, and its built form and setbacks would allow for maintenance around the building to prevent trapping or build-up of debris. The proposal is not deemed at variance with any other relevant provisions of the Code for bushfire hazard.

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Historic Area (AdHi2)

Desired Outcomes	
DO 1	Historic themes and characteristics are reinforced through conservation and contextually responsive development, design and adaptive reuse that responds to existing coherent patterns of land division, site configuration, streetscapes, building siting and built scale, form and features as exhibited in the Historic Area and expressed in the Historic Area Statement.
Performance Outcome (PO) and Designated Performance Feature (DPF) criteria	
PO 1.1; PO 2.1; PO 2.2; PO 2.3; PO 2.4; PO 2.5; PO 3.1 & DPF 3.1; PO 3.2, PO 4.1; PO 4.2; PO 6.1; PO 6.2	

The alterations and additions to the dwelling are not considered to conflict with any of the relevant POs of the Overlay, nor the *Stirling - Ayres Hill Road Historic Area Statement (AdHi2)*. While the works are not fully within the roof space of the existing dwelling and involve additions to the building elevation facing the primary street (which DPF 3.1 seeks to avoid), they are minor in nature, and would not be able to be seen from any public vantage, with no impact on streetscape character. The works also gained the support of the State Heritage Unit.

The ancillary accommodation building complements the associated dwelling with a similar form and lower scale. It is set back deep into the allotment from the roadside, behind well-established gardens which would render it functionally absent from the public realm. The proposal, however, arguably falls short of one component of PO 6.2, which seeks the preservation of existing landscape patterns and characteristics –one of those characteristics being vegetation and gardens between buildings and their rear boundaries. This is not present with the proposed ancillary accommodation building, whose 2m boundary setback does not feature any additional landscaping. However, while PO 6.2 seeks the aforementioned, it goes on to specify that safety should be prioritised. Vegetating a 2m wide strip of land in the context of a medium risk bushfire area, therefore, is not ideal, and its omission in this instance is not considered to be at variance with the overall intent of the PO. Both the works to the dwelling and the proposed ancillary accommodation building gained the support of State Heritage, and it is not considered to meaningfully vary with any of the remaining POs of the Overlay.

Mount Lofty Ranges Water Supply Catchment (Area 2)

Desired Outcomes	
DO 1	Safeguard Greater Adelaide's public water supply by ensuring development has a neutral or beneficial effect on the quality of water harvested from secondary reservoirs or diversion weir catchments from the Mount Lofty Ranges.
Performance Outcome (PO) and Designated Performance Feature (DPF) criteria	
PO 1.1; PO 2.1 & DPF 2.1; PO 2.4 & DPF 2.4; PO 2.5 & DPF 2.5; PO 3.1; PO 3.2; PO 3.3; PO 3.5 & DPF 3.5; PO 3.9 & DPF 3.9; PO 4.1	

Council Engineering have identified that the property has the ability to manage storm water runoff created by the proposed alterations to the existing stormwater management system. A condition is proposed for the applicant to provide the updated stormwater management plan and calculations (refer Recommended Condition 4) and there are no concerns regarding stormwater management or harmful impacts on water quality.

Although the proposed earthworks are at variance with the provisions of DPF 3.9, these will be retained and managed appropriately so that storm water quality is not detrimentally impacted.

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Regulated and Significant Trees

Desired Outcomes	
DO 1	Conservation of regulated and significant trees to provide aesthetic and environmental benefits and mitigate tree loss.
Performance Outcome (PO) and Designated Performance Feature (DPF) criteria	
N/A	

No regulated or significant tree damaging activity is proposed as part of this application.

With regard to the alterations and additions to the existing dwelling, while the conservatory extends toward the garden to the east, it is within the footprint of the existing verandah and raised porch area and poses no potential increase of tree protection zone (TPZ) encroachment to any tree, whether regulated or not.

With regard to the ancillary accommodation building proposed, while removal of trees along and in proximity of the west boundary may be required, none of these trees are of a regulated or significant size. This includes any potential trees shared with or on the land of 36 Ayers Hill Road. If any neighbouring non-regulated trees were to require pruning or removal, this would be adjudicated as a civil matter between the two parties.

State Heritage Place

Desired Outcomes	
DO 1	Development maintains the heritage and cultural values of State Heritage Places through conservation, ongoing use and adaptive reuse consistent with Statements of Significance and other relevant documents prepared and published by the administrative unit of the Public Service that is responsible for assisting a Minister in the administration of the Heritage Places Act 1993.
Performance Outcome (PO) and Designated Performance Feature (DPF) criteria	
PO 1.1; PO 1.2; PO 1.3; PO 1.4; PO 1.5; PO 1.6; PO 1.7; PO 2.1; PO 2.2; PO; PO 7.1	

As per the *Procedural Matters – Referrals* section of the Overlay, the application was referred to State Heritage for direction and comments.

State Heritage were satisfied with the alterations and additions to the existing dwelling. Proposed internal alterations were deemed to remove non-significant building fabric only, and not affect the remaining heritage features of the interior. The removal of later additions (including the front verandah) was supported, for more compatible replacements. This includes the conservatory addition, with its impact on the façade of the building considered minor, and reversible in the future.

The agency considered the proposed ancillary accommodation building to be compatible in form, scale, roof pitch and materials within the setting of the associated State Heritage Place dwelling. Its distance from the main residence was also seen as a benefit, which would facilitate improved views of the State Heritage Place.

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GENERAL DEVELOPMENT POLICIES

Clearance from Overhead Powerlines

Desired Outcomes	
DO 1	Protection of human health and safety when undertaking development in the vicinity of overhead transmission powerlines.
Performance Outcome (PO) and Designated Performance Feature (DPF) criteria	
PO 1.1 & DPF 1.1	

A declaration was made by the applicant upon submission of the application that the proposal would not be contrary to the regulations prescribed for the purposes of section 86 of the Electricity Act 1996. On this basis the proposal is considered to be in accordance with the DO.

Design in Urban Areas

Desired Outcomes	
DO 1	<p>Development is:</p> <ul style="list-style-type: none"> (a) contextual - by considering, recognising and carefully responding to its natural surroundings or built environment and positively contributing to the character of the locality (b) durable - fit for purpose, adaptable and long lasting (c) inclusive - by integrating landscape design to optimise pedestrian and cyclist usability, privacy and equitable access and promoting the provision of quality spaces integrated with the public realm that can be used for access and recreation and help optimise security and safety both internally and within the public realm, for occupants and visitors (d) sustainable - by integrating sustainable techniques into the design and siting of development and landscaping to improve community health, urban heat, water management, environmental performance, biodiversity and local amenity and to minimise energy consumption.
Performance Outcome (PO) and Designated Performance Feature (DPF) criteria	
PO 8.1 & DPF 8.1; PO 8.2 & DPF 8.2; PO 8.3; PO 8.4; PO 8.5; PO 9.1; PO 9.2 & DPF 9.2; PO 10.1 & DPF 10.1; PO 10.2 & DPF 10.2; PO 18.1 & DPF 18.1; PO 20.3; PO 21.1 & DPF 21.1; PO 21.2 & DPF 21.2; PO 22.1 & DPF 22.1; PO 23.1 & DPF 23.1; PO 23.2 & DPF 23.2; PO 23.3 & DPF 23.3; PO 23.4 & DPF 23.4; PO 23.5 & DPF 23.5; PO 23.6 & DPF 23.6; PO 24.1 & DPF 24.1	

Although the level of excavation exceeds DPF 8.1 (a) (1m in vertical height limit), the majority of these works are retained against the proposed ancillary accommodation building. Similarly, while the amount of fill proposed exceeds DPF 8.1 (b) (1m in vertical height limit), this is limited to the raised garden retaining wall adjacent to the ancillary accommodation building. The proposed earthworks, in particular the cut, contribute significantly to reducing the vertical profile of the building, thereby minimising the visual impact on neighbouring views by increasing the difference in ground levels between the allotments. Further, the extent of the excavation will be largely obscured by the building itself, while the fill element would only be visible as a feature of the raised garden, which faces internally to the site. Earthworks associated with the driveway extension would not be visible from public view, and difficult to see from the neighbours' perspectives. On this basis, the earthworks are not considered to be significantly at variance with PO 8.1.

The alterations and additions to the existing dwelling do not create any new overlooking concerns. The new 'Juliet balcony' on the first floor offers no more overlooking potential than what exists atop the current outdoor staircase, and the sill height of the proposed dormer windows are 1.7m above floor level on both sides of the dwelling.

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The proposed ancillary accommodation building features no windows on its western side, preventing overlooking to the neighbouring tennis court of 36 Ayers Hill Road. Views from the window on the northern side of the building are limited by two large existing hedges adjacent to the north and west boundaries. It is proposed to increase these hedges in length so that the raised garden area is enclosed completely on its northern and western sides, thereby preventing any potential exchange of views from this interface. The overlooking criteria specified in PO 10.1 and PO 10.2 is only relevant to upper-level windows and balconies/decks, respectively.

Due to the reduced setback of the dwelling and the nature of the rear west boundary configuration, the private open space requirements are not technically met. Specifically, DPF 21.1 and DPF 21.2, which call for 60m² of space (minimum dimension 3m) accessible from an internal habitable area. However, the size of the site itself (2600m²) and the secluded character of the property should be taken into account in this instance. The associated POs seek suitably sized private areas conveniently accessible from the dwelling, which (among other spots) are satisfied by the large mature garden directly in front of the home, and the new pergola area associated with the proposed ancillary accommodation building, although not directly accessible from the habitable rooms of the dwelling.

Finally, there is adequate soft landscaping, car parking and access, and waste storage areas, ensuring the remaining relevant assessment criteria of the Design in Urban Areas general development provisions are met.

Infrastructure and Renewable Energy Facilities

Desired Outcomes	
DO 1	Efficient provision of infrastructure networks and services, renewable energy facilities and ancillary development in a manner that minimises hazard, is environmentally and culturally sensitive and manages adverse visual impacts on natural and rural landscapes and residential amenity.
Performance Outcome (PO) and Designated Performance Feature (DPF) criteria	
PO 12.2 & DPF 12.2	

While PO 12.2 is arguably designed for direction in relation to *on-site* waste management systems, it is acknowledged the applicant has amended their proposal since public notification to avoid any potential encroachment within the SA Water sewer easement.

Interface between Land Uses

Desired Outcomes	
DO 1	Development is located and designed to mitigate adverse effects on or from neighbouring and proximate land uses.
Performance Outcome (PO) and Designated Performance Feature (DPF) criteria	
PO 3.1 & DPF 3.1; PO 3.2 & DPF 3.2; PO 3.3;	

The works to the existing dwelling would not increase overshadowing potential in any manner which would conflict with the relevant POs.

While the Code does not apply this suite of policies to ancillary accommodation, it should be acknowledged that the proposed building would not conflict with any of the same POs.

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Transport, Access and Parking

Desired Outcomes	
DO 1	A comprehensive, integrated and connected transport system that is safe, sustainable, efficient, convenient and accessible to all users.
Performance Outcome (PO) and Designated Performance Feature (DPF) criteria	
PO 5.1 & DPF 5.1; PO 10.1	

The proposal includes off-street undercover parking for at least three vehicles, along with external space for more vehicles on the subject land.

CONCLUSION

The proposal is for alterations and additions to an existing State Heritage listed dwelling, and the construction of a two-storey ancillary accommodation building. In association with these works are retaining and masonry walls, a pergola, and water tanks. The subject land is located in the Established Neighbourhood Zone, among existing residential land uses.

The proposal is considered to largely align with the relevant provisions of the Established Neighbourhood Zone in relation to dwelling and ancillary accommodation development. The works to the dwelling are relatively minor in nature and, while involving some partial demolition of the building fabric, have gained the support of State Heritage as they propose to remove non-significant building fabric only. The ancillary accommodation building, although two storeys, is limited in length at that height, with a further reduced visual impact due to a significant difference in levels between the proposed floor level on the subject land and neighbouring properties. All elements of the proposal are significantly screened by the mature garden when viewed from the street.

The proposal complies with the provisions of the remaining relevant overlays and general development policies of the Planning & Design Code.

RECOMMENDATION

It is recommended that the Council Assessment Panel resolve that:

- 1) Pursuant to Section 107(2)(c) of the Planning, Development and Infrastructure Act 2016, and having undertaken an assessment of the application against the Planning and Design Code, the application is NOT seriously at variance with the provisions of the Planning and Design Code; and**
- 2) Development Application Number 22019350 by Ron Danvers, for alterations and additions to State Heritage Place (dwelling – former Coach House) including partial demolition, ancillary accommodation with associated garage, pergola, water tanks, retaining walls, and masonry fence at 19 Laurel Road, Stirling is granted Planning Consent subject to the following conditions:**

CONDITIONS

Planning Consent

- 1) The development granted shall be undertaken and completed in accordance with the stamped plans and documentation, except where varied by conditions below:**

CAP MEETING – 9 NOVEMBER 2022
ITEM 8.2

2) The external finishes to the ancillary accommodation building herein approved shall be as follows:

WALLS: Sandstone render or similar
ROOF: Colorbond 'Woodland Grey' or similar

3) Prior to construction of the approved development straw bales (or other soil erosion control methods as approved by Council) shall be placed and secured below areas of excavation and fill to prevent soil moving off the site during periods of rainfall.

4) Prior to Building Consent being granted all hydrological and hydraulic stormwater calculations shall be provided together with the final stormwater management plan to the reasonable satisfaction of Council.

All roof run-off generated by the development hereby approved shall be directed within one month of the roof cladding being installed to the existing stormwater management system on-site to the satisfaction of Council. Stormwater shall be managed on site with no stormwater to trespass onto adjoining properties.

5) A supply of water independent of reticulated mains supply shall be available at all times for firefighting purposes and shall comprise:

- a minimum supply of 2,000 litres of water; and
- the water supply shall be fitted with domestic fittings (standard household taps that enable an occupier to access a supply of water with domestic hoses or buckets for extinguishing minor fires); and
- the water supply outlet shall be located at least 400mm above ground level for a distance of 200mm either side of the outlet; and
- a water storage facility connected to mains water shall have an automatic float switch to maintain full capacity; and
- where the water storage facility is an above-ground water tank, the tank (including any support structure) shall be constructed of non-combustible material; and
- the overflow shall be connected to the existing stormwater management system prior to the occupation of the ancillary building.

6) All external lighting shall be directed away from residential development and shielded if necessary to prevent light spill causing nuisance to the occupiers of those residential properties.

7) Accommodation of persons within the ancillary accommodation building shall be genuinely ancillary to the use of the existing dwelling.

The person(s) having the benefit of this consent shall refrain from permitting the ancillary accommodation being used for the purposes of a self-contained unit, or any form of accommodation on a commercial or fee paying basis.

This shall include the following:

- i. Only a single point of connection for services such as electricity, water and sewer may be installed on the land to service the dwelling and ancillary accommodation.
- ii. Only one electricity meter and one water meter may be installed on the land to service the dwelling and ancillary accommodation.
- iii. The unit shall not contain a kitchen. The bar/coffee station/bench within the living space as depicted on the approved floor plan shall not contain a sink and cooking facilities (i.e. oven and cooktop).

CAP MEETING – 9 NOVEMBER 2022
ITEM 8.2

- 8) The existing hedging along the north and west boundaries of the subject land shall be extended as per amended drawings A12S, A13R, A14H, and A16G from *Danvers.Studio - architects*, received by Council on 13 October 2022. This shall be established prior to occupation and maintained in good health and condition at all times with any dead or diseased plants being replaced in the next planting season.

ADVISORY NOTES

General Notes

- 1) No work can commence on this development unless a Development Approval has been obtained. If one or more consents have been granted on this Decision Notification Form, you must not start any site works or building work or change of use of the land until you have received notification that Development Approval has been granted.
- 2) Appeal rights – General rights of review and appeal exist in relation to any assessment, request, direction or act of a relevant authority in relation to the determination of this application, including conditions.
- 3) This Planning Consent is valid for a period of twenty-four (24) months commencing from the date of the decision, subject to the below or subject to an extension having been granted by the relevant authority. If applicable, Building Consent must be obtained prior to expiration of the Planning Consent.
- 4) Where an approved development has been substantially commenced within 2 years from the operative date of approval, the approval will then lapse 3 years from the operative date of the approval (unless the development has been substantially or fully completed within those 3 years, in which case the approval will not lapse).

State Heritage Notes

- 1) Please note the following requirements of the Heritage Places Act 1993:
 - a) If an archaeological artefact believed to be of heritage significance is encountered during excavation works, disturbance in the vicinity must cease and the SA Heritage Council must be notified.
 - b) Where it is known in advance (or there is reasonable cause to suspect) that significant archaeological artefacts may be encountered, a permit is required prior to commencing excavation works. For further information, contact the Department for Environment and Water.
- 2) Please note the following requirements of the Aboriginal Heritage Act 1988:
 - a) If Aboriginal sites, objects or remains are discovered during excavation works, the Aboriginal Heritage Branch of the Aboriginal Affairs and Reconciliation Division of the Department of the Premier and Cabinet (as delegate of the Minister) is to be notified under Section 20 of the Aboriginal Heritage Act 1988.

OFFICER MAKING RECOMMENDATION

Name: Sebastien Paraskevopoulos
Title: Statutory Planner

REAL PROPERTY ACT, 1886



The Registrar-General certifies that this Title Register Search displays the records maintained in the Register Book and other notations at the time of searching.



Certificate of Title - Volume 5485 Folio 392

Parent Title(s) CT 4179/590
Creating Dealing(s) CONVERTED TITLE
Title Issued 19/12/1997 Edition 4 Edition Issued 22/10/2013

Estate Type

FEE SIMPLE

Registered Proprietor

JEFFREY COLIN JENKINSON
GILLIAN MARY JENKINSON
OF 17 LAUREL ROAD STIRLING SA 5152
AS JOINT TENANTS

Description of Land

ALLOTMENT 3 FILED PLAN 11907
IN THE AREA NAMED STIRLING
HUNDRED OF NOARLUNGA

Easements

SUBJECT TO EASEMENT(S) OVER THE LAND MARKED A TO THE MINISTER FOR INFRASTRUCTURE (T 4399474)
TOGETHER WITH EASEMENT(S) OVER THE LAND MARKED D (T 4735567)
TOGETHER WITH FREE AND UNRESTRICTED RIGHT(S) OF WAY OVER THE LAND MARKED D

Schedule of Dealings

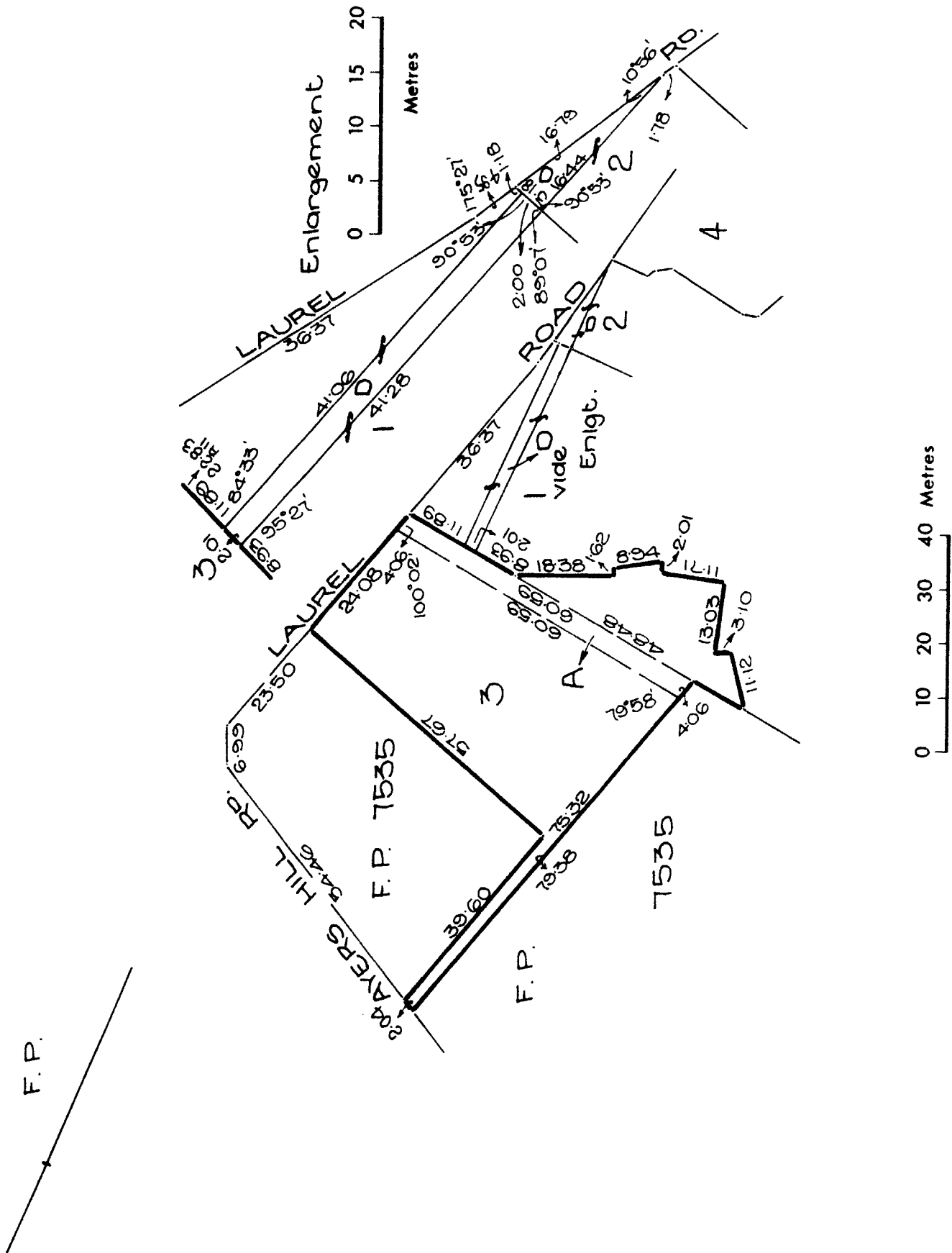
NIL

Notations

Dealings Affecting Title NIL
Priority Notices NIL
Notations on Plan NIL
Registrar-General's Notes NIL

Administrative Interests

CONFIRMED IN SA HERITAGE REGISTER 01/09/1983





Associate Professor Ron Danvers LFRAIA, MICOMOS.

danvers.studio - architects

A: 414 Gilles Street, Adelaide,
South Australia 5000.

M: 61 (0)438396657

E: rondanvers@bigpond.com

W: www.danversstudioarchitects.com

08/08/2022

Sebastien Paraskevopoulos
Adelaide Hills Council

Dear Sir,

ST. VIGEANS COACH HOUSE PROJECT – 19 LAUREL ROAD STIRLING SA 5152
Application ID 22019350

Thank you for your RFI for the above-mentioned project.

Please review the following response in regard to your request:

1. Studio use intention:

The Studio Building will be used as an 'ancillary accommodation' to the Coach House. The owner has confirmed that this building will be used none other than for personal hobbies and occasional guest stay (family).

2. Summary of tree / vegetation removal :

There are no regulated trees in the proposed works location. Trees to be removed are: Common Lilly Pilly (*Eugenia smithii*), small European beech tree, two *Populus tremuloides* and a fruit tree (Persimmon).

3. Encroachment within easement:

There will be no wall, plinths, or new porch encroachment within the easement.

We do not intend to build anything on the easement.

Amendments made to the drawings A01, A02, A03, A08 & A09 No works are within the sewerage easement.

4. Elevations of Boundary wall & Colour scheme:

a. Wall height to match existing wall attached to coach house with colour of render to match as closely as possible existing rendered surfaces of coach house and 17 Laurel Rd building.

Refer to attached amended drawing A08 & A15.

b. Colour of metal pergola to be Solver Low Cloud.

Please see updated colour schedule

5. Colours/ finished for Coach house & studio building:

Rendered walls for studio building.

Silver Low Cloud – all new rainwater goods & eaves gutters, new fascia's, external soffits, and water tanks.

New Colorbond roof to both buildings in Woodland Grey.

Please see the updated colour schedule.

6. Height & species of proposed hedge:

Extend existing hedge of Pittosporum Tenuifolium which is close to property boundary which is approximately 3metres in height.

7. Potential overlooking:

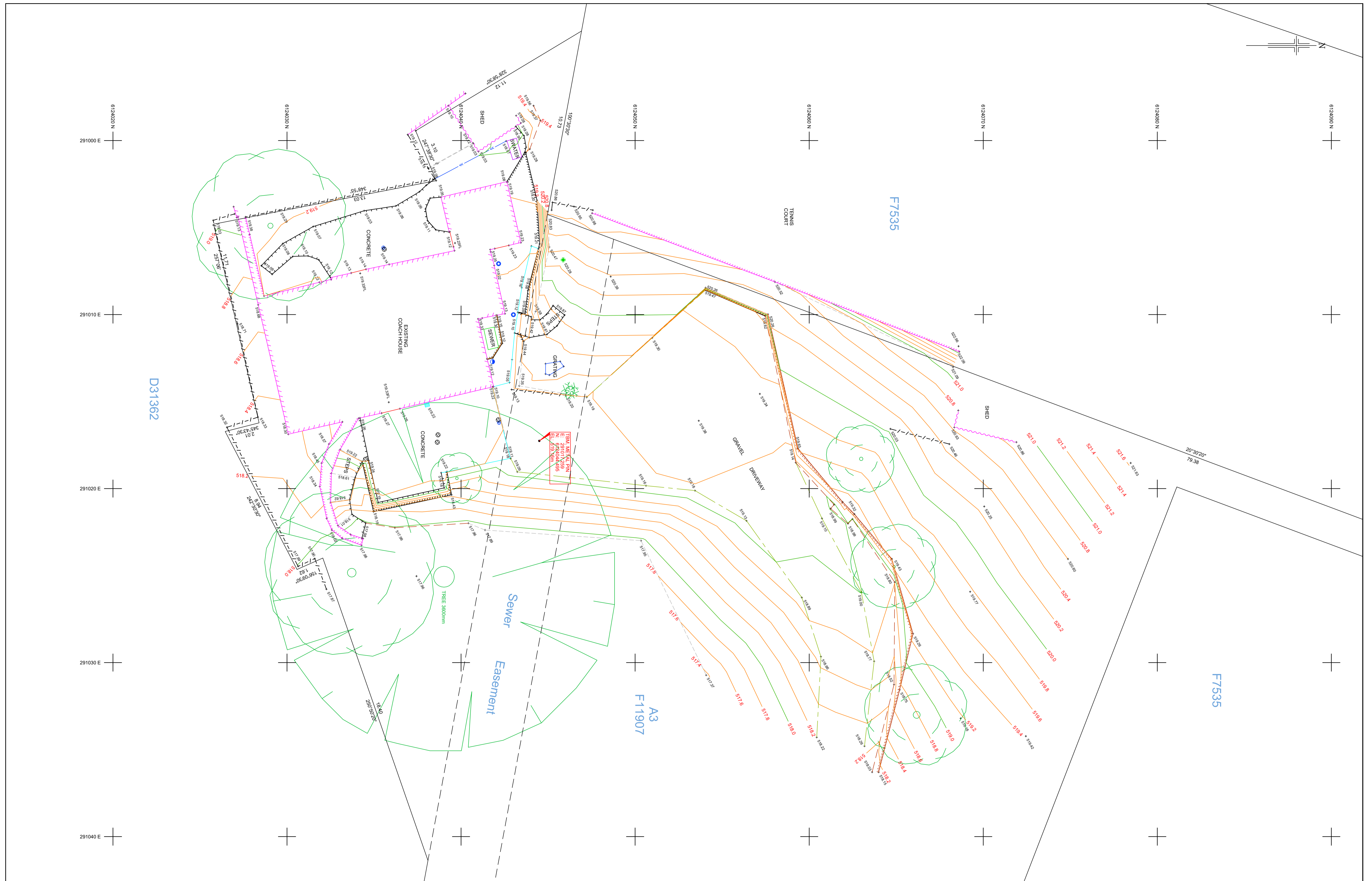
There is an existing Cherry Laurel hedge which is greater than three metres tall along the boundary of the 38 Ayers Hill Rd neighbour. This hedge is to be retained & extended.

8. Floor areas:

We have included areas on our drawings in Legend space.

We trust this is sufficient for your needs but please do not hesitate to contact us if you require any additional information.

Yours faithfully,
Aditya Pusalkar
danvers.studio-architects.



REV	DATE	DESCRIPTION	CALC	FIELD
A	20.07.2021	BNDY REVISED AT REAR OF COACH HOUSE	BAC	N/A
ADDITIONS, AMENDMENTS AND APPROVALS				

LEGEND	
47.5TK TOP KERB	47.5TK TOP KERB
47.36WV WATER TABLE	47.36WV WATER TABLE
45.16FL FLOOR LEVEL	45.16FL FLOOR LEVEL
48.12IL INVERT LEVEL	48.12IL INVERT LEVEL
WATER METER	WATER METER
SPRINKLER / IRRIG VALVE	SPRINKLER / IRRIG VALVE
HYDRANT	HYDRANT
DOMESTIC OUTLET	DOMESTIC OUTLET
DOWNPIPE	DOWNPIPE
DOMESTIC SUMP	DOMESTIC SUMP
STORMWATER WHOLE	STORMWATER WHOLE
SEP / GRATING	SEP / GRATING
TEL COMM. PILLAR / PIT	TEL COMM. PILLAR / PIT
TRAFFIC LIGHT	TRAFFIC LIGHT
SIGN / BUS SIGN	SIGN / BUS SIGN
MAIL BOX / SIGNAL BOX	MAIL BOX / SIGNAL BOX
TICKET MACHINE	TICKET MACHINE
ROAD / ELEC. SERVICE	ROAD / ELEC. SERVICE
WATER SV / FP	WATER SV / FP
ELEC. / GAS METER	ELEC. / GAS METER
GAS SERVICE	GAS SERVICE
PSM	PSM
PEG / TBM	PEG / TBM
SURVEY MARKS	SURVEY MARKS
BOREHOLE	BOREHOLE
POWER / LIGHT POLE	POWER / LIGHT POLE
CABLE MARKER	CABLE MARKER
STONE / WOODEN POLE	STONE / WOODEN POLE
POST / BOLLARD	POST / BOLLARD
SEWER MH / IO / SIP	SEWER MH / IO / SIP
UNKNOWN POINT / SERVICE	UNKNOWN POINT / SERVICE
EDGE OF VEGETN	EDGE OF VEGETN
ROAD SIGN / HOARD	ROAD SIGN / HOARD
TREE / SHRUB	TREE / SHRUB
REGULATED / SIGNIFICANT TREE	REGULATED / SIGNIFICANT TREE
BOTTOM OF BANK	BOTTOM OF BANK
TOP OF BANK	TOP OF BANK
CHANGE OF GRADE	CHANGE OF GRADE
DRAIN	DRAIN
SEWER PIPE UG	SEWER PIPE UG
TEL COMM UG	TEL COMM UG
WATER PIPE UG	WATER PIPE UG
BUILDING	BUILDING
WALL	WALL
GI BUILDING	GI BUILDING
CONCRETE	CONCRETE
FENCE	FENCE
GATE	GATE

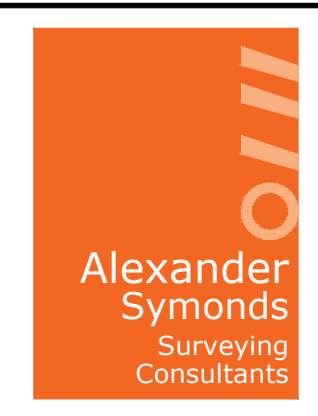
COORDINATE SYSTEM	
VERTICAL:	AHD
HORIZONTAL:	GROUND PLANE ORIENTED
	TO: MGA 2020 ZONE 54
SCALE: GROUND	(CSF = 1.0005495)
ADOPTED STATION & AUTHORITY	
PSM 6628/12583	RL: 521.232 SDB
PSM 6628/12583	E: 291084.209 SDB
	N: 6124086.691 SDB
SDB denotes SA Government survey data base	

0	1	2	4	6	8	10	m
1:100							
ORIGINAL SHEET SIZE A1							
Notes: Property boundaries and easements shown hereon have been compiled from government records and show discrepancies to Certificate of Title dimensions. Boundaries have not been verified by field survey. Construction or design on or near boundaries or easements will require additional survey work.							
CONTOUR INTERVAL: 0.2m				SURVEY: TLH 20.01.2020			
DRAWN: TLH 04.02.2020				CHECKED: BAC 04.02.2020			

Alexander & Symonds Pty Ltd
 11 King William Street Kent Town,
 South Australia 5067
 PO Box 1000 Kent Town, SA 5071
 ABN 93007 753 988

T (08) 8130 1666
 F (08) 8362 0099
 W www.alexander.com.au
 E adelaide@alexander.com.au

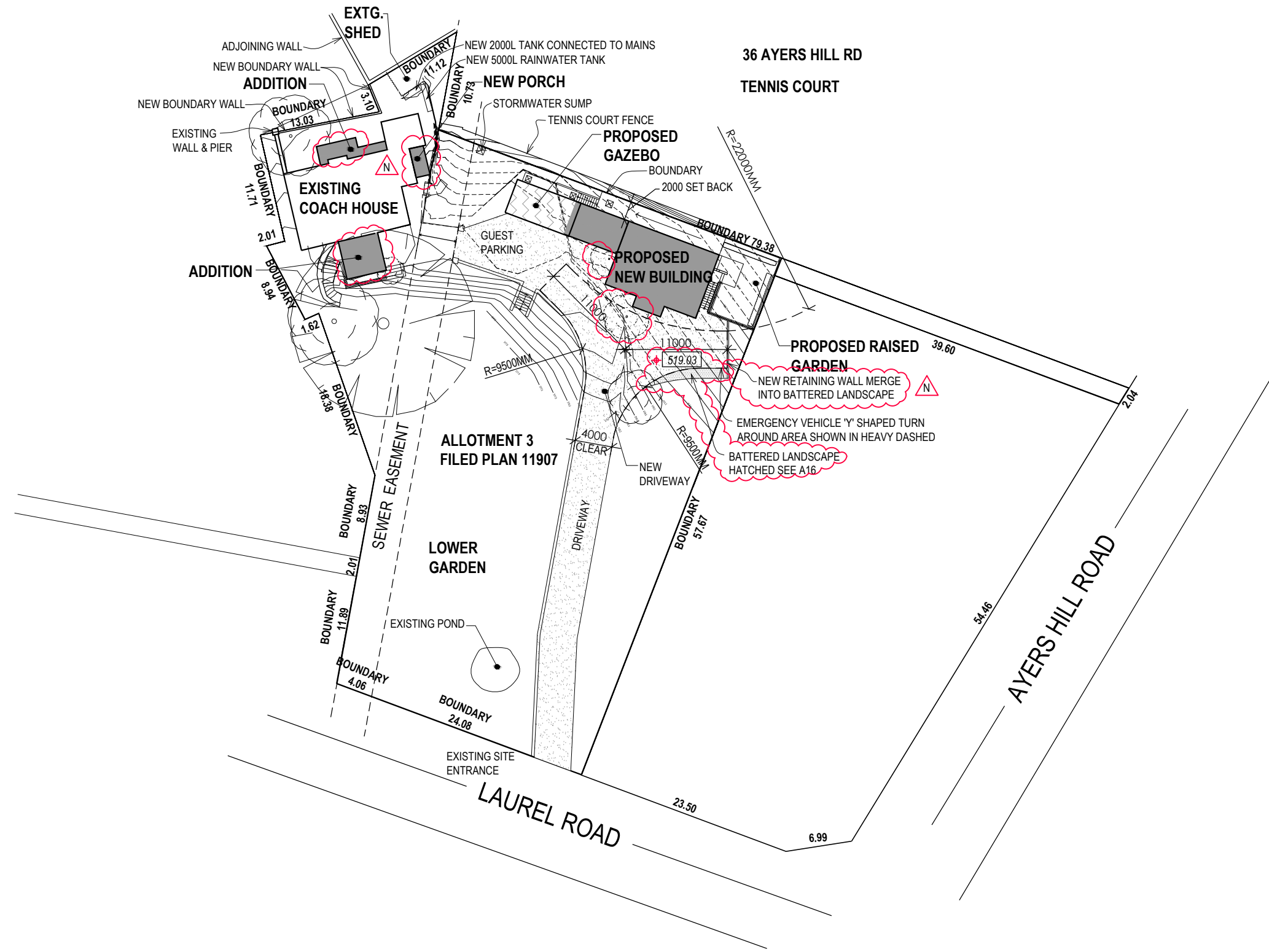
+ Property + Land Development +
 + Construction + Mining +
 + Spatial Information Management +



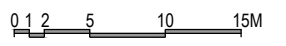
DETAIL AND LEVEL SURVEY		19 LAUREL AVENUE		STIRLING	
DRAWING No.	20A3025_DETAIL(A)20P	SHEET	1 OF 1	REVISION	A

LEGEND

- AREAS:**
- COACH HOUSE**
 - GROUND FLOOR:
 - EXISTING 90.35 M²
 - PROPOSED 123.6 M²
 - FIRST FLOOR
 - EXISTING 76.56 M²
 - PROPOSED 72.77 M²
 - STUDIO/GARAGE BUILDING**
 - GROUND FLOOR 74.45 M²
 - FIRST FLOOR 68.17 M²



SITE PLAN
SCALE 1:500

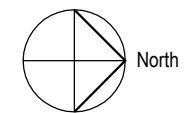


AMENDED 12/10/2022
08/08/2022
FOR PLANNING CONSENT

Verify all dimensions and levels on site before the commencement of work. Report any discrepancies to the Architect immediately before proceeding. Read the drawings in conjunction with the Specification material. Do not scale off drawings.

SCOPE: ADDITION/ ALTERATIONS TO EXISTING COACH HOUSE

PROJECT: ST. VIGEANS COACH HOUSE
19 LAUREL ROAD,
STIRLING SA 5152.



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rondanvers@bigpond.com

SCALE 1:500
DATE 12/10/22
ORIGINAL SIZE A3
DRAWN AP
DRAWING NUMBER A01N

LEGEND

EXISTING WALL
 PROPOSED WALL

E- EXISTING
 R- RELOCATED
 D- DEMOLISH

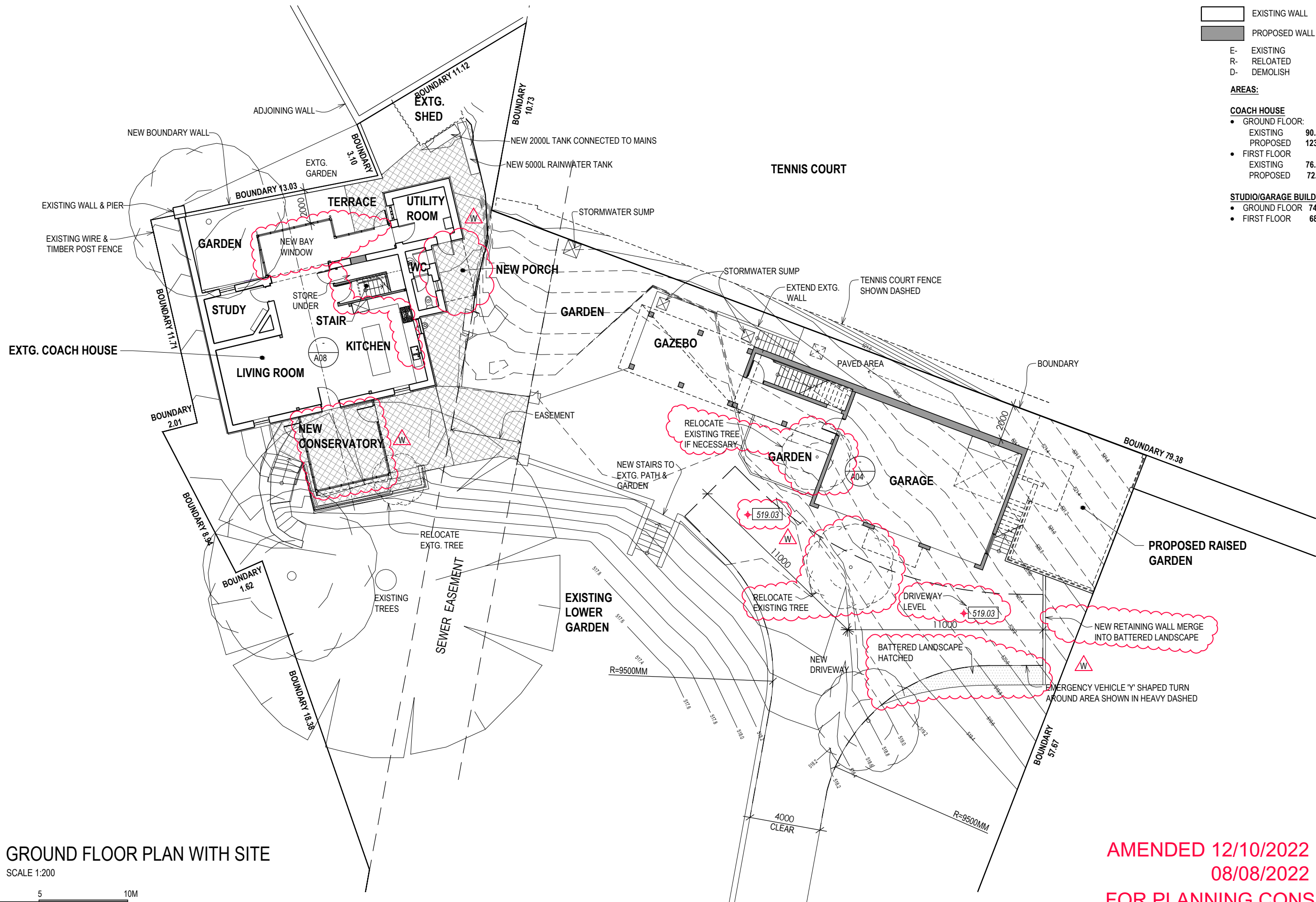
AREAS:

COACH HOUSE

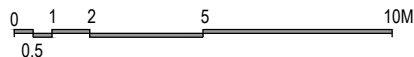
- GROUND FLOOR:
 - EXISTING 90.35 M²
 - PROPOSED 123.6 M²
- FIRST FLOOR
 - EXISTING 76.56 M²
 - PROPOSED 72.77 M²

STUDIO/GARAGE BUILDING

- GROUND FLOOR 74.45 M²
- FIRST FLOOR 68.17 M²



GROUND FLOOR PLAN WITH SITE
 SCALE 1:200

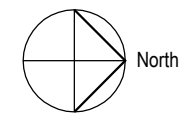


AMENDED 12/10/2022
08/08/2022
FOR PLANNING CONSENT

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SCOPE: ADDITION/ ALTERATIONS TO EXISTING COACH HOUSE



PROJECT: ST. VIGEANS COACH HOUSE
 19 LAUREL ROAD,
 STIRLING SA 5152.



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SCALE 1:200
 DATE 12/10/22
 ORIGINAL SIZE A3
 DRAWN AP
 DRAWING NUMBER A02W

LEGEND

	EXISTING WALL
	PROPOSED WALL
E-	EXISTING
R-	RELOCATED
D-	DEMOLISH

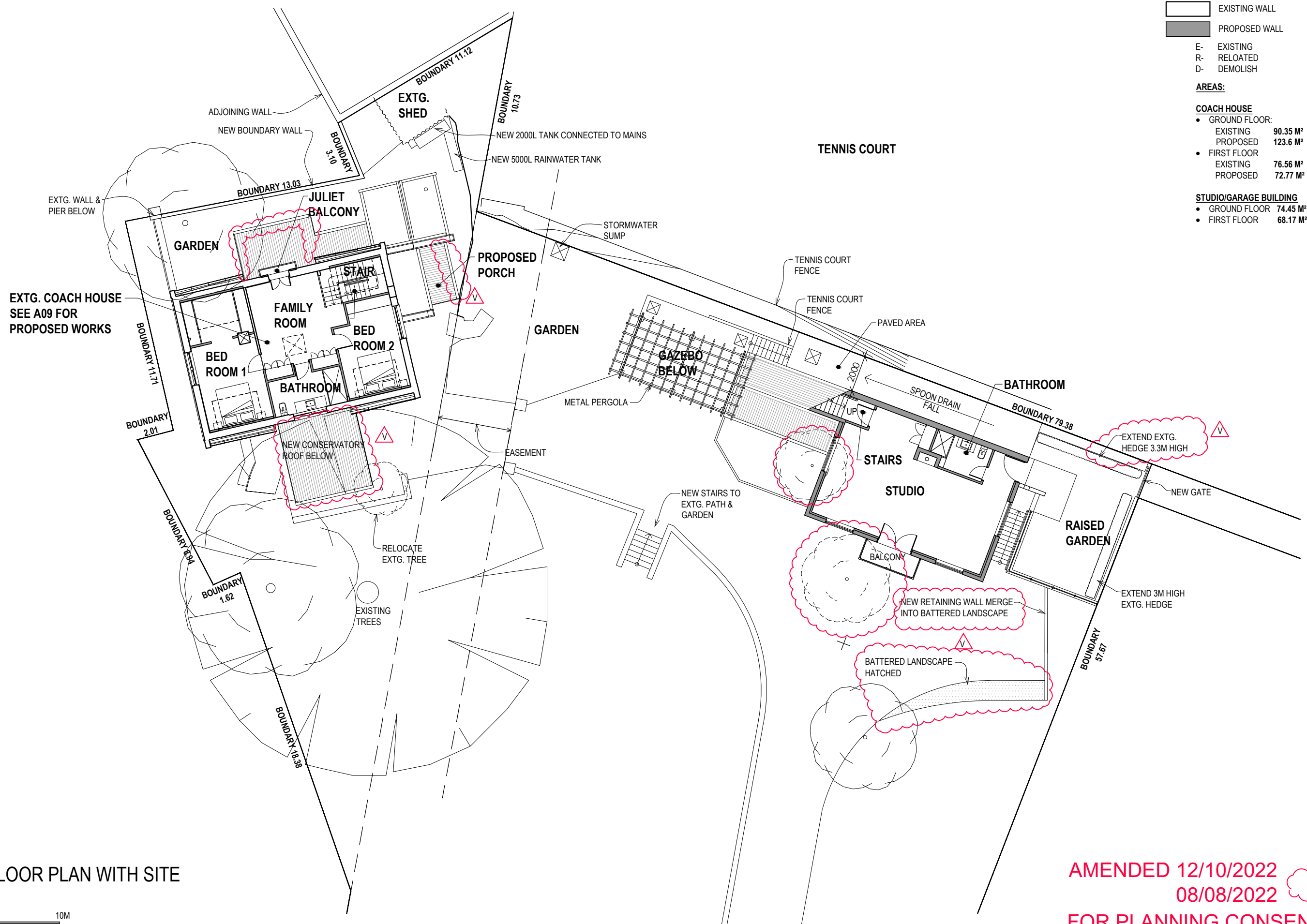
AREAS:

COACH HOUSE

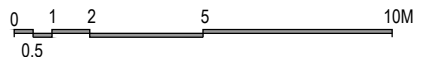
- GROUND FLOOR:
 - EXISTING 90.35 M²
 - PROPOSED 123.6 M²
- FIRST FLOOR
 - EXISTING 76.56 M²
 - PROPOSED 72.77 M²

STUDIO/GARAGE BUILDING

- GROUND FLOOR 74.45 M²
- FIRST FLOOR 68.17 M²



FIRST FLOOR PLAN WITH SITE
SCALE 1:200

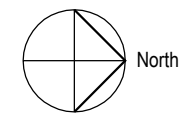


AMENDED 12/10/2022
08/08/2022
FOR PLANNING CONSENT

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SCOPE: ADDITION/ ALTERATIONS TO EXISTING COACH HOUSE

PROJECT: ST. VIGEANS COACH HOUSE
19 LAUREL ROAD,
STIRLING SA 5152.

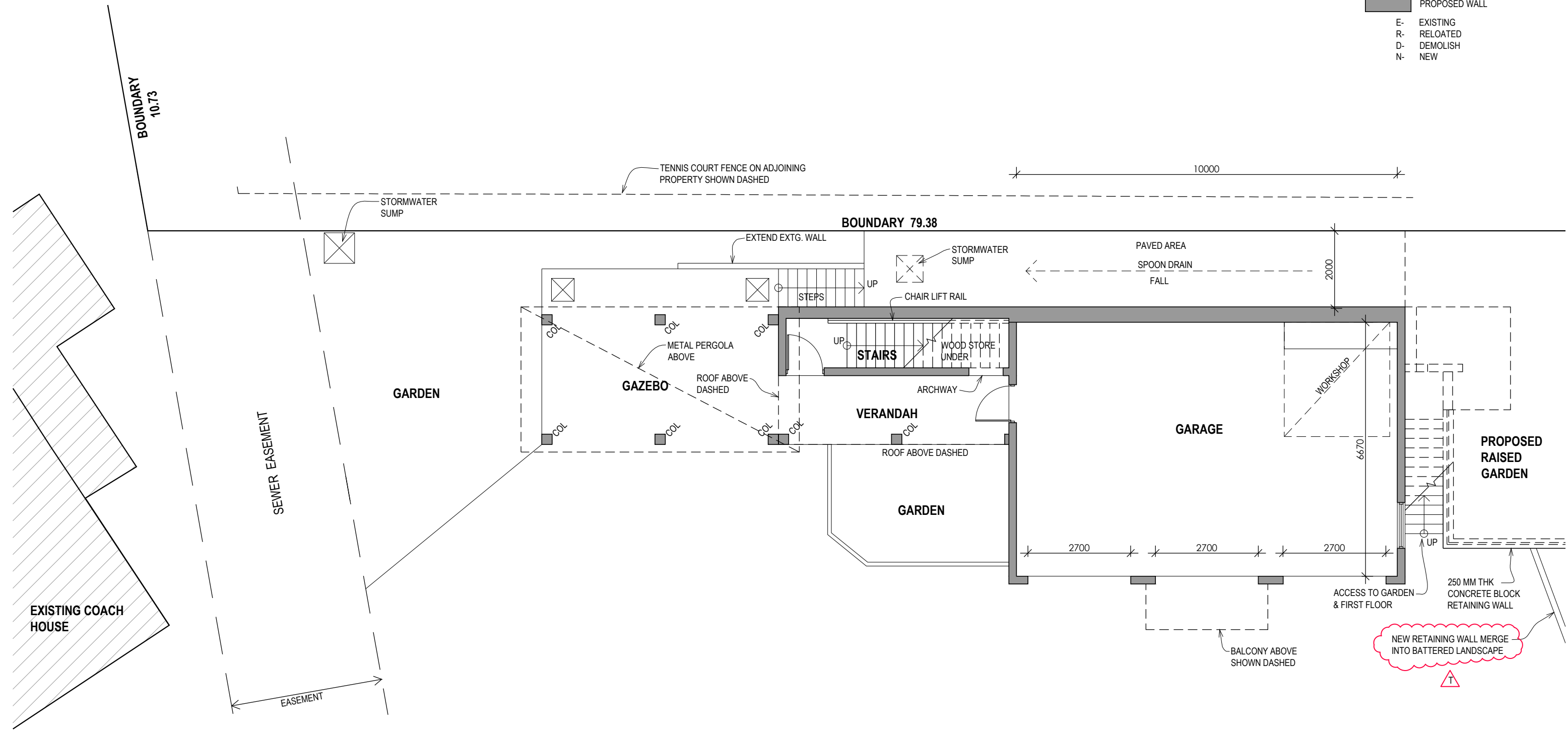


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SCALE 1:200
DATE 12/10/22
ORIGINAL SIZE A3
DRAWN AP
DRAWING NUMBER A03V

LEGEND

- PROPOSED WALL
- E- EXISTING
- R- RELOCATED
- D- DEMOLISH
- N- NEW



**PROPOSED STUDIO
GROUND FLOOR PLAN**

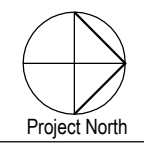
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**AMENDED 12/10/2022
08/08/2022
FOR PLANNING CONSENT**

Verify all dimensions and levels on site before the commencement of work. Report any discrepancies to the Architect immediately before proceeding. Read the drawings in conjunction with the Specification material. Do not scale off drawings.

SCOPE: ADDITION/ ALTERATIONS TO EXISTING COACH HOUSE

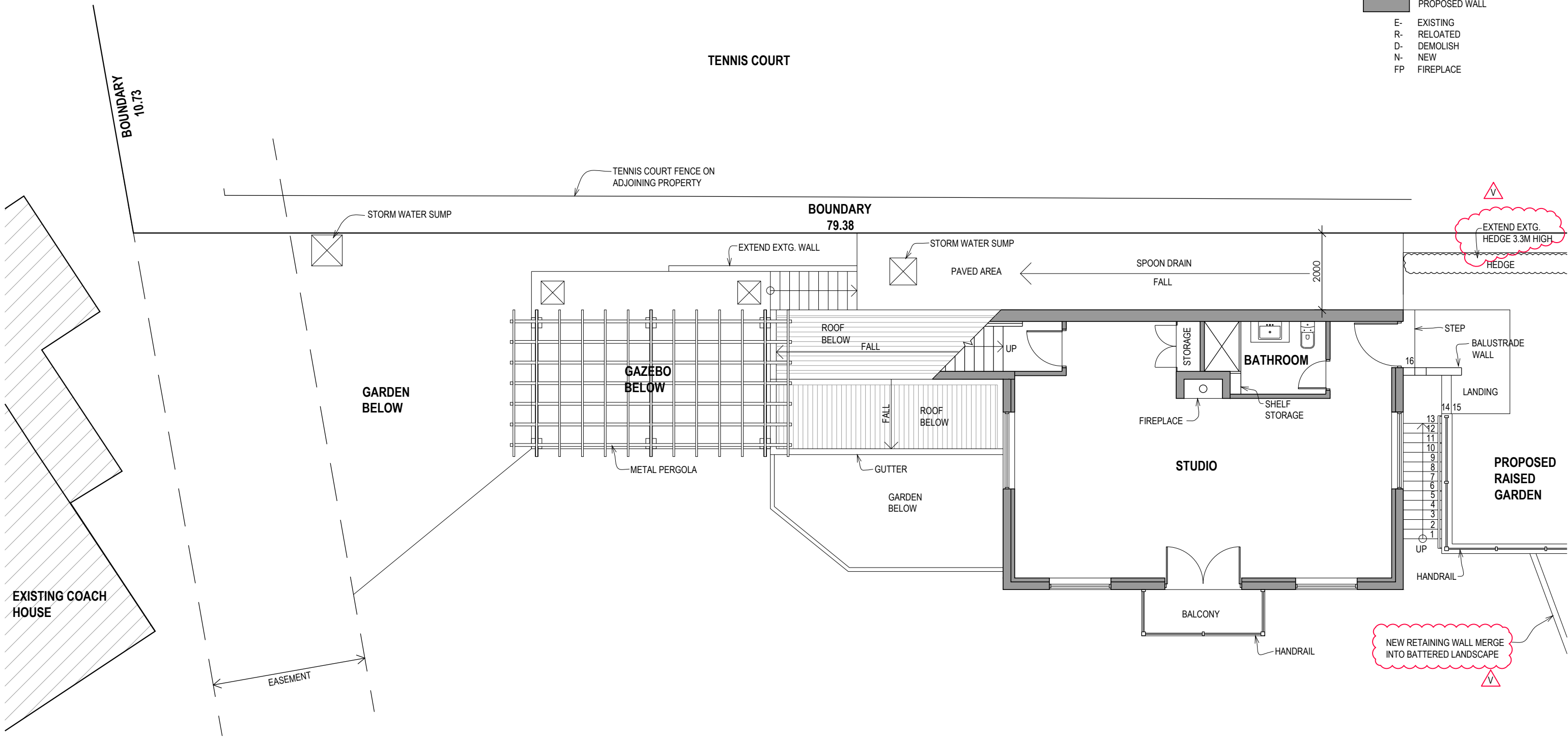
PROJECT: ST. VIGEANS COACH HOUSE
19 LAUREL ROAD,
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SCALE 1:100
DATE 12/10/22
ORIGINAL SIZE A3
DRAWN AP
DRAWING NUMBER A04T

- LEGEND**
- PROPOSED WALL
 - E- EXISTING
 - R- RELOCATED
 - D- DEMOLISH
 - N- NEW
 - FP FIREPLACE



**PROPOSED STUDIO
FIRST FLOOR PLAN**

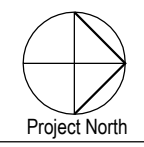
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**AMENDED 12/10/2022
08/08/2022**
FOR PLANNING CONSENT

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SCOPE: ADDITION/ ALTERATIONS TO EXISTING COACH HOUSE

PROJECT: ST. VIGEANS COACH HOUSE
19 LAUREL ROAD,
STIRLING SA 5152.

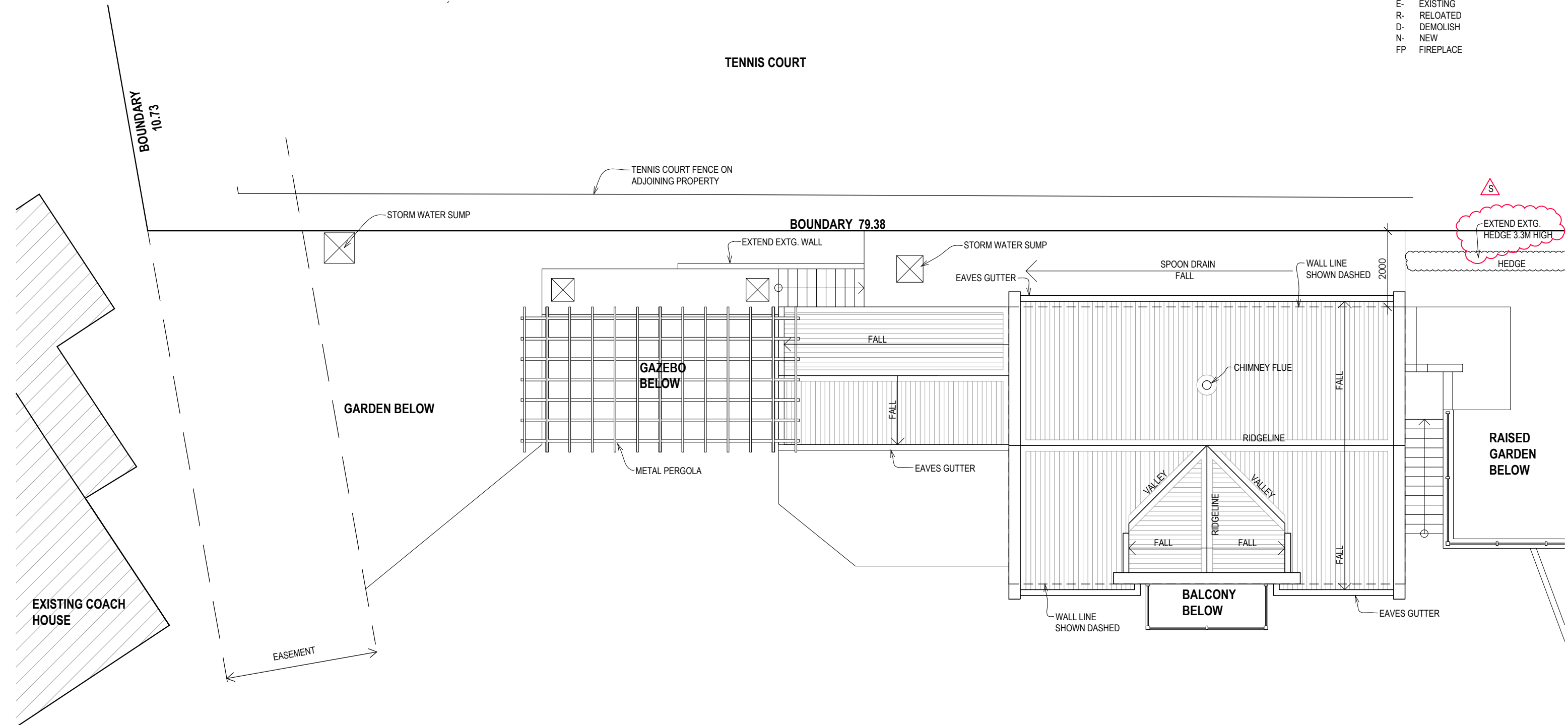


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SCALE 1:100
DATE 12/10/22
ORIGINAL SIZE A3
DRAWN AP
DRAWING NUMBER A05V

LEGEND

- E- EXISTING
- R- RELOATED
- D- DEMOLISH
- N- NEW
- FP FIREPLACE



**PROPOSED STUDIO
ROOF PLAN**

SCALE 1:100



AMENDED 12/10/2022
08/08/2022
FOR PLANNING CONSENT

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SCOPE: ADDITION/ ALTERATIONS TO EXISTING COACH HOUSE




PROJECT: ST. VIGEANS COACH HOUSE
19 LAUREL ROAD,
STIRLING SA 5152.

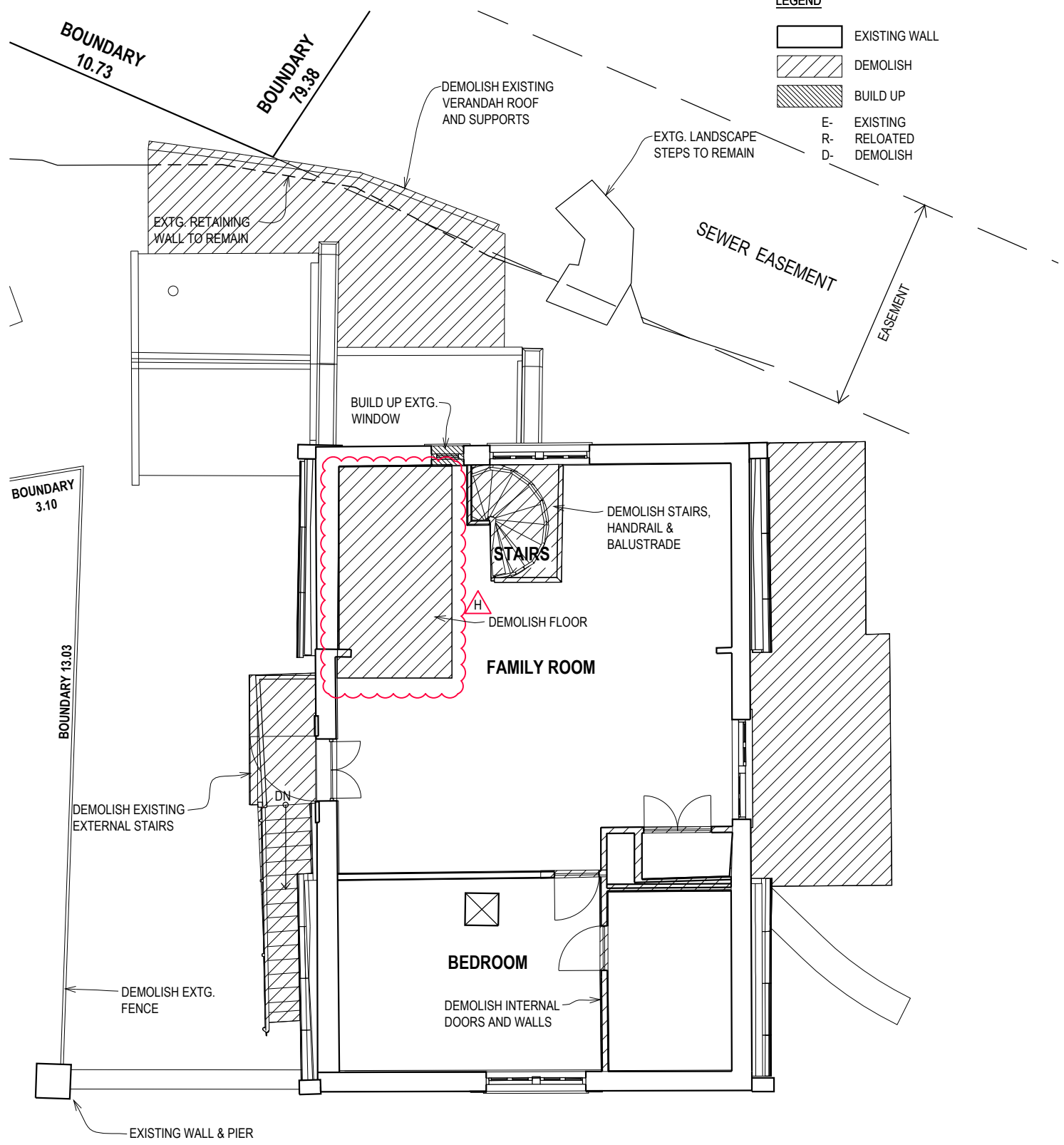
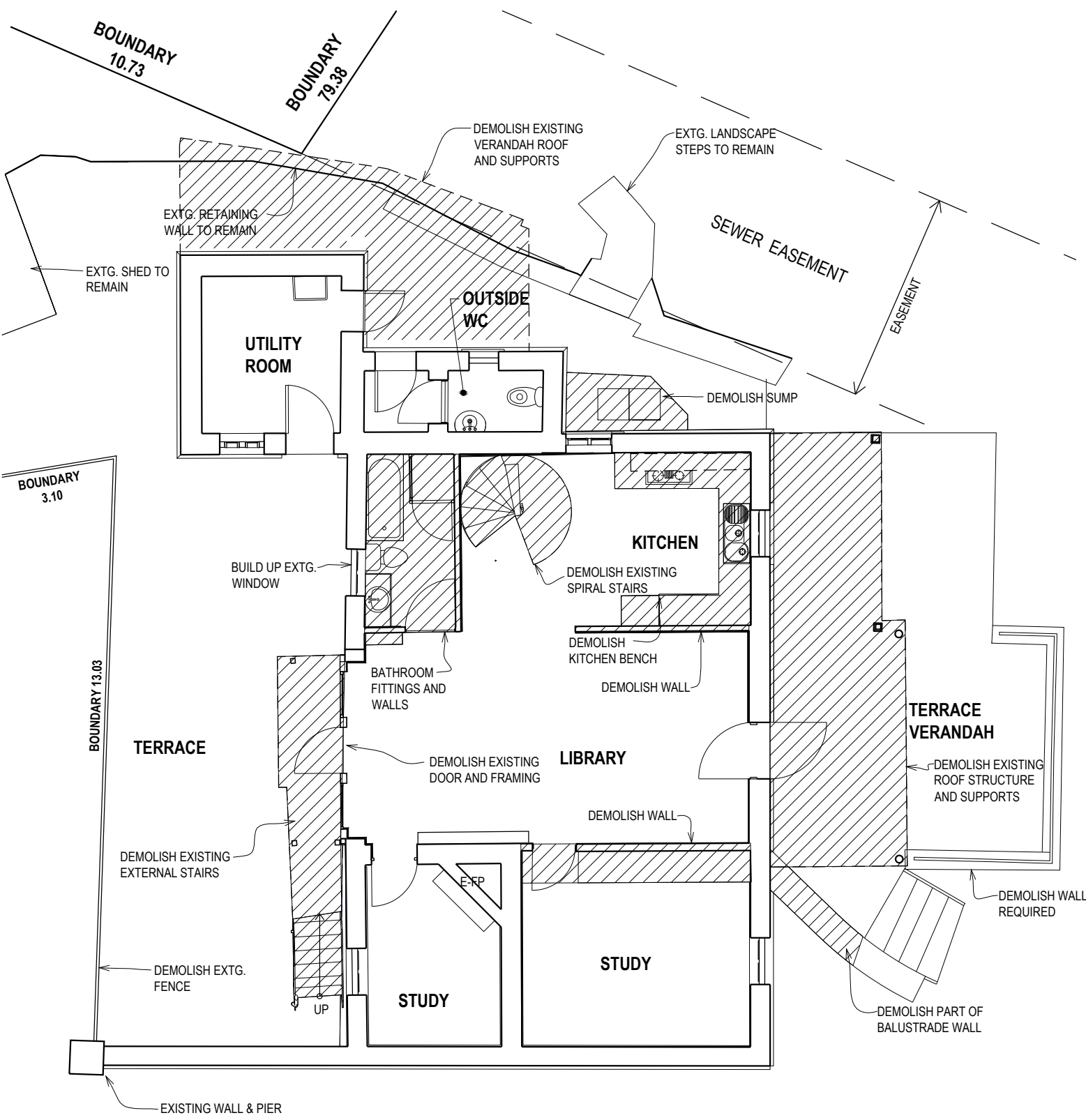


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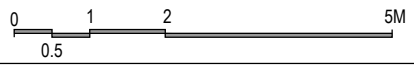
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DATE 12/10/22
ORIGINAL SIZE A3
DRAWN AP
DRAWING NUMBER A06S

LEGEND

-  EXISTING WALL
-  DEMOLISH
-  BUILD UP
- E- EXISTING
- R- RELOCATED
- D- DEMOLISH



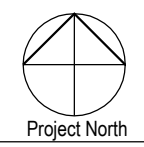
DEMOLITION PLAN COACH HOUSE



Verify all dimensions and levels on site before the commencement of work. Report any discrepancies to the Architect immediately before proceeding. Read the drawings in conjunction with the Specification material. Do not scale off drawings.

SCOPE: ADDITION/ ALTERATIONS TO EXISTING COACH HOUSE

PROJECT: ST. VIGEANS COACH HOUSE
19 LAUREL ROAD,
STIRLING SA 5152.

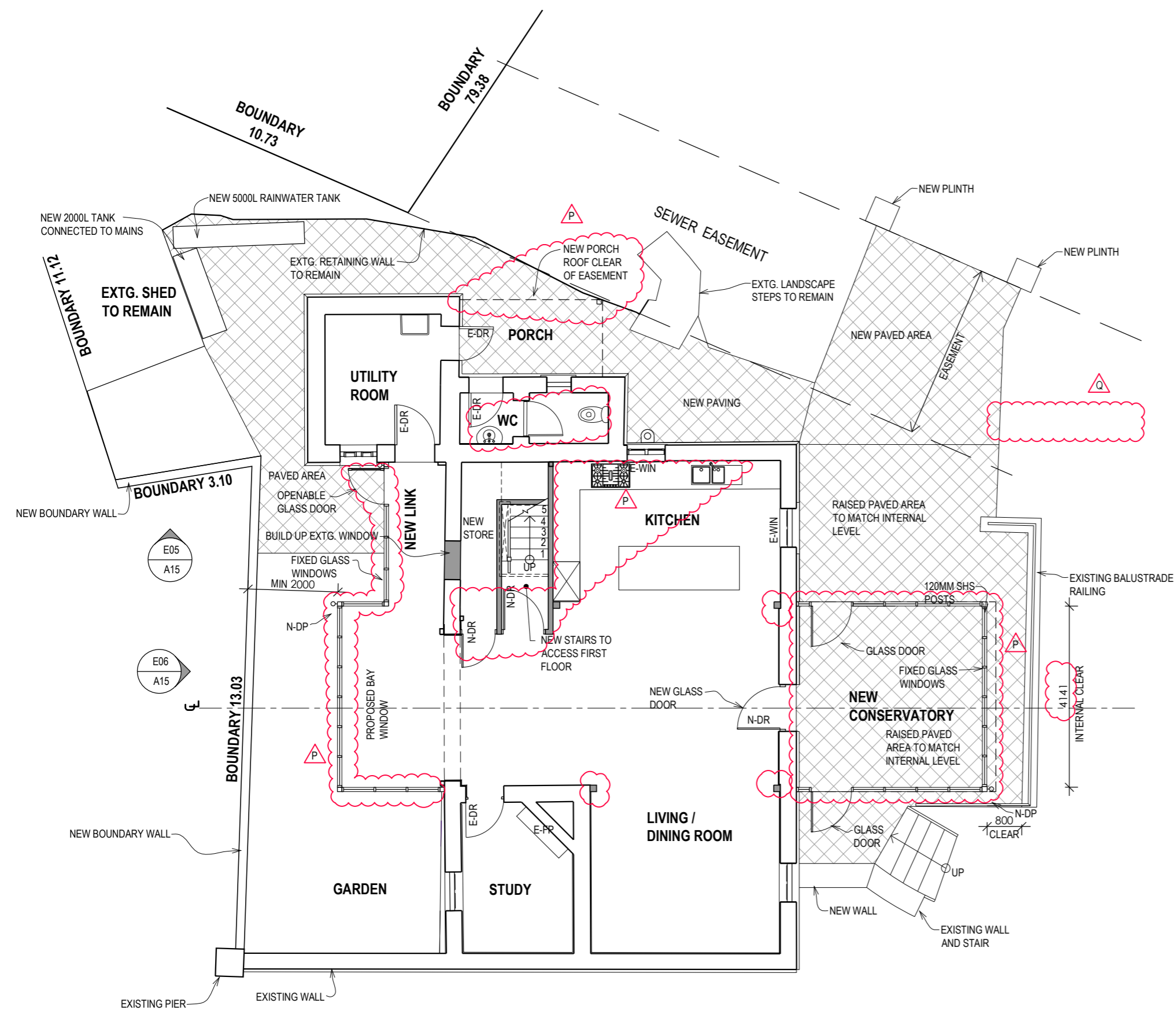


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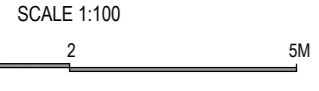
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DATE 12/10/22
ORIGINAL SIZE A3
DRAWN AP
DRAWING NUMBER A07H

AMENDED 12/10/2022
08/08/2022
FOR PLANNING CONSENT

- LEGEND**
- EXISTING WALL
 - PROPOSED WALL
 - NEW PAVING
 - E- EXISTING
 - R- RELOCATED
 - D- DEMOLISH
 - N- NEW
 - FP FIREPLACE
 - DP DOWNPIPE



PROPOSED COACH HOUSE GROUND FLOOR PLAN



AMENDED 26/10/2022
12/10/2022
08/08/2022
FOR PLANNING CONSENT

Verify all dimensions and levels on site before the commencement of work. Report any discrepancies to the Architect immediately before proceeding. Read the drawings in conjunction with the Specification material. Do not scale off drawings.




SCOPE: ADDITION/ ALTERATIONS TO EXISTING COACH HOUSE

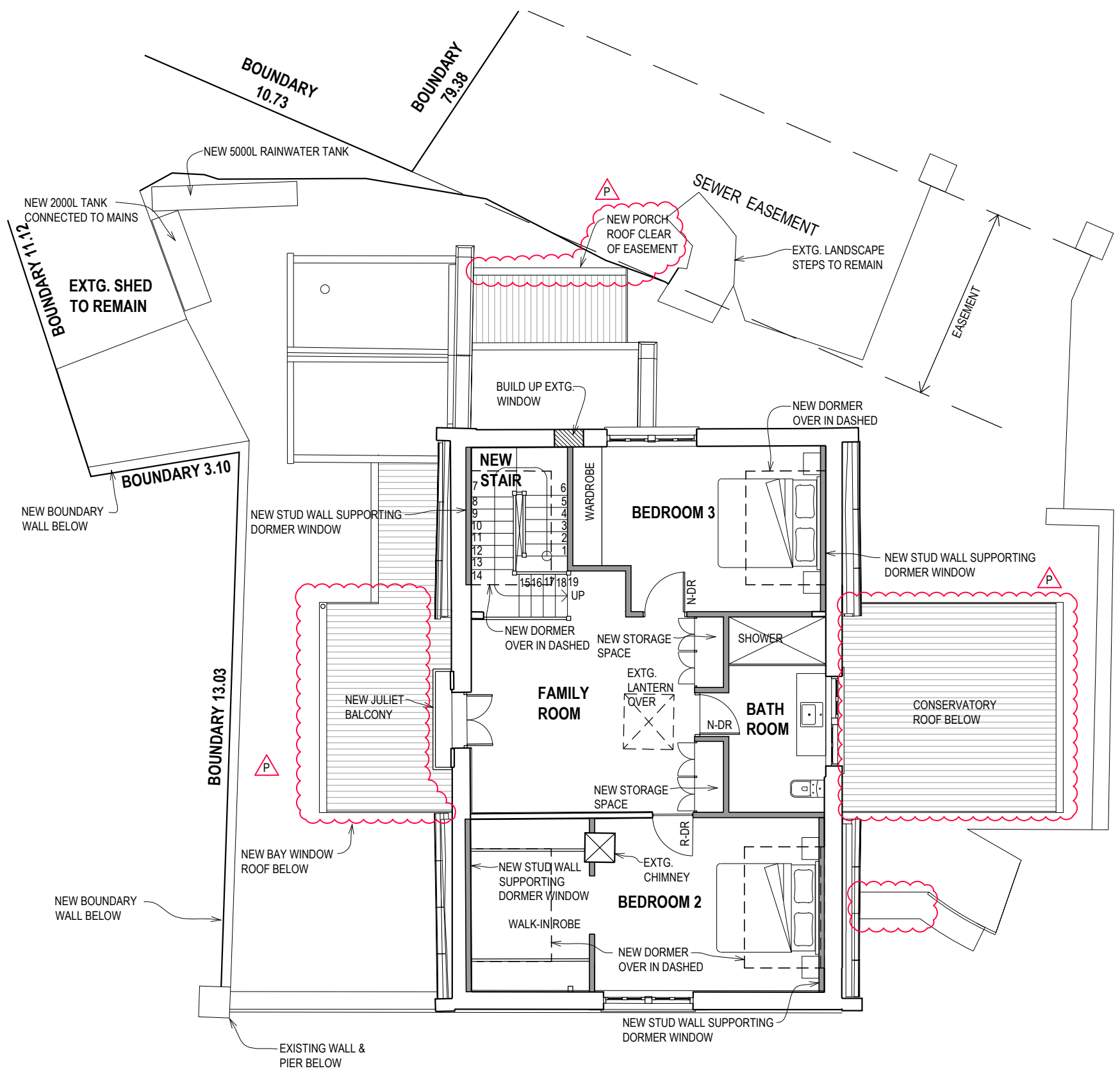
PROJECT: ST. VIGEANS COACH HOUSE
 19 LAUREL ROAD,
 STIRLING SA 5152.



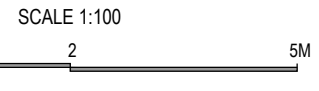
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SCALE 1:100
 DATE 26/10/22
 ORIGINAL SIZE A3
 DRAWN AP
 DRAWING NUMBER A08Q

- LEGEND**
-  EXISTING WALL
 -  PROPOSED WALL
 -  BUILD UP
 - E- EXISTING
 - R- RELOATED
 - D- DEMOLISH
 - N- NEW
 - FP FIREPLACE



PROPOSED COACH HOUSE FIRST FLOOR

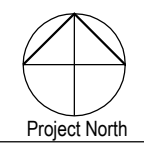


AMENDED 12/10/2022
08/08/2022
FOR PLANNING CONSENT

Verify all dimensions and levels on site before the commencement of work. Report any discrepancies to the Architect immediately before proceeding. Read the drawings in conjunction with the Specification material. Do not scale off drawings.

SCOPE: ADDITION/ ALTERATIONS TO EXISTING COACH HOUSE

PROJECT: ST. VIGEANS
 19 LAUREL ROAD,
 STIRLING SA 5152.

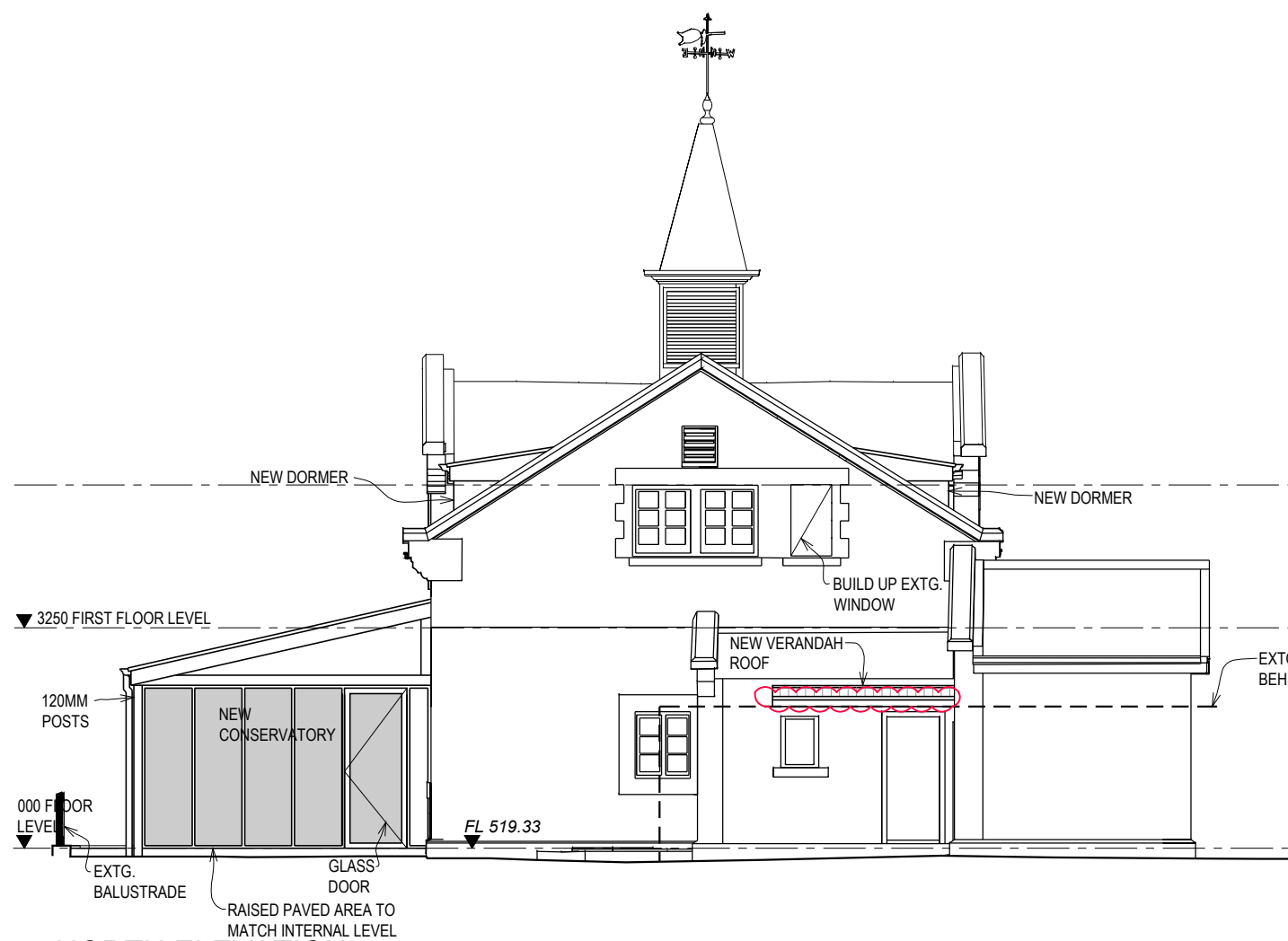


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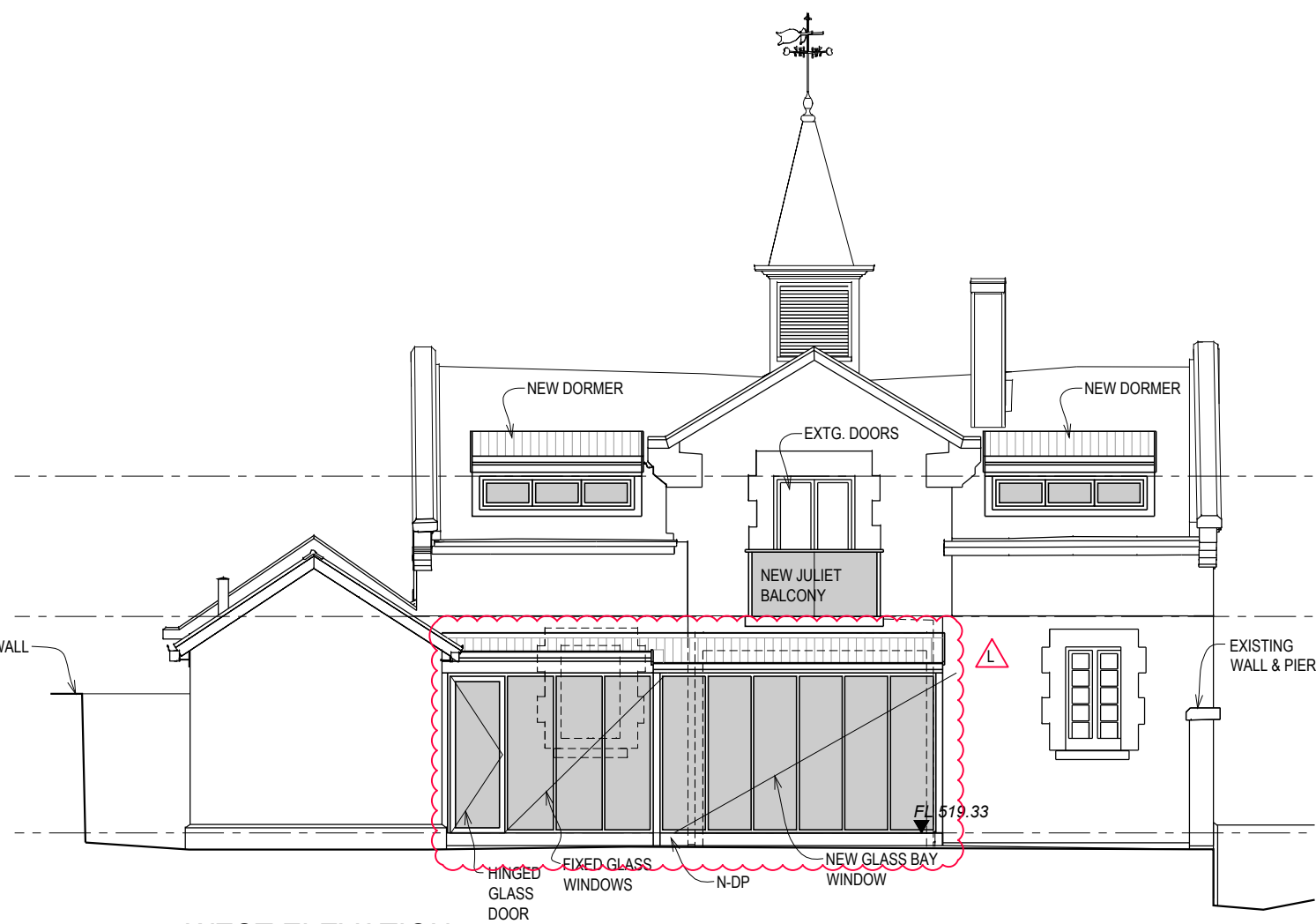
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 DATE 12/10/22
 ORIGINAL SIZE A3
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 DRAWING NUMBER A09P

LEGEND

- E- EXISTING
- R- RELOATED
- D- DEMOLISH
- N- NEW
- DP DOWNPIPE



NORTH ELEVATION
SCALE 1:100



WEST ELEVATION
SCALE 1:100

PROPOSED COACH HOUSE ELEVATIONS

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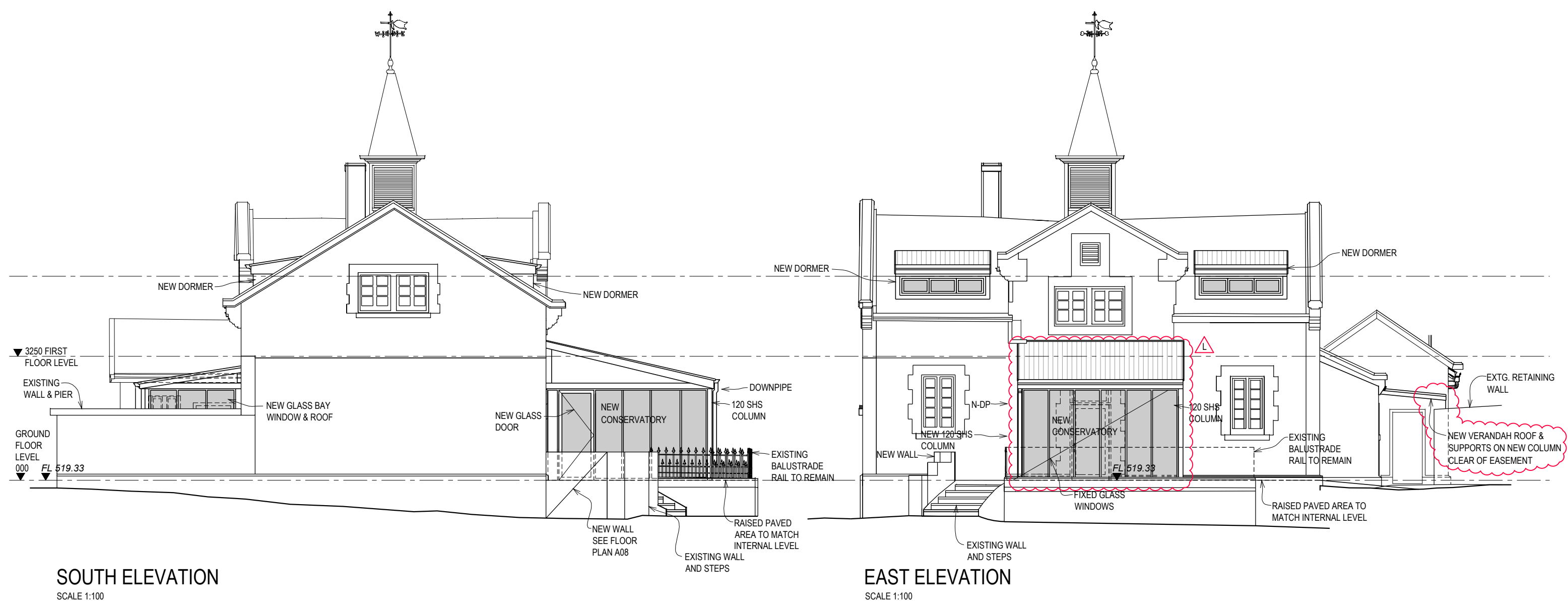
SCOPE: ADDITION/ ALTERATIONS TO EXISTING COACH HOUSE

PROJECT: ST. VIGEANS COACH HOUSE
19 LAUREL ROAD,
STIRLING SA 5152.

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SCALE 1:100
DATE 12/10/22
ORIGINAL SIZE A3
DRAWN AP
DRAWING NUMBER A10L

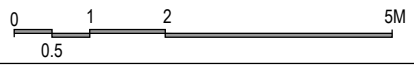
LEGEND
E- EXISTING
R- RELOCATED
D- DEMOLISH
N- NEW



SOUTH ELEVATION
SCALE 1:100

EAST ELEVATION
SCALE 1:100

PROPOSED COACH HOUSE ELEVATIONS



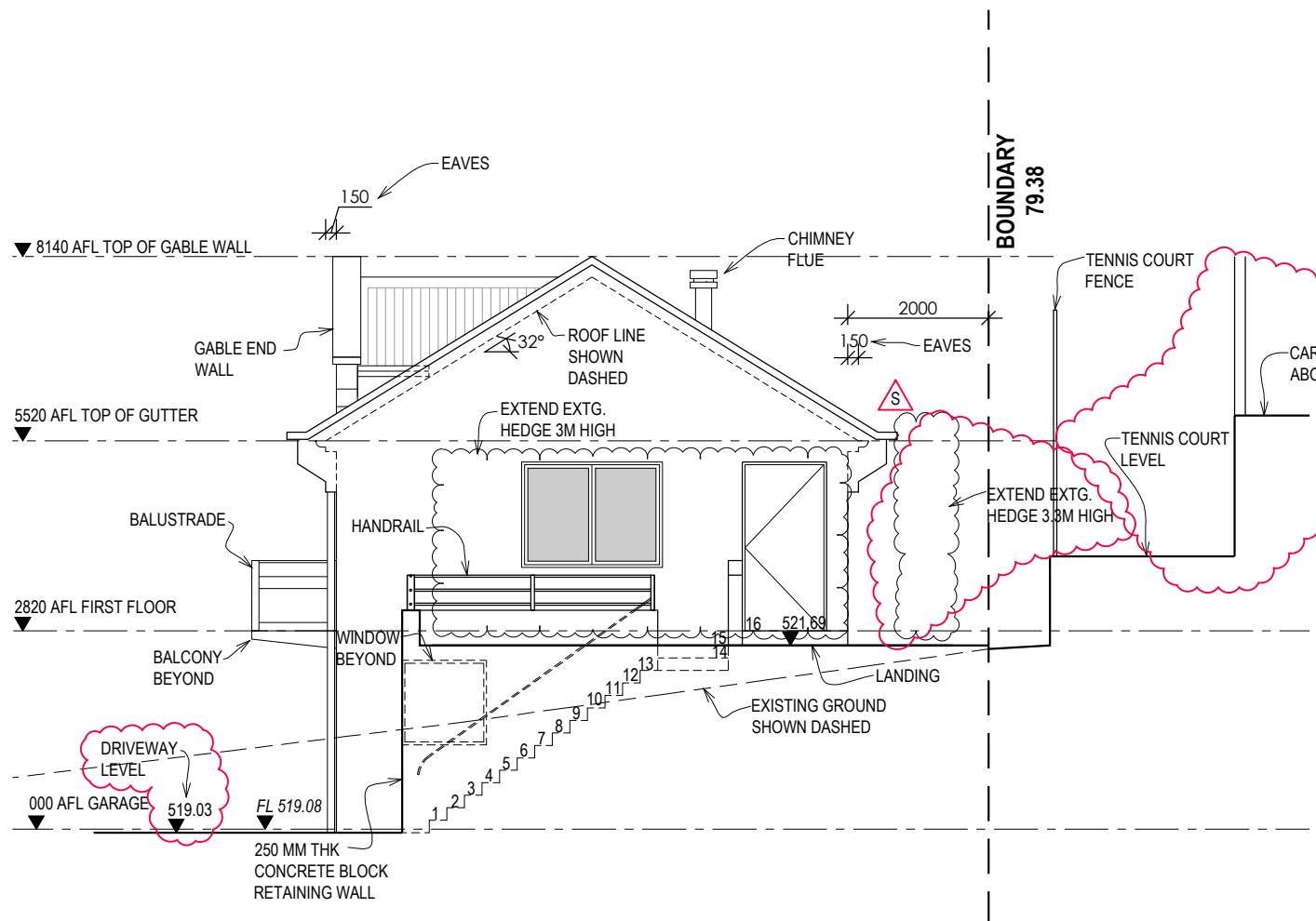
AMENDED 12/10/2022
08/08/2022

FOR PLANNING CONSENT

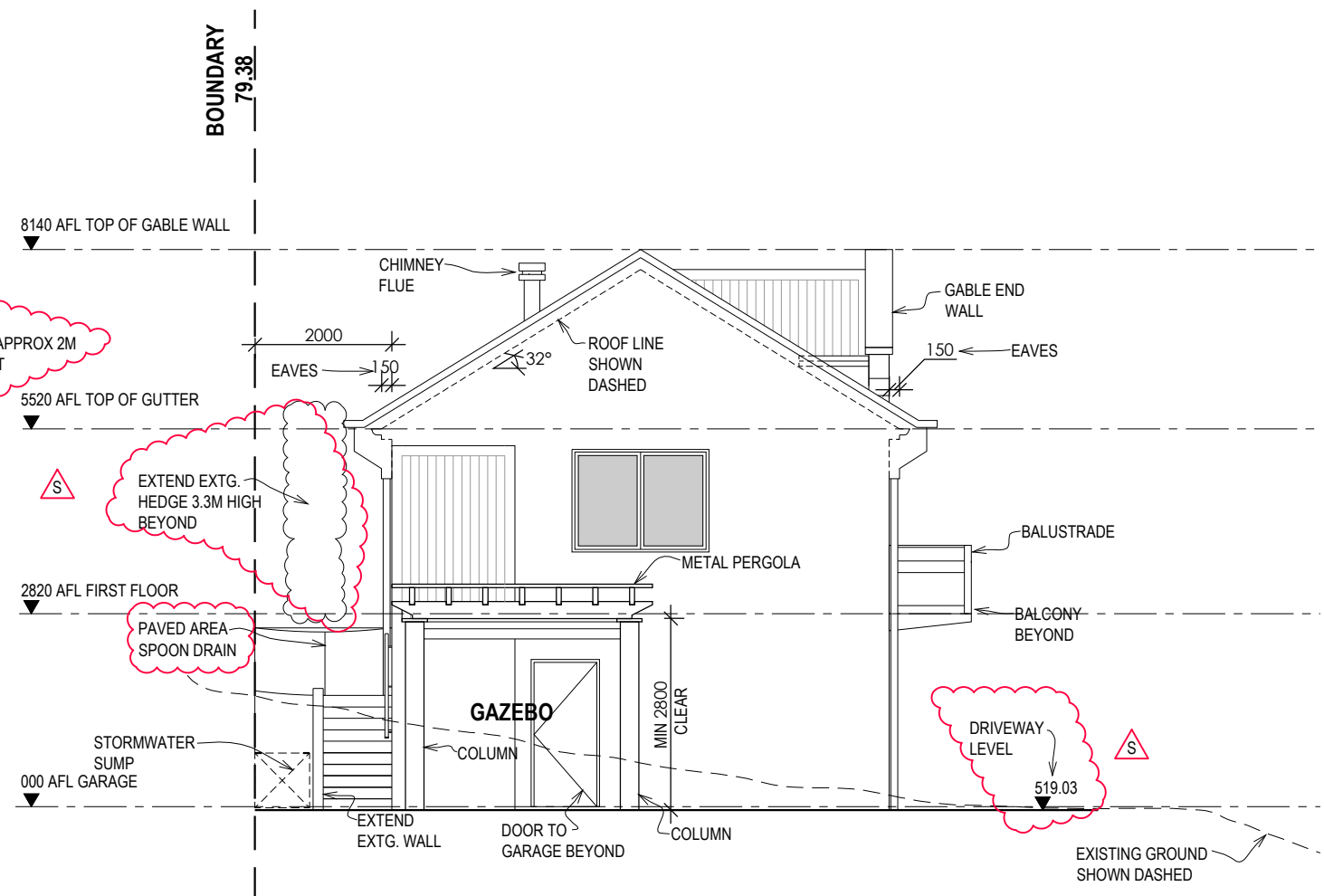
<p>Verify all dimensions and levels on site before the commencement of work. Report any discrepancies to the Architect immediately before proceeding. Read the drawings in conjunction with the Specification material. Do not scale off drawings.</p>	<p>SCOPE: ADDITION/ ALTERATIONS TO EXISTING COACH HOUSE</p>	<p>PROJECT: ST. VIGEANS COACH HOUSE 19 LAUREL ROAD, STIRLING SA 5152.</p>	<p>danvers.studio - architects 414 GILLES STREET, ADELAIDE, SA 5000 rondanvers@bigpond.com</p>	<p>SCALE 1:100 DATE 12/10/22 ORIGINAL SIZE A3 DRAWN AP DRAWING NUMBER A11L</p>
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LEGEND

- EXISTING WALL
- PROPOSED WALL
- E- EXISTING
- R- RELOCATED
- D- DEMOLISH



NORTH ELEVATION
SCALE 1:100



SOUTH ELEVATION
SCALE 1:100

PROPOSED STUDIO ELEVATIONS



AMENDED 12/10/2022
08/08/2022
FOR PLANNING CONSENT

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SCOPE: ADDITION/ ALTERATIONS TO EXISTING COACH HOUSE

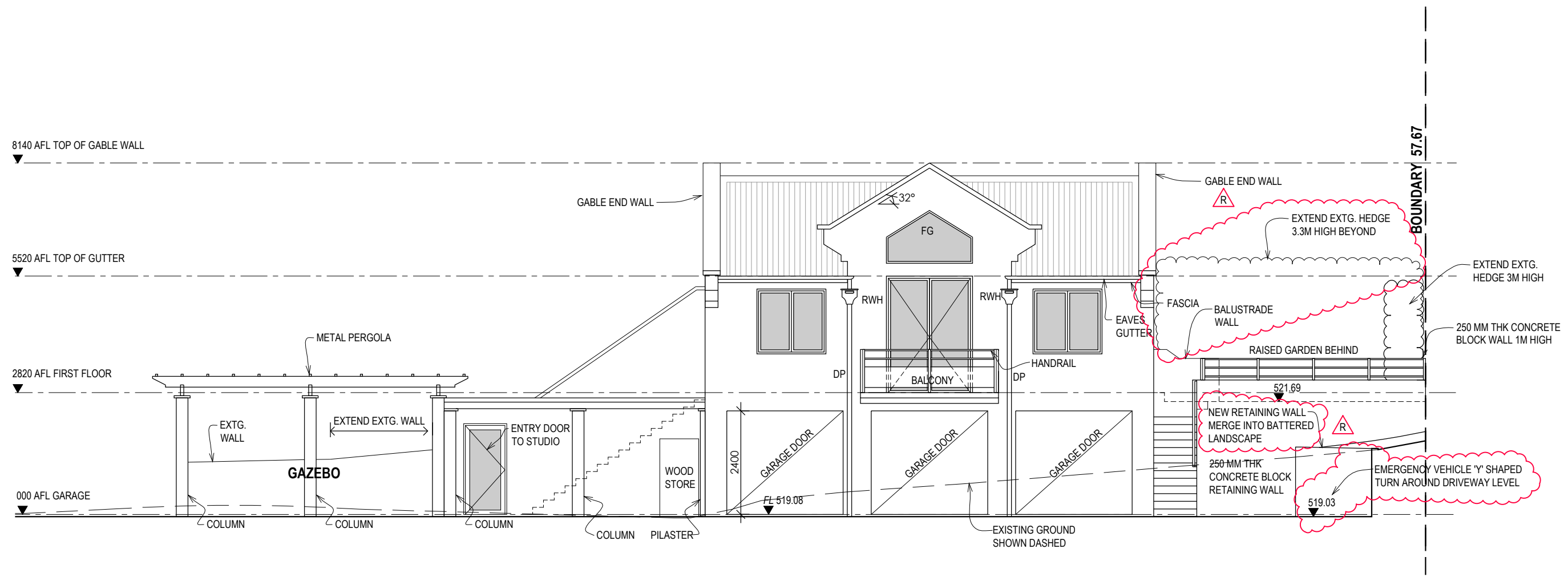
PROJECT: ST. VIGEANS COACH HOUSE
19 LAUREL ROAD,
STIRLING SA 5152.

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SCALE 1:100
DATE 12/10/22
ORIGINAL SIZE A3
DRAWN AP
DRAWING NUMBER A12S

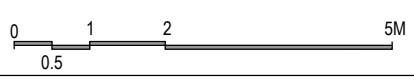
- LEGEND**
- EXISTING WALL
 - PROPOSED WALL
 - E- EXISTING
 - R- RELOATED
 - D- DEMOLISH

 - RWH RAINWATER HEAD
 - DP DOWNPIPE
 - FG FIXED GLASS



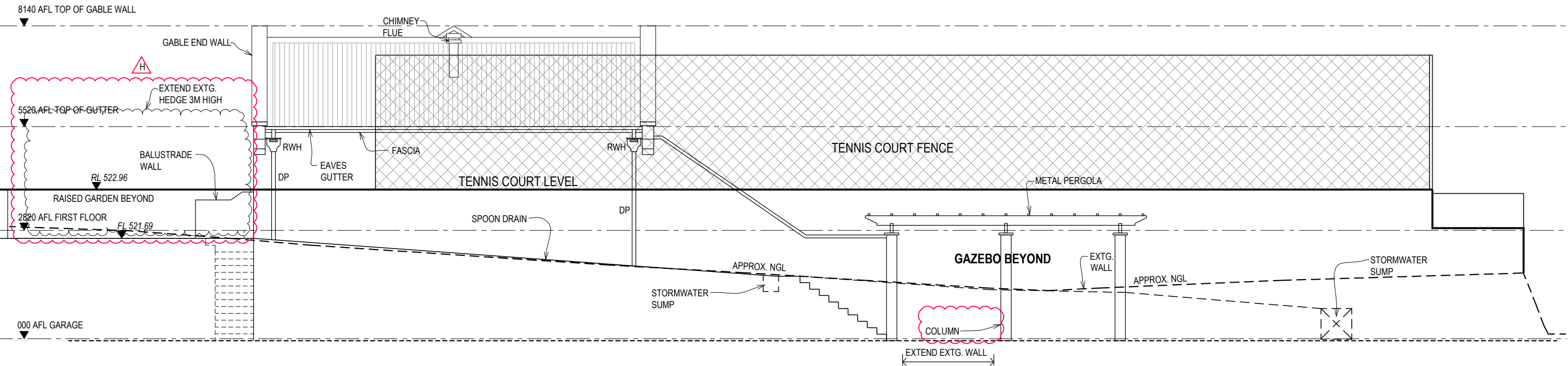
EAST ELEVATION
SCALE 1:100

PROPOSED STUDIO ELEVATIONS



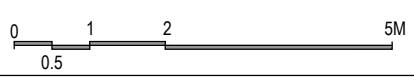
AMENDED 12/10/2022
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<p>Verify all dimensions and levels on site before the commencement of work. Report any discrepancies to the Architect immediately before proceeding. Read the drawings in conjunction with the Specification material. Do not scale off drawings.</p>	<p>SCOPE: ADDITION/ ALTERATIONS TO EXISTING COACH HOUSE</p>	<p>PROJECT: ST. VIGEANS COACH HOUSE 19 LAUREL ROAD, STIRLING SA 5152.</p>	<p>danvers.studio - architects 414 GILLES STREET, ADELAIDE, SA 5000 rondanvers@bigpond.com</p>	<p>SCALE 1:100 DATE 12/10/22 ORIGINAL SIZE A3 DRAWN AP DRAWING NUMBER A13R</p>
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WEST ELEVATION LOOKING FROM TENNIS COURT OF ADJOINING PROPERTY
SCALE 1:100

PROPOSED STUDIO ELEVATIONS




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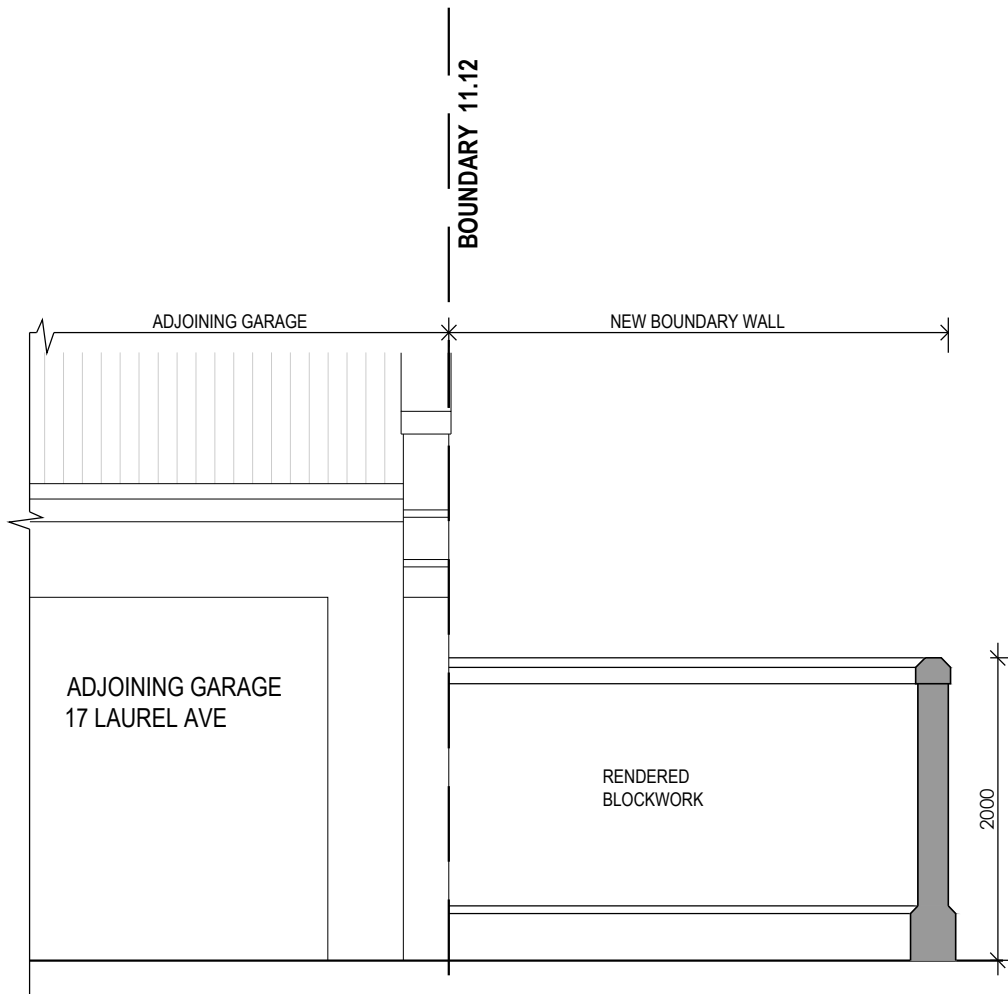
SCOPE: ADDITION/ ALTERATIONS TO EXISTING COACH HOUSE

PROJECT: ST. VIGEANS COACH HOUSE
19 LAUREL ROAD,
STIRLING SA 5152.

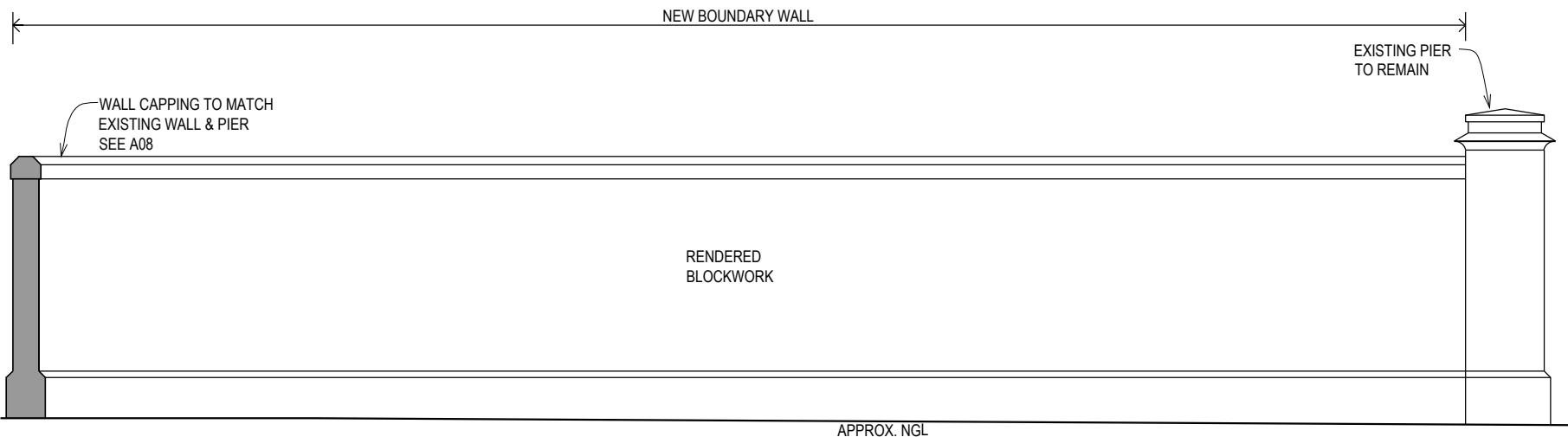
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SCALE 1:100
DATE 12/10/22
ORIGINAL SIZE A3
DRAWN AP
DRAWING NUMBER A14H

AMENDED 12/10/2022
08/08/2022 
FOR PLANNING CONSENT



E05
A08 ELEVATION E5 LOOKING NORTH-WEST



E06
A08 ELEVATION E6 LOOKING EAST

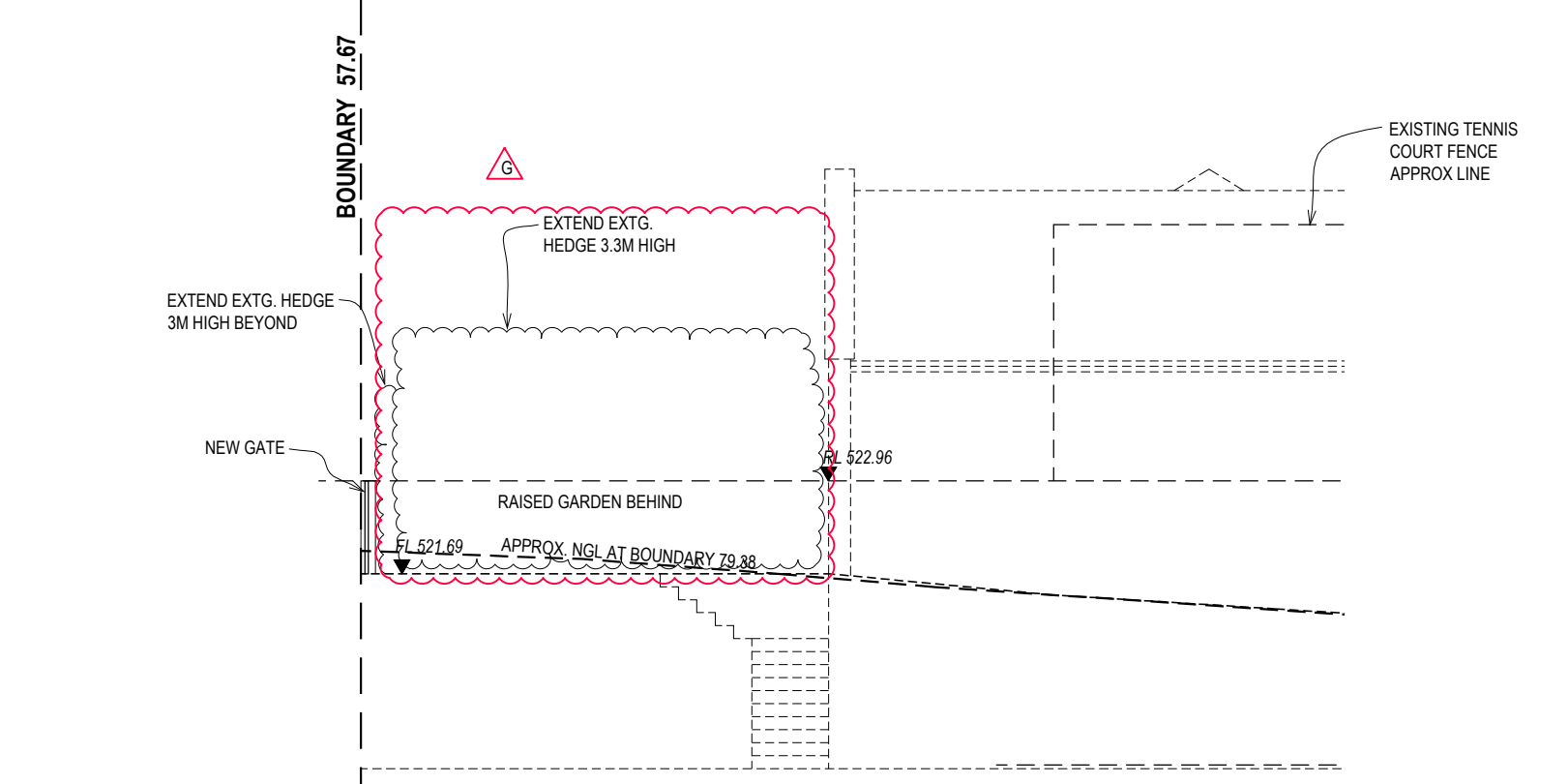
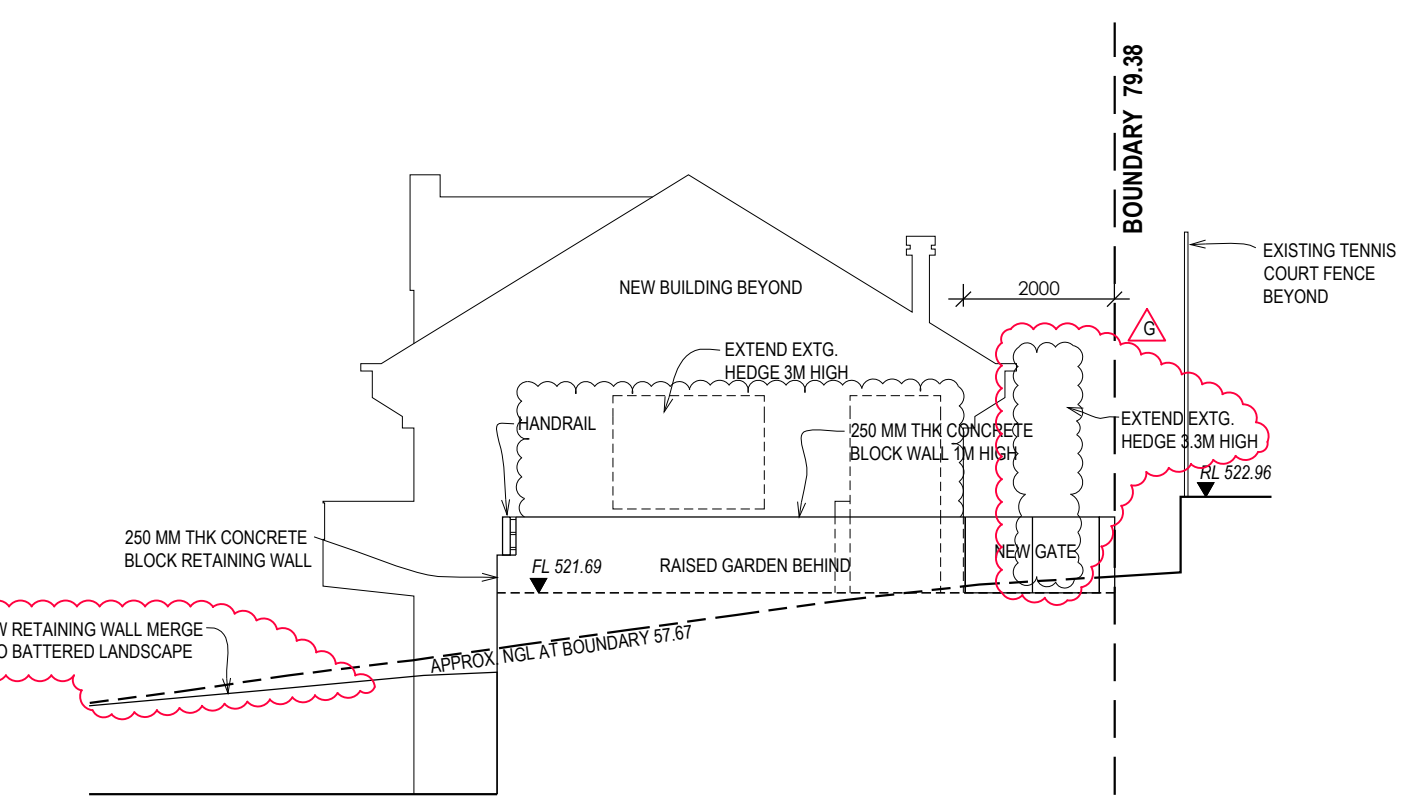
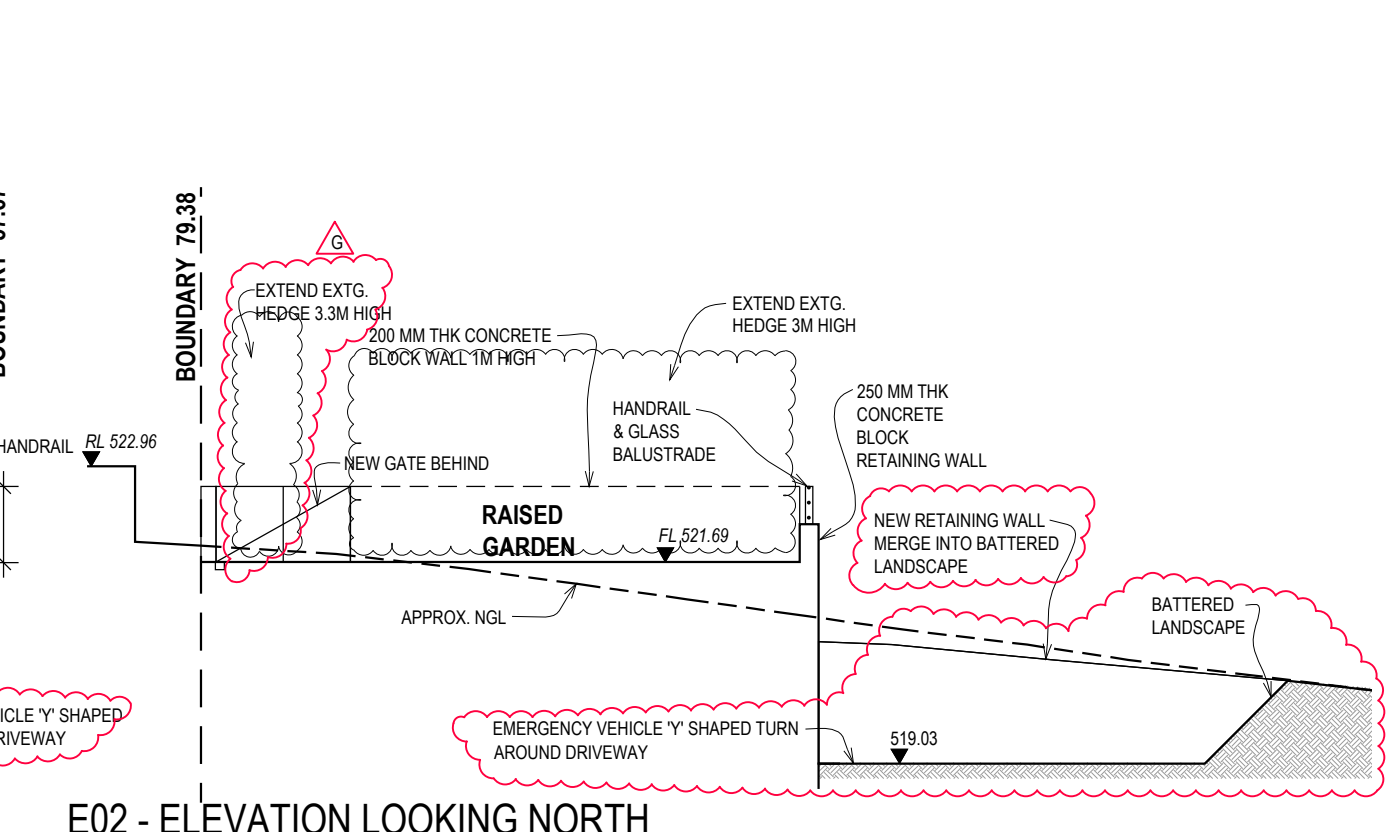
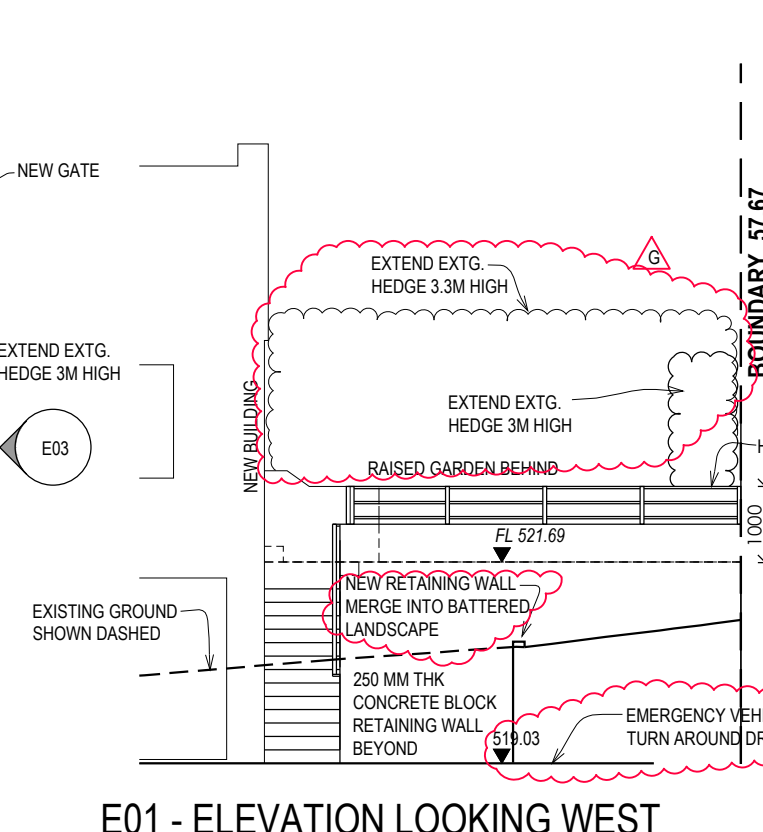
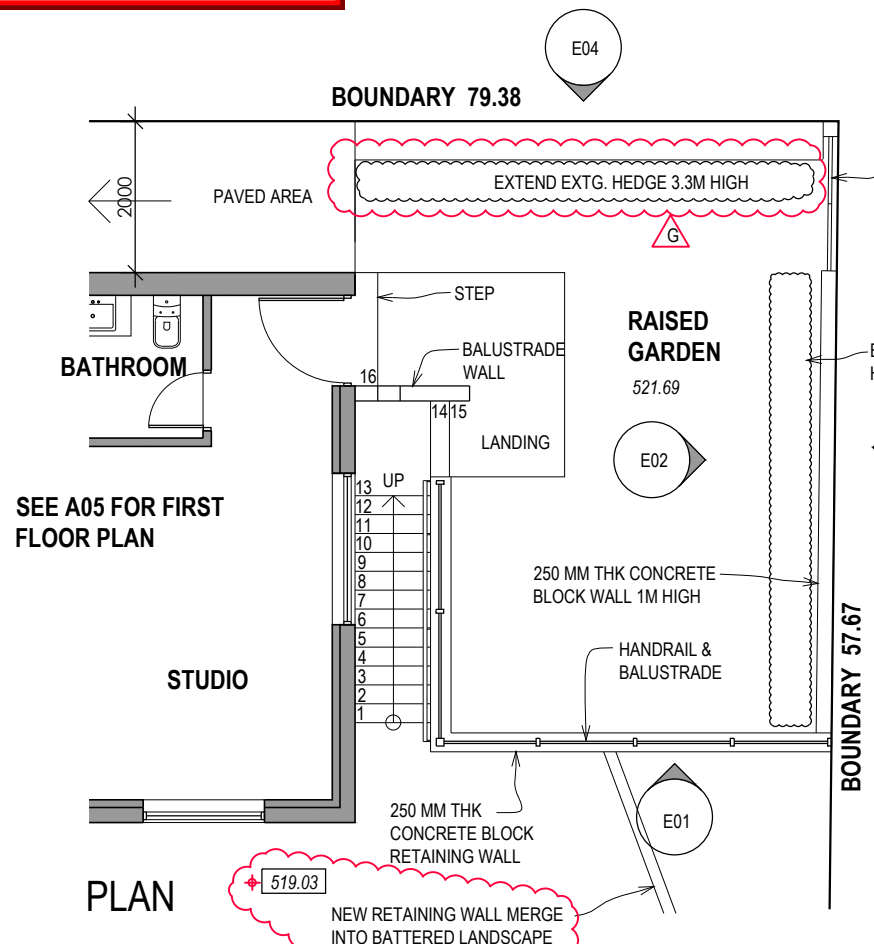
PROPOSED BOUNDARY WALL ELEVATIONS

SCALE 1:50



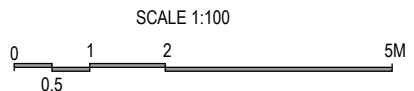
AMENDED 12/10/2022
08/08/2022
FOR PLANNING CONSENT

<p>Verify all dimensions and levels on site before the commencement of work. Report any discrepancies to the Architect immediately before proceeding. Read the drawings in conjunction with the Specification material. Do not scale off drawings.</p>	<p>SCOPE: ADDITION/ ALTERATIONS TO EXISTING COACH HOUSE</p>	<p>PROJECT: ST. VIGEANS COACH HOUSE 19 LAUREL ROAD, STIRLING SA 5152.</p>	<p>danvers.studio - architects 414 GILLES STREET, ADELAIDE, SA 5000 rondanvers@bigpond.com</p>	<p>SCALE 1:100 DATE 12/10/22 ORIGINAL SIZE A3 DRAWN AP DRAWING NUMBER A15A</p>
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E03 - ELEVATION LOOKING SOUTH
PROPOSED RAISED GARDEN WALL DETAILS

E04 - ELEVATION LOOKING EAST



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SCOPE: ADDITION/ ALTERATIONS TO EXISTING COACH HOUSE

PROJECT: ST. VIGEANS COACH HOUSE
19 LAUREL ROAD,
STIRLING SA 5152.



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SCALE 1:100
DATE 12/10/22
ORIGINAL SIZE A3
DRAWN AP
DRAWING NUMBER A16G

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08/08/2022
FOR PLANNING CONSENT

ST. VIGEANS COACH HOUSE PROJECT

EXTERNAL COLOUR SCHEDULE FOR PROPOSED WORKS

1. Mid grey (Woodland grey)
 - All Window frames, including metal work on dormer windows.
 - New metal work for Conservatory, new porch
 - Handrail on balcony
 - New roofing
 - All new Colorbond roofing

2. Sandstone
 - Rendered walls, plinth, columns including details.
 - Boundary walls
 - Retaining walls

3. Silver low cloud
 - All new rainwater goods including eaves gutters
 - New fascias, external soffits
 - Water tanks
 - Gazebo parking - metal pergola

4. Ipe wood
 - Castellated cladding on Garage doors

19 Laurel Rd, Stirling



Annotations

- Subject land
- Representer's land - 18 Laurel Rd
- Representer's Land - 36 Ayers Hill Rd

AHC Core

- Property_Owner
- Roads

LMAs & Heritage

- HeritageITEMs
 - Local
 - State

Scale = 1:2000



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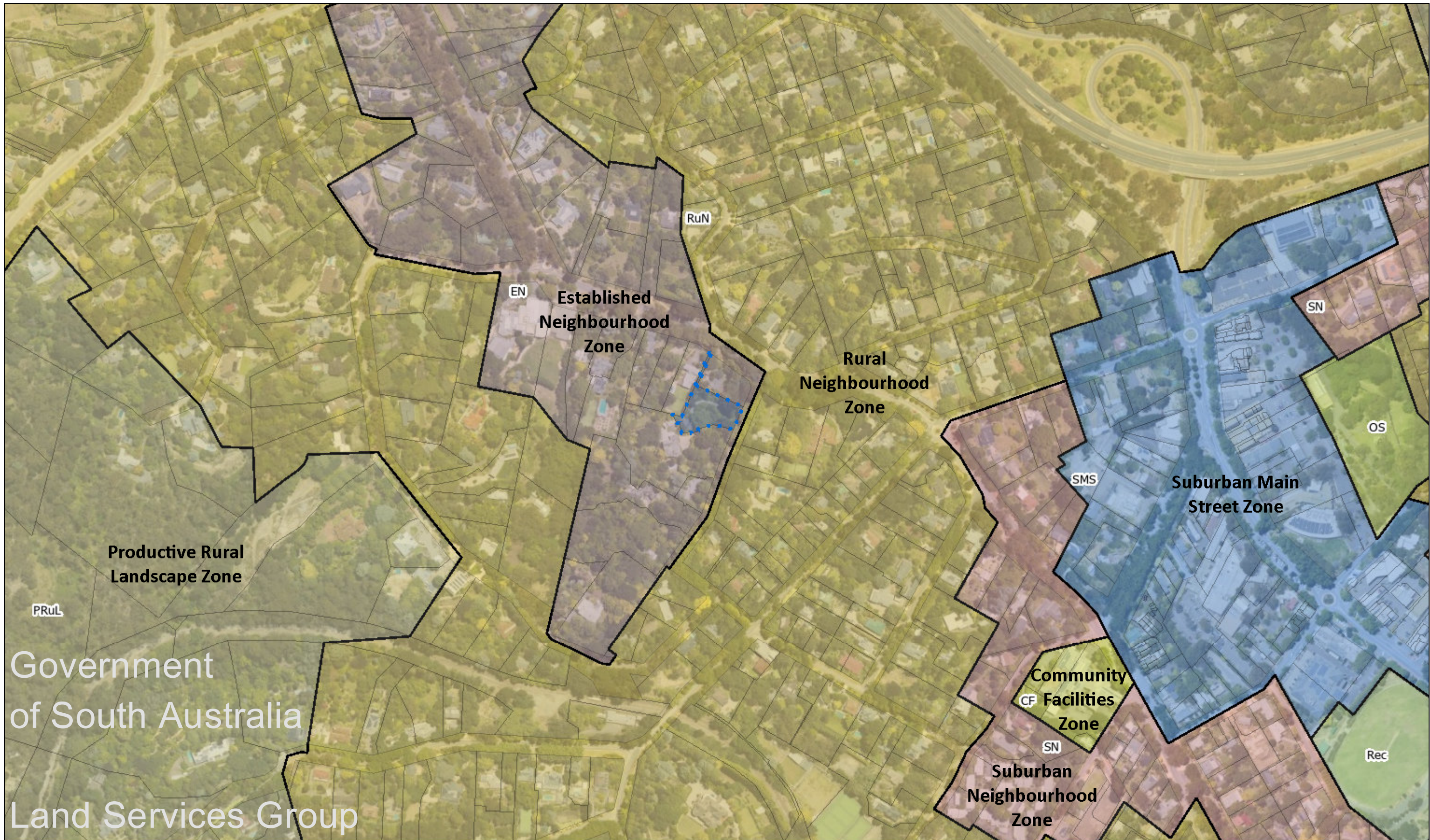
26-Oct-2022

SAPPA Report

Date created:
October 26, 2022

The SA Property and Planning Atlas is available on the Plan SA website: <https://sappa.plan.sa.gov.au>

Zoning Map



Disclaimer: The information provided above, is not represented to be accurate, current or complete at the time of printing this report. The Government of South Australia accepts no liability for the use of this data, or any reliance placed on it.

Details of Representations

Application Summary

Application ID	22019350
Proposal	Alterations and additions to State Heritage Place (dwelling – Coach House) including partial demolition, ancillary accommodation with associated garage, pergola, water tanks, retaining walls, and masonry fence
Location	19 LAUREL RD STIRLING SA 5152

Representations

Representor 1 - DAVID HUTCHISON

Name	DAVID HUTCHISON
Address	PO Box 39 PLYMPTON SA, 5038 Australia
Submission Date	21/09/2022 12:25 PM
Submission Source	Online
Late Submission	No
Would you like to talk to your representation at the decision-making hearing for this development?	Yes
My position is	I oppose the development
Reasons Refer attached submission	

Attached Documents

Representation_to_DA_21021696_19_Laurel_Road_Stirling_final-1110733.pdf
22019350NotificationRepresentation-DavidHutchison-Correspondence-3927395.pdf
22019350NotificationRepresentationSupplementaryDocuments-21-9193da01c-ProposedRenders-3927396.pdf

22nd September 2022

Ref: 9193Rep

The Chief Executive Officer
Adelaide Hills Council
PO Box 44
Woodside SA 5244

Access Planning (SA) Pty Ltd
ABN 57 089 702 241

235 Henley Beach Road
Torrensville SA 5031

Telephone 08 8130 7222
Facsimile 08 8130 7299
admin@accessplanning.com.au

www.accessplanning.com.au

Attention: Sebastien Paraskevopoulos

I have been engaged by Gavin and Brooke- Hall Carney, the owners of the property at 36 Ayres Hill Road, Stirling which sits to the immediate east of the proposed development at 19 Laurel Road.

The Carney's house, like the majority of properties in the locality is set well back on their property. Their house is sited with living rooms (dining room, living room and kitchen) located in the south-eastern corner of the dwelling with views from inside the house over their back yard. The following photographs show the views from the adjoining dwelling at 36 Ayres Hill Road looking over the dining room to the backyard.



Figure 1: View looking south from the living room at 36 Ayres Hill Road. Dining room and kitchen to rear left and right of photo.



Figure 2: View looking south east from the dining room at 36 Ayres Hill Road.



Figure 3: View from the living room along the eastern boundary of the land. Note the actual property boundary sits about 1m outside of the tennis court fence.



Figure 4: Photo along the eastern boundary showing extent of vegetation on the immediate property line. Note the property boundary sits about 1m to the east of the tennis court fence.

The terraced backyard includes an entertaining area sited to the western rear of the house looking over a swimming pool at the same level and a full-size tennis court at a lower level, approximately 2.0m below the floor level of the dwelling.

A view from the outdoor entertaining area showing across the tennis court to the property at 19 Laurel Road, is provided below.

The entertaining area is to the left of the photo, pool to the right.



Figure 5: View looking south east from the terraced entertaining area on the western side of the house at 36 Ayres Hill Road. Proposed development to be undertaken along the line of the tennis court fence.



Figure 6: Looking north east across the tennis court at the rear of 36 Ayres Hill Road showing the extent of existing boundary landscaping. Location of the proposed building shown in montage image Figure 9 below).

The proposed development is to be sited on the property boundary in relation to the paved area and proposed raised garden and in otherwise within 2m of the property boundary.

The tennis court is elevated between 1.6 and 2m above the natural ground level with a concrete retaining wall located immediately below the line of the tennis court fence.

At the lower level, in the intervening space between the retaining wall and the property boundary, the land is relatively heavily landscaped with a range of trees and tall growing shrubs. Figure 4 above shows the extent of the landscaping along the common boundary noting the property boundary roughly aligns with the rear wall of the shed that can be seen in the foreground.

The subject land and adjoining land holding area all of substantial size with generous street and rear boundary setbacks and by normal metropolitan standards generous side boundary setbacks as well. Dwellings are for the most part set in well landscaped grounds, with substantial mature landscaping a particular feature of not only the locality but the much wider area.

The subject land, the property at 36 Ayres Hill Road and the immediate locality are shown in Figure 7 below, which also seeks to show the extent of the development to be undertaken along/adjoining the common boundary of the subject land and the property at 36 Ayres Hill Road.

The arcadian nature of the locality is clearly evident in the aerial image below.



Figure 7: Subject land and immediate locality, showing the extent of the proposed building along the common boundary with 36 Ayres Hill Road and its juxtaposition relative to the dwelling and living areas of the adjoining house.

By reference to the site plan provided by the applicant, the various floor plans of the development and in particular; “Proposed New Building Elevation drawing number A14G, the impact of the development on the property at 36 Ayres Hill Road is, in my opinion, plainly obvious.

However, to reinforce the visual impact the development will have on the property at 36 Ayres Hill Road, I have included at Figure 7, an architectural rendering and photo montage showing views of the proposed development before and after from various vantage points on the Carney land.

More particularly and having regard to the SA Planning and Design Code I am of the opinion that the development fails to address even the most basic provisions of the Code. I have addressed the most relevant provisions of the Code under the heading below.

I might also add that I am concerned that the plans provided to the Council do not seem to be based on survey plans of the land and as such might not accurately reflect the actual relationship between the proposed development and my client’s land. In particular, the proximity of the development to the boundary in my opinion requires a survey plan, which should also identify the location of any vegetation on or proximate to the boundary which is likely to require removal to accommodate the development.

I request the Council seek this information and provide same to my client before any further proceeding of the application takes place. It is important to note that any development that might affect the stability of other land or premises as set out in Schedule 10 of the Regulations requires additional investigations/notifications as required under section 139 of the Act and regulation 64. Council must determine if these provisions are applicable to the development.

1. Development does not meet required setback

The development does not meet the required rear boundary setback of at least 4m for the ground floor level and at least 6m for the second level (PO 9.1 and DTS/DPF 9.1)

The Code seeks that development be set back from boundaries to provide separation between dwellings, to compliment the established character of the locality, to protect the character and amenity of private space, to allow natural light and ventilation and to provide space for landscaping and vegetation (PO 3.1).

The proposed development will extend along some 30m of the eastern boundary of the land at 36 Ayres Hill Road, and as such along nearly two thirds of the of the outdoor open space at the rear of the Carney residence.

Setbacks required under the Code are at least 4.0m for the first level and at least 6.0m for the second level.

Setbacks provided are:

- Less than 1m for the stairs leading to the gazebo
- 2.0m to the rear wall of the building
- 0m to the raised garden

None of the setbacks comes close to the even the marginal setback requirements expressed in the Code.

Moreover, the setbacks are not consistent with the extensive rear boundary setbacks that are part of the character of the locality and wider area and as such do not and thus cannot compliment this aspect of the established character of the locality. Moreover, the entire rear of the building is given over to paving, providing no visual relief to views of the building from the adjoining land, noting that excavation and levelling of the land to accommodate the proposed development is likely to result in the death of any of the trees and vegetation that now exist between the subject land and the property at number 36 Ayres Hills Road.

Another aspect of the development is the location of a wood heater flue at the rear of the building sited 4m from the boundary and approximately 10m southeast of the closest window in the Carney residence and at approximately the same level. The close proximity of this feature is likely to lead to high concentration of wood smoke and odour directly impacting the living and outdoor recreation areas of the Carney residence.

The siting of the building is to be to set some 4.0m below the level of the adjoining tennis court, requiring cutting of the land up to 2.5m in depth along the line of the common boundary. The juxtaposition of the building is such that at least 4.0m, of the rear wall of the building will be directly and obviously visible from the Carney's house and land. The visual impact of the building will be more prominent at the northern elevation as viewed from the Carney's living spaces.



Figure 8: View of the development from one aspect of the living rooms in the Carney residence

The visual impact of the building is exacerbated by its bulk and scale proximate to the boundary, the lack of intervening opportunity for landscaping, grey roofing and cream (sandstone) walls; Moreover, it is sited in such a way that any meaningful landscaping opportunity along the common boundary will be essentially non-existent. Moreover, the works required along the common boundary to accommodate the development (extensive cutting and filling, construction of retaining walls and site drainage) will result in the loss of the existing landscaping, both on the subject land and on the property at 36 Ayres Hill Road.

The image below in Figure 9 provides some idea of how the development will look from the property at 36 Ayres Hill Road. Further renders will be provided showing the impact of the development from within the Carney residence. Figure 9 demonstrates that the owners of 19 Laurel or any other person will have direct day to day visual access to the Carney's living area (breakfast; lunch; dinner) from the landing, raised garden and proposed stairs. The visual intrusion would be far less, or non-existent if the plans complied with the proposed Code set back of at least 4m for the ground floor and at least 6m for the second level.

The obvious visual intrusion of the development onto the land at 36 Ayres Hill Road cannot be overstated and would be obvious even to untrained eye. Even without the photomontages and renders, the visual impact of the development is obvious from the rear elevation drawing.

Not only will the building be visually intrusive, but its siting and height will create overshadowing of the outdoor open spaces at the rear of the Carney House, and whilst it is noted that these spaces are overshadowed now by trees along the boundary, that shadow is for the most part dappled and more particularly seasonal as the most significant trees along the boundary are deciduous.

In addition to the overshadowing impacts, the location of the window in the north elevation of the building and proximity of the raised garden to the boundary and to the Carney's residence create obvious and immediate overlooking concerns that are not adequately addressed by the hedging proposed, noting that any hedging may take years to develop to a reasonable height to address any overlooking impacts, and should any of the plants die or be pulled out for whatever reason, their replacement will similarly take years to re-establish.

In addition, the paved area at the rear of the building is only 1m below the level of the tennis court such that anyone using this space will be able to look directly into the rear yard and family room windows of the Carney residence.

The loss of the landscaped edge to the open space at 36 Ayres Hill Road and its replacement with a large and dominant building will quite obviously detract from the character and amenity of the outdoor open space now enjoyed by the Carney's.

In my view the variation from the Code in respect the setback alone puts the development at serious variance with the Code as provided for in section 107 (2) (c) of the Planning, Development and Infrastructure Act 2016. As such it should not and must not be approved by the Panel.



Figure 9: One view of the development from 36 Ayres Hill Road (further renders to follow)



Figure 9B: The same view without the building

2. Heritage garden is not identified as heritage garden

I understand the purported reason for locating the building along the rear boundary of the allotment is to preserve a heritage listed garden.

By reference to the detailed Heritage Survey (copy attached at appendix B), the garden on the subject land is either not specifically heritage listed or is not as important as those more extensive gardens around the heritage house at 17 Laurel Road, which is an extensive land holding to the immediate south of number 19.

As identified in the Heritage Study, the referenced section of heritage garden is located primarily to the south and west of the dwelling located on 17 Laurel Road, Stirling. (see comments at page 8 of the Survey).

The Heritage Survey suggests the extent of the heritage listing for 19 Laurel Road is along the southern alignment of the easement located over 19 Laurel Road, (refer to the plan contained at page 11 of the Heritage Survey which is reproduced in Figure 10 below.)

In any event, the desire to preserve a garden should not be projected above the Carney's entitlement to quiet enjoyment and privacy of their 'private' open space.

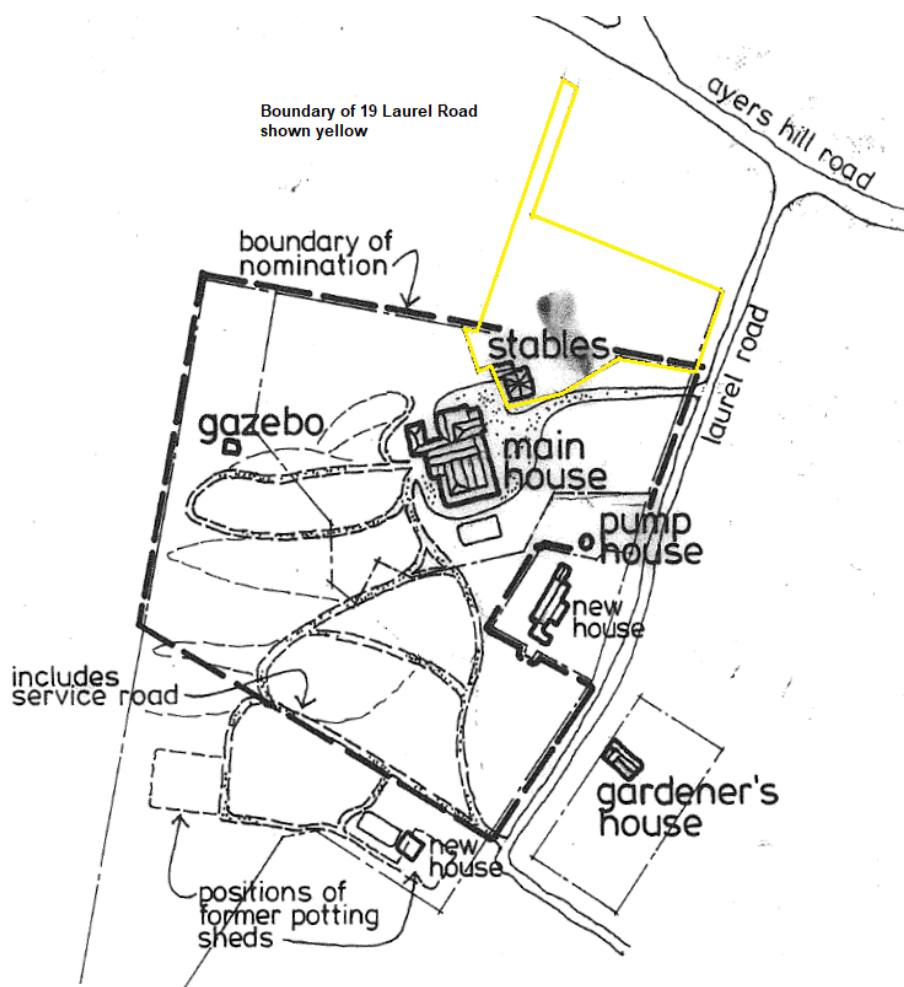


Figure 10: Extract from heritage Survey showing the proposed limit of the heritage listing – note the extent of the listing excludes the land north of the easement on 19 Laurel Road.

The proposed extent of the heritage listing includes the stables – coach house (now existing dwelling) and the limited section of garden in the triangular portion of land bounded by the southern alignment of the easement and southern property boundary.

Having regard to the Heritage Survey, the gardens north of the easement are not identified as being heritage gardens on this basis.

3. Failure to respect Historic Area Overlay

The development does not give sufficient respect to the provisions of the Historic Area Overlay.

In particular it does not give consideration to the historic streetscapes and built form as expressed in the Historic Area Statement, especially as set out under the “Setting, landscaping, streetscape and public realm features” commentary, which seeks to retain the “‘Secluded’ nature of houses, in most cases set well back on their blocks, hidden behind the gardens and hedges.”

In contrast to the above statement the development is not well setback on the block or hidden by landscaping as viewed from the property at 36 Ayres Hill Road.

Areas of concern with the proposed addition relate to the following:

- The proposed additions size, bulk and scale, lack of landscaping and positioning make it the dominant feature of the site.
- The building appearance is dominated by garage doors at the ground level.

I am surprised that the application was not accompanied by a Heritage Assessment considering the impact of the development on the heritage item(s) on the land.

Having regard to the relevant provisions applicable to the State Heritage Place Overlay, the development:

- Involves a large new development adjacent to and dominating to a significant extent the heritage setting of the coach house, with the scale and siting of the new building detracting from the heritage values of the State Heritage Place.
- The design of the new building does not maintain the heritage values of the coach house
- The development is not consistent with boundary setbacks and setting sought.
- The alterations and additions do not complement the State Heritage Place and the additions in particular not are sited to be unobtrusive and as such overly dominate the State Heritage Place and its setting.
- The gardens are not heritage listed or if they are, are not so significant that they require retention in the whole.

3. Easement – stormwater, Ministerial approval required

The development application documents do not adequately address the construction of the building over the easement.

The easement accommodates a sewer line. By reference to the long form easement document (copy attached at Appendix C) the easement is not restricted by a height limit.

Until such time as the approval of the Minister for Infrastructure has been received for construction of the building (new porch roof) over the easement, the application **must be deemed to be hypothetical**.

4. Failure to survey the land

The plans are deficient in that there are no civil plans and there is no survey information provided. Given the proximity of the building to the boundary, such plans must be required by the Council.

Civil plans when provided must give detail of all the proposed cut and fill necessary to accommodate the development and should identify all of the features, including the location of any vegetation impacted by the development, including the location of any trees on the land at 36 Ayres Hill Road, all of which will be impacted by the development.

5. Loss of vegetation on 36 Ayers Hill

The excavations required for the development will undoubtedly result in the loss of all the vegetation along the inside of the adjoining land at 36 Ayres Hill Road (between the property boundary and tennis court fence) which will only serve to exacerbate the highly visual intrusion of the development on the private indoor and outdoor open space and entertaining areas of this property.

6. Application is for 2 dwellings

There is inadequate information provided for the Panel to determine that the nature of the proposed development, noting the studio addition can operate as a dwelling in its own right with minor internal alterations or could operate as tourist accommodation. This needs to be clarified.

7. No information is provided in relation to stormwater management

No civil information is provided on how the extensive stormwater discharge from the development will be managed in accordance with Mount Lofty Ranges Water Supply Catchment (Area 2) Overlay, and in particular how post-development peak stormwater discharge quantities and rates will not exceed pre-development quantities and rates to maintain water quality leaving the site.

The development involves significant excavation of land up to 2.5m in depth. No information is provided as to how stormwater from excavated and filled areas is managed to protect water quality.

8. Conclusion

Having regard to the foregoing I consider that the development fails to have regard to the policy provisions set out in the Code. It fails to meet even the most basic setback requirements, and for all the reasons given above, does not recognise and carefully respond to its natural surroundings or built environment, or positively contribute to the character of

the locality. It involves extensive earthworks and results in the loss of important vegetation on land outside of the development site.

The substantial two storey scale of the building, its proximity to the boundary and removal of vegetation along the common boundary of the land will result in significant visual intrusion and overlooking opportunities of the dwelling at 36 Ayres Hill Road and its internal living spaces (kitchen, dining and family areas) from the paved area at the rear of the building, the raised gardens and to a lesser extent from the proposed conservatory addition to the coach house.

The juxtaposition of the building relative the indoor living spaces will allow the neighbours to look directly into the living areas of 36 Ayers Hill Road.

The visual mass of the development can best be described as substantial when viewed from 36 Ayres Hill Road. Absolutely no consideration has been given screening the building when viewed from this property, achieving appropriate boundary setbacks, finished ground and floor levels to minimise massing or site landscaping to visually screen the development.

In conclusion the development fundamentally fails to have regard to the constraints imposed on the site by the location of the heritage listed building or that component of the land that contains the heritage listed garden.

The Code exists for many reasons, including to provide a fair playing field to the developer and the affected party. The Carney's should not be prejudiced because the owners of 19 Laurel are unable to preserve a garden; or are unable to comply with fire exit requirements, if the required minimum set back is required.

Further, any approval of these plans would potentially create an unfortunate precedent on set-back requirements, and the other plan breaches mentioned in this report, in the Hills precinct. At a minimum the plans should comply with the required set back of at least 4m for the ground floor level and at least 6m for the second level.

There is other siting/design options that could be adopted to retain a significant portion of the gardens (heritage listed or otherwise), to be more respectful of the heritage items on the land and meet (at least) the minimal rear boundary setback of 4m and 6m respectively.

A more modest building that is more responsive to the attributes and features of land, its neighbours and the locality is required, not the edifice proposed.

In my opinion the development fails to have adequate regard to the following provisions of the Code, and should be refused, firstly because it is seriously at variance with the Code but otherwise because of its failure to have regard to the following Code provisions.

Established Neighbourhood Zone

DO 1, PO 3.1, 4.1 and 9.1

Hazards (Bushfire - Medium Risk) Overlay

DO 2, PO 2.1 PO 2.2

Historic Area Overlay

PO 1.1, PO2.2 and the Stirling - Ayres Hill Road Historic Area Statement (AdHi2)

Mount Lofty Ranges Water Supply Catchment (Area 2) Overlay

PO 3.1, 3.5, 3.9, 4.1

State Heritage Place Overlay

PO 1.1, PO 1.3, PO1.4, PO1.5

Alterations and Additions

PO 2.1

Landscape Context and Streetscape Amenity

PO 5.1

Design in Urban Areas

DO 1, PO 8.1, PO 10.2, 20.3, 22.1

Interface between Land Uses

DO 1

I confirm that my client will be represented at the Panel meeting and asks to be given ample time to arrange attendance as necessary.

Yours sincerely



David Hutchison BA, GRAD DIP, PIA RPP
Access Planning (SA) Pty Ltd

APPENDIX A
Renders
and
Photo Montages

APPENDIX B
St Vigeans
Heritage Study

APPENDIX C

Copy of long form easement details

Kim Sharp

From: design@iainmcquin.com
Sent: Wednesday, 28 September 2022 6:02 PM
To: Development Admin
Cc: 'Gavin Carney'; David Hutchison
Subject: 19 Laurel Rd, Stirling DA 22019350 Notification Representation Supplementary Documents
Attachments: 21-9193.DA01.C - Proposed Renders.pdf
Importance: High

[EXTERNAL]

Dear Development Team,

David Hutchison recently made a submission on this item at 19 laurel Rd, Stirling, for which, he outlined that a supplementary suite of pictures were said to be forthcoming.

See these pictures, now attached, in the PDF.

Please confirm receipt of this representation for this item on behalf of David Hutchison.

Regards,
Iain

GENERAL NOTES:

DIMENSIONS ARE APPROXIMATE AND NOT TO BE USED FOR ANY CONSTRUCTION PURPOSES. CONTRACTORS ARE TO CHECK DIMENSIONS PRIOR TO ANY WORKS COMMENCED.

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THIS IS A TOWN PLANNING DRAWING.

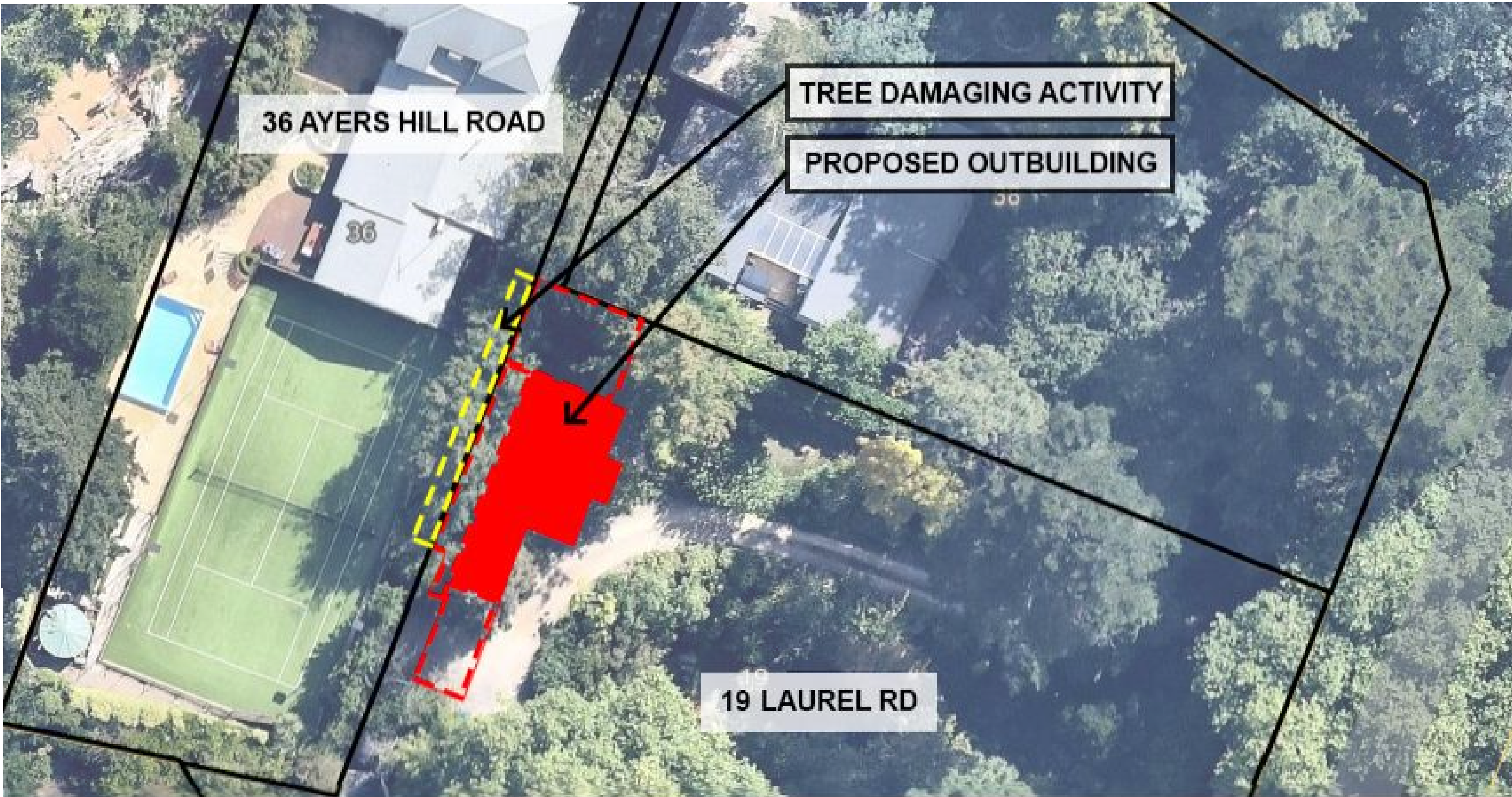


DIAGRAM OF POSITION OF DEVELOPMENT RELATIVE TO REPRESENTOR
NO SCALE



LEVEL 1
235 HENLEY BEACH ROAD
TORRENSVILLE SA 5031

ph 08 8130 7222
e plan@accessplanning.com.au

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PLANNING CONSULTANTS | URBAN DESIGN | SOCIAL PLANNING

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LOCATION
36 AYERS ROAD
STIRLING
PROJECT
REPRESENTATION

CLIENT
GAVIN CARNEY
C-/ ACCESS PLANNING (SA) PTY LTD

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DEVELOPMENT

REVISION AMENDMENTS			
NO.	DESCRIPTION	DATE	BY

COUNCIL ISSUE	IM	27.09.22	C
COUNCIL ISSUE	IM	07.10.21	B
COUNCIL ISSUE	IM	07.10.21	A
issue	checked	date	rev.

SCALE NA
ORIGINAL SIZE A3
DATE 27/09/2022
DRAWN IM
JOB NUMBER 9193
DRAWING NUMBER 9193DA001C

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CURRENT VIEW FROM SEATED POSITION AT DINING TABLE



PROJECTED VIEW AFTER DEVELOPMENT

VIEW FROM REPRESENTORS LAND
NO SCALE



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DEVELOPMENT

REVISION AMENDMENTS			
NO.	DESCRIPTION	DATE	BY

SCALE NA
ORIGINAL SIZE A3
DATE 27/09/2022
DRAWN IM
JOB NUMBER 9193
DRAWING NUMBER 9193DA002C

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CURRENT VIEW FROM DINING ROOM



PROJECTED VIEW AFTER DEVELOPMENT

VIEW FROM REPRESENTORS LAND
NO SCALE



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LOCATION
36 AYERS ROAD
STIRLING
PROJECT
REPRESENTATION

CLIENT
GAVIN CARNEY
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DEVELOPMENT

REVISION AMENDMENTS			
NO.	DESCRIPTION	DATE	BY

SCALE NA
ORIGINAL SIZE A3
DATE 27/09/2022
DRAWN IM
JOB NUMBER 9193
DRAWING NUMBER 9193DA003C

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CURRENT VIEW FROM DINING TABLE



PROJECTED VIEW AFTER DEVELOPMENT

VIEW FROM REPRESENTORS LAND
NO SCALE



LEVEL 1
235 HENLEY BEACH ROAD
TORRENSVILLE SA 5031

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36 AYERS ROAD
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PROJECT
REPRESENTATION

CLIENT
GAVIN CARNEY
C-/ ACCESS PLANNING (SA) PTY LTD

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DEVELOPMENT

REVISION AMENDMENTS			
COUNCIL ISSUE	IM	DATE	REV

SCALE NA
ORIGINAL SIZE A3
DATE 27/09/2022
DRAWN IM
JOB NUMBER 9193
DRAWING NUMBER 9193DA004C

Representations

Representor 2 - Lisa Greenstreet

Name	Lisa Greenstreet
Address	18 Laurel Road STIRLING SA, 5152 Australia
Submission Date	26/09/2022 03:53 PM
Submission Source	Online
Late Submission	No
Would you like to talk to your representation at the decision-making hearing for this development?	No
My position is	I support the development

Reasons

The design of the proposed building is in keeping with the style of the existing Coach House building and I believe it would enhance the property. The proposed hedge plantings around the new building would provide privacy for the surrounding homes and would blend well into the beautiful existing garden. I support this development plan.

Attached Documents

Representations

Representor 3 - Gavin Carney

Name	Gavin Carney
Address	35 Ayers Hill Road STIRLING SA, 5152 Australia
Submission Date	28/09/2022 05:57 PM
Submission Source	Online
Late Submission	No
Would you like to talk to your representation at the decision-making hearing for this development?	Yes
My position is	I oppose the development
Reasons	
Attached documents supplementary submission.	

Attached Documents

21-9193.DA01.C_-_Proposed_Renders-1113965.pdf

File Not Appended

The file below failed to append to this representation. This file is available in the DAP system.

21-9193.DA01.C_-_Proposed_Renders-1113965.pdf

Representations

Representor 4 - Charles Gilchrist

Name	Charles Gilchrist
Address	73 Church Tce WALKERVILLE SA, 5081 Australia
Submission Date	29/09/2022 11:20 PM
Submission Source	Online
Late Submission	No
Would you like to talk to your representation at the decision-making hearing for this development?	No
My position is	I support the development with some concerns
Reasons	I am generally supportive of this application, but I am concerned that some aspects of the proposed partial demolition will diminish the heritage value of the building. In particular, I am concerned about the demolition of the verandah roof structure with its fine iron lattice work as well as parts of the exterior stone wall.

Attached Documents



Associate Professor Ron Danvers LFRAIA, MICOMOS.

danvers.studio - architects

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South Australia 5000.

M: 61 (0)438396657

E: rondanvers@bigpond.com

W: www.danversstudioarchitects.com

05/10/2022

Mr. Sebastien Paraskevopoulos,
Adelaide Hills Council,
Woodside SA 5244.

Dear Mr. Paraskevopoulos,

Application ID – 22019350 - 19 Laurel Road Stirling.

Proposed additions & alterations to the existing St. Vigeans Coach house and new building.

Introduction

Following Public Notification, four submissions were received, one by an Owner of the property at 36, Ayers Hill Road, which referred to and relied upon an attached copy of a separate submission by Access Planning. Two more submissions were generally in favour of the proposed development, although one objected to a minor architectural detail on heritage grounds.

Response

This Application for Planning Consent follows the withdrawal of a previous Application (ID21021696) submitted by Masterplan for a proposed development of larger scale, which included bridging over an existing Sewer Easement to the existing State Heritage Place. The current, subject Application reflects a change in priorities by the property Owners in relation to the future use of the subject property.

The current Application benefitted from consultations between Council's Planning Officer and Masterplan in relation to the difficulties of siting a separate building to contain a Garage and ancillary Studio accommodation, given the various statutory, spatial, visual, historical garden and heritage constraints discussed in the responses below.

The matching submissions by Access Planning and an Owner of the property at 36, Ayers Hill Road are similar in outline and detail to a previous submission relating to the previous withdrawn Application (ID21021696) by Masterplan. It is noted that the representation of the outline of the proposed development of the Garage and ancillary Studio over in the current Application is shown with greatly exaggerated roof ridge height in several Figures in the Access Planning submission.

The points raised in these matching submissions are responded to in detail below.

1. Gavin Carney & David Hutchison – 36 Ayers Hill Rd submission

Siting of the Garage with Studio over

As in the previous Application for Planning Consent (ID 21021696) it should be noted that development on the site is constrained by a number of factors:

- The existing State Heritage Place is in the rear SW corner of the site and accessed via a curved driveway with rising land from the upper driveway to the boundary on its western side and falling land on its eastern side, made steeper by the forming of the driveway itself. The upper driveway is crossed by a Sewer Easement adjacent to the State Heritage Place.
- Because of the close proximity of property boundaries and the Sewer Easement to the existing State Heritage Place, a previously converted Coach House, only minor building additions are possible to add to its usable floor area for the purpose of achieving adequate accommodation as a desirable residence. Therefore, additional floor area is required to be constructed on the northern side of the existing Sewer Easement, including for a Garage and supplementary floor area for ancillary accommodation in the form of a Studio.
- Building on or over the existing upper driveway or on its eastern side would also detract visually from the setting of the State Heritage Place.
- A site for a new building to house the required additional accommodation (Garage and Studio) on the western side of the upper driveway has the advantage that it preserves the setting of the State Heritage Place, but space in this location is severely constrained by the need to provide access for emergency vehicles in the form of a 'Y' configuration in the driveway.

The planting (trees and shrubs) on the western side of the driveway is considered to be of low value, whereas the planting (trees and shrubs) on its eastern side, although not protected under the State Heritage listing, is considered to be of high value, with an historically established garden structure of paths and garden features, including a pond.

The land on the eastern side of the driveway falls steeply, taking the form of a small gully where the driveway turns eastwards to Laurel Road. It would not be possible to shift the driveway in this corner without the construction of massive retaining walls or embankments to accommodate the required driveway 'Y' configuration, which would also detract visually from the setting of the State Heritage Place and the structure and planting of the historically established garden.

As shown on the Site Plan A01 in the Application, the required driveway 'Y' configuration can only be accommodated without major structural intervention at the point where the existing driveway bends, by excavating on its northern side to extend the driveway to accommodate the other branch of the 'Y' shape. This is also the only location with sufficient depth to the western boundary to accommodate a Garage. A Garage of depth 6.6m can be accommodated within the crux of the 'Y' shape with a set-back from the western boundary of 2.0m.

As can be seen on Drawing A12R Studio Elevations in the Application, the Garage would not be visible from the adjoining property to the rear, 36, Ayers Hill Road, because the Garage floor level is almost 4.0m below the level of the existing Tennis Court on that property

A storey over the Garage to accommodate a Studio would be visible from the adjoining property to the rear, but only as a single storey structure - set-back 2.0m from the western boundary. With reference to Council's correspondence of November 22, 2021 to Masterplan regarding the previous Application (ID 21021696), a set-back of this order 'would have an increased chance of approval'. As can be seen from the Site Plan A01, due to the many constraints described above, this location is the only one with sufficient depth to accommodate a Garage with Studio above.

The alignment of the Studio storey over the Garage as proposed corresponds with the northern end of the Tennis Court alignment on the adjoining 36 Ayers Hill Road property to the rear. The Residence on this property is further to the north and its SE corner aligns with the proposed Courtyard garden in the NW corner of the site, which is 1.26m lower than the Tennis Court level and screened by an existing fast growing Pittosporum hedge already at least 3.0m high. At the southern end of this hedge is an existing unsightly metal shed built to the boundary, to be demolished. It should be noted that the Studio is proposed as ancillary accommodation and therefore not likely to generate high level of activity, and the hedge screened, proposed Courtyard garden even less.

On the adjoining property to the rear there is a 0.9m wide strip of land between the common boundary and the Tennis Court. Planting on the strip already provides a degree of screening in alignment with the proposed development and an ample opportunity for additional screening by the adjoining Owner if required.

The adjoining large Residence at 36, Ayers Hill Road is set back from boundaries with views on all sides. As can be seen in the Site Plan on page 5 of the Access Planning submission, the visual outline of the proposed development affects only an oblique view from its SE corner windows with ample opportunity for screening if desired. There is no right under the Code for adjoining properties to have borrowed landscape preserved, and the siting and design of the proposed development has given consideration to the location of the adjoining Residence at 36, Ayers Hill Road and taken steps in the design to minimize visual impact and also taken advantage of existing mature screen planting to achieve privacy between the two properties.

Overlooking

The new building will be visible as only a single storey from the property at 36, Ayers Hill Road and there are no windows or doors facing the common boundary. The boundary is screened by an existing mature Pittosporum hedge adjacent to the SE corner of the existing Residence on the property.

The Courtyard Garden is 1.26m lower than the Tennis Court on the adjoining property and screened by an existing fast growing, mature Pittosporum hedge of at least 3.0m in height – see photo attached. This hedge will be extended if and as necessary to ensure that privacy between the properties is achieved. At the southern end of the existing hedge is an unattractive metal Shed built to the boundary - to be demolished. There will therefore be less visual access to the living areas of the adjoining property than presently exists around the existing Shed.

The floor level of the Residence at 36 Ayers Hill Road is said by Access Planning in its submission to be approximately 2.0m above the Tennis Court level, and therefore consequently approximately 3.2m above the proposed Courtyard garden. This floor level is therefore about 0.4m above the gutter level of the proposed new building, which makes projected eye level of a person standing inside the Residence slightly below ridge level of the proposed new building. This eye level can be seen in the photos (Figures 2 and 3) in the Access Planning submission, corresponding with the level of the top of the existing Tennis Court fence. The ridge line of the proposed development is shown as approximately 0.3m above this level, demonstrating that the view over the proposed development from the interior of the Residence at 36, Ayers Hill Road will include the canopies of more distant trees.

It should be noted that on drawing 9193DA004C and other Figures in the Access Planning submission, the ridge line of the roof of the proposed development is shown much higher than it would actually be.

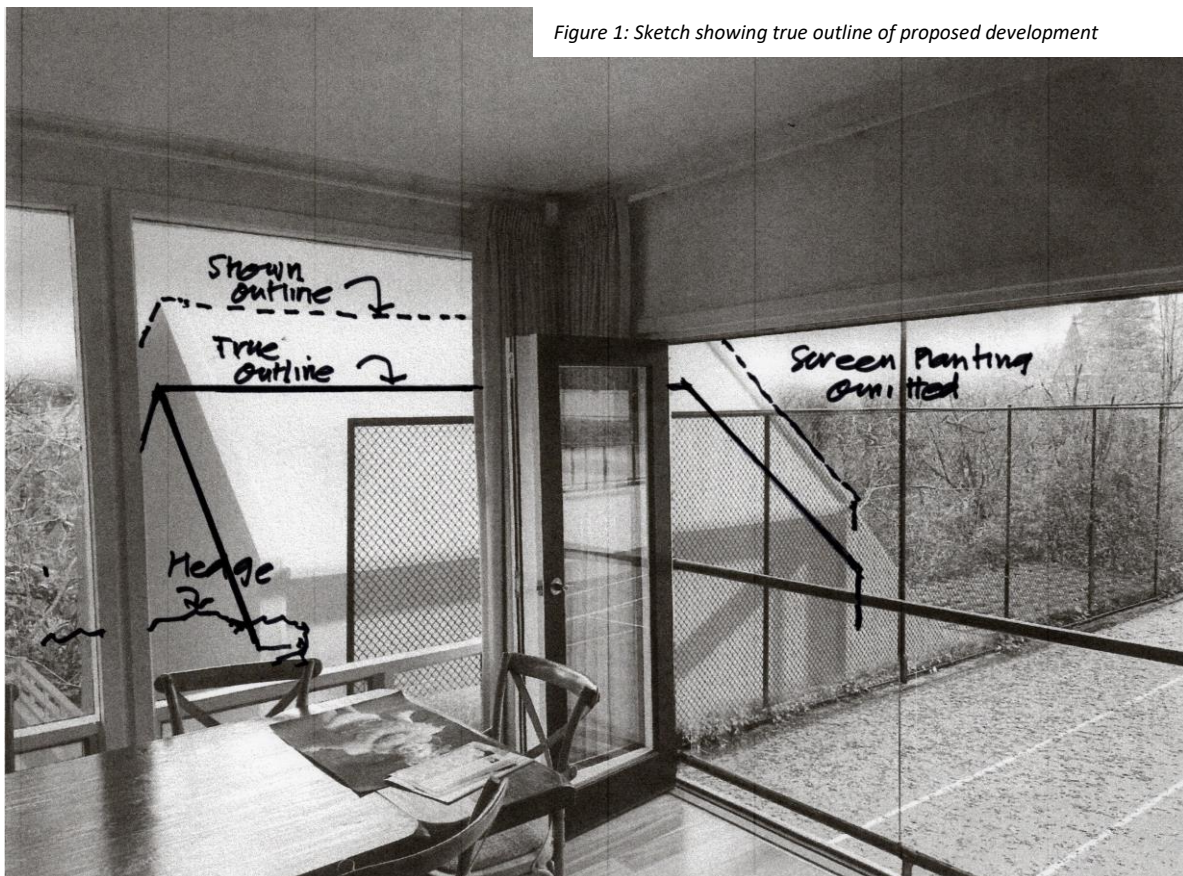


Figure 1: Sketch showing true outline of proposed development

The section and site plan drawings included below shows that a high level of visual privacy between the properties will be achieved and that there will be minimal visual impact created by the form and scale of the proposed new building when viewed from within the Residence at 36 Ayers Hill Road. A viewer in the proposed Courtyard garden will not be able to see into the adjoining Residence.

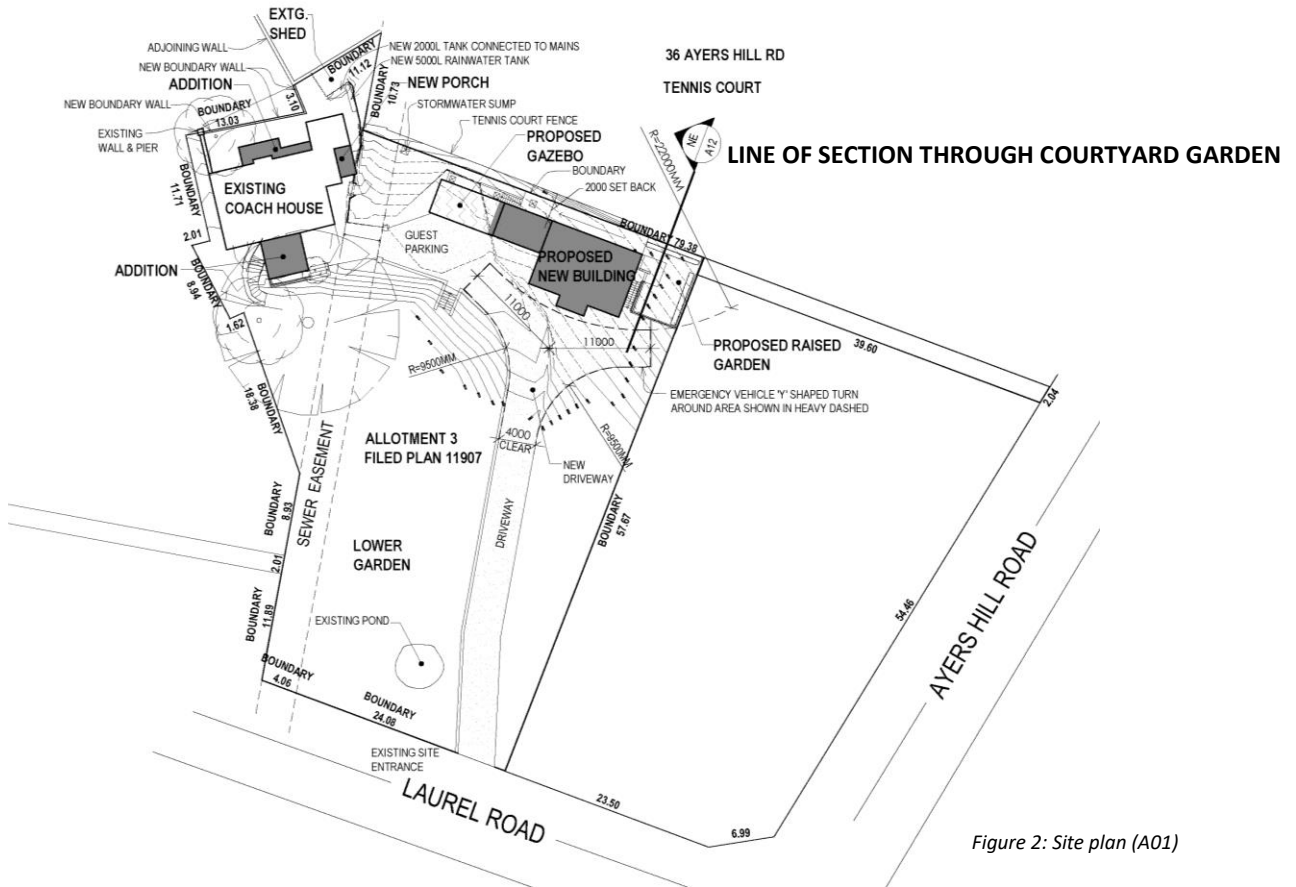


Figure 2: Site plan (A01)

It is arguable that construction of the proposed development will create greater privacy between the two properties, particularly on occasions when the Tennis Court is in use, and also it will hide from view the unsightly concrete Tennis Court retaining wall 0.9m from the common boundary.

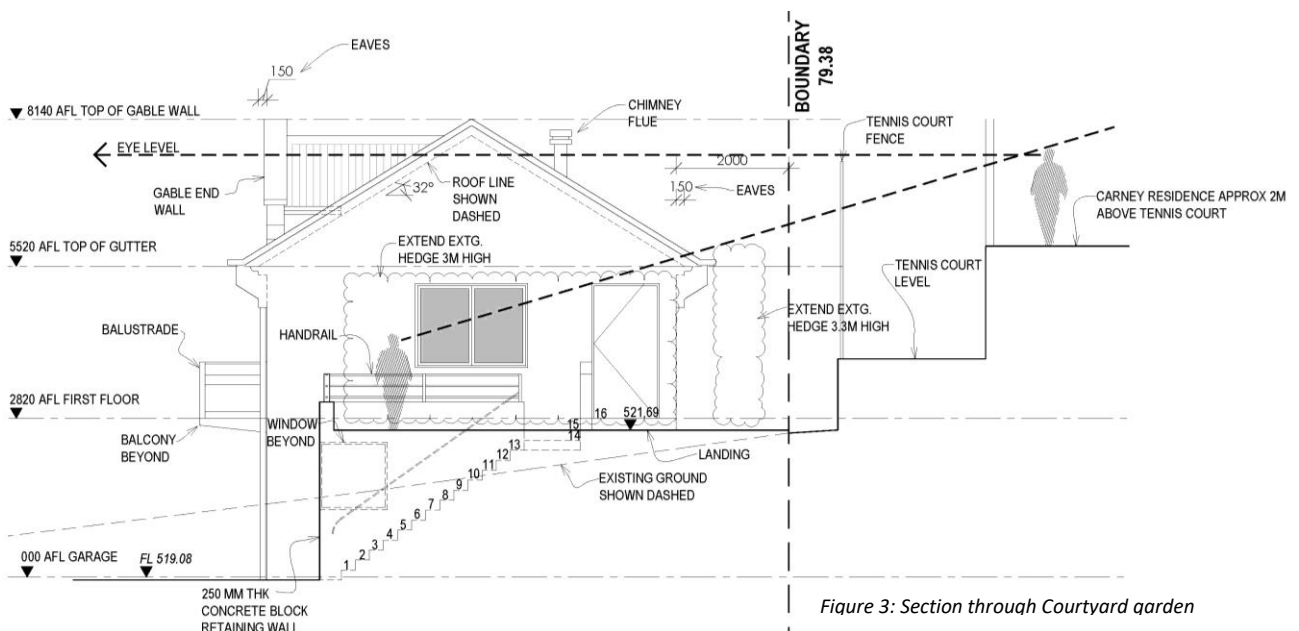


Figure 3: Section through Courtyard garden



Figure 4: North-West corner of 19 laurel Rd showing existing shed & hedge

Heritage garden

The garden below the driveway was at an earlier date an important component of the renowned St Vigeans' garden. It has structure in the form of pathways and levels and garden features, including a pond. It has mature planting in trees and shrubs. It was separated from the main garden when the Sewer Easement was constructed and perhaps partly for this reason was not included in the State Heritage listing. Never-the-less, it is historically significant as a remnant of the extensive St Vigeans' gardens and therefore worthy of preservation. Photos of this garden were included in the recent publication 'Adelaide Hills Gardens' by Christine Mccabe.

Historic Area Overlay

The Application has been Referred for heritage impact assessment to Heritage SA who have advised that the proposed development is supported with Conditions.

Easement

It is not intended to construct any part of the proposed development on or over the existing Sewer Easement.

Land Survey

The land was surveyed by Alexander Symonds Surveyors and site levels are shown on the Site Plan A01.

Loss of vegetation at 36, Ayers Hill Road

There is no right to preserve borrowed landscape in the Code and the tree and shrub removal involved does not include anything otherwise protected.

Storm-water Management

An application for Building Rules Consent will include full Hydraulic Engineering design, including for storm-water management.

Application for two dwellings?

The Application is for one dwelling with a separate Garage with ancillary Studio accommodation over, as permitted under the Code. It is not a separate residence.

Visual impact

The proposed Garage with Studio over measures in plan 10.4m wide x 7.27m deep, a footprint of 75.6 m², or less than 1/2 of the footprint of an average suburban residence. It is designed in modest architectural style, sympathetic in scale and form to the that of the existing State Heritage Place on the site. It will have neutral external colours and may only be glimpsed from Laurel Road.

The new building will be visible as only a single storey from the property at 36, Ayers Hill Road and there are no windows or doors facing the common boundary. The boundary is screened by an existing Pittosporum hedge adjacent to the SE corner of the existing Residence on the property. The proposed building will replace an existing unsightly Shed built to the boundary.

Fireplace Flue

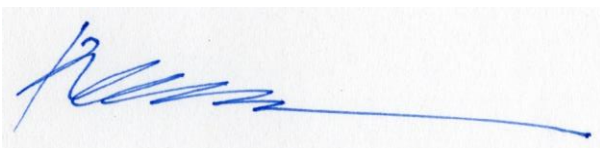
The proposed fireplace flue is located such that approximately 85% of prevailing Winter winds will carry any smoke away from the western boundary.

2. Charles Gilchrist submission

Iron Lacework on Verandah

The Application has been supported by State Heritage in all its detail with Conditions. The lacework on the existing Verandah on the northern side of the State Heritage Place is not original, but added when the existing Verandah was constructed in the 20th Century. The proposed enclosed Verandah structure closely resembles the form of the original Verandah.

Yours Sincerely,



Ron Danvers
danvers.studio - architects



Heritage South Australia

Environment, Heritage and
Sustainability Division

81-95 Waymouth Street
Adelaide SA 5000

GPO Box 1047
Adelaide SA 5001
Australia
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Fax: +61 8 8124 4980

www.environment.sa.gov.au

Ref: SH/11570D
Date: 26 August 2022

Adelaide Hills Council
PO Box 44
Woodside 5244

Attention: Seb Paraskevopoulos

Dear Mr Paraskevopoulos

DESCRIPTION: DETACHED DWELLING ALTERATIONS AND ADDITIONS (INCLUDING PARTIAL DEMOLITION OF A STATE HERITAGE PLACE), COMBINED ANCILLARY ACCOMMODATION AND GARAGE, PERGOLA, WATER TANK, AND RETAINING WALLS

Application number:	22019350
Referral received:	14/07/2022
State Heritage Place:	St Vigeans Estate (Main House and surrounding Garden and Former Stables & Coach House) - 17 Laurel Road, Stirling
Documentation:	As referred to date of response
<input checked="" type="checkbox"/>	Support the application

In accordance with Section 122(1) of the Planning, Development and Infrastructure Act 2016 and Regulation 41(1) of the Planning, Development and Infrastructure (General) Regulations 2017, the above application has been referred to the Minister for Climate, Environment and Water as the prescribed body listed in Schedule 9 Clause 3 Item 17 of the Regulations.

The subject land is contained within the State Heritage Place Overlay of the Planning and Design Code.

The proposed development is considered to be acceptable in relation to the above State Heritage Place for the following reason/s.

- Conservation and upgrade works proposed to the coach house follow common practice conservation methods.
- Proposed works to the coach house will remove later additions/ changes and incorporate a verandah more closely matching the original in form. Proposed dormer windows are compatible in scale, material and style to the existing coach house. Internal changes proposed remove non-significant building fabric and will not adversely affect the remaining heritage features of the interior.
- While the proposed enclosure of the front verandah (to form a sunroom) will adversely affect views of the front of the coach house, the impact is of a minor nature and reversible into the future and is not of heritage concern.
- The proposed glazed 'juliet' balcony will not be seen from the front of the coach house. It will be partly visible from St Vigeans' residence, but will be transparent and mostly screened by fencing.
- Proposed studio building is much smaller in scale than the previous proposal and is compatible in form, scale, roof pitch and material, within the setting of the coach house and adjacent residence. Further, the proposed studio will not be seen in significant views of the main residence and heritage listed garden, as the building is to be located some

distance from both and is masked from view due to existing boundary fencing and general topography.

General notes

1. Any changes to the proposal for which Planning Consent is sought or granted may give rise to heritage impacts requiring further consultation with the Department for Environment and Water, or an additional referral to the Minister for Climate, Environment and Water. Such changes would include for example (a) an application to vary the Planning Consent, or (b) Building Rules documentation that incorporates differences from the proposal as documented in the development application.

2. Please note the following requirements of the *Heritage Places Act 1993*.
 - (a) If an archaeological artefact believed to be of heritage significance is encountered during excavation works, disturbance in the vicinity must cease and the SA Heritage Council must be notified.
 - (b) Where it is known in advance (or there is reasonable cause to suspect) that significant archaeological artefacts may be encountered, a permit is required prior to commencing excavation works.For further information, contact the Department for Environment and Water.

3. Please note the following requirements of the *Aboriginal Heritage Act 1988*.
 - (a) If Aboriginal sites, objects or remains are discovered during excavation works, the Aboriginal Heritage Branch of the Aboriginal Affairs and Reconciliation Division of the Department of the Premier and Cabinet (as delegate of the Minister) is to be notified under Section 20 of the *Aboriginal Heritage Act 1988*.

Any enquiries in relation to this application should be directed to telephone (08) 8124 4922 or e-mail DEW.StateHeritageDA@sa.gov.au.

Yours sincerely



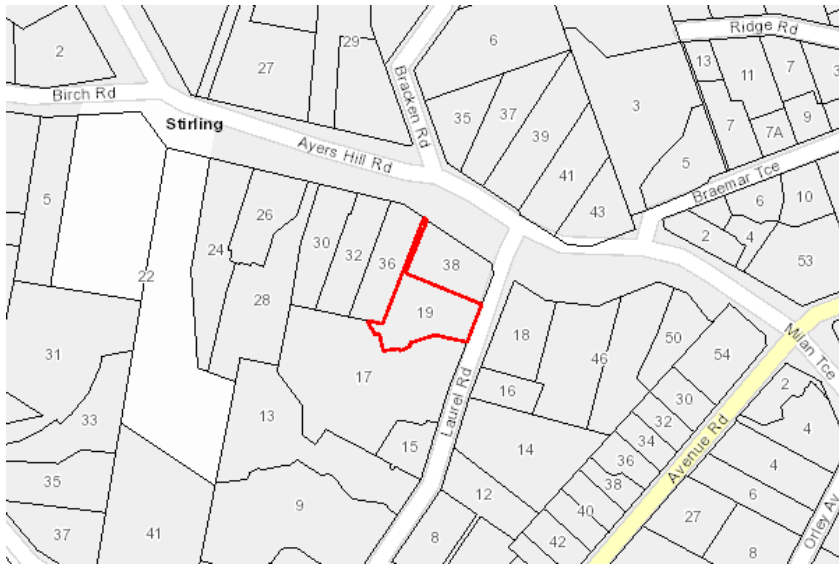
Michael Queale
Principal Heritage Conservation Architect
Department for Environment and Water
as delegate of the
MINISTER FOR CLIMATE, ENVIRONMENT AND WATER

19 LAUREL RD STIRLING SA 5152

Address:

Click to view a detailed interactive [SAILIS](#) in SAILIS

To view a detailed interactive property map in SAPPa click on the map below



Property Zoning Details

Local Variation (TNV)

- Minimum Site Area (*Minimum site area is 2,000 sqm*)
- Maximum Building Height (Levels) (*Maximum building height is 2 levels*)
- Minimum Side Boundary Setback (*Minimum side boundary setback is 2m*)
- Site Coverage (*Maximum site coverage is 50 per cent*)

Overlay

- Historic Area (*AdHi2*)
- Hazards (Bushfire - Medium Risk)
- Hazards (Flooding - Evidence Required)
- Limited Land Division
- Mount Lofty Ranges Water Supply Catchment (Area 2)
- Native Vegetation
- Prescribed Water Resources Area
- Regulated and Significant Tree
- State Heritage Place (*15029*)
- Stormwater Management
- Urban Tree Canopy

Zone

- Established Neighbourhood

Selected Development(s)

Dwelling addition

This development may be subject to multiple assessment pathways. Please review the document below to determine which pathway may be applicable based on the proposed development compliances to standards.

If no assessment pathway is shown this mean the proposed development will default to performance assessed. Please contact your local council in this instance. Refer to Part 1 - Rules of Interpretation - Determination of Classes of Development

Property Policy Information for above selection

Part 2 - Zones and Sub Zones

Established Neighbourhood Zone

Assessment Provisions (AP)

Desired Outcome	
DO 1	A neighbourhood that includes a range of housing types, with new buildings sympathetic to the predominant built form character and development patterns.
DO 2	Maintain the predominant streetscape character, having regard to key features such as roadside plantings, footpaths, front yards, and space between crossovers.

Performance Outcomes (PO) and Deemed to Satisfy (DTS) / Designated Performance Feature (DPF) Criteria

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature		
Site coverage			
<p>PO 3.1</p> <p>Building footprints are consistent with the character and pattern of the neighbourhood and provide sufficient space around buildings to limit visual impact, provide an attractive outlook and access to light and ventilation.</p>	<p>DTS/DPF 3.1</p> <p>Development does not result in site coverage exceeding:</p> <table border="1" style="width: 100%; margin: 5px 0;"> <thead> <tr> <th style="text-align: center;">Site Coverage</th> </tr> </thead> <tbody> <tr> <td style="text-align: center;">Maximum site coverage is 50 per cent</td> </tr> </tbody> </table> <p>In instances where:</p> <ul style="list-style-type: none"> (a) no value is returned (i.e. there is a blank field), then a maximum 50% site coverage applies (b) more than one value is returned in the same field, refer to the Site Coverage Technical and Numeric Variation layer in the SA planning database to determine the applicable value relevant to the site of the proposed development. 	Site Coverage	Maximum site coverage is 50 per cent
Site Coverage			
Maximum site coverage is 50 per cent			
Building Height			
<p>PO 4.1</p> <p>Buildings contribute to the prevailing character of the neighbourhood and complements the height of nearby buildings.</p>	<p>DTS/DPF 4.1</p> <p>Building height (excluding garages, carports and outbuildings) is no greater than:</p> <ul style="list-style-type: none"> (a) the following: <table border="1" style="width: 100%; margin: 5px 0;"> <thead> <tr> <th style="text-align: center;">Maximum Building Height (Levels)</th> </tr> </thead> <tbody> <tr> <td style="text-align: center;">Maximum building height is 2 levels</td> </tr> </tbody> </table> <ul style="list-style-type: none"> (b) in all other cases (i.e. there are blank fields for both maximum building height (metres) and maximum building height (levels)) - 2 building levels up to a height of 9m. <p>In relation to DTS/DPF 4.1, in instances where:</p>	Maximum Building Height (Levels)	Maximum building height is 2 levels
Maximum Building Height (Levels)			
Maximum building height is 2 levels			

	<p>(c) more than one value is returned in the same field, refer to the <i>Maximum Building Height (Levels) Technical and Numeric Variation layer</i> or <i>Maximum Building Height (Meters) Technical and Numeric Variation layer</i> in the SA planning database to determine the applicable value relevant to the site of the proposed development.</p> <p>(d) only one value is returned for DTS/DPF 4.1(a) (i.e. there is one blank field), then the relevant height in metres or building levels applies with no criteria for the other.</p>		
<p>PO 4.2</p> <p>Additions and alterations do not adversely impact on the streetscape character.</p>	<p>DTS/DPF 4.2</p> <p>Additions and alterations:</p> <p>(a) are fully contained within the roof space of a building with no external alterations made to the building elevation facing the primary street</p> <p>or</p> <p>(b) meet all of the following:</p> <p>(i) do not include any development forward of the front façade building line</p> <p>(ii) where including a second or subsequent building level addition, does not project beyond a 45 degree angle measured from ground level at the building line of the existing building.</p>		
<p>Secondary Street Setback</p>			
<p>PO 6.1</p> <p>Buildings are set back from secondary street boundaries (not being a rear laneway) to maintain the established pattern of separation between buildings and public streets and reinforce streetscape character.</p>	<p>DTS/DPF 6.1</p> <p>Building walls are set back from the secondary street boundary (other than a rear laneway):</p> <p>(a) no less than:</p> <table border="1" data-bbox="831 1267 1520 1346"> <tr> <td style="text-align: center;">Minimum Side Boundary Setback</td> </tr> <tr> <td>Minimum side boundary setback is 2m</td> </tr> </table> <p>or</p> <p>(b) 900mm, whichever is greater</p> <p>or</p> <p>(c) if a dwelling on any adjoining allotment is closer to the secondary street, the distance of that dwelling from the boundary with the secondary street.</p> <p>In instances where no value is returned in DTS/DPF 6.1(a) (i.e. there is a blank field), then it is taken that the value for DTS/DPF 6.1(a) is zero.</p>	Minimum Side Boundary Setback	Minimum side boundary setback is 2m
Minimum Side Boundary Setback			
Minimum side boundary setback is 2m			
<p>Boundary Walls</p>			
<p>PO 7.1</p> <p>Dwelling boundary walls are limited in height and length to manage visual and overshadowing impacts on adjoining properties.</p>	<p>DTS/DPF 7.1</p> <p>Dwellings do not incorporate side boundary walls where a side boundary setback value is returned in (a) below:</p> <p>(a)</p>		

	<p style="text-align: center;">Minimum Side Boundary Setback</p> <p>Minimum side boundary setback is 2m</p> <p>or</p> <p>(b) where no side boundary setback value is returned in (a) above, and except where the dwelling is located on a central site within a row dwelling or terrace arrangement, side boundary walls occur only on one side boundary and satisfy (i) or (ii) below:</p> <p>(i) side boundary walls adjoin or abut a boundary wall of a building on adjoining land for the same or lesser length and height</p> <p>(ii) side boundary walls do not:</p> <p>A. exceed 3.2m in height from the lower of the natural or finished ground level</p> <p>B. exceed 8m in length</p> <p>C. when combined with other walls on the boundary of the subject development site, exceed a maximum 45% of the length of the boundary</p> <p>D. encroach within 3m of any other existing or proposed boundary walls on the subject land.</p>
<p>PO 7.2</p> <p>Dwellings in a semi-detached, row or terrace arrangement maintain space between buildings consistent with a low density suburban streetscape character.</p>	<p>DTS/DPF 7.2</p> <p>Dwellings in a semi-detached, row or terrace arrangement are setback from side boundaries shared with allotments outside the development site at least the minimum distance identified in Established Neighbourhood Zone DTS/DPF 8.1.</p>
Side Boundary Setback	
<p>PO 8.1</p> <p>Buildings are set back from side boundaries to provide:</p> <p>(a) separation between buildings in a way that complements the established character of the locality</p> <p>(b) access to natural light and ventilation for neighbours.</p>	<p>DTS/DPF 8.1</p> <p>Other than walls located on a side boundary in accordance with Established Neighbourhood Zone DTS/DPF 7.1, building walls are set back from the side boundary:</p> <p>(a) no less than:</p> <p style="text-align: center;">Minimum Side Boundary Setback</p> <p>Minimum side boundary setback is 2m</p> <p>(b) in all other cases (i.e. there is a blank field), then:</p> <p>(i) at least 900mm where the wall is up to 3m</p> <p>(ii) other than for a south facing wall, at least 900mm plus 1/3 of the wall height above 3m</p> <p>(iii) at least 1.9m plus 1/3 of the wall height above 3m for south facing walls.</p>
Rear Boundary Setback	
<p>PO 9.1</p> <p>Buildings are set back from rear boundaries to provide:</p> <p>(a) separation between dwellings in a way that</p>	<p>DTS/DPF 9.1</p> <p>Other than in relation to an access lane way, buildings are set back from the rear boundary at least:</p>

<ul style="list-style-type: none"> (b) complements the established character of the locality (c) access to natural light and ventilation for neighbours (d) private open space (e) space for landscaping and vegetation. 	<ul style="list-style-type: none"> (a) 4m for the first building level (b) 6m for any second building level.
Appearance	
<p>PO 10.1</p> <p>Garages and carports are designed and sited to be discrete and not dominate the appearance of the associated dwelling when viewed from the street.</p>	<p>DTS/DPF 10.1</p> <p>Garages and carports facing a street (other than an access lane way):</p> <ul style="list-style-type: none"> (a) are set back at least 0.5m behind the building line of the associated dwelling (b) are set back at least 5.5m from the boundary of the primary street (c) have a total garage door / opening width not exceeding 30% of the allotment or site frontage, to a maximum width of 7m.
<p>PO 10.2</p> <p>The appearance of development as viewed from public roads is sympathetic to the wall height, roof forms and roof pitches of the predominant housing stock in the locality.</p>	<p>DTS/DPF 10.2</p> <p>None are applicable.</p>

Table 5 - Procedural Matters (PM) - Notification

The following table identifies, pursuant to section 107(6) of the *Planning, Development and Infrastructure Act 2016*, classes of performance assessed development that are excluded from notification. The table also identifies any exemptions to the placement of notices when notification is required.

Interpretation

Notification tables exclude the classes of development listed in Column A from notification provided that they do not fall within a corresponding exclusion prescribed in Column B.

Where a development or an element of a development falls within more than one class of development listed in Column A, it will be excluded from notification if it is excluded (in its entirety) under any of those classes of development. It need not be excluded under all applicable classes of development.

Where a development involves multiple performance assessed elements, all performance assessed elements will require notification (regardless of whether one or more elements are excluded in the applicable notification table) unless every performance assessed element of the application is excluded in the applicable notification table, in which case the application will not require notification.

<p>Class of Development (Column A)</p>	<p>Exceptions (Column B)</p>
<p>1. Development which, in the opinion of the relevant authority, is of a minor nature only and will not unreasonably impact on the owners or occupiers of land in the locality of the site of the development.</p>	<p>None specified.</p>
<p>2. All development undertaken by:</p> <ul style="list-style-type: none"> (a) the South Australian Housing Trust either individually or jointly with other persons or bodies or (b) a provider registered under the Community Housing National Law participating in a 	<p>Except development involving any of the following:</p> <ul style="list-style-type: none"> 1. residential flat building(s) of 3 or more building levels 2. the demolition of a State or Local Heritage Place 3. the demolition of a building (except an ancillary building) in a Historic Area Overlay.

<p>program relating to the renewal of housing endorsed by the South Australian Housing Trust.</p>	
<p>3. Any development involving any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> (a) air handling unit, air conditioning system or exhaust fan (b) ancillary accommodation (c) building work on railway land (d) carport (e) deck (f) dwelling (g) dwelling addition (h) fence (i) outbuilding (j) pergola (k) private bushfire shelter (l) residential flat building (m) retaining wall (n) shade sail (o) solar photovoltaic panels (roof mounted) (p) swimming pool or spa pool (q) verandah (r) water tank. 	<p>Except development that:</p> <ul style="list-style-type: none"> 1. exceeds the maximum building height specified in Established Neighbourhood Zone DTS/DPF 4.1 or 2. involves a building wall (or structure) that is proposed to be situated on (or abut) an allotment boundary (not being a boundary with a primary street or secondary street or an excluded boundary) and: <ul style="list-style-type: none"> (a) the length of the proposed wall (or structure) exceeds 8m (other than where the proposed wall abuts an existing wall or structure of greater length on the adjoining allotment) or (b) the height of the proposed wall (or post height) exceeds 3.2m measured from the lower of the natural or finished ground level (other than where the proposed wall abuts an existing wall or structure of greater height on the adjoining allotment).
<p>4. Any development involving any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> (a) consulting room (b) office (c) shop. 	<p>Except development that:</p> <ul style="list-style-type: none"> 1. does not satisfy Established Neighbourhood Zone DTS/DPF 1.2 or 2. exceeds the maximum building height specified in Established Neighbourhood Zone DTS/DPF 4.1 or 3. involves a building wall (or structure) that is proposed to be situated on (or abut) an allotment boundary (not being a boundary with a primary street or secondary street or an excluded boundary) and: <ul style="list-style-type: none"> (a) the length of the proposed wall (or structure) exceeds 8m (other than where the proposed wall abuts an existing wall or structure of greater length on the adjoining allotment) or (b) the height of the proposed wall (or post height) exceeds 3.2m measured from the lower of the natural or finished ground level (other than where the proposed wall abuts an existing wall or structure of greater height on the adjoining allotment).
<p>5. Any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> (a) internal building works (b) land division (c) recreation area (d) replacement building 	<p>None specified.</p>

<ul style="list-style-type: none"> (e) temporary accommodation in an area affected by bushfire (f) tree damaging activity. 	
<p>6. Demolition.</p>	<p>Except any of the following:</p> <ol style="list-style-type: none"> 1. the demolition of a State or Local Heritage Place 2. the demolition of a building (except an ancillary building) in a Historic Area Overlay.

Placement of Notices - Exemptions for Performance Assessed Development

None specified.

Placement of Notices - Exemptions for Restricted Development

None specified.

Part 3 - Overlays

Hazards (Bushfire - Medium Risk) Overlay

Assessment Provisions (AP)

Desired Outcome	
DO 1	Development, including land division responds to the medium level of bushfire risk and potential for ember attack and radiant heat by siting and designing buildings in a manner that mitigates the threat and impact of bushfires on life and property taking into account the increased frequency and intensity of bushfires as a result of climate change.
DO 2	To facilitate access for emergency service vehicles to aid the protection of lives and assets from bushfire danger.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Siting	
<p>PO 1.1</p> <p>Buildings and structures are located away from areas that pose an unacceptable bushfire risk as a result of vegetation cover and type, and terrain.</p>	<p>DTS/DPF 1.1</p> <p>None are applicable.</p>
Built Form	
<p>PO 2.1</p> <p>Buildings and structures are designed and configured to reduce the impact of bushfire through using designs that reduce the potential for trapping burning debris against or underneath the building or structure, or between the ground and building floor level in the case of transportable buildings and buildings on stilts.</p>	<p>DTS/DPF 2.1</p> <p>None are applicable.</p>

<p>PO 2.2</p> <p>Extensions to buildings, outbuildings and other ancillary structures are sited and constructed using materials to minimise the threat of fire spread to residential and tourist accommodation (including boarding houses, hostels, dormitory style accommodation, student accommodation and Workers' accommodation) in the event of bushfire.</p>	<p>DTS/DPF 2.2</p> <p>Outbuildings and other ancillary structures are sited no closer than 6m from the habitable building.</p>
<p>Habitable Buildings</p>	
<p>PO 3.1</p> <p>To minimise the threat, impact and potential exposure to bushfires on life and property, residential and tourist accommodation and habitable buildings for vulnerable communities (including boarding houses, hostels, dormitory style accommodation, student accommodation and workers' accommodation) is sited on the flatter portion of allotments away from steep slopes.</p>	<p>DTS/DPF 3.1</p> <p>None are applicable.</p>
<p>PO 3.2</p> <p>Residential, tourist accommodation and habitable buildings for vulnerable communities (including boarding houses, hostels, dormitory style accommodation, student accommodation and workers' accommodation) is sited away from vegetated areas that pose an unacceptable bushfire risk.</p>	<p>DTS/DPF 3.2</p> <p>Residential, tourist accommodation and habitable buildings for vulnerable communities are provided with asset protection zone(s) in accordance with (a) and (b):</p> <ul style="list-style-type: none"> (a) the asset protection zone has a minimum width of at least: <ul style="list-style-type: none"> (i) 50 metres to unmanaged grasslands (ii) 100 metres to hazardous bushland vegetation (b) the asset protection zone is contained wholly within the allotment of the development.
<p>PO 3.3</p> <p>Residential, tourist accommodation and habitable buildings for vulnerable communities, (including boarding houses, hostels, dormitory style accommodation, student accommodation and workers' accommodation), has a dedicated area available that is capable of accommodating a bushfire protection system comprising firefighting equipment and water supply in accordance with <i>Ministerial Building Standard MBS 008 - Designated bushfire prone areas - additional requirements</i>.</p>	<p>DTS/DPF 3.3</p> <p>None are applicable.</p>
<p>Vehicle Access - Roads, Driveways and Fire Tracks</p>	
<p>PO 5.2</p> <p>Access to habitable buildings is designed and constructed to facilitate the safe and effective:</p> <ul style="list-style-type: none"> (a) access, operation and evacuation of fire-fighting vehicles and emergency personnel (b) evacuation of residents, occupants and visitors. 	<p>DTS/DPF 5.2</p> <p>Access is in accordance with (a) or (b):</p> <ul style="list-style-type: none"> (a) a clear and unobstructed vehicle or pedestrian pathway of not greater than 60 metres in length is available between the most distant part of the habitable building and the nearest part of a formed public access road (b) driveways: <ul style="list-style-type: none"> (i) do not exceed 600m in length (ii) are constructed with a formed, all-weather surface (iii) are connected to a formed, all-weather public road with the transition area between the road

	<p>and driveway having a gradient of not more than 7 degrees (1-in-8)</p> <ul style="list-style-type: none"> (iv) have a gradient of not more than 16 degrees (1-in-3.5) at any point along the driveway (v) have a crossfall of not more than 6 degrees (1-in-9.5) at any point along the driveway (vi) have a minimum formed width of 3m (4m where the gradient of the driveway is steeper than 12 degrees (1-in-4.5)) plus 0.5 metres clearance either side of the driveway from overhanging branches or other obstructions, including buildings and/or structures (Figure 1) (vii) incorporate passing bays with a minimum width of 6m and length of 17m every 200m (Figure 5) (viii) provide overhead clearance of not less than 4.0m between the driveway surface and overhanging branches or other obstructions, including buildings and/or structures (Figure 1) (ix) allow fire-fighting services (personnel and vehicles) to travel in a continuous forward movement around driveway curves by constructing the curves with a minimum external radius of 12.5m (Figure 2) (x) allow fire-fighting vehicles to safely enter and exit an allotment in a forward direction by using a 'U' shaped drive through design or by incorporating at the end of the driveway either: <ul style="list-style-type: none"> A. a loop road around the building or B. a turning area with a minimum radius of 12.5m (Figure 3) or C. a 'T' or 'Y' shaped turning area with a minimum formed length of 11m and minimum internal radii of 9.5m (Figure 4) (xi) incorporate solid, all-weather crossings over any watercourse that support fire-fighting vehicles with a gross vehicle mass (GVM) of 21 tonnes.
<p>PO 5.3</p> <p>Development does not rely on fire tracks as means of evacuation or access for fire-fighting purposes unless there are no safe alternatives available.</p>	<p>DTS/DPF 5.3</p> <p>None are applicable.</p>

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

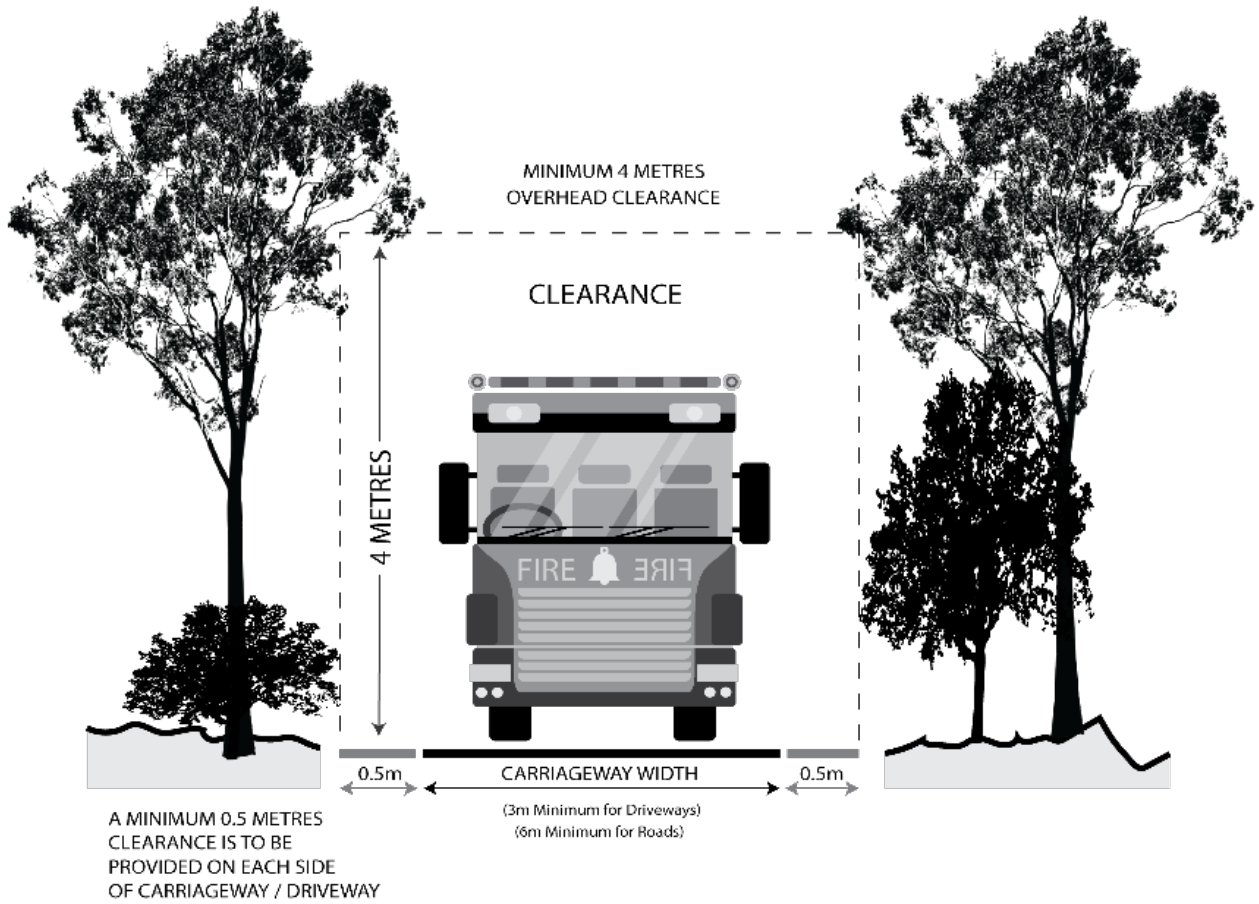
Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

Figures and Diagrams

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Fire Engine and Appliance Clearances

Figure 1 - Overhead and Side Clearances



Roads and Driveway Design

Figure 2 - Road and Driveway Curves

Curves to allow fire trucks to turn into the track without having to back-up several times - minimum external radius of 12.5m.

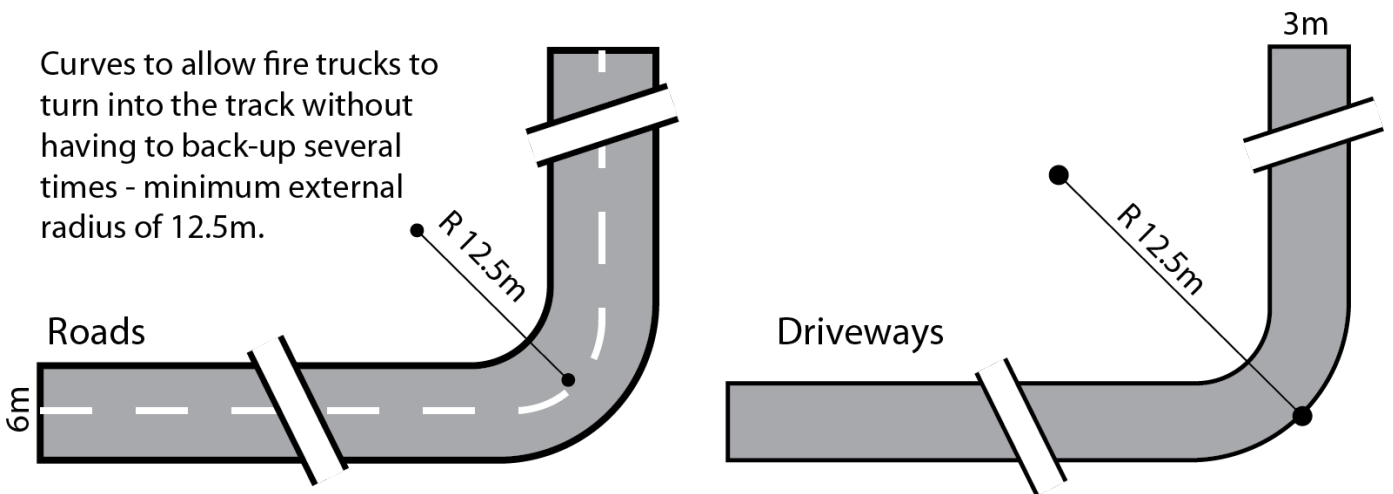


Figure 3 - Full Circle Turning Area

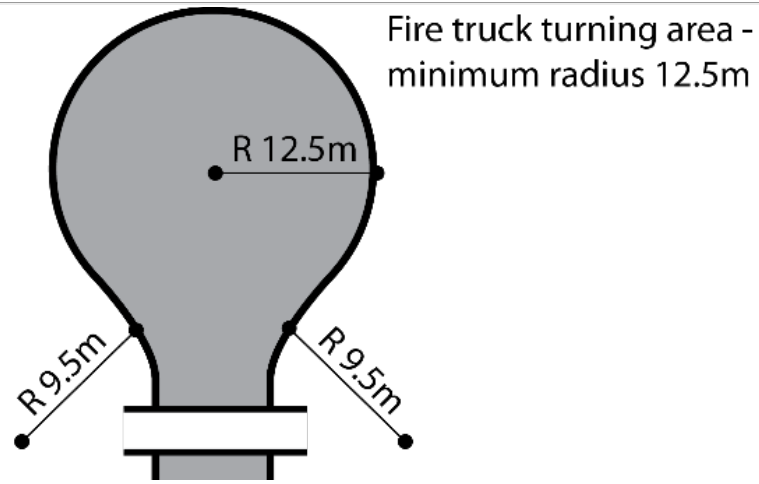
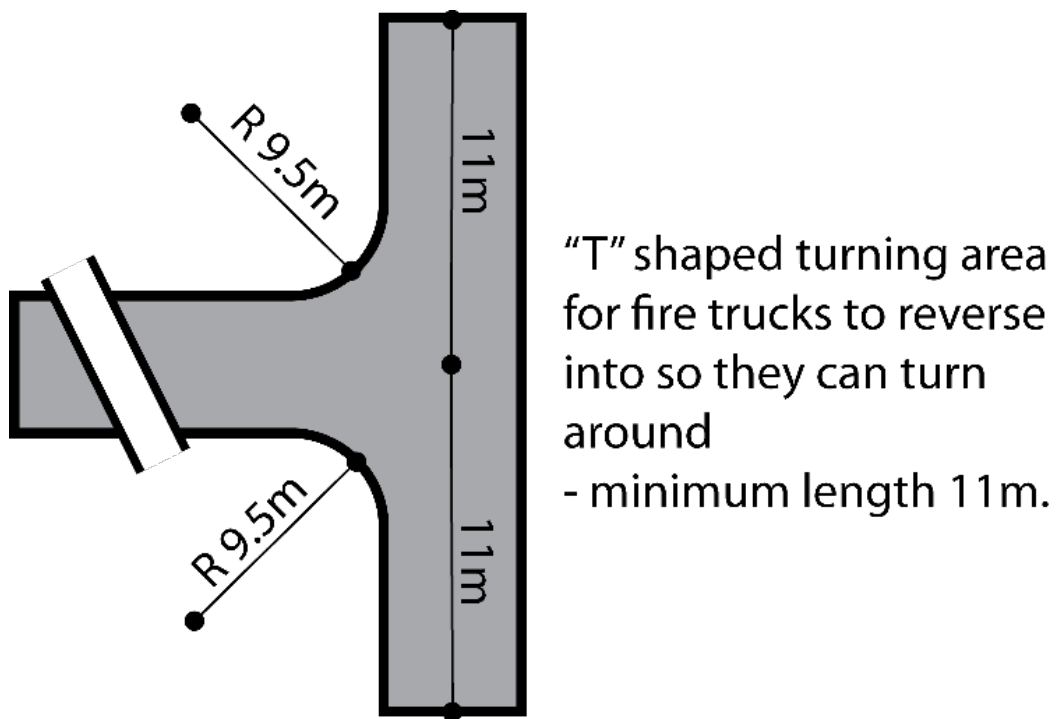


Figure 4 - 'T' or 'Y' Shaped Turning Head



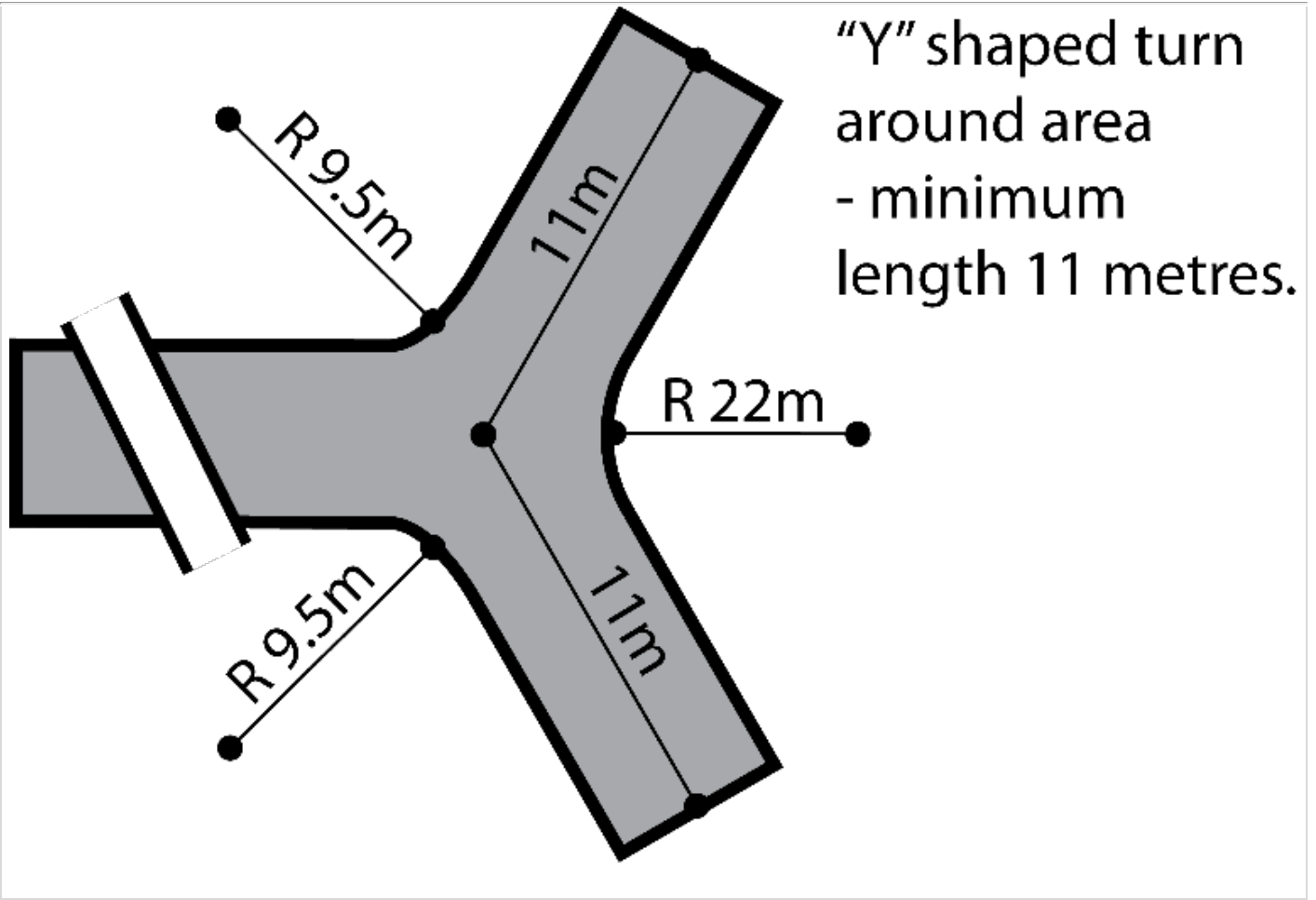
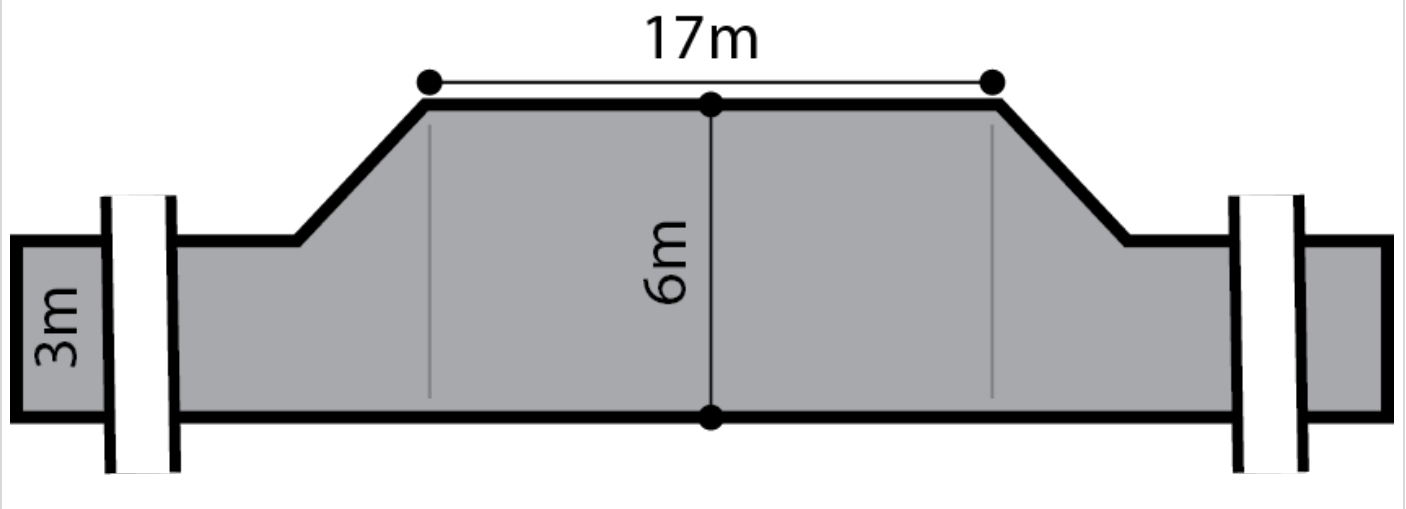


Figure 5 - Driveway Passing Bays

Passing bay for fire trucks - minimum width 6 metres, minimum length 17 metres.



Hazards (Flooding - Evidence Required) Overlay

Assessment Provisions (AP)

Desired Outcome

DO 1	Development adopts a precautionary approach to mitigate potential impacts on people, property, infrastructure and the environment from potential flood risk through the appropriate siting and design of development.
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Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Flood Resilience	
PO 1.1 Development is sited, designed and constructed to minimise the risk of entry of potential floodwaters where the entry of flood waters is likely to result in undue damage to or compromise ongoing activities within buildings.	DTS/DPF 1.1 Habitable buildings, commercial and industrial buildings, and buildings used for animal keeping incorporate a finished floor level at least 300mm above: <ul style="list-style-type: none"> (a) the highest point of top of kerb of the primary street or (b) the highest point of natural ground level at the primary street boundary where there is no kerb

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

Historic Area Overlay

Assessment Provisions (AP)

Desired Outcome	
DO 1	Historic themes and characteristics are reinforced through conservation and contextually responsive development, design and adaptive reuse that responds to existing coherent patterns of land division, site configuration, streetscapes, building siting and built scale, form and features as exhibited in the Historic Area and expressed in the Historic Area Statement.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
All Development	
PO 1.1 All development is undertaken having consideration to the	DTS/DPF 1.1 None are applicable.

historic streetscapes and built form as expressed in the Historic Area Statement.	
Built Form	
PO 2.1 The form and scale of new buildings and structures that are visible from the public realm are consistent with the prevailing historic characteristics of the historic area.	DTS/DPF 2.1 None are applicable.
PO 2.2 Development is consistent with the prevailing building and wall heights in the historic area.	DTS/DPF 2.2 None are applicable.
PO 2.3 Design and architectural detailing of street-facing buildings (including but not limited to roof pitch and form, openings, chimneys and verandahs) complement the prevailing characteristics in the historic area.	DTS/DPF 2.3 None are applicable.
PO 2.4 Development is consistent with the prevailing front and side boundary setback pattern in the historic area.	DTS/DPF 2.4 None are applicable.
PO 2.5 Materials are either consistent with or complement those within the historic area.	DTS/DPF 2.5 None are applicable.
Alterations and additions	
PO 3.1 Alterations and additions complement the subject building, employ a contextual design approach and are sited to ensure they do not dominate the primary façade.	DTS/DPF 3.1 Alterations and additions are fully contained within the roof space of an existing building with no external alterations made to the building elevation facing the primary street.
PO 3.2 Adaptive reuse and revitalisation of buildings to support retention consistent with the Historic Area Statement.	DTS/DPF 3.2 None are applicable.
Context and Streetscape Amenity	
PO 6.1 The width of driveways and other vehicle access ways are consistent with the prevailing width of existing driveways of the historic area.	DTS/DPF 6.1 None are applicable.
PO 6.2 Development maintains the valued landscape patterns and characteristics that contribute to the historic area, except where they compromise safety, create nuisance, or impact adversely on buildings or infrastructure.	DTS/DPF 6.2 None are applicable.
Ruins	
PO 8.1	DTS/DPF 8.1

Development conserves and complements features and ruins associated with former activities of significance.	None are applicable.
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Historic Area Statements

Statement#	Statement																
Historic Areas Affecting Adelaide Hills Council																	
AdHi2	<p>Stirling - Ayres Hill Road Historic Area Statement (AdHi2)</p> <p>The Historic Area Overlay identifies localities that comprise characteristics of an identifiable historic, economic and / or social theme of recognised importance. They can comprise land divisions, development patterns, built form characteristics and natural features that provide a legible connection to the historic development of a locality.</p> <p>These attributes have been identified in the below table. In some cases State and / or Local Heritage Places within the locality contribute to the attributes of an Historic Area.</p> <p>The preparation of an Historic Impact Statement can assist in determining potential additional attributes of an Historic Area where these are not stated in the below table.</p>																
	<table border="1"> <tr> <td>Eras, themes and context</td> <td>Mid to late 1880s residential.</td> </tr> <tr> <td>Allotments, subdivision and built form patterns</td> <td>Large blocks of land. Larger houses on large, well vegetated grounds. Dwellings set well back from the street boundary. Smaller subordinate buildings located closer to the street boundary.</td> </tr> <tr> <td>Architectural styles, detailing and built form features</td> <td>The architectural style of the buildings varies with their date of construction.</td> </tr> <tr> <td>Building height</td> <td>Building height to 9 metres. Original scale of buildings.</td> </tr> <tr> <td>Materials</td> <td>Consistent with the materials associated with the architectural style of the subject building. Random, coursed and dressed stone. Rendered stone. Brick, stone and rendered quoins. String courses. Hipped and gabled roofs. Dormer windows. Raked verandahs supported with timber posts and masonry pillars. Corrugated iron roofs. Decorative cast iron features. Brick and stone chimneys. Stone Porticos. Decorative and ornate timber bargeboards. External finishes non-reflective and utilise natural colours.</td> </tr> <tr> <td>Fencing</td> <td>Front fencing of pickets, post and wire and masonry (exposed or rendered brickwork or stonework) often obscured by hedges or other plantings, with varying heights to between 1200-1800 millimetres.</td> </tr> <tr> <td>Setting, landscaping, streetscape and public realm features</td> <td> <p>'Secluded' nature of houses, in most cases set well back on their blocks, hidden behind the gardens and hedges.</p> <p>Streetscape is dominated by tree plantings and fencing behind which can be seen the larger trees and shrubs of the gardens. The lower section of the road (from Laurel Road to the roundabout near St Catherine's) is winding and bordered by hedges and trees. The upper portion of the road is straight and reveals a wider footpath margin than the lower section, adding to the feeling of privacy of the houses.</p> <p>Wide footpath verges which are of a rustic nature.</p> <p>Row and avenue plantings of exotic trees in the road verges.</p> </td> </tr> <tr> <td>Representative Buildings</td> <td>[Not identified]</td> </tr> </table>	Eras, themes and context	Mid to late 1880s residential.	Allotments, subdivision and built form patterns	Large blocks of land. Larger houses on large, well vegetated grounds. Dwellings set well back from the street boundary. Smaller subordinate buildings located closer to the street boundary.	Architectural styles, detailing and built form features	The architectural style of the buildings varies with their date of construction.	Building height	Building height to 9 metres. Original scale of buildings.	Materials	Consistent with the materials associated with the architectural style of the subject building. Random, coursed and dressed stone. Rendered stone. Brick, stone and rendered quoins. String courses. Hipped and gabled roofs. Dormer windows. Raked verandahs supported with timber posts and masonry pillars. Corrugated iron roofs. Decorative cast iron features. Brick and stone chimneys. Stone Porticos. Decorative and ornate timber bargeboards. External finishes non-reflective and utilise natural colours.	Fencing	Front fencing of pickets, post and wire and masonry (exposed or rendered brickwork or stonework) often obscured by hedges or other plantings, with varying heights to between 1200-1800 millimetres.	Setting, landscaping, streetscape and public realm features	<p>'Secluded' nature of houses, in most cases set well back on their blocks, hidden behind the gardens and hedges.</p> <p>Streetscape is dominated by tree plantings and fencing behind which can be seen the larger trees and shrubs of the gardens. The lower section of the road (from Laurel Road to the roundabout near St Catherine's) is winding and bordered by hedges and trees. The upper portion of the road is straight and reveals a wider footpath margin than the lower section, adding to the feeling of privacy of the houses.</p> <p>Wide footpath verges which are of a rustic nature.</p> <p>Row and avenue plantings of exotic trees in the road verges.</p>	Representative Buildings	[Not identified]
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Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

Mount Lofty Ranges Water Supply Catchment (Area 2) Overlay

Assessment Provisions (AP)

Desired Outcome	
DO 1	Safeguard Greater Adelaide's public water supply by ensuring development has a neutral or beneficial effect on the quality of water harvested from secondary reservoirs or diversion weir catchments from the Mount Lofty Ranges.

Performance Outcomes (PO) and Deemed to Satisfy (DTS) / Designated Performance Feature (DPF) Criteria

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Water Quality	
PO 1.1 Development results in a neutral or beneficial effect on the quality of water draining from the site to maintain and enhance the role of the catchment as a water supply.	DTS/DPF 1.1 None are applicable.
Wastewater	
PO 2.1 Development that generates human wastewater, including alterations and additions, are established at an intensity and in a manner to minimise potential adverse impact on water quality within secondary reservoir and weir catchment areas.	DTS/DPF 2.1 Development including alterations and additions, in combination with existing built form and activities within an allotment: <ul style="list-style-type: none"> (a) do not generate a combined total of more than 1500 litres of wastewater per day and (b) will be connected to the same on-site wastewater system that is compliant with relevant South Australian standards or is otherwise connected to a sewer or community wastewater management system.
PO 2.4 Wastewater management systems result in a neutral or	DTS/DPF 2.4 Development results in:

<p>beneficial effect on the quality of water draining from the site.</p>	<ul style="list-style-type: none"> (a) a building or land use that is currently connected to an existing on-site wastewater system that is non-compliant with relevant South Australian standards being connected to a new or upgraded system that complies with such standards or (b) an existing on-site wastewater system being decommissioned and wastewater being disposed of to a sewer or community wastewater management system that complies with relevant South Australian standards.
<p>PO 2.5 Surface and groundwater protected from wastewater discharge pollution.</p>	<p>DTS/DPF 2.5</p> <p>All components of an effluent disposal area are:</p> <ul style="list-style-type: none"> (a) setback 50 metres or more from a watercourse (b) setback 100 metres or more from a public water supply reservoir (c) located on land with a slope no greater than 1-in-5 (20%) (d) located on land with 1.2m or more depth to bedrock or a seasonal or permanent water table (e) above the 10% AEP flood level.
<p>Stormwater</p>	
<p>PO 3.1 Post-development peak stormwater discharge quantities and rates do not exceed pre-development quantities and rates to maintain water quality leaving the site.</p>	<p>DTS/DPF 3.1</p> <p>None are applicable.</p>
<p>PO 3.2 Stormwater run-off from areas not likely to be subject to pollution diverted away from areas that could cause pollution.</p>	<p>DTS/DPF 3.2</p> <p>None are applicable.</p>
<p>PO 3.3 Polluted stormwater is treated prior to discharge from the site.</p>	<p>DTS/DPF 3.3</p> <p>None are applicable.</p>
<p>PO 3.5 Stormwater from dwelling additions captured to protect water quality.</p>	<p>DTS/DPF 3.5</p> <p>Dwelling additions are connected to a rainwater tank with a minimum capacity of 1,000L.</p>
<p>PO 3.9 Stormwater from excavated and filled areas is managed to protect water quality.</p>	<p>DTS/DPF 3.9</p> <p>Excavation and/or filling satisfy all the following:</p> <ul style="list-style-type: none"> (a) is located 50m or more from watercourses (b) is located 100m or more from public water supply reservoirs and diversion weirs (c) does not involve excavation exceeding a vertical height of 0.75m (d) does not involve filling exceeding a vertical height of 0.75m (e) does not involve a total combined excavation and filling vertical height of 1.5m.
<p>Landscapes and Natural Features</p>	
<p>PO 4.1</p>	<p>DTS/DPF 4.1</p>

Development minimises the need to modify landscapes and natural features.	None are applicable.
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Procedural Matters (PM)

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
<p>Any of the following classes of development that are not connected (or not proposed to be connected) to a community wastewater management system or sewerage infrastructure:</p> <ul style="list-style-type: none"> (a) land division creating one or more additional allotments, either partly or wholly within the area of the overlay (b) function centre with more than 75 seats for customer dining purposes (c) restaurant with more than 40 seats for customer dining purposes (d) restaurant with more than 30 seats for customer dining purposes in association with a cellar door (e) dwelling where a habitable dwelling or tourist accommodation already exists on the same allotment (including where a valid planning authorisation exists to erect a dwelling or tourist accommodation on the same allotment) (f) tourist accommodation where a habitable dwelling or tourist accommodation already exists on the same allotment (including where a valid planning authorisation exists to erect a habitable dwelling or tourist accommodation on the same allotment) (g) workers' accommodation where a habitable dwelling or tourist accommodation already exists on the same allotment (including where a valid planning authorisation exists to erect a habitable dwelling or tourist accommodation on the same allotment) (h) any other development that generates human wastewater from a peak loading capacity of more than 40 persons (or more than 6,000 litres/day) 	Environment Protection Authority.	To provide expert technical assessment and direction to the relevant authority on whether a proposed development will have a neutral or beneficial impact on water quality.	Development of a class to which Schedule 9 clause 3 item 9 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.
Composting works (excluding a prescribed approved activity) - being a depot, facility or works with the capacity to treat, during a 12 month period more than 200 tonnes of organic waste or matter (EPA Licence)			

<p>Wastewater treatment works - being sewage treatment works, a community wastewater management system, winery wastewater treatment works or any other wastewater treatment works with the capacity to treat, during a 12 month period more than 2.5 ML of wastewater (EPA Licence required at more than 5ML)</p>	
<p>Feedlots - being carrying on an operation for holding in confined yard or area and feeding principally by mechanical means or by hand not less than an average of 200 cattle (EPA Licence) or 1,600 sheep or goats per day over any period of 12 months, but excluding any such operation carried on at an abattoir, slaughterhouse or saleyard or for the purpose only of drought or other emergency feeding</p>	
<p>Piggeries - being the conduct of a piggery (being premises having confined or roofed structures for keeping pigs) with a capacity of 130 or more standard pig units (EPA Licence required at 650 or more standard pig units)</p>	
<p>Dairies - carrying on of a dairy with a total processing capacity exceeding 100 milking animals at any one time.</p>	

Native Vegetation Overlay

Assessment Provisions (AP)

Desired Outcome	
DO 1	Areas of native vegetation are protected, retained and restored in order to sustain biodiversity, threatened species and vegetation communities, fauna habitat, ecosystem services, carbon storage and amenity values.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Environmental Protection	
<p>PO 1.1</p> <p>Development avoids, or where it cannot be practically avoided, minimises the clearance of native vegetation taking into account the siting of buildings, access points, bushfire protection measures and building maintenance.</p>	<p>DTS/DPF 1.1</p> <p>An application is accompanied by:</p> <p>(a) a declaration stating that the proposal will not, or would not, involve clearance of native vegetation under the Native Vegetation Act 1991, including any clearance that may occur:</p>

	<ul style="list-style-type: none"> (i) in connection with a relevant access point and / or driveway (ii) within 10m of a building (other than a residential building or tourist accommodation) (iii) within 20m of a dwelling or addition to an existing dwelling for fire prevention and control (iv) within 50m of residential or tourist accommodation in connection with a requirement under a relevant overlay to establish an asset protection zone in a bushfire prone area <p>or</p> <ul style="list-style-type: none"> (b) a report prepared in accordance with Regulation 18(2) (a) of the Native Vegetation Regulations 2017 that establishes that the clearance is categorised as 'Level 1 clearance'.
<p>PO 1.2</p> <p>Native vegetation clearance in association with development avoids the following:</p> <ul style="list-style-type: none"> (a) significant wildlife habitat and movement corridors (b) rare, vulnerable or endangered plants species (c) native vegetation that is significant because it is located in an area which has been extensively cleared (d) native vegetation that is growing in, or in association with, a wetland environment. 	<p>DTS/DPF 1.2</p> <p>None are applicable.</p>
<p>PO 1.4</p> <p>Development restores and enhances biodiversity and habitat values through revegetation using locally indigenous plant species.</p>	<p>DTS/DPF 1.4</p> <p>None are applicable.</p>

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
<p>Development that is the subject of a report prepared in accordance with Regulation 18(2)(a) of the <i>Native Vegetation Regulations 2017</i> that categorises the clearance, or potential clearance, as 'Level 3 clearance' or 'Level 4 clearance'.</p>	<p>Native Vegetation Council</p>	<p>To provide expert assessment and direction to the relevant authority on the potential impacts of development on native vegetation.</p>	<p>Development of a class to which Schedule 9 clause 3 item 11 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.</p>

State Heritage Place Overlay

Assessment Provisions (AP)

Desired Outcome	
DO 1	Development maintains the heritage and cultural values of State Heritage Places through conservation, ongoing use and adaptive reuse consistent with Statements of Significance and other relevant documents prepared and published by the administrative unit of the Public Service that is responsible for assisting a Minister in the administration of the <i>Heritage Places Act 1993</i> .

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Built Form	
PO 1.1 The form of new buildings and structures maintains the heritage values of the State Heritage Place.	DTS/DPF 1.1 None are applicable.
PO 1.2 Massing, scale and siting of development maintains the heritage values of the State Heritage Place.	DTS/DPF 1.2 None are applicable.
PO 1.3 Design and architectural detailing (including but not limited to roof pitch and form, openings, chimneys and verandahs) maintains the heritage values of the State Heritage Place.	DTS/DPF 1.3 None are applicable.
PO 1.4 Development is consistent with boundary setbacks and setting.	DTS/DPF 1.4 None are applicable.
PO 1.5 Materials and colours are either consistent with or complement the heritage values of the State Heritage Place.	DTS/DPF 1.5 None are applicable.
PO 1.6 New buildings and structures are not placed or erected between the primary and secondary street boundaries and the façade of a State Heritage Place.	DTS/DPF 1.6 None are applicable.
PO 1.7 Development of a State Heritage Place retains elements contributing to its heritage value.	DTS/DPF 1.7 None are applicable.
Alterations and Additions	
PO 2.1 Alterations and additions complement the State Heritage Place	DTS/DPF 2.1 None are applicable.

and are sited to be unobtrusive, not conceal or obstruct heritage features and detailing, or dominate the State Heritage Place or its setting.	
PO 2.2 Adaptive reuse and revitalisation of State Heritage Places to support their retention in a manner that respects and references the original use of the State Heritage Place.	DTS/DPF 2.2 None are applicable.
Landscape Context and Streetscape Amenity	
PO 5.1 Individually heritage listed trees, parks, historic gardens and memorial avenues retained unless: (a) trees / plantings are, or have the potential to be, a danger to life or property or (b) trees / plantings are significantly diseased and their life expectancy is short.	DTS/DPF 5.1 None are applicable.
Conservation Works	
PO 7.1 Conservation works to the exterior and interior of a State Heritage Place and other features of identified heritage value match original materials to be repaired and utilise traditional work methods.	DTS/DPF 7.1 None are applicable.

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
<p>Except where:</p> <ul style="list-style-type: none"> (a) the development is to be undertaken in accordance with a Heritage Agreement under the <i>Heritage Places Act 1993</i> or (b) the development is, in the opinion of the relevant authority, minor in nature or like for like maintenance and would not warrant a referral when considering the purpose of the referral <p>any of the following classes of development:</p> <ul style="list-style-type: none"> (a) demolition of internal or external significant building fabric (b) freestanding advertisements, signs and associated structures that are visible from a public street, road or thoroughfare that abuts the State Heritage Place (c) alterations or additions to buildings that: 	<p>Minister responsible for the administration of the <i>Heritage Places Act 1993</i>.</p>	<p>To provide expert assessment and direction to the relevant authority on the potential impacts of development on State Heritage Places.</p>	<p>Development of a class to which Schedule 9 clause 3 item 17 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.</p>

<ul style="list-style-type: none"> (i) are visible from a public street, road or thoroughfare that abuts the State Heritage Place or (ii) may materially affect the context of a State Heritage Place or (iii) involve substantive physical impact to the fabric of significant buildings; <p>(d) new buildings that:</p> <ul style="list-style-type: none"> (i) are visible from a public street, road or thoroughfare that abuts the State Heritage Place or (ii) may materially affect the context of the State Heritage Place <p>(e) conservation repair works that are not representative of 'like for like' maintenance</p> <p>(f) solar panels that are visible from a public street, road or thoroughfare that abuts the State Heritage Place</p> <p>(g) land division</p> <p>(h) the removal, alteration or installation of fencing where visible from a public street, road or thoroughfare that abuts the State Heritage Place</p> <p>(i) the removal of an individual tree or a tree within a garden or park of identified heritage significance.</p>				
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Part 4 - General Development Policies

Clearance from Overhead Powerlines

Assessment Provisions (AP)

Desired Outcome	
DO 1	Protection of human health and safety when undertaking development in the vicinity of overhead transmission powerlines.

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
PO 1.1 Buildings are adequately separated from aboveground powerlines to minimise potential hazard to people and property.	DTS/DPF 1.1 One of the following is satisfied: <ul style="list-style-type: none"> (a) a declaration is provided by or on behalf of the applicant to the effect that the proposal would not be contrary to the regulations prescribed for the purposes of section 86 of the <i>Electricity Act 1996</i> (b) there are no aboveground powerlines adjoining the site

	that are the subject of the proposed development.
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Design in Urban Areas

Assessment Provisions (AP)

Desired Outcome	
DO 1	<p>Development is:</p> <ul style="list-style-type: none"> (a) contextual - by considering, recognising and carefully responding to its natural surroundings or built environment and positively contributing to the character of the locality (b) durable - fit for purpose, adaptable and long lasting (c) inclusive - by integrating landscape design to optimise pedestrian and cyclist usability, privacy and equitable access and promoting the provision of quality spaces integrated with the public realm that can be used for access and recreation and help optimise security and safety both internally and within the public realm, for occupants and visitors (d) sustainable - by integrating sustainable techniques into the design and siting of development and landscaping to improve community health, urban heat, water management, environmental performance, biodiversity and local amenity and to minimise energy consumption.

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
All Development	
Earthworks and sloping land	
<p>PO 8.1</p> <p>Development, including any associated driveways and access tracks, minimises the need for earthworks to limit disturbance to natural topography.</p>	<p>DTS/DPF 8.1</p> <p>Development does not involve any of the following:</p> <ul style="list-style-type: none"> (a) excavation exceeding a vertical height of 1m (b) filling exceeding a vertical height of 1m (c) a total combined excavation and filling vertical height of 2m or more.
<p>PO 8.2</p> <p>Driveways and access tracks designed and constructed to allow safe and convenient access on sloping land.</p>	<p>DTS/DPF 8.2</p> <p>Driveways and access tracks on sloping land (with a gradient exceeding 1 in 8) satisfy (a) and (b):</p> <ul style="list-style-type: none"> (a) do not have a gradient exceeding 25% (1-in-4) at any point along the driveway (b) are constructed with an all-weather trafficable surface.
<p>PO 8.3</p> <p>Driveways and access tracks on sloping land (with a gradient exceeding 1 in 8):</p> <ul style="list-style-type: none"> (a) do not contribute to the instability of embankments and cuttings (b) provide level transition areas for the safe movement of people and goods to and from the development (c) are designed to integrate with the natural topography of the land. 	<p>DTS/DPF 8.3</p> <p>None are applicable.</p>

PO 8.4 Development on sloping land (with a gradient exceeding 1 in 8) avoids the alteration of natural drainage lines and includes on site drainage systems to minimise erosion.	DTS/DPF 8.4 None are applicable.
PO 8.5 Development does not occur on land at risk of landslip or increase the potential for landslip or land surface instability.	DTS/DPF 8.5 None are applicable.
Overlooking / Visual Privacy (low rise buildings)	
PO 10.1 Development mitigates direct overlooking from upper level windows to habitable rooms and private open spaces of adjoining residential uses in neighbourhood-type zones.	DTS/DPF 10.1 Upper level windows facing side or rear boundaries shared with a residential use in a neighbourhood-type zone: (a) are permanently obscured to a height of 1.5m above finished floor level and are fixed or not capable of being opened more than 125mm (b) have sill heights greater than or equal to 1.5m above finished floor level (c) incorporate screening with a maximum of 25% openings, permanently fixed no more than 500mm from the window surface and sited adjacent to any part of the window less than 1.5 m above the finished floor level.
PO 10.2 Development mitigates direct overlooking from balconies to habitable rooms and private open space of adjoining residential uses in neighbourhood type zones.	DTS/DPF 10.2 One of the following is satisfied: (a) the longest side of the balcony or terrace will face a public road, public road reserve or public reserve that is at least 15m wide in all places faced by the balcony or terrace or (b) all sides of balconies or terraces on upper building levels are permanently obscured by screening with a maximum 25% transparency/openings fixed to a minimum height of: (i) 1.5m above finished floor level where the balcony is located at least 15 metres from the nearest habitable window of a dwelling on adjacent land or (ii) 1.7m above finished floor level in all other cases
All residential development	
Outlook and Amenity	
PO 18.1 Living rooms have an external outlook to provide a high standard of amenity for occupants.	DTS/DPF 18.1 A living room of a dwelling incorporates a window with an external outlook of the street frontage, private open space, public open space, or waterfront areas.
Residential Development - Low Rise	
External appearance	
PO 20.3 The visual mass of larger buildings is reduced when viewed from	DTS/DPF 20.3 None are applicable

adjoining allotments or public streets.											
Private Open Space											
PO 21.1 Dwellings are provided with suitable sized areas of usable private open space to meet the needs of occupants.	DTS/DPF 21.1 Private open space is provided in accordance with Design in Urban Areas Table 1 - Private Open Space.										
PO 21.2 Private open space is positioned to provide convenient access from internal living areas.	DTS/DPF 21.2 Private open space is directly accessible from a habitable room.										
Landscaping											
PO 22.1 Soft landscaping is incorporated into development to: (a) minimise heat absorption and reflection (b) contribute shade and shelter (c) provide for stormwater infiltration and biodiversity (d) enhance the appearance of land and streetscapes.	DTS/DPF 22.1 Residential development incorporates soft landscaping with a minimum dimension of 700mm provided in accordance with (a) and (b): (a) a total area as determined by the following table: <table border="1" style="margin-left: 40px;"> <thead> <tr> <th style="background-color: #003366; color: white;">Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m²)</th> <th style="background-color: #003366; color: white;">Minimum percentage of site</th> </tr> </thead> <tbody> <tr> <td><150</td> <td>10%</td> </tr> <tr> <td>150-200</td> <td>15%</td> </tr> <tr> <td>>200-450</td> <td>20%</td> </tr> <tr> <td>>450</td> <td>25%</td> </tr> </tbody> </table> (b) at least 30% of any land between the primary street boundary and the primary building line.	Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m ²)	Minimum percentage of site	<150	10%	150-200	15%	>200-450	20%	>450	25%
Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m ²)	Minimum percentage of site										
<150	10%										
150-200	15%										
>200-450	20%										
>450	25%										
Car parking, access and manoeuvrability											
PO 23.1 Enclosed car parking spaces are of dimensions to be functional, accessible and convenient.	DTS/DPF 23.1 Residential car parking spaces enclosed by fencing, walls or other structures have the following internal dimensions (separate from any waste storage area): (a) single width car parking spaces: (i) a minimum length of 5.4m per space (ii) a minimum width of 3.0m (iii) a minimum garage door width of 2.4m (b) double width car parking spaces (side by side): (i) a minimum length of 5.4m (ii) a minimum width of 5.4m (iii) minimum garage door width of 2.4m per space.										
PO 23.2 Uncovered car parking space are of dimensions to be functional,	DTS/DPF 23.2 Uncovered car parking spaces have:										

<p>accessible and convenient.</p>	<ul style="list-style-type: none"> (a) a minimum length of 5.4m (b) a minimum width of 2.4m (c) a minimum width between the centre line of the space and any fence, wall or other obstruction of 1.5m.
<p>PO 23.3</p> <p>Driveways and access points are located and designed to facilitate safe access and egress while maximising land available for street tree planting, domestic waste collection, landscaped street frontages and on-street parking.</p>	<p>DTS/DPF 23.3</p> <p>Driveways and access points satisfy (a) or (b):</p> <ul style="list-style-type: none"> (a) sites with a frontage to a public road of 10m or less, have a width between 3.0 and 3.2 metres measured at the property boundary and are the only access point provided on the site (b) sites with a frontage to a public road greater than 10m: <ul style="list-style-type: none"> (i) have a maximum width of 5m measured at the property boundary and are the only access point provided on the site; (ii) have a width between 3.0 metres and 3.2 metres measured at the property boundary and no more than two access points are provided on site, separated by no less than 1m.
<p>PO 23.4</p> <p>Vehicle access is safe, convenient, minimises interruption to the operation of public roads and does not interfere with street infrastructure or street trees.</p>	<p>DTS/DPF 23.4</p> <p>Vehicle access to designated car parking spaces satisfy (a) or (b):</p> <ul style="list-style-type: none"> (a) is provided via a lawfully existing or authorised access point or an access point for which consent has been granted as part of an application for the division of land (b) where newly proposed, is set back: <ul style="list-style-type: none"> (i) 0.5m or more from any street furniture, street pole, infrastructure services pit, or other stormwater or utility infrastructure unless consent is provided from the asset owner (ii) 2m or more from the base of the trunk of a street tree unless consent is provided from the tree owner for a lesser distance (iii) 6m or more from the tangent point of an intersection of 2 or more roads (iv) outside of the marked lines or infrastructure dedicating a pedestrian crossing.
<p>PO 23.5</p> <p>Driveways are designed to enable safe and convenient vehicle movements from the public road to on-site parking spaces.</p>	<p>DTS/DPF 23.5</p> <p>Driveways are designed and sited so that:</p> <ul style="list-style-type: none"> (a) the gradient from the place of access on the boundary of the allotment to the finished floor level at the front of the garage or carport is not steeper than 1-in-4 on average (b) they are aligned relative to the street so that there is no more than a 20 degree deviation from 90 degrees between the centreline of any dedicated car parking space to which it provides access (measured from the front of that space) and the road boundary. (c) if located so as to provide access from an alley, lane or right of way - the alley, lane or right of way is at least 6.2m wide along the boundary of the allotment / site

<p>PO 23.6</p> <p>Driveways and access points are designed and distributed to optimise the provision of on-street visitor parking.</p>	<p>DTS/DPF 23.6</p> <p>Where on-street parking is available abutting the site's street frontage, on-street parking is retained in accordance with the following requirements:</p> <ul style="list-style-type: none"> (a) minimum 0.33 on-street spaces per dwelling on the site (rounded up to the nearest whole number) (b) minimum car park length of 5.4m where a vehicle can enter or exit a space directly (c) minimum carpark length of 6m for an intermediate space located between two other parking spaces or to an end obstruction where the parking is indented.
<p>Waste storage</p>	
<p>PO 24.1</p> <p>Provision is made for the convenient storage of waste bins in a location screened from public view.</p>	<p>DTS/DPF 24.1</p> <p>Where dwellings abut both side boundaries a waste bin storage area is provided behind the building line of each dwelling that:</p> <ul style="list-style-type: none"> (a) has a minimum area of 2m² with a minimum dimension of 900mm (separate from any designated car parking spaces or private open space); and (b) has a continuous unobstructed path of travel (excluding moveable objects like gates, vehicles and roller doors) with a minimum width of 800mm between the waste bin storage area and the street.

Table 1 - Private Open Space

Dwelling Type	Dwelling / Site Configuration	Minimum Rate
<p>Dwelling (at ground level, other than a residential flat building that includes above ground dwellings)</p>		<p>Total private open space area:</p> <ul style="list-style-type: none"> (a) Site area <301m²: 24m² located behind the building line. (b) Site area ≥ 301m²: 60m² located behind the building line. <p>Minimum directly accessible from a living room: 16m² / with a minimum dimension 3m.</p>
<p>Cabin or caravan (permanently fixed to the ground) in a residential park or caravan and tourist park</p>		<p>Total area: 16m², which may be uses as second car parking space, provided on each site intended for residential occupation.</p>
<p>Dwelling in a residential flat building or mixed use building which incorporate above ground level dwellings</p>	<p>Dwellings at ground level:</p>	<p>15m² / minimum dimension 3m</p>
	<p>Dwellings above ground level:</p>	
	<p>Studio (no separate bedroom)</p>	<p>4m² / minimum dimension 1.8m</p>
	<p>One bedroom dwelling</p>	<p>8m² / minimum dimension 2.1m</p>

	Two bedroom dwelling	11m ² / minimum dimension 2.4m
	Three + bedroom dwelling	15 m ² / minimum dimension 2.6m

Infrastructure and Renewable Energy Facilities

Assessment Provisions (AP)

Desired Outcome	
DO 1	Efficient provision of infrastructure networks and services, renewable energy facilities and ancillary development in a manner that minimises hazard, is environmentally and culturally sensitive and manages adverse visual impacts on natural and rural landscapes and residential amenity.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Wastewater Services	
PO 12.2 Effluent drainage fields and other wastewater disposal areas are maintained to ensure the effective operation of waste systems and minimise risks to human health and the environment.	DTS/DPF 12.2 Development is not built on, or encroaches within, an area that is, or will be, required for a sewerage system or waste control system.

Interface between Land Uses

Assessment Provisions (AP)

Desired Outcome	
DO 1	Development is located and designed to mitigate adverse effects on or from neighbouring and proximate land uses.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Overshadowing	
PO 3.1 Overshadowing of habitable room windows of adjacent residential land uses in: a. a neighbourhood-type zone is minimised to maintain access to direct winter sunlight b. other zones is managed to enable access to direct winter sunlight.	DTS/DPF 3.1 North-facing windows of habitable rooms of adjacent residential land uses in a neighbourhood-type zone receive at least 3 hours of direct sunlight between 9.00am and 3.00pm on 21 June.

<p>PO 3.2</p> <p>Overshadowing of the primary area of private open space or communal open space of adjacent residential land uses in:</p> <p>a. a neighbourhood type zone is minimised to maintain access to direct winter sunlight</p> <p>b. other zones is managed to enable access to direct winter sunlight.</p>	<p>DTS/DPF 3.2</p> <p>Development maintains 2 hours of direct sunlight between 9.00 am and 3.00 pm on 21 June to adjacent residential land uses in a neighbourhood-type zone in accordance with the following:</p> <p>a. for ground level private open space, the smaller of the following:</p> <p>i. half the existing ground level open space</p> <p>or</p> <p>ii. 35m² of the existing ground level open space (with at least one of the area's dimensions measuring 2.5m)</p> <p>b. for ground level communal open space, at least half of the existing ground level open space.</p>
<p>PO 3.3</p> <p>Development does not unduly reduce the generating capacity of adjacent rooftop solar energy facilities taking into account:</p> <p>(a) the form of development contemplated in the zone</p> <p>(b) the orientation of the solar energy facilities</p> <p>(c) the extent to which the solar energy facilities are already overshadowed.</p>	<p>DTS/DPF 3.3</p> <p>None are applicable.</p>

Transport, Access and Parking

Assessment Provisions (AP)

<p style="text-align: center;">Desired Outcome</p>	
<p>DO 1</p>	<p>A comprehensive, integrated and connected transport system that is safe, sustainable, efficient, convenient and accessible to all users.</p>

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

<p style="text-align: center;">Performance Outcome</p>	<p style="text-align: center;">Deemed-to-Satisfy Criteria / Designated Performance Feature</p>
<p>Vehicle Parking Rates</p>	
<p>PO 5.1</p> <p>Sufficient on-site vehicle parking and specifically marked accessible car parking places are provided to meet the needs of the development or land use having regard to factors that may support a reduced on-site rate such as:</p> <p>(a) availability of on-street car parking</p> <p>(b) shared use of other parking areas</p> <p>(c) in relation to a mixed-use development, where the hours of operation of commercial activities complement the residential use of the site, the provision of vehicle parking may be shared</p>	<p>DTS/DPF 5.1</p> <p>Development provides a number of car parking spaces on-site at a rate no less than the amount calculated using one of the following, whichever is relevant:</p> <p>(a) Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements</p> <p>(b) Transport, Access and Parking Table 2 - Off-Street Vehicle Parking Requirements in Designated Areas</p> <p>(c) if located in an area where a lawfully established carparking fund operates, the number of spaces calculated under (a) or (b) less the number of spaces</p>

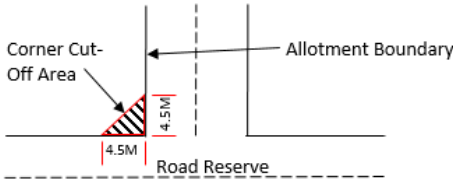
(d) the adaptive reuse of a State or Local Heritage Place.	offset by contribution to the fund.
Corner Cut-Offs	
<p>PO 10.1</p> <p>Development is located and designed to ensure drivers can safely turn into and out of public road junctions.</p>	<p>DTS/DPF 10.1</p> <p>Development does not involve building work, or building work is located wholly outside the land shown as Corner Cut-Off Area in the following diagram:</p> 

Table 1 - General Off-Street Car Parking Requirements

The following parking rates apply and if located in an area where a lawfully established carparking fund operates, the number of spaces is reduced by an amount equal to the number of spaces offset by contribution to the fund.

Class of Development	Car Parking Rate (unless varied by Table 2 onwards)
<p>Where a development comprises more than one development type, then the overall car parking rate will be taken to be the sum of the car parking rates for each development type.</p>	
Residential Development	
Detached Dwelling	<p>Dwelling with 1 bedroom (including rooms capable of being used as a bedroom) - 1 space per dwelling.</p> <p>Dwelling with 2 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.</p>
Group Dwelling	<p>Dwelling with 1 or 2 bedrooms (including rooms capable of being used as a bedroom) - 1 space per dwelling.</p> <p>Dwelling with 3 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.</p> <p>0.33 spaces per dwelling for visitor parking where development involves 3 or more dwellings.</p>
Residential Flat Building	<p>Dwelling with 1 or 2 bedrooms (including rooms capable of being used as a bedroom) - 1 space per dwelling.</p> <p>Dwelling with 3 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.</p> <p>0.33 spaces per dwelling for visitor parking where development involves 3 or more dwellings.</p>
Row Dwelling where vehicle access is from the primary street	<p>Dwelling with 1 bedroom (including rooms capable of being used as a bedroom) - 1 space per dwelling.</p> <p>Dwelling with 2 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.</p>

Row Dwelling where vehicle access is not from the primary street (i.e. rear-loaded)	<p>Dwelling with 1 or 2 bedrooms (including rooms capable of being used as a bedroom) - 1 space per dwelling.</p> <p>Dwelling with 3 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.</p>
Semi-Detached Dwelling	<p>Dwelling with 1 bedroom (including rooms capable of being used as a bedroom) - 1 space per dwelling.</p> <p>Dwelling with 2 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.</p>
Aged / Supported Accommodation	
Retirement village	<p>Dwelling with 1 or 2 bedrooms (including rooms capable of being used as a bedroom) - 1 space per dwelling.</p> <p>Dwelling with 3 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling.</p> <p>0.2 spaces per dwelling for visitor parking.</p>
Supported accommodation	0.3 spaces per bed.
Residential Development (Other)	
Ancillary accommodation	No additional requirements beyond those associated with the main dwelling.
Residential park	<p>Dwelling with 1 or 2 bedrooms (including rooms capable of being used as a bedroom) - 1 space per dwelling.</p> <p>Dwelling with 3 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling.</p> <p>0.2 spaces per dwelling for visitor parking.</p>
Student accommodation	0.3 spaces per bed.
Workers' accommodation	0.5 spaces per bed plus 0.2 spaces per bed for visitor parking.
Tourist	
Caravan park / tourist park	<p>Parks with 100 sites or less - a minimum of 1 space per 10 sites to be used for accommodation.</p> <p>Parks with more than 100 sites - a minimum of 1 space per 15 sites used for accommodation.</p> <p>A minimum of 1 space for every caravan (permanently fixed to the ground) or cabin.</p>
Tourist accommodation	1 car parking space per accommodation unit / guest room.
Commercial Uses	
Auction room/ depot	1 space per 100m ² of building floor area plus an additional 2 spaces.
Automotive collision repair	3 spaces per service bay.

Call centre	8 spaces per 100m ² of gross leasable floor area.
Motor repair station	3 spaces per service bay.
Office	4 spaces per 100m ² of gross leasable floor area.
Retail fuel outlet	3 spaces per 100m ² gross leasable floor area.
Service trade premises	2.5 spaces per 100m ² of gross leasable floor area 1 space per 100m ² of outdoor area used for display purposes.
Shop (no commercial kitchen)	5.5 spaces per 100m ² of gross leasable floor area where not located in an integrated complex containing two or more tenancies (and which may comprise more than one building) where facilities for off-street vehicle parking, vehicle loading and unloading, and the storage and collection of refuse are shared. 5 spaces per 100m ² of gross leasable floor area where located in an integrated complex containing two or more tenancies (and which may comprise more than one building) where facilities for off-street vehicle parking, vehicle loading and unloading, and the storage and collection of refuse are shared.
Shop (in the form of a bulky goods outlet)	2.5 spaces per 100m ² of gross leasable floor area.
Shop (in the form of a restaurant or involving a commercial kitchen)	Premises with a dine-in service only (which may include a take-away component with no drive-through) - 0.4 spaces per seat. Premises with take-away service but with no seats - 12 spaces per 100m ² of total floor area plus a drive-through queue capacity of ten vehicles measured from the pick-up point. Premises with a dine-in and drive-through take-away service - 0.3 spaces per seat plus a drive through queue capacity of 10 vehicles measured from the pick-up point.
Community and Civic Uses	
Childcare centre	0.25 spaces per child
Library	4 spaces per 100m ² of total floor area.
Community facility	10 spaces per 100m ² of total floor area.
Hall / meeting hall	0.2 spaces per seat.
Place of worship	1 space for every 3 visitor seats.
Pre-school	1 per employee plus 0.25 per child (drop off/pick up bays)

Educational establishment	<p>For a primary school - 1.1 space per full time equivalent employee plus 0.25 spaces per student for a pickup/set down area either on-site or on the public realm within 300m of the site.</p> <p>For a secondary school - 1.1 per full time equivalent employee plus 0.1 spaces per student for a pickup/set down area either on-site or on the public realm within 300m of the site.</p> <p>For a tertiary institution - 0.4 per student based on the maximum number of students on the site at any time.</p>
Health Related Uses	
Hospital	<p>4.5 spaces per bed for a public hospital.</p> <p>1.5 spaces per bed for a private hospital.</p>
Consulting room	4 spaces per consulting room excluding ancillary facilities.
Recreational and Entertainment Uses	
Cinema complex	0.2 spaces per seat.
Concert hall / theatre	0.2 spaces per seat.
Hotel	1 space for every 2m ² of total floor area in a public bar plus 1 space for every 6m ² of total floor area available to the public in a lounge, beer garden plus 1 space per 2 gaming machines, plus 1 space per 3 seats in a restaurant.
Indoor recreation facility	<p>6.5 spaces per 100m² of total floor area for a Fitness Centre</p> <p>4.5 spaces per 100m² of total floor area for all other Indoor recreation facilities.</p>
Industry/Employment Uses	
Fuel depot	<p>1.5 spaces per 100m² total floor area</p> <p>1 spaces per 100m² of outdoor area used for fuel depot activity purposes.</p>
Industry	1.5 spaces per 100m ² of total floor area.
Store	0.5 spaces per 100m ² of total floor area.
Timber yard	<p>1.5 spaces per 100m² of total floor area</p> <p>1 space per 100m² of outdoor area used for display purposes.</p>

Warehouse	0.5 spaces per 100m ² total floor area.
Other Uses	
Funeral Parlour	1 space per 5 seats in the chapel plus 1 space for each vehicle operated by the parlour.
Radio or Television Station	5 spaces per 100m ² of total building floor area.

Table 2 - Off-Street Car Parking Requirements in Designated Areas

The following parking rates apply in any zone, subzone or other area described in the 'Designated Areas' column subject to the following:

- (a) the location of the development is unable to satisfy the requirements of Table 2 – Criteria (other than where a location is exempted from the application of those criteria)
- or
- (b) the development satisfies Table 2 – Criteria (or is exempt from those criteria) and is located in an area where a lawfully established carparking fund operates, in which case the number of spaces are reduced by an amount equal to the number of spaces offset by contribution to the fund.

Class of Development	Car Parking Rate		Designated Areas
	Minimum number of spaces	Maximum number of spaces	
<p>Where a development comprises more than one development type, then the overall car parking rate will be taken to be the sum of the car parking rates for each development type.</p>			
Development generally			
All classes of development	No minimum.	<p>No maximum except in the Primary Pedestrian Area identified in the Primary Pedestrian Area Concept Plan, where the maximum is:</p> <p>1 space for each dwelling with a total floor area less than 75 square metres</p> <p>2 spaces for each dwelling with a total floor area between 75 square metres and 150 square metres</p> <p>3 spaces for each dwelling with a total floor area greater than 150 square metres.</p> <p>Residential flat building or Residential component of a multi-storey building: 1 visitor space for each 6 dwellings.</p>	<p>Capital City Zone</p> <p>City Main Street Zone</p> <p>City Riverbank Zone</p> <p>Adelaide Park Lands Zone</p> <p>Business Neighbourhood Zone (within the City of Adelaide)</p> <p>The St Andrews Hospital Precinct Subzone and Women's and Children's Hospital Precinct Subzone of the Community Facilities Zone</p>
Non-residential development			

<p>Non-residential development excluding tourist accommodation</p>	<p>3 spaces per 100m² of gross leasable floor area.</p>	<p>5 spaces per 100m² of gross leasable floor area.</p>	<p>City Living Zone Urban Corridor (Boulevard) Zone Urban Corridor (Business) Zone Urban Corridor (Living) Zone Urban Corridor (Main Street) Zone Urban Neighbourhood Zone</p>
<p>Non-residential development excluding tourist accommodation</p>	<p>3 spaces per 100m² of gross leasable floor area.</p>	<p>6 spaces per 100m² of gross leasable floor area.</p>	<p>Strategic Innovation Zone Suburban Activity Centre Zone Suburban Business Zone Business Neighbourhood Zone Suburban Main Street Zone Urban Activity Centre Zone</p>
<p>Tourist accommodation</p>	<p>1 space for every 4 bedrooms up to 100 bedrooms plus 1 space for every 5 bedrooms over 100 bedrooms</p>	<p>1 space per 2 bedrooms up to 100 bedrooms and 1 space per 4 bedrooms over 100 bedrooms</p>	<p>City Living Zone Urban Activity Centre Zone Urban Corridor (Boulevard) Zone Urban Corridor (Business) Zone Urban Corridor (Living) Zone Urban Corridor (Main Street) Zone Urban Neighbourhood Zone</p>
<p>Residential development</p>			
<p>Residential component of a multi-storey building</p>	<p>Dwelling with no separate bedroom -0.25 spaces per dwelling 1 bedroom dwelling - 0.75 spaces per dwelling 2 bedroom dwelling - 1 space per dwelling 3 or more bedroom dwelling - 1.25 spaces per dwelling 0.25 spaces per dwelling for visitor parking.</p>	<p>None specified.</p>	<p>City Living Zone Strategic Innovation Zone Urban Activity Centre Zone Urban Corridor (Boulevard) Zone Urban Corridor (Business) Zone Urban Corridor (Living) Zone Urban Corridor (Main Street) Zone Urban Neighbourhood Zone</p>
<p>Residential flat building</p>	<p>Dwelling with no separate bedroom -0.25 spaces per dwelling</p>	<p>None specified.</p>	<p>City Living Zone Urban Activity Centre Zone</p>

1 bedroom dwelling - 0.75 spaces per dwelling	Urban Corridor (Boulevard) Zone
2 bedroom dwelling - 1 space per dwelling	Urban Corridor (Business) Zone
3 or more bedroom dwelling - 1.25 spaces per dwelling	Urban Corridor (Living) Zone
0.25 spaces per dwelling for visitor parking.	Urban Corridor (Main Street) Zone
	Urban Neighbourhood Zone

Table 2 - Criteria:

The following criteria are used in conjunction with Table 2. The 'Exception' column identifies locations where the criteria do not apply and the car parking rates in Table 2 are applicable.

Criteria	Exceptions
<p>The designated area is wholly located within Metropolitan Adelaide and any part of the development site satisfies one or more of the following:</p> <ul style="list-style-type: none"> (a) is within 200 metres of any section of road reserve along which a bus service operates as a high frequency public transit service⁽²⁾ (b) is within 400 metres of a bus interchange⁽¹⁾ (c) is within 400 metres of an O-Bahn interchange⁽¹⁾ (d) is within 400 metres of a passenger rail station⁽¹⁾ (e) is within 400 metres of a passenger tram station⁽¹⁾ (f) is within 400 metres of the Adelaide Parklands. 	<ul style="list-style-type: none"> (a) All zones in the City of Adelaide (b) Strategic Innovation Zone in the following locations: <ul style="list-style-type: none"> (i) City of Burnside (ii) City of Marion (iii) City of Mitcham (c) Urban Corridor (Boulevard) Zone (d) Urban Corridor (Business) Zone (e) Urban Corridor (Living) Zone (f) Urban Corridor (Main Street) Zone (g) Urban Neighbourhood Zone

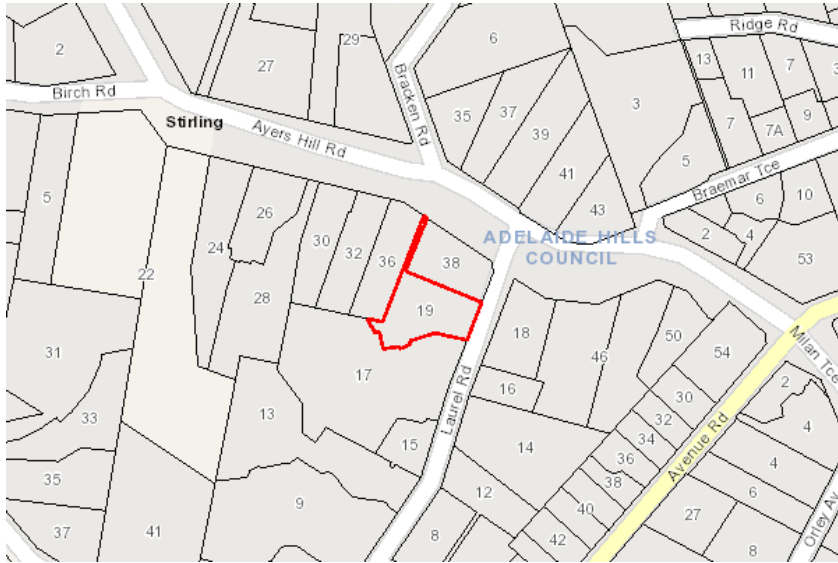
[NOTE(S): (1) Measured from an area that contains any platform(s), shelter(s) or stop(s) where people congregate for the purpose waiting to board a bus, tram or train, but does not include areas used for the parking of vehicles. (2) A high frequency public transit service is a route serviced every 15 minutes between 7.30am and 6.30pm Monday to Friday and every 30 minutes at night, Saturday, Sunday and public holidays until 10pm.]

19 LAUREL RD STIRLING SA 5152

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Property Zoning Details

Local Variation (TNV)

- Minimum Site Area (*Minimum site area is 2,000 sqm*)
- Maximum Building Height (Levels) (*Maximum building height is 2 levels*)
- Minimum Side Boundary Setback (*Minimum side boundary setback is 2m*)
- Site Coverage (*Maximum site coverage is 50 per cent*)

Overlay

- Historic Area (*AdHi2*)
- Hazards (Bushfire - Medium Risk)
- Hazards (Flooding - Evidence Required)
- Limited Land Division
- Mount Lofty Ranges Water Supply Catchment (Area 2)
- Native Vegetation
- Prescribed Water Resources Area
- Regulated and Significant Tree
- State Heritage Place (*15029*)
- Stormwater Management
- Urban Tree Canopy

Zone

- Established Neighbourhood

Selected Development(s)

Ancillary accommodation

This development may be subject to multiple assessment pathways. Please review the document below to determine which pathway may be applicable based on the proposed development compliances to standards.
If no assessment pathway is shown this mean the proposed development will default to performance assessed. Please contact your local council in this instance. Refer to Part 1 - Rules of Interpretation - Determination of Classes of Development

Property Policy Information for above selection

Part 2 - Zones and Sub Zones

Established Neighbourhood Zone

Assessment Provisions (AP)

Desired Outcome	
DO 1	A neighbourhood that includes a range of housing types, with new buildings sympathetic to the predominant built form character and development patterns.
DO 2	Maintain the predominant streetscape character, having regard to key features such as roadside plantings, footpaths, front yards, and space between crossovers.

Performance Outcomes (PO) and Deemed to Satisfy (DTS) / Designated Performance Feature (DPF) Criteria

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature		
Land Use and Intensity			
PO 1.1 Predominantly residential development with complementary non-residential activities compatible with the established development pattern of the neighbourhood.	DTS/DPF 1.1 Development comprises one or more of the following: <ul style="list-style-type: none"> (a) Ancillary accommodation (b) Community facility (c) Consulting room (d) Dwelling (e) Office (f) Recreation area (g) Shop. 		
Site coverage			
PO 3.1 Building footprints are consistent with the character and pattern of the neighbourhood and provide sufficient space around buildings to limit visual impact, provide an attractive outlook and access to light and ventilation.	DTS/DPF 3.1 Development does not result in site coverage exceeding: <table border="1" style="margin: 10px auto; width: 80%;"> <thead> <tr> <th style="text-align: center;">Site Coverage</th> </tr> </thead> <tbody> <tr> <td style="text-align: center;">Maximum site coverage is 50 per cent</td> </tr> </tbody> </table> In instances where: <ul style="list-style-type: none"> (a) no value is returned (i.e. there is a blank field), then a maximum 50% site coverage applies (b) more than one value is returned in the same field, refer to the Site Coverage Technical and Numeric Variation layer in the SA planning database to determine the applicable value relevant to the site of the proposed development. 	Site Coverage	Maximum site coverage is 50 per cent
Site Coverage			
Maximum site coverage is 50 per cent			
Appearance			
PO 10.2 The appearance of development as viewed from public roads is	DTS/DPF 10.2 None are applicable.		

<p>sympathetic to the wall height, roof forms and roof pitches of the predominant housing stock in the locality.</p>					
<p>Ancillary buildings and structures</p>					
<p>PO 11.1</p> <p>Residential ancillary buildings and structures are sited and designed to not detract from the streetscape or appearance of buildings on the site or neighbouring properties.</p>	<p>DTS/DPF 11.1</p> <p>Ancillary buildings and structures:</p> <ul style="list-style-type: none"> (a) are ancillary to a dwelling erected on the same site (b) have a floor area not exceeding 60m² (c) are constructed, added to or altered so that they are situated at least <ul style="list-style-type: none"> (i) 500mm behind the building line of the dwelling to which they are ancillary or (ii) 900mm from a boundary of the allotment with a secondary street (if the land has boundaries on two or more roads) (d) in the case of a garage or carport, the garage or carport: <ul style="list-style-type: none"> (i) is set back at least 5.5m from the boundary of the primary street (ii) when facing a primary street or secondary street has a total door/opening not exceeding 7m or 30% of the site frontage (whichever is the lesser) when facing a primary street or secondary street (e) if situated on a boundary (not being a boundary with a primary street or secondary street), a length not exceeding 8m unless: <ul style="list-style-type: none"> (i) a longer wall or structure exists on the adjacent site and is situated on the same allotment boundary and (ii) the proposed wall or structure will be built along the same length of boundary as the existing adjacent wall or structure to the same or lesser extent (f) if situated on a boundary of the allotment (not being a boundary with a primary street or secondary street), all walls or structures on the boundary not exceeding 45% of the length of that boundary (g) will not be located within 3m of any other wall along the same boundary unless on an adjacent site on that boundary there is an existing wall of a building that would be adjacent to or abut the proposed wall or structure (h) have a wall height or post height not exceeding 3m above natural ground level (and not including a gable end), and where located to the side of the associated dwelling, have a wall height or post height no higher than the wall height of the associated dwelling (i) have a roof height where no part of the roof is more than 5m above the natural ground level (j) if clad in sheet metal, are pre-colour treated or painted in a non-reflective colour. (k) retains a total area of soft landscaping in accordance with (i) or (ii), whichever is less: <ul style="list-style-type: none"> (i) a total area as determined by the following table: <table border="1" data-bbox="922 2033 1519 2121" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="background-color: #0056b3; color: white;">Dwelling site area (or in the case of residential flat building or group</th> <th style="background-color: #0056b3; color: white;">Minimum percentage of</th> </tr> </thead> <tbody> <tr> <td style="background-color: #0056b3; color: white;"> </td> <td style="background-color: #0056b3; color: white;"> </td> </tr> </tbody> </table> 	Dwelling site area (or in the case of residential flat building or group	Minimum percentage of		
Dwelling site area (or in the case of residential flat building or group	Minimum percentage of				

	<table border="1"> <thead> <tr> <th data-bbox="922 105 1318 203">dwelling(s), average site area (m²)</th> <th data-bbox="1318 105 1522 203">site</th> </tr> </thead> <tbody> <tr> <td data-bbox="922 203 1318 237"><150</td> <td data-bbox="1318 203 1522 237">10%</td> </tr> <tr> <td data-bbox="922 237 1318 324">150-200</td> <td data-bbox="1318 237 1522 324">15%</td> </tr> <tr> <td data-bbox="922 324 1318 412">201-450</td> <td data-bbox="1318 324 1522 412">20%</td> </tr> <tr> <td data-bbox="922 412 1318 499">>450</td> <td data-bbox="1318 412 1522 499">25%</td> </tr> </tbody> </table> <p data-bbox="855 533 1437 591">(ii) the amount of existing soft landscaping prior to the development occurring.</p>	dwelling(s), average site area (m ²)	site	<150	10%	150-200	15%	201-450	20%	>450	25%
dwelling(s), average site area (m ²)	site										
<150	10%										
150-200	15%										
201-450	20%										
>450	25%										
<p data-bbox="124 696 197 719">PO 11.2</p> <p data-bbox="124 734 799 824">Ancillary buildings and structures do not impede on-site functional requirements such as private open space provision, car parking requirements or result in over-development of the site.</p>	<p data-bbox="831 696 954 719">DTS/DPF 11.2</p> <p data-bbox="831 748 1334 770">Ancillary buildings and structures do not result in:</p> <ul style="list-style-type: none"> <li data-bbox="855 815 1509 873">(a) less private open space than specified in Design in Urban Areas Table 1 - Private Open Space <li data-bbox="855 882 1509 1003">(b) less on-site car parking than specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas. 										

Table 5 - Procedural Matters (PM) - Notification

The following table identifies, pursuant to section 107(6) of the *Planning, Development and Infrastructure Act 2016*, classes of performance assessed development that are excluded from notification. The table also identifies any exemptions to the placement of notices when notification is required.

Interpretation

Notification tables exclude the classes of development listed in Column A from notification provided that they do not fall within a corresponding exclusion prescribed in Column B.

Where a development or an element of a development falls within more than one class of development listed in Column A, it will be excluded from notification if it is excluded (in its entirety) under any of those classes of development. It need not be excluded under all applicable classes of development.

Where a development involves multiple performance assessed elements, all performance assessed elements will require notification (regardless of whether one or more elements are excluded in the applicable notification table) unless every performance assessed element of the application is excluded in the applicable notification table, in which case the application will not require notification.

Class of Development (Column A)	Exceptions (Column B)
<p data-bbox="172 1834 810 1951">1. Development which, in the opinion of the relevant authority, is of a minor nature only and will not unreasonably impact on the owners or occupiers of land in the locality of the site of the development.</p>	<p data-bbox="831 1854 994 1877">None specified.</p>
<p data-bbox="172 1998 727 2063">2. All development undertaken by: (a) the South Australian Housing Trust either</p>	<p data-bbox="831 2018 1337 2040">Except development involving any of the following:</p>

<p>individually or jointly with other persons or bodies or</p> <p>(b) a provider registered under the Community Housing National Law participating in a program relating to the renewal of housing endorsed by the South Australian Housing Trust.</p>	<ol style="list-style-type: none"> 1. residential flat building(s) of 3 or more building levels 2. the demolition of a State or Local Heritage Place 3. the demolition of a building (except an ancillary building) in a Historic Area Overlay.
<p>3. Any development involving any of the following (or of any combination of any of the following):</p> <ol style="list-style-type: none"> (a) air handling unit, air conditioning system or exhaust fan (b) ancillary accommodation (c) building work on railway land (d) carport (e) deck (f) dwelling (g) dwelling addition (h) fence (i) outbuilding (j) pergola (k) private bushfire shelter (l) residential flat building (m) retaining wall (n) shade sail (o) solar photovoltaic panels (roof mounted) (p) swimming pool or spa pool (q) verandah (r) water tank. 	<p>Except development that:</p> <ol style="list-style-type: none"> 1. exceeds the maximum building height specified in Established Neighbourhood Zone DTS/DPF 4.1 or 2. involves a building wall (or structure) that is proposed to be situated on (or abut) an allotment boundary (not being a boundary with a primary street or secondary street or an excluded boundary) and: <ol style="list-style-type: none"> (a) the length of the proposed wall (or structure) exceeds 8m (other than where the proposed wall abuts an existing wall or structure of greater length on the adjoining allotment) or (b) the height of the proposed wall (or post height) exceeds 3.2m measured from the lower of the natural or finished ground level (other than where the proposed wall abuts an existing wall or structure of greater height on the adjoining allotment).
<p>4. Any development involving any of the following (or of any combination of any of the following):</p> <ol style="list-style-type: none"> (a) consulting room (b) office (c) shop. 	<p>Except development that:</p> <ol style="list-style-type: none"> 1. does not satisfy Established Neighbourhood Zone DTS/DPF 1.2 or 2. exceeds the maximum building height specified in Established Neighbourhood Zone DTS/DPF 4.1 or 3. involves a building wall (or structure) that is proposed to be situated on (or abut) an allotment boundary (not being a boundary with a primary street or secondary street or an excluded boundary) and: <ol style="list-style-type: none"> (a) the length of the proposed wall (or structure) exceeds 8m (other than where the proposed wall abuts an existing wall or structure of greater length on the adjoining allotment) or (b) the height of the proposed wall (or post height) exceeds 3.2m measured from the lower of the natural or finished ground level (other than where the proposed wall abuts an existing wall or structure of greater height on the adjoining allotment).
<p>5. Any of the following (or of any combination of any of the following):</p> <ol style="list-style-type: none"> (a) internal building works (b) land division 	<p>None specified.</p>

<ul style="list-style-type: none"> (c) recreation area (d) replacement building (e) temporary accommodation in an area affected by bushfire (f) tree damaging activity. 	
<p>6. Demolition.</p>	<p>Except any of the following:</p> <ol style="list-style-type: none"> 1. the demolition of a State or Local Heritage Place 2. the demolition of a building (except an ancillary building) in a Historic Area Overlay.

Placement of Notices - Exemptions for Performance Assessed Development

None specified.

Placement of Notices - Exemptions for Restricted Development

None specified.

Part 3 - Overlays

Hazards (Bushfire - Medium Risk) Overlay

Assessment Provisions (AP)

Desired Outcome	
DO 1	Development, including land division responds to the medium level of bushfire risk and potential for ember attack and radiant heat by siting and designing buildings in a manner that mitigates the threat and impact of bushfires on life and property taking into account the increased frequency and intensity of bushfires as a result of climate change.
DO 2	To facilitate access for emergency service vehicles to aid the protection of lives and assets from bushfire danger.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Siting	
<p>PO 1.1</p> <p>Buildings and structures are located away from areas that pose an unacceptable bushfire risk as a result of vegetation cover and type, and terrain.</p>	<p>DTS/DPF 1.1</p> <p>None are applicable.</p>
Built Form	
<p>PO 2.1</p> <p>Buildings and structures are designed and configured to reduce the impact of bushfire through using designs that reduce the potential for trapping burning debris against or underneath the building or</p>	<p>DTS/DPF 2.1</p> <p>None are applicable.</p>

<p>structure, or between the ground and building floor level in the case of transportable buildings and buildings on stilts.</p>	
<p>PO 2.2 Extensions to buildings, outbuildings and other ancillary structures are sited and constructed using materials to minimise the threat of fire spread to residential and tourist accommodation (including boarding houses, hostels, dormitory style accommodation, student accommodation and Workers' accommodation) in the event of bushfire.</p>	<p>DTS/DPF 2.2 Outbuildings and other ancillary structures are sited no closer than 6m from the habitable building.</p>
<p>Habitable Buildings</p>	
<p>PO 3.1 To minimise the threat, impact and potential exposure to bushfires on life and property, residential and tourist accommodation and habitable buildings for vulnerable communities (including boarding houses, hostels, dormitory style accommodation, student accommodation and workers' accommodation) is sited on the flatter portion of allotments away from steep slopes.</p>	<p>DTS/DPF 3.1 None are applicable.</p>
<p>PO 3.2 Residential, tourist accommodation and habitable buildings for vulnerable communities (including boarding houses, hostels, dormitory style accommodation, student accommodation and workers' accommodation) is sited away from vegetated areas that pose an unacceptable bushfire risk.</p>	<p>DTS/DPF 3.2 Residential, tourist accommodation and habitable buildings for vulnerable communities are provided with asset protection zone(s) in accordance with (a) and (b):</p> <ul style="list-style-type: none"> (a) the asset protection zone has a minimum width of at least: <ul style="list-style-type: none"> (i) 50 metres to unmanaged grasslands (ii) 100 metres to hazardous bushland vegetation (b) the asset protection zone is contained wholly within the allotment of the development.
<p>PO 3.3 Residential, tourist accommodation and habitable buildings for vulnerable communities, (including boarding houses, hostels, dormitory style accommodation, student accommodation and workers' accommodation), has a dedicated area available that is capable of accommodating a bushfire protection system comprising firefighting equipment and water supply in accordance with <i>Ministerial Building Standard MBS 008 - Designated bushfire prone areas - additional requirements</i>.</p>	<p>DTS/DPF 3.3 None are applicable.</p>
<p>Vehicle Access - Roads, Driveways and Fire Tracks</p>	
<p>PO 5.1 Roads are designed and constructed to facilitate the safe and effective:</p> <ul style="list-style-type: none"> (a) access, operation and evacuation of fire-fighting vehicles and emergency personnel (b) evacuation of residents, occupants and visitors. 	<p>DTS/DPF 5.1 Roads:</p> <ul style="list-style-type: none"> (a) are constructed with a formed, all-weather surface (b) have a gradient of not more than 16 degrees (1-in-3.5) at any point along the road (c) have a cross fall of not more than 6 degrees (1-in-9.5) at any point along the road (d) have a minimum formed road width of 6m (e) provide overhead clearance of not less than 4.0m between the road surface and overhanging branches or other obstructions including buildings and/or structures (Figure

	<p>1)</p> <p>(f) allow fire-fighting services (personnel and vehicles) to travel in a continuous forward movement around road curves by constructing the curves with a minimum external radius of 12.5m (Figure 2)</p> <p>(g) incorporating cul-de-sac endings or dead end roads do not exceed 200m in length and the end of the road has either:</p> <ul style="list-style-type: none"> (i) a turning area with a minimum formed surface radius of 12.5m (Figure 3) or (ii) a 'T' or 'Y' shaped turning area with a minimum formed surface length of 11m and minimum internal radii of 9.5m (Figure 4) <p>(h) incorporate solid, all-weather crossings over any watercourse that support fire-fighting vehicles with a gross vehicle mass (GVM) of 21 tonnes.</p>
<p>PO 5.2</p> <p>Access to habitable buildings is designed and constructed to facilitate the safe and effective:</p> <ul style="list-style-type: none"> (a) access, operation and evacuation of fire-fighting vehicles and emergency personnel (b) evacuation of residents, occupants and visitors. 	<p>DTS/DPF 5.2</p> <p>Access is in accordance with (a) or (b):</p> <ul style="list-style-type: none"> (a) a clear and unobstructed vehicle or pedestrian pathway of not greater than 60 metres in length is available between the most distant part of the habitable building and the nearest part of a formed public access road (b) driveways: <ul style="list-style-type: none"> (i) do not exceed 600m in length (ii) are constructed with a formed, all-weather surface (iii) are connected to a formed, all-weather public road with the transition area between the road and driveway having a gradient of not more than 7 degrees (1-in-8) (iv) have a gradient of not more than 16 degrees (1-in-3.5) at any point along the driveway (v) have a crossfall of not more than 6 degrees (1-in-9.5) at any point along the driveway (vi) have a minimum formed width of 3m (4m where the gradient of the driveway is steeper than 12 degrees (1-in-4.5)) plus 0.5 metres clearance either side of the driveway from overhanging branches or other obstructions, including buildings and/or structures (Figure 1) (vii) incorporate passing bays with a minimum width of 6m and length of 17m every 200m (Figure 5) (viii) provide overhead clearance of not less than 4.0m between the driveway surface and overhanging branches or other obstructions, including buildings and/or structures (Figure 1) (ix) allow fire-fighting services (personnel and vehicles) to travel in a continuous forward movement around driveway curves by constructing the curves with a minimum external radius of 12.5m (Figure 2) (x) allow fire-fighting vehicles to safely enter and exit an allotment in a forward direction by using a 'U' shaped drive through design or by incorporating at the end of the driveway either: <ul style="list-style-type: none"> A. a loop road around the building or B. a turning area with a minimum radius of

	<p>12.5m (Figure 3) or C. a 'T' or 'Y' shaped turning area with a minimum formed length of 11m and minimum internal radii of 9.5m (Figure 4)</p> <p>(xi) incorporate solid, all-weather crossings over any watercourse that support fire-fighting vehicles with a gross vehicle mass (GVM) of 21 tonnes.</p>
<p>PO 5.3 Development does not rely on fire tracks as means of evacuation or access for fire-fighting purposes unless there are no safe alternatives available.</p>	<p>DTS/DPF 5.3 None are applicable.</p>

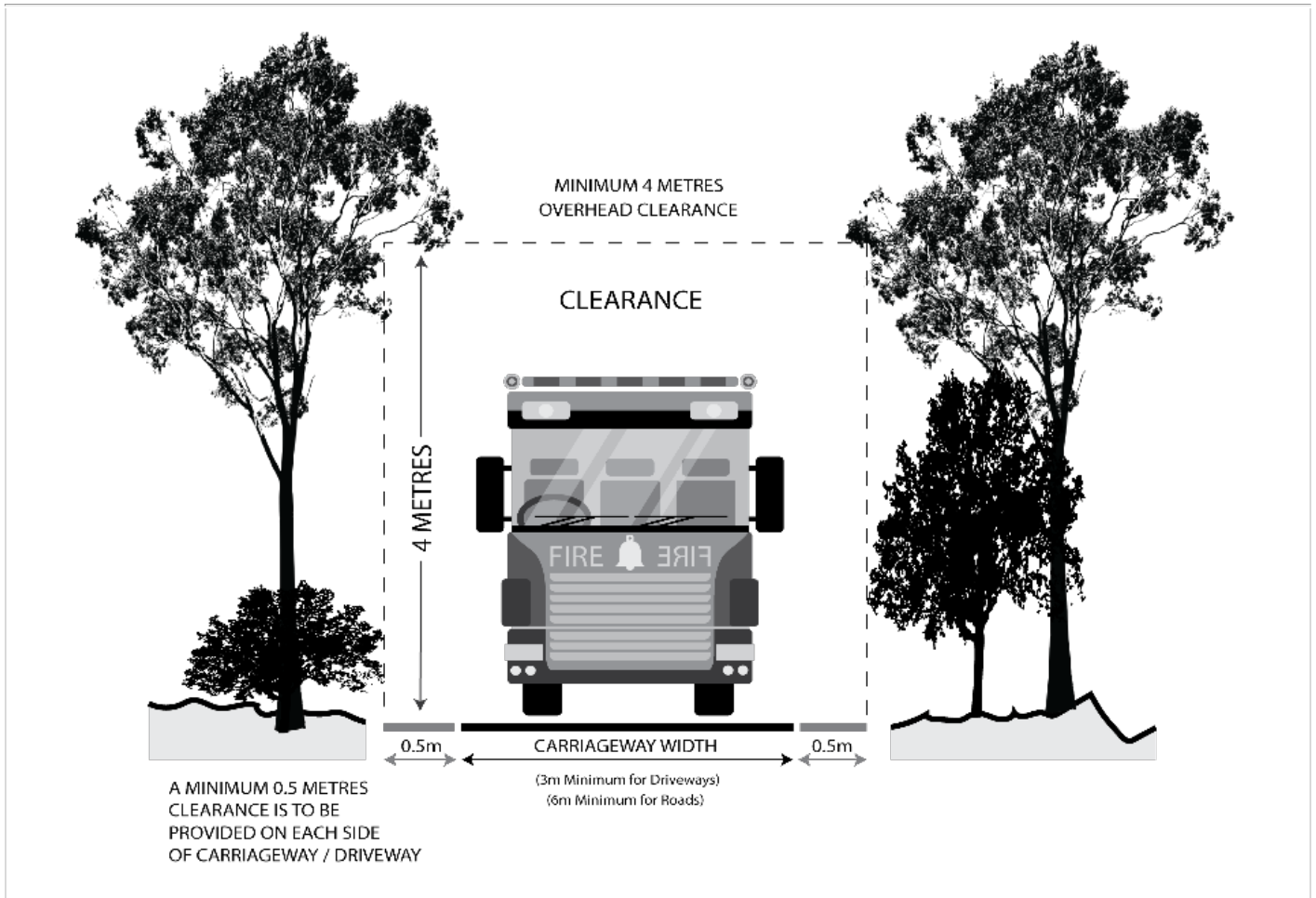
Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

Figures and Diagrams

<p>Fire Engine and Appliance Clearances</p>
<p>Figure 1 - Overhead and Side Clearances</p>



Roads and Driveway Design

Figure 2 - Road and Driveway Curves

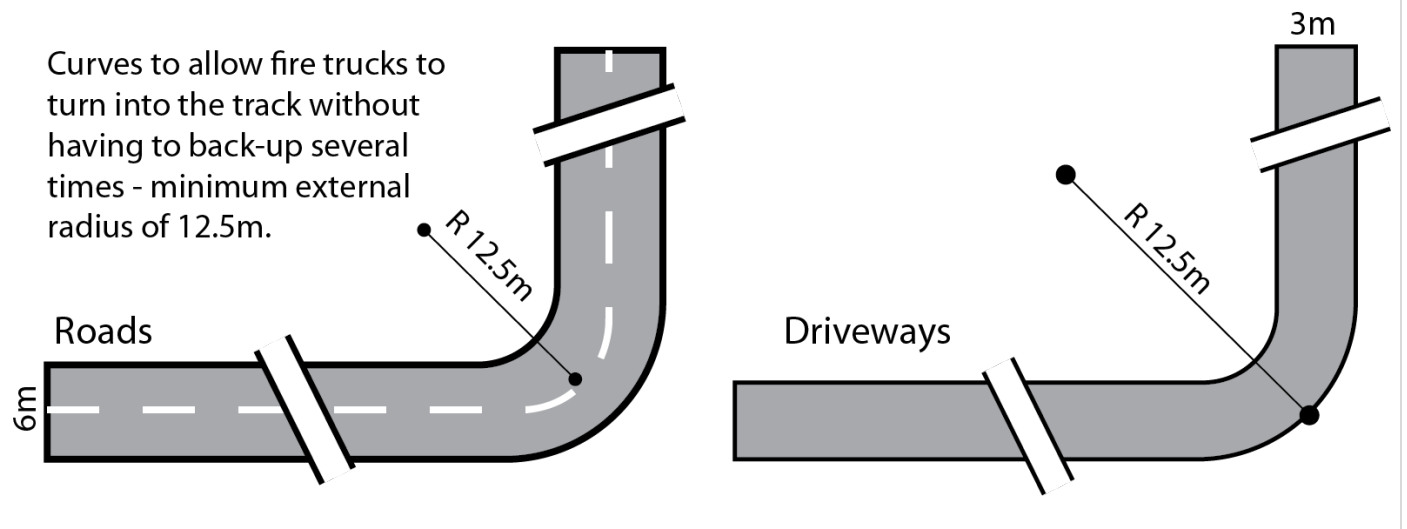


Figure 3 - Full Circle Turning Area

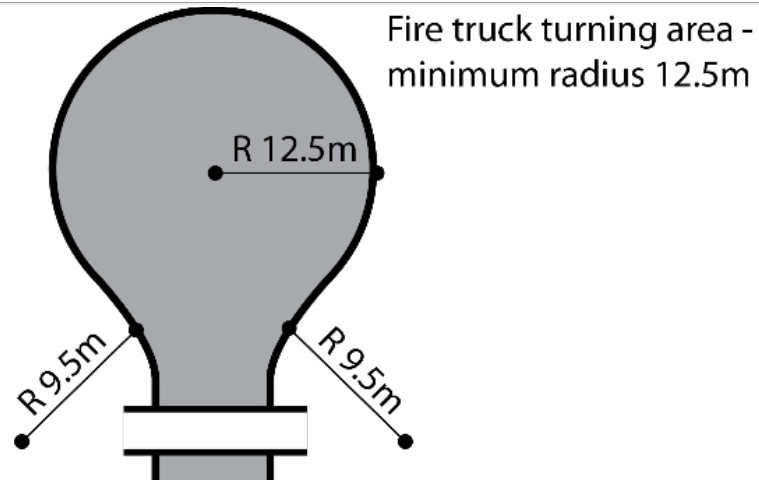
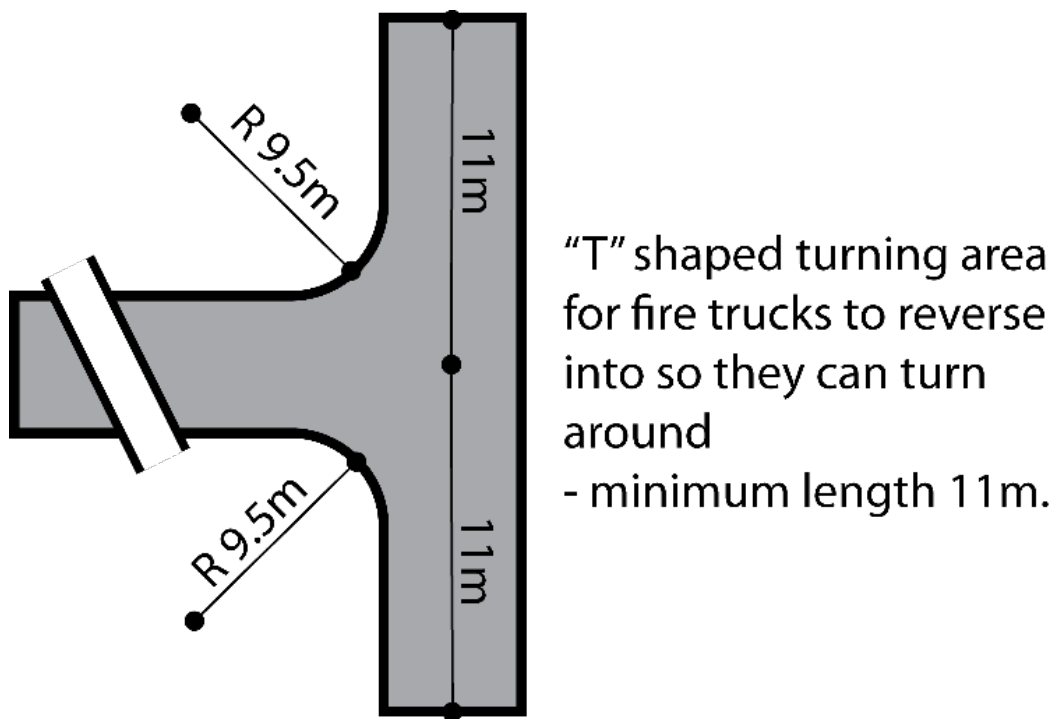


Figure 4 - 'T' or 'Y' Shaped Turning Head



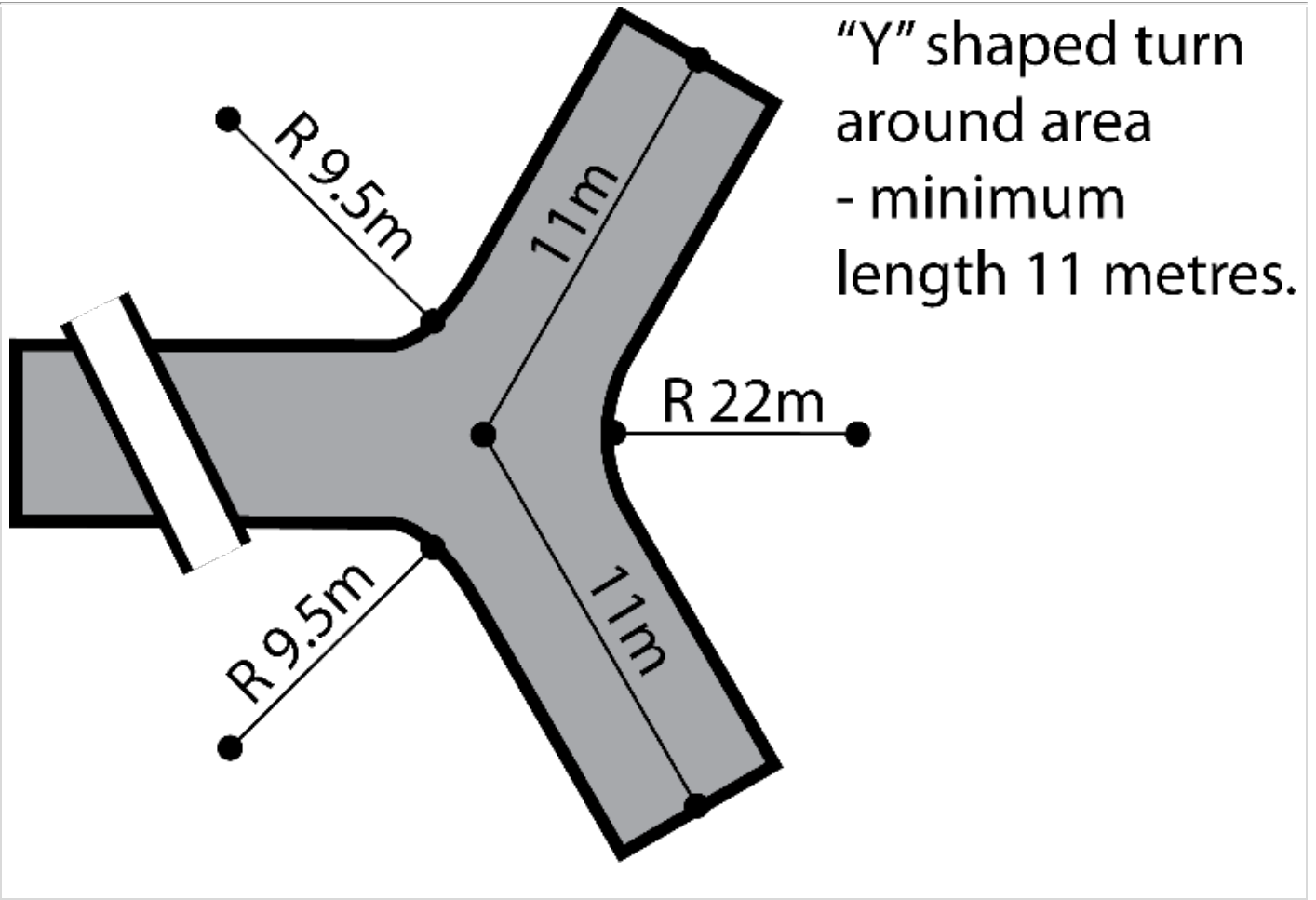
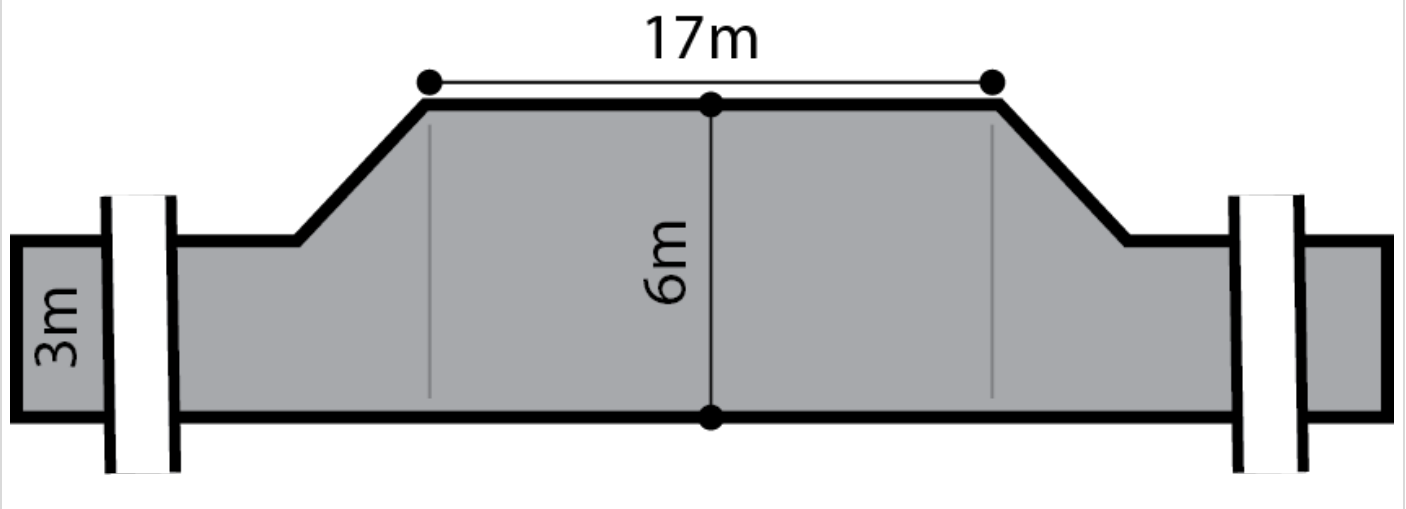


Figure 5 - Driveway Passing Bays

Passing bay for fire trucks - minimum width 6 metres, minimum length 17 metres.



Hazards (Flooding - Evidence Required) Overlay

Assessment Provisions (AP)

Desired Outcome

DO 1	Development adopts a precautionary approach to mitigate potential impacts on people, property, infrastructure and the environment from potential flood risk through the appropriate siting and design of development.
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Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Flood Resilience	
PO 1.1 Development is sited, designed and constructed to minimise the risk of entry of potential floodwaters where the entry of flood waters is likely to result in undue damage to or compromise ongoing activities within buildings.	DTS/DPF 1.1 Habitable buildings, commercial and industrial buildings, and buildings used for animal keeping incorporate a finished floor level at least 300mm above: <ul style="list-style-type: none"> (a) the highest point of top of kerb of the primary street or (b) the highest point of natural ground level at the primary street boundary where there is no kerb

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

Historic Area Overlay

Assessment Provisions (AP)

Desired Outcome	
DO 1	Historic themes and characteristics are reinforced through conservation and contextually responsive development, design and adaptive reuse that responds to existing coherent patterns of land division, site configuration, streetscapes, building siting and built scale, form and features as exhibited in the Historic Area and expressed in the Historic Area Statement.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
All Development	
PO 1.1 All development is undertaken having consideration to the historic streetscapes and built form as expressed in the Historic Area	DTS/DPF 1.1 None are applicable.

Statement.	
Built Form	
PO 2.1 The form and scale of new buildings and structures that are visible from the public realm are consistent with the prevailing historic characteristics of the historic area.	DTS/DPF 2.1 None are applicable.
PO 2.2 Development is consistent with the prevailing building and wall heights in the historic area.	DTS/DPF 2.2 None are applicable.
PO 2.3 Design and architectural detailing of street-facing buildings (including but not limited to roof pitch and form, openings, chimneys and verandahs) complement the prevailing characteristics in the historic area.	DTS/DPF 2.3 None are applicable.
PO 2.4 Development is consistent with the prevailing front and side boundary setback pattern in the historic area.	DTS/DPF 2.4 None are applicable.
PO 2.5 Materials are either consistent with or complement those within the historic area.	DTS/DPF 2.5 None are applicable.
Alterations and additions	
PO 3.1 Alterations and additions complement the subject building, employ a contextual design approach and are sited to ensure they do not dominate the primary façade.	DTS/DPF 3.1 Alterations and additions are fully contained within the roof space of an existing building with no external alterations made to the building elevation facing the primary street.
PO 3.2 Adaptive reuse and revitalisation of buildings to support retention consistent with the Historic Area Statement.	DTS/DPF 3.2 None are applicable.
Ancillary development	
PO 4.1 Ancillary development, including carports, outbuildings and garages, complements the historic character of the area and associated buildings.	DTS/DPF 4.1 None are applicable.
PO 4.2 Ancillary development, including carports, outbuildings and garages, is located behind the building line of the principal building(s) and does not dominate the building or its setting.	DTS/DPF 4.2 None are applicable.
Context and Streetscape Amenity	
PO 6.1 The width of driveways and other vehicle access ways are consistent with the prevailing width of existing driveways of the	DTS/DPF 6.1 None are applicable.

historic area.	
PO 6.2 Development maintains the valued landscape patterns and characteristics that contribute to the historic area, except where they compromise safety, create nuisance, or impact adversely on buildings or infrastructure.	DTS/DPF 6.2 None are applicable.
Ruins	
PO 8.1 Development conserves and complements features and ruins associated with former activities of significance.	DTS/DPF 8.1 None are applicable.

Historic Area Statements

Statement#	Statement														
Historic Areas Affecting Adelaide Hills Council															
AdHi2	<p>Stirling - Ayres Hill Road Historic Area Statement (AdHi2)</p> <p>The Historic Area Overlay identifies localities that comprise characteristics of an identifiable historic, economic and / or social theme of recognised importance. They can comprise land divisions, development patterns, built form characteristics and natural features that provide a legible connection to the historic development of a locality.</p> <p>These attributes have been identified in the below table. In some cases State and / or Local Heritage Places within the locality contribute to the attributes of an Historic Area.</p> <p>The preparation of an Historic Impact Statement can assist in determining potential additional attributes of an Historic Area where these are not stated in the below table.</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 30%;">Eras, themes and context</td> <td>Mid to late 1880s residential.</td> </tr> <tr> <td>Allotments, subdivision and built form patterns</td> <td>Large blocks of land. Larger houses on large, well vegetated grounds. Dwellings set well back from the street boundary. Smaller subordinate buildings located closer to the street boundary.</td> </tr> <tr> <td>Architectural styles, detailing and built form features</td> <td>The architectural style of the buildings varies with their date of construction.</td> </tr> <tr> <td>Building height</td> <td>Building height to 9 metres. Original scale of buildings.</td> </tr> <tr> <td>Materials</td> <td>Consistent with the materials associated with the architectural style of the subject building. Random, coursed and dressed stone. Rendered stone. Brick, stone and rendered quoins. String courses. Hipped and gabled roofs. Dormer windows. Raked verandahs supported with timber posts and masonry pillars. Corrugated iron roofs. Decorative cast iron features. Brick and stone chimneys. Stone Porticos. Decorative and ornate timber bargeboards. External finishes non-reflective and utilise natural colours.</td> </tr> <tr> <td>Fencing</td> <td>Front fencing of pickets, post and wire and masonry (exposed or rendered brickwork or stonework) often obscured by hedges or other plantings, with varying heights to between 1200-1800 millimetres.</td> </tr> <tr> <td>Setting, landscaping, streetscape and public realm features</td> <td> <p>'Secluded' nature of houses, in most cases set well back on their blocks, hidden behind the gardens and hedges.</p> <p>Streetscape is dominated by tree plantings and fencing behind which can be seen the</p> </td> </tr> </table>	Eras, themes and context	Mid to late 1880s residential.	Allotments, subdivision and built form patterns	Large blocks of land. Larger houses on large, well vegetated grounds. Dwellings set well back from the street boundary. Smaller subordinate buildings located closer to the street boundary.	Architectural styles, detailing and built form features	The architectural style of the buildings varies with their date of construction.	Building height	Building height to 9 metres. Original scale of buildings.	Materials	Consistent with the materials associated with the architectural style of the subject building. Random, coursed and dressed stone. Rendered stone. Brick, stone and rendered quoins. String courses. Hipped and gabled roofs. Dormer windows. Raked verandahs supported with timber posts and masonry pillars. Corrugated iron roofs. Decorative cast iron features. Brick and stone chimneys. Stone Porticos. Decorative and ornate timber bargeboards. External finishes non-reflective and utilise natural colours.	Fencing	Front fencing of pickets, post and wire and masonry (exposed or rendered brickwork or stonework) often obscured by hedges or other plantings, with varying heights to between 1200-1800 millimetres.	Setting, landscaping, streetscape and public realm features	<p>'Secluded' nature of houses, in most cases set well back on their blocks, hidden behind the gardens and hedges.</p> <p>Streetscape is dominated by tree plantings and fencing behind which can be seen the</p>
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	larger trees and shrubs of the gardens. The lower section of the road (from Laurel Road to the roundabout near St Catherine's) is winding and bordered by hedges and trees. The upper portion of the road is straight and reveals a wider footpath margin than the lower section, adding to the feeling of privacy of the houses. Wide footpath verges which are of a rustic nature. Row and avenue plantings of exotic trees in the road verges.
Representative Buildings	[Not identified]

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

Mount Lofty Ranges Water Supply Catchment (Area 2) Overlay

Assessment Provisions (AP)

Desired Outcome	
DO 1	Safeguard Greater Adelaide's public water supply by ensuring development has a neutral or beneficial effect on the quality of water harvested from secondary reservoirs or diversion weir catchments from the Mount Lofty Ranges.

Performance Outcomes (PO) and Deemed to Satisfy (DTS) / Designated Performance Feature (DPF) Criteria

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Water Quality	
PO 1.1 Development results in a neutral or beneficial effect on the quality of water draining from the site to maintain and enhance the role of the catchment as a water supply.	DTS/DPF 1.1 None are applicable.
Wastewater	
PO 2.1 Development that generates human wastewater, including alterations and additions, are established at an intensity and in a manner to minimise potential adverse impact on water quality within secondary reservoir and weir catchment areas.	DTS/DPF 2.1 Development including alterations and additions, in combination with existing built form and activities within an allotment: (a) do not generate a combined total of more than 1500 litres of wastewater per day and

	<p>(b) will be connected to the same on-site wastewater system that is compliant with relevant South Australian standards</p> <p>or is otherwise connected to a sewer or community wastewater management system.</p>
<p>PO 2.4</p> <p>Wastewater management systems result in a neutral or beneficial effect on the quality of water draining from the site.</p>	<p>DTS/DPF 2.4</p> <p>Development results in:</p> <p>(a) a building or land use that is currently connected to an existing on-site wastewater system that is non-compliant with relevant South Australian standards being connected to a new or upgraded system that complies with such standards</p> <p>or</p> <p>(b) an existing on-site wastewater system being decommissioned and wastewater being disposed of to a sewer or community wastewater management system that complies with relevant South Australian standards.</p>
<p>PO 2.5</p> <p>Surface and groundwater protected from wastewater discharge pollution.</p>	<p>DTS/DPF 2.5</p> <p>All components of an effluent disposal area are:</p> <p>(a) setback 50 metres or more from a watercourse</p> <p>(b) setback 100 metres or more from a public water supply reservoir</p> <p>(c) located on land with a slope no greater than 1-in-5 (20%)</p> <p>(d) located on land with 1.2m or more depth to bedrock or a seasonal or permanent water table</p> <p>(e) above the 10% AEP flood level.</p>
Stormwater	
<p>PO 3.1</p> <p>Post-development peak stormwater discharge quantities and rates do not exceed pre-development quantities and rates to maintain water quality leaving the site.</p>	<p>DTS/DPF 3.1</p> <p>None are applicable.</p>
<p>PO 3.2</p> <p>Stormwater run-off from areas not likely to be subject to pollution diverted away from areas that could cause pollution.</p>	<p>DTS/DPF 3.2</p> <p>None are applicable.</p>
<p>PO 3.3</p> <p>Polluted stormwater is treated prior to discharge from the site.</p>	<p>DTS/DPF 3.3</p> <p>None are applicable.</p>
<p>PO 3.4</p> <p>Stormwater from carports, verandahs, outbuildings and agricultural buildings captured to protect water quality.</p>	<p>DTS/DPF 3.4</p> <p>Development includes:</p> <p>(a) rainwater tanks with a minimum capacity of 1,000L connected to carports, verandahs and outbuildings</p> <p>or</p> <p>(b) rainwater tanks with a minimum capacity of 4,500L connected to agricultural buildings exceeding 100m².</p>
<p>PO 3.9</p>	<p>DTS/DPF 3.9</p>

<p>Stormwater from excavated and filled areas is managed to protect water quality.</p>	<p>Excavation and/or filling satisfy all the following:</p> <ul style="list-style-type: none"> (a) is located 50m or more from watercourses (b) is located 100m or more from public water supply reservoirs and diversion weirs (c) does not involve excavation exceeding a vertical height of 0.75m (d) does not involve filling exceeding a vertical height of 0.75m (e) does not involve a total combined excavation and filling vertical height of 1.5m.
<p>Landscapes and Natural Features</p>	
<p>PO 4.1 Development minimises the need to modify landscapes and natural features.</p>	<p>DTS/DPF 4.1 None are applicable.</p>

Procedural Matters (PM)

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
<p>Any of the following classes of development that are not connected (or not proposed to be connected) to a community wastewater management system or sewerage infrastructure:</p> <ul style="list-style-type: none"> (a) land division creating one or more additional allotments, either partly or wholly within the area of the overlay (b) function centre with more than 75 seats for customer dining purposes (c) restaurant with more than 40 seats for customer dining purposes (d) restaurant with more than 30 seats for customer dining purposes in association with a cellar door (e) dwelling where a habitable dwelling or tourist accommodation already exists on the same allotment (including where a valid planning authorisation exists to erect a dwelling or tourist accommodation on the same allotment) (f) tourist accommodation where a habitable dwelling or tourist accommodation already exists on the same allotment (including where a valid planning authorisation exists to erect a habitable dwelling or tourist accommodation on the same allotment) (g) workers' accommodation where a habitable dwelling or tourist accommodation already exists on the same allotment (including where a valid planning authorisation exists to erect a habitable dwelling or tourist accommodation on the same allotment) 	<p>Environment Protection Authority.</p>	<p>To provide expert technical assessment and direction to the relevant authority on whether a proposed development will have a neutral or beneficial impact on water quality.</p>	<p>Development of a class to which Schedule 9 clause 3 item 9 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.</p>

<p>(h) any other development that generates human wastewater from a peak loading capacity of more than 40 persons (or more than 6,000 litres/day)</p>	
<p>Composting works (excluding a prescribed approved activity) - being a depot, facility or works with the capacity to treat, during a 12 month period more than 200 tonnes of organic waste or matter (EPA Licence)</p>	
<p>Wastewater treatment works - being sewage treatment works, a community wastewater management system, winery wastewater treatment works or any other wastewater treatment works with the capacity to treat, during a 12 month period more than 2.5 ML of wastewater (EPA Licence required at more than 5ML)</p>	
<p>Feedlots - being carrying on an operation for holding in confined yard or area and feeding principally by mechanical means or by hand not less than an average of 200 cattle (EPA Licence) or 1,600 sheep or goats per day over any period of 12 months, but excluding any such operation carried on at an abattoir, slaughterhouse or saleyard or for the purpose only of drought or other emergency feeding</p>	
<p>Piggeries - being the conduct of a piggery (being premises having confined or roofed structures for keeping pigs) with a capacity of 130 or more standard pig units (EPA Licence required at 650 or more standard pig units)</p>	
<p>Dairies - carrying on of a dairy with a total processing capacity exceeding 100 milking animals at any one time.</p>	

Native Vegetation Overlay

Assessment Provisions (AP)

<h2 style="text-align: center;">Desired Outcome</h2>	
<p>DO 1</p>	<p>Areas of native vegetation are protected, retained and restored in order to sustain biodiversity, threatened species and vegetation communities, fauna habitat, ecosystem services, carbon storage and amenity values.</p>

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

<h2 style="text-align: center;">Performance Outcome</h2>	<h2 style="text-align: center;">Deemed-to-Satisfy Criteria / Designated Performance</h2>
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		Feature
Environmental Protection		
<p>PO 1.1</p> <p>Development avoids, or where it cannot be practically avoided, minimises the clearance of native vegetation taking into account the siting of buildings, access points, bushfire protection measures and building maintenance.</p>	<p>DTS/DPF 1.1</p> <p>An application is accompanied by:</p> <p>(a) a declaration stating that the proposal will not, or would not, involve clearance of native vegetation under the Native Vegetation Act 1991, including any clearance that may occur:</p> <p style="margin-left: 40px;">(i) in connection with a relevant access point and / or driveway</p> <p style="margin-left: 40px;">(ii) within 10m of a building (other than a residential building or tourist accommodation)</p> <p style="margin-left: 40px;">(iii) within 20m of a dwelling or addition to an existing dwelling for fire prevention and control</p> <p style="margin-left: 40px;">(iv) within 50m of residential or tourist accommodation in connection with a requirement under a relevant overlay to establish an asset protection zone in a bushfire prone area</p> <p style="text-align: center;">or</p> <p>(b) a report prepared in accordance with Regulation 18(2)(a) of the Native Vegetation Regulations 2017 that establishes that the clearance is categorised as 'Level 1 clearance'.</p>	
<p>PO 1.2</p> <p>Native vegetation clearance in association with development avoids the following:</p> <p style="margin-left: 40px;">(a) significant wildlife habitat and movement corridors</p> <p style="margin-left: 40px;">(b) rare, vulnerable or endangered plants species</p> <p style="margin-left: 40px;">(c) native vegetation that is significant because it is located in an area which has been extensively cleared</p> <p style="margin-left: 40px;">(d) native vegetation that is growing in, or in association with, a wetland environment.</p>	<p>DTS/DPF 1.2</p> <p>None are applicable.</p>	
<p>PO 1.4</p> <p>Development restores and enhances biodiversity and habitat values through revegetation using locally indigenous plant species.</p>	<p>DTS/DPF 1.4</p> <p>None are applicable.</p>	

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
Development that is the subject of a report prepared in accordance with Regulation 18(2)(a) of the <i>Native Vegetation Regulations 2017</i> that categorises the clearance, or potential clearance, as 'Level 3 clearance' or 'Level 4 clearance'.	Native Vegetation Council	To provide expert assessment and direction to the relevant authority on the potential impacts of development on native vegetation.	Development of a class to which Schedule 9 clause 3 item 11 of the

			Planning, Development and Infrastructure (General) Regulations 2017 applies.
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State Heritage Place Overlay

Assessment Provisions (AP)

Desired Outcome	
DO 1	Development maintains the heritage and cultural values of State Heritage Places through conservation, ongoing use and adaptive reuse consistent with Statements of Significance and other relevant documents prepared and published by the administrative unit of the Public Service that is responsible for assisting a Minister in the administration of the <i>Heritage Places Act 1993</i> .

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Built Form	
PO 1.1 The form of new buildings and structures maintains the heritage values of the State Heritage Place.	DTS/DPF 1.1 None are applicable.
PO 1.2 Massing, scale and siting of development maintains the heritage values of the State Heritage Place.	DTS/DPF 1.2 None are applicable.
PO 1.3 Design and architectural detailing (including but not limited to roof pitch and form, openings, chimneys and verandahs) maintains the heritage values of the State Heritage Place.	DTS/DPF 1.3 None are applicable.
PO 1.4 Development is consistent with boundary setbacks and setting.	DTS/DPF 1.4 None are applicable.
PO 1.5 Materials and colours are either consistent with or complement the heritage values of the State Heritage Place.	DTS/DPF 1.5 None are applicable.
PO 1.6 New buildings and structures are not placed or erected between the primary and secondary street boundaries and the façade of a State Heritage Place.	DTS/DPF 1.6 None are applicable.

PO 1.7 Development of a State Heritage Place retains elements contributing to its heritage value.	DTS/DPF 1.7 None are applicable.
Alterations and Additions	
PO 2.1 Alterations and additions complement the State Heritage Place and are sited to be unobtrusive, not conceal or obstruct heritage features and detailing, or dominate the State Heritage Place or its setting.	DTS/DPF 2.1 None are applicable.
PO 2.2 Adaptive reuse and revitalisation of State Heritage Places to support their retention in a manner that respects and references the original use of the State Heritage Place.	DTS/DPF 2.2 None are applicable.
Ancillary Development	
PO 3.1 Ancillary development, including carports, outbuildings and garages, complement the heritage values of the State Heritage Place.	DTS/DPF 3.1 None are applicable.
PO 3.2 Ancillary development, including carports, outbuildings and garages, is located behind the building line of the State Heritage Place.	DTS/DPF 3.2 None are applicable.
Landscape Context and Streetscape Amenity	
PO 5.1 Individually heritage listed trees, parks, historic gardens and memorial avenues retained unless: (a) trees / plantings are, or have the potential to be, a danger to life or property or (b) trees / plantings are significantly diseased and their life expectancy is short.	DTS/DPF 5.1 None are applicable.
Conservation Works	
PO 7.1 Conservation works to the exterior and interior of a State Heritage Place and other features of identified heritage value match original materials to be repaired and utilise traditional work methods.	DTS/DPF 7.1 None are applicable.

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference

<p>Except where:</p> <ul style="list-style-type: none"> (a) the development is to be undertaken in accordance with a Heritage Agreement under the <i>Heritage Places Act 1993</i> or (b) the development is, in the opinion of the relevant authority, minor in nature or like for like maintenance and would not warrant a referral when considering the purpose of the referral <p>any of the following classes of development:</p> <ul style="list-style-type: none"> (a) demolition of internal or external significant building fabric (b) freestanding advertisements, signs and associated structures that are visible from a public street, road or thoroughfare that abuts the State Heritage Place (c) alterations or additions to buildings that: <ul style="list-style-type: none"> (i) are visible from a public street, road or thoroughfare that abuts the State Heritage Place or (ii) may materially affect the context of a State Heritage Place or (iii) involve substantive physical impact to the fabric of significant buildings; (d) new buildings that: <ul style="list-style-type: none"> (i) are visible from a public street, road or thoroughfare that abuts the State Heritage Place or (ii) may materially affect the context of the State Heritage Place (e) conservation repair works that are not representative of 'like for like' maintenance (f) solar panels that are visible from a public street, road or thoroughfare that abuts the State Heritage Place (g) land division (h) the removal, alteration or installation of fencing where visible from a public street, road or thoroughfare that abuts the State Heritage Place (i) the removal of an individual tree or a tree within a garden or park of identified heritage significance. 	<p>Minister responsible for the administration of the <i>Heritage Places Act 1993</i>.</p>	<p>To provide expert assessment and direction to the relevant authority on the potential impacts of development on State Heritage Places.</p>	<p>Development of a class to which Schedule 9 clause 3 item 17 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.</p>
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Part 4 - General Development Policies

Clearance from Overhead Powerlines

Assessment Provisions (AP)

Desired Outcome	
DO 1	Protection of human health and safety when undertaking development in the vicinity of overhead transmission powerlines.

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
PO 1.1 Buildings are adequately separated from aboveground powerlines to minimise potential hazard to people and property.	DTS/DPF 1.1 One of the following is satisfied: <ul style="list-style-type: none"> (a) a declaration is provided by or on behalf of the applicant to the effect that the proposal would not be contrary to the regulations prescribed for the purposes of section 86 of the <i>Electricity Act 1996</i> (b) there are no aboveground powerlines adjoining the site that are the subject of the proposed development.

Design in Urban Areas

Assessment Provisions (AP)

Desired Outcome	
DO 1	Development is: <ul style="list-style-type: none"> (a) contextual - by considering, recognising and carefully responding to its natural surroundings or built environment and positively contributing to the character of the locality (b) durable - fit for purpose, adaptable and long lasting (c) inclusive - by integrating landscape design to optimise pedestrian and cyclist usability, privacy and equitable access and promoting the provision of quality spaces integrated with the public realm that can be used for access and recreation and help optimise security and safety both internally and within the public realm, for occupants and visitors (d) sustainable - by integrating sustainable techniques into the design and siting of development and landscaping to improve community health, urban heat, water management, environmental performance, biodiversity and local amenity and to minimise energy consumption.

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
All Development	
Earthworks and sloping land	
PO 8.1 Development, including any associated driveways and access tracks, minimises the need for earthworks to limit disturbance to natural topography.	DTS/DPF 8.1 Development does not involve any of the following: <ul style="list-style-type: none"> (a) excavation exceeding a vertical height of 1m (b) filling exceeding a vertical height of 1m (c) a total combined excavation and filling vertical height of 2m or more.

Infrastructure and Renewable Energy Facilities

Assessment Provisions (AP)

Desired Outcome	
DO 1	Efficient provision of infrastructure networks and services, renewable energy facilities and ancillary development in a manner that minimises hazard, is environmentally and culturally sensitive and manages adverse visual impacts on natural and rural landscapes and residential amenity.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Wastewater Services	
PO 12.2 Effluent drainage fields and other wastewater disposal areas are maintained to ensure the effective operation of waste systems and minimise risks to human health and the environment.	DTS/DPF 12.2 Development is not built on, or encroaches within, an area that is, or will be, required for a sewerage system or waste control system.

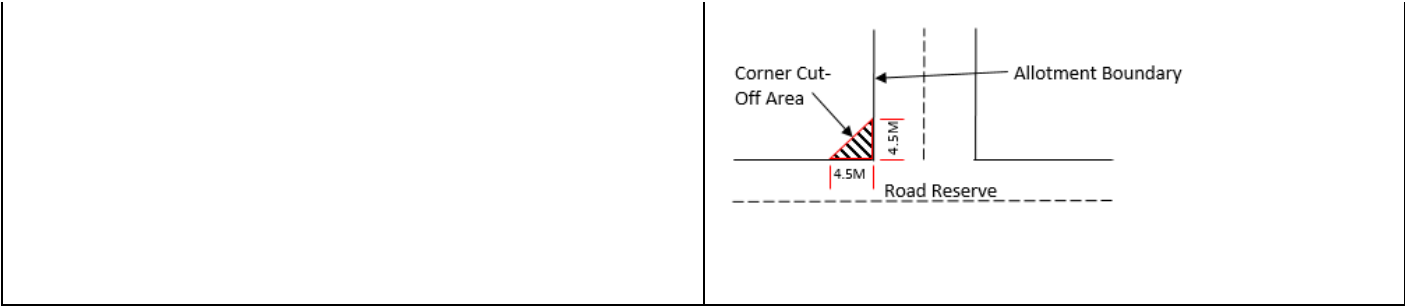
Transport, Access and Parking

Assessment Provisions (AP)

Desired Outcome	
DO 1	A comprehensive, integrated and connected transport system that is safe, sustainable, efficient, convenient and accessible to all users.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Corner Cut-Offs	
PO 10.1 Development is located and designed to ensure drivers can safely turn into and out of public road junctions.	DTS/DPF 10.1 Development does not involve building work, or building work is located wholly outside the land shown as Corner Cut-Off Area in the following diagram:

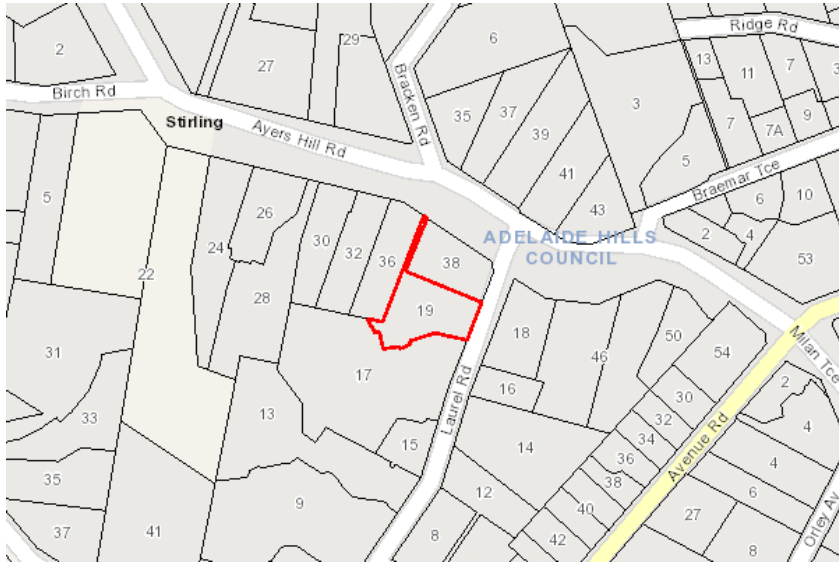


19 LAUREL RD STIRLING SA 5152

Address:

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To view a detailed interactive property map in SAPPa click on the map below



Property Zoning Details

Local Variation (TNV)

- Minimum Site Area (*Minimum site area is 2,000 sqm*)
- Maximum Building Height (Levels) (*Maximum building height is 2 levels*)
- Minimum Side Boundary Setback (*Minimum side boundary setback is 2m*)
- Site Coverage (*Maximum site coverage is 50 per cent*)

Overlay

- Historic Area (*AdHi2*)
- Hazards (Bushfire - Medium Risk)
- Hazards (Flooding - Evidence Required)
- Limited Land Division
- Mount Lofty Ranges Water Supply Catchment (Area 2)
- Native Vegetation
- Prescribed Water Resources Area
- Regulated and Significant Tree
- State Heritage Place (*15029*)
- Stormwater Management
- Urban Tree Canopy

Zone

- Established Neighbourhood

Selected Development(s)

Retaining wall

This development may be subject to multiple assessment pathways. Please review the document below to determine which pathway may be applicable based on the proposed development compliances to standards.

If no assessment pathway is shown this mean the proposed development will default to performance assessed. Please contact your local council in this instance. Refer to Part 1 - Rules of Interpretation - Determination of Classes of Development

Property Policy Information for above selection

Part 2 - Zones and Sub Zones

Established Neighbourhood Zone

Assessment Provisions (AP)

Desired Outcome	
DO 1	A neighbourhood that includes a range of housing types, with new buildings sympathetic to the predominant built form character and development patterns.
DO 2	Maintain the predominant streetscape character, having regard to key features such as roadside plantings, footpaths, front yards, and space between crossovers.

Table 5 - Procedural Matters (PM) - Notification

The following table identifies, pursuant to section 107(6) of the *Planning, Development and Infrastructure Act 2016*, classes of performance assessed development that are excluded from notification. The table also identifies any exemptions to the placement of notices when notification is required.

Interpretation

Notification tables exclude the classes of development listed in Column A from notification provided that they do not fall within a corresponding exclusion prescribed in Column B.

Where a development or an element of a development falls within more than one class of development listed in Column A, it will be excluded from notification if it is excluded (in its entirety) under any of those classes of development. It need not be excluded under all applicable classes of development.

Where a development involves multiple performance assessed elements, all performance assessed elements will require notification (regardless of whether one or more elements are excluded in the applicable notification table) unless every performance assessed element of the application is excluded in the applicable notification table, in which case the application will not require notification.

Class of Development (Column A)	Exceptions (Column B)
1. Development which, in the opinion of the relevant authority, is of a minor nature only and will not unreasonably impact on the owners or occupiers of land in the locality of the site of the development.	None specified.
2. All development undertaken by: <ul style="list-style-type: none"> (a) the South Australian Housing Trust either individually or jointly with other persons or bodies or (b) a provider registered under the Community Housing National Law participating in a program relating to the renewal of housing endorsed by the South Australian Housing Trust. 	Except development involving any of the following: <ul style="list-style-type: none"> 1. residential flat building(s) of 3 or more building levels 2. the demolition of a State or Local Heritage Place 3. the demolition of a building (except an ancillary building) in a Historic Area Overlay.
3. Any development involving any of the following (or of any combination of any of the following):	Except development that:

<ul style="list-style-type: none"> (a) air handling unit, air conditioning system or exhaust fan (b) ancillary accommodation (c) building work on railway land (d) carport (e) deck (f) dwelling (g) dwelling addition (h) fence (i) outbuilding (j) pergola (k) private bushfire shelter (l) residential flat building (m) retaining wall (n) shade sail (o) solar photovoltaic panels (roof mounted) (p) swimming pool or spa pool (q) verandah (r) water tank. 	<ul style="list-style-type: none"> 1. exceeds the maximum building height specified in Established Neighbourhood Zone DTS/DPF 4.1 or 2. involves a building wall (or structure) that is proposed to be situated on (or abut) an allotment boundary (not being a boundary with a primary street or secondary street or an excluded boundary) and: <ul style="list-style-type: none"> (a) the length of the proposed wall (or structure) exceeds 8m (other than where the proposed wall abuts an existing wall or structure of greater length on the adjoining allotment) or (b) the height of the proposed wall (or post height) exceeds 3.2m measured from the lower of the natural or finished ground level (other than where the proposed wall abuts an existing wall or structure of greater height on the adjoining allotment).
<p>4. Any development involving any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> (a) consulting room (b) office (c) shop. 	<p>Except development that:</p> <ul style="list-style-type: none"> 1. does not satisfy Established Neighbourhood Zone DTS/DPF 1.2 or 2. exceeds the maximum building height specified in Established Neighbourhood Zone DTS/DPF 4.1 or 3. involves a building wall (or structure) that is proposed to be situated on (or abut) an allotment boundary (not being a boundary with a primary street or secondary street or an excluded boundary) and: <ul style="list-style-type: none"> (a) the length of the proposed wall (or structure) exceeds 8m (other than where the proposed wall abuts an existing wall or structure of greater length on the adjoining allotment) or (b) the height of the proposed wall (or post height) exceeds 3.2m measured from the lower of the natural or finished ground level (other than where the proposed wall abuts an existing wall or structure of greater height on the adjoining allotment).
<p>5. Any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> (a) internal building works (b) land division (c) recreation area (d) replacement building (e) temporary accommodation in an area affected by bushfire (f) tree damaging activity. 	<p>None specified.</p>

<p>6. Demolition.</p>	<p>Except any of the following:</p> <ol style="list-style-type: none"> 1. the demolition of a State or Local Heritage Place 2. the demolition of a building (except an ancillary building) in a Historic Area Overlay.
Placement of Notices - Exemptions for Performance Assessed Development	
<p>None specified.</p>	
Placement of Notices - Exemptions for Restricted Development	
<p>None specified.</p>	

Part 3 - Overlays

Historic Area Overlay

Assessment Provisions (AP)

Desired Outcome	
DO 1	<p>Historic themes and characteristics are reinforced through conservation and contextually responsive development, design and adaptive reuse that responds to existing coherent patterns of land division, site configuration, streetscapes, building siting and built scale, form and features as exhibited in the Historic Area and expressed in the Historic Area Statement.</p>

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
All Development	
<p>PO 1.1</p> <p>All development is undertaken having consideration to the historic streetscapes and built form as expressed in the Historic Area Statement.</p>	<p>DTS/DPF 1.1</p> <p>None are applicable.</p>
Built Form	
<p>PO 2.1</p> <p>The form and scale of new buildings and structures that are visible from the public realm are consistent with the prevailing historic characteristics of the historic area.</p>	<p>DTS/DPF 2.1</p> <p>None are applicable.</p>
<p>PO 2.5</p> <p>Materials are either consistent with or complement those within the historic area.</p>	<p>DTS/DPF 2.5</p> <p>None are applicable.</p>

Historic Area Statements

Statement#	Statement
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Historic Areas Affecting Adelaide Hills Council																	
AdHi2	<p>Stirling - Ayres Hill Road Historic Area Statement (AdHi2)</p> <p>The Historic Area Overlay identifies localities that comprise characteristics of an identifiable historic, economic and / or social theme of recognised importance. They can comprise land divisions, development patterns, built form characteristics and natural features that provide a legible connection to the historic development of a locality.</p> <p>These attributes have been identified in the below table. In some cases State and / or Local Heritage Places within the locality contribute to the attributes of an Historic Area.</p> <p>The preparation of an Historic Impact Statement can assist in determining potential additional attributes of an Historic Area where these are not stated in the below table.</p>																
	<table border="1"> <tr> <td>Eras, themes and context</td> <td>Mid to late 1880s residential.</td> </tr> <tr> <td>Allotments, subdivision and built form patterns</td> <td>Large blocks of land. Larger houses on large, well vegetated grounds. Dwellings set well back from the street boundary. Smaller subordinate buildings located closer to the street boundary.</td> </tr> <tr> <td>Architectural styles, detailing and built form features</td> <td>The architectural style of the buildings varies with their date of construction.</td> </tr> <tr> <td>Building height</td> <td>Building height to 9 metres. Original scale of buildings.</td> </tr> <tr> <td>Materials</td> <td>Consistent with the materials associated with the architectural style of the subject building. Random, coursed and dressed stone. Rendered stone. Brick, stone and rendered quoins. String courses. Hipped and gabled roofs. Dormer windows. Raked verandahs supported with timber posts and masonry pillars. Corrugated iron roofs. Decorative cast iron features. Brick and stone chimneys. Stone Porticos. Decorative and ornate timber bargeboards. External finishes non-reflective and utilise natural colours.</td> </tr> <tr> <td>Fencing</td> <td>Front fencing of pickets, post and wire and masonry (exposed or rendered brickwork or stonework) often obscured by hedges or other plantings, with varying heights to between 1200-1800 millimetres.</td> </tr> <tr> <td>Setting, landscaping, streetscape and public realm features</td> <td> <p>'Secluded' nature of houses, in most cases set well back on their blocks, hidden behind the gardens and hedges.</p> <p>Streetscape is dominated by tree plantings and fencing behind which can be seen the larger trees and shrubs of the gardens. The lower section of the road (from Laurel Road to the roundabout near St Catherine's) is winding and bordered by hedges and trees. The upper portion of the road is straight and reveals a wider footpath margin than the lower section, adding to the feeling of privacy of the houses.</p> <p>Wide footpath verges which are of a rustic nature.</p> <p>Row and avenue plantings of exotic trees in the road verges.</p> </td> </tr> <tr> <td>Representative Buildings</td> <td style="text-align: center;"><i>[Not identified]</i></td> </tr> </table>	Eras, themes and context	Mid to late 1880s residential.	Allotments, subdivision and built form patterns	Large blocks of land. Larger houses on large, well vegetated grounds. Dwellings set well back from the street boundary. Smaller subordinate buildings located closer to the street boundary.	Architectural styles, detailing and built form features	The architectural style of the buildings varies with their date of construction.	Building height	Building height to 9 metres. Original scale of buildings.	Materials	Consistent with the materials associated with the architectural style of the subject building. Random, coursed and dressed stone. Rendered stone. Brick, stone and rendered quoins. String courses. Hipped and gabled roofs. Dormer windows. Raked verandahs supported with timber posts and masonry pillars. Corrugated iron roofs. Decorative cast iron features. Brick and stone chimneys. Stone Porticos. Decorative and ornate timber bargeboards. External finishes non-reflective and utilise natural colours.	Fencing	Front fencing of pickets, post and wire and masonry (exposed or rendered brickwork or stonework) often obscured by hedges or other plantings, with varying heights to between 1200-1800 millimetres.	Setting, landscaping, streetscape and public realm features	<p>'Secluded' nature of houses, in most cases set well back on their blocks, hidden behind the gardens and hedges.</p> <p>Streetscape is dominated by tree plantings and fencing behind which can be seen the larger trees and shrubs of the gardens. The lower section of the road (from Laurel Road to the roundabout near St Catherine's) is winding and bordered by hedges and trees. The upper portion of the road is straight and reveals a wider footpath margin than the lower section, adding to the feeling of privacy of the houses.</p> <p>Wide footpath verges which are of a rustic nature.</p> <p>Row and avenue plantings of exotic trees in the road verges.</p>	Representative Buildings	<i>[Not identified]</i>
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Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

Mount Lofty Ranges Water Supply Catchment (Area 2) Overlay

Assessment Provisions (AP)

Desired Outcome	
DO 1	Safeguard Greater Adelaide's public water supply by ensuring development has a neutral or beneficial effect on the quality of water harvested from secondary reservoirs or diversion weir catchments from the Mount Lofty Ranges.

Performance Outcomes (PO) and Deemed to Satisfy (DTS) / Designated Performance Feature (DPF) Criteria

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Stormwater	
PO 3.9 Stormwater from excavated and filled areas is managed to protect water quality.	DTS/DPF 3.9 Excavation and/or filling satisfy all the following: <ul style="list-style-type: none"> (a) is located 50m or more from watercourses (b) is located 100m or more from public water supply reservoirs and diversion weirs (c) does not involve excavation exceeding a vertical height of 0.75m (d) does not involve filling exceeding a vertical height of 0.75m (e) does not involve a total combined excavation and filling vertical height of 1.5m.
Landscapes and Natural Features	
PO 4.1 Development minimises the need to modify landscapes and natural features.	DTS/DPF 4.1 None are applicable.

Procedural Matters (PM)

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
Any of the following classes of development that are not connected (or not proposed to be	Environment Protection Authority.	To provide expert technical assessment and direction to	Development of a class to

<p>connected) to a community wastewater management system or sewerage infrastructure:</p> <ul style="list-style-type: none"> (a) land division creating one or more additional allotments, either partly or wholly within the area of the overlay (b) function centre with more than 75 seats for customer dining purposes (c) restaurant with more than 40 seats for customer dining purposes (d) restaurant with more than 30 seats for customer dining purposes in association with a cellar door (e) dwelling where a habitable dwelling or tourist accommodation already exists on the same allotment (including where a valid planning authorisation exists to erect a dwelling or tourist accommodation on the same allotment) (f) tourist accommodation where a habitable dwelling or tourist accommodation already exists on the same allotment (including where a valid planning authorisation exists to erect a habitable dwelling or tourist accommodation on the same allotment) (g) workers' accommodation where a habitable dwelling or tourist accommodation already exists on the same allotment (including where a valid planning authorisation exists to erect a habitable dwelling or tourist accommodation on the same allotment) (h) any other development that generates human wastewater from a peak loading capacity of more than 40 persons (or more than 6,000 litres/day) 	<p>the relevant authority on whether a proposed development will have a neutral or beneficial impact on water quality.</p>	<p>which Schedule 9 clause 3 item 9 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.</p>
<p>Composting works (excluding a prescribed approved activity) - being a depot, facility or works with the capacity to treat, during a 12 month period more than 200 tonnes of organic waste or matter (EPA Licence)</p>		
<p>Wastewater treatment works - being sewage treatment works, a community wastewater management system, winery wastewater treatment works or any other wastewater treatment works with the capacity to treat, during a 12 month period more than 2.5 ML of wastewater (EPA Licence required at more than 5ML)</p>		
<p>Feedlots - being carrying on an operation for holding in confined yard or area and feeding principally by mechanical means or by hand not less than an average of 200 cattle (EPA Licence) or 1,600 sheep or goats per day over any period of 12 months, but excluding any such operation</p>		

carried on at an abattoir, slaughterhouse or saleyard or for the purpose only of drought or other emergency feeding	
Piggeries - being the conduct of a piggery (being premises having confined or roofed structures for keeping pigs) with a capacity of 130 or more standard pig units (EPA Licence required at 650 or more standard pig units)	
Dairies - carrying on of a dairy with a total processing capacity exceeding 100 milking animals at any one time.	

Native Vegetation Overlay

Assessment Provisions (AP)

Desired Outcome	
DO 1	Areas of native vegetation are protected, retained and restored in order to sustain biodiversity, threatened species and vegetation communities, fauna habitat, ecosystem services, carbon storage and amenity values.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Environmental Protection	
<p>PO 1.1</p> <p>Development avoids, or where it cannot be practically avoided, minimises the clearance of native vegetation taking into account the siting of buildings, access points, bushfire protection measures and building maintenance.</p>	<p>DTS/DPF 1.1</p> <p>An application is accompanied by:</p> <ul style="list-style-type: none"> (a) a declaration stating that the proposal will not, or would not, involve clearance of native vegetation under the Native Vegetation Act 1991, including any clearance that may occur: <ul style="list-style-type: none"> (i) in connection with a relevant access point and / or driveway (ii) within 10m of a building (other than a residential building or tourist accommodation) (iii) within 20m of a dwelling or addition to an existing dwelling for fire prevention and control (iv) within 50m of residential or tourist accommodation in connection with a requirement under a relevant overlay to establish an asset protection zone in a bushfire prone area or (b) a report prepared in accordance with Regulation 18(2) (a) of the Native Vegetation Regulations 2017 that establishes that the clearance is categorised as 'Level 1

	clearance'.
<p>PO 1.2</p> <p>Native vegetation clearance in association with development avoids the following:</p> <ul style="list-style-type: none"> (a) significant wildlife habitat and movement corridors (b) rare, vulnerable or endangered plants species (c) native vegetation that is significant because it is located in an area which has been extensively cleared (d) native vegetation that is growing in, or in association with, a wetland environment. 	<p>DTS/DPF 1.2</p> <p>None are applicable.</p>
<p>PO 1.4</p> <p>Development restores and enhances biodiversity and habitat values through revegetation using locally indigenous plant species.</p>	<p>DTS/DPF 1.4</p> <p>None are applicable.</p>

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
Development that is the subject of a report prepared in accordance with Regulation 18(2)(a) of the <i>Native Vegetation Regulations 2017</i> that categorises the clearance, or potential clearance, as 'Level 3 clearance' or 'Level 4 clearance'.	Native Vegetation Council	To provide expert assessment and direction to the relevant authority on the potential impacts of development on native vegetation.	Development of a class to which Schedule 9 clause 3 item 11 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.

State Heritage Place Overlay

Assessment Provisions (AP)

Desired Outcome	
DO 1	Development maintains the heritage and cultural values of State Heritage Places through conservation, ongoing use and adaptive reuse consistent with Statements of Significance and other relevant documents prepared and published by the administrative unit of the Public Service that is responsible for assisting a Minister in the administration of the <i>Heritage Places Act 1993</i> .

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Built Form	
PO 1.1 The form of new buildings and structures maintains the heritage values of the State Heritage Place.	DTS/DPF 1.1 None are applicable.
PO 1.5 Materials and colours are either consistent with or complement the heritage values of the State Heritage Place.	DTS/DPF 1.5 None are applicable.

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
<p>Except where:</p> <ul style="list-style-type: none"> (a) the development is to be undertaken in accordance with a Heritage Agreement under the <i>Heritage Places Act 1993</i> or (b) the development is, in the opinion of the relevant authority, minor in nature or like for like maintenance and would not warrant a referral when considering the purpose of the referral <p>any of the following classes of development:</p> <ul style="list-style-type: none"> (a) demolition of internal or external significant building fabric (b) freestanding advertisements, signs and associated structures that are visible from a public street, road or thoroughfare that abuts the State Heritage Place (c) alterations or additions to buildings that: <ul style="list-style-type: none"> (i) are visible from a public street, road or thoroughfare that abuts the State Heritage Place or (ii) may materially affect the context of a State Heritage Place or (iii) involve substantive physical impact to the fabric of significant buildings; (d) new buildings that: <ul style="list-style-type: none"> (i) are visible from a public street, road or thoroughfare that abuts the State Heritage Place 	Minister responsible for the administration of the <i>Heritage Places Act 1993</i> .	To provide expert assessment and direction to the relevant authority on the potential impacts of development on State Heritage Places.	Development of a class to which Schedule 9 clause 3 item 17 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.

<p>or</p> <p>(ii) may materially affect the context of the State Heritage Place</p> <p>(e) conservation repair works that are not representative of 'like for like' maintenance</p> <p>(f) solar panels that are visible from a public street, road or thoroughfare that abuts the State Heritage Place</p> <p>(g) land division</p> <p>(h) the removal, alteration or installation of fencing where visible from a public street, road or thoroughfare that abuts the State Heritage Place</p> <p>(i) the removal of an individual tree or a tree within a garden or park of identified heritage significance.</p>			
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Part 4 - General Development Policies

Design in Urban Areas

Assessment Provisions (AP)

Desired Outcome	
DO 1	<p>Development is:</p> <ul style="list-style-type: none"> (a) contextual - by considering, recognising and carefully responding to its natural surroundings or built environment and positively contributing to the character of the locality (b) durable - fit for purpose, adaptable and long lasting (c) inclusive - by integrating landscape design to optimise pedestrian and cyclist usability, privacy and equitable access and promoting the provision of quality spaces integrated with the public realm that can be used for access and recreation and help optimise security and safety both internally and within the public realm, for occupants and visitors (d) sustainable - by integrating sustainable techniques into the design and siting of development and landscaping to improve community health, urban heat, water management, environmental performance, biodiversity and local amenity and to minimise energy consumption.

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
All Development	
Fences and walls	
PO 9.1 Fences, walls and retaining walls of sufficient height maintain privacy and security without unreasonably impacting visual amenity and adjoining land's access to sunlight or the amenity of public places.	DTS/DPF 9.1 None are applicable.
PO 9.2 Landscaping is incorporated on the low side of retaining walls	DTS/DPF 9.2 A vegetated landscaped strip 1m wide or more is provided

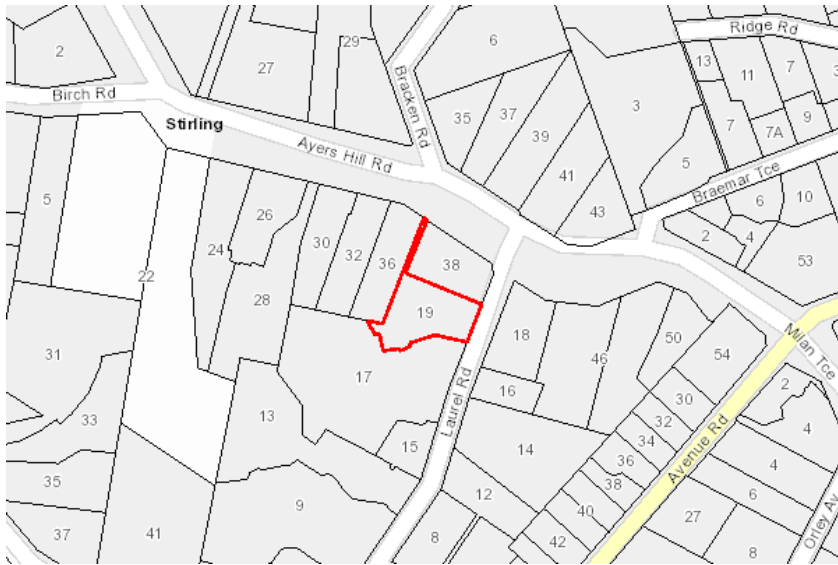
that are visible from public roads and public open space to minimise visual impacts.	against the low side of a retaining wall.
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19 LAUREL RD STIRLING SA 5152

Address:

Click to view a detailed interactive [SAILIS](#) in SAILIS

To view a detailed interactive property map in SAPPa click on the map below



Property Zoning Details

Local Variation (TNV)

- Minimum Site Area (*Minimum site area is 2,000 sqm*)
- Maximum Building Height (Levels) (*Maximum building height is 2 levels*)
- Minimum Side Boundary Setback (*Minimum side boundary setback is 2m*)
- Site Coverage (*Maximum site coverage is 50 per cent*)

Overlay

- Historic Area (*AdHi2*)
- Hazards (Bushfire - Medium Risk)
- Hazards (Flooding - Evidence Required)
- Limited Land Division
- Mount Lofty Ranges Water Supply Catchment (Area 2)
- Native Vegetation
- Prescribed Water Resources Area
- Regulated and Significant Tree
- State Heritage Place (*15029*)
- Stormwater Management
- Urban Tree Canopy

Zone

Established Neighbourhood

Development Pathways

■ Established Neighbourhood

1. Accepted Development

Means that the development type does not require planning consent (planning approval). Please ensure compliance with relevant land use and development controls in the Code.

- Air handling unit, air conditioning system or exhaust fan
- Brush fence
- Building work on railway land
- Internal building work
- Outbuilding

- Partial demolition of a building or structure
- Private bushfire shelter
- Shade sail
- Solar photovoltaic panels (roof mounted)
- Swimming pool or spa pool
- Verandah
- Water tank (above ground)
- Water tank (underground)

2. Code Assessed - Deemed to Satisfy

Means that the development type requires consent (planning approval). Please ensure compliance with relevant land use and development controls in the Code.

- Carport
- Outbuilding
- Temporary accommodation in an area affected by bushfire
- Verandah

3. Code Assessed - Performance Assessed

Performance Assessed development types listed below are those for which the Code identifies relevant policies. Additional development types that are not listed as Accepted, Deemed to Satisfy or Restricted default to a Performance assessed Pathway. Please contact your local council for more information.

- Ancillary accommodation
- Carport
- Demolition
- Detached dwelling
- Dwelling addition
- Fence
- Group dwelling
- Land division
- Outbuilding
- Residential flat building
- Retaining wall
- Row dwelling
- Semi-detached dwelling
- Tree-damaging activity
- Verandah

4. Impact Assessed - Restricted

Means that the development type requires approval. Classes of development that are classified as Restricted are listed in Table 4 of the relevant Zones.

Property Policy Information for above selection

Part 2 - Zones and Sub Zones

Established Neighbourhood Zone

Assessment Provisions (AP)

Desired Outcome	
DO 1	A neighbourhood that includes a range of housing types, with new buildings sympathetic to the predominant built form character and development patterns.
DO 2	Maintain the predominant streetscape character, having regard to key features such as roadside plantings, footpaths, front yards, and space between crossovers.

Performance Outcomes (PO) and Deemed to Satisfy (DTS) / Designated Performance Feature (DPF) Criteria

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Land Use and Intensity	
<p>PO 1.1</p> <p>Predominantly residential development with complementary non-residential activities compatible with the established development pattern of the neighbourhood.</p>	<p>DTS/DPF 1.1</p> <p>Development comprises one or more of the following:</p> <ul style="list-style-type: none"> (a) Ancillary accommodation (b) Community facility (c) Consulting room (d) Dwelling (e) Office (f) Recreation area (g) Shop.
<p>PO 1.2</p> <p>Commercial activities improve community access to services are of a scale and type to maintain residential amenity.</p>	<p>DTS/DPF 1.2</p> <p>A shop, consulting room or office (or any combination thereof) satisfies any one of the following:</p> <ul style="list-style-type: none"> (a) it is located on the same allotment and in conjunction with a dwelling where all the following are satisfied: <ul style="list-style-type: none"> (i) does not exceed 30% of the total floor area of the associated dwelling (excluding any garage or carport) or 50m² gross leasable floor area, whichever is the lesser (ii) does not involve the display of goods in a window or about the dwelling or its curtilage (b) it reinstates a former shop, consulting room or office in an existing building (or portion of a building) and satisfies one of the following: <ul style="list-style-type: none"> (i) the building is a State or Local Heritage Place (ii) is in conjunction with a dwelling and there is no increase in the gross leasable floor area previously used for non-residential purposes (c) is located more than 500m from an Activity Centre and satisfies one of the following: <ul style="list-style-type: none"> (i) does not exceed 100m² gross leasable floor area (individually or combined, in a single building) where the site does not have a frontage to a State Maintained Road (ii) does not exceed 200m² gross leasable floor area (individually or combined, in a single building) where the site has a frontage to a State Maintained Road (d) the development site abuts an Activity Centre and all the following are satisfied: <ul style="list-style-type: none"> (i) it does not exceed 200m² gross leasable floor area (individually or combined, in a single building) (ii) the proposed development will not result in a combined gross leasable floor area (existing and proposed) of all shops, consulting rooms and offices that abut the Activity Centre in this

	<p>zone exceeding the lesser of the following:</p> <ul style="list-style-type: none"> A. 50% of the existing gross leasable floor area within the Activity Centre B. 1000m².
<p>PO 1.3</p> <p>Non-residential development sited and designed to complement the residential character and amenity of the neighbourhood.</p>	<p>DTS/DPF 1.3</p> <p>None are applicable.</p>
<p>PO 1.4</p> <p>Non-residential development located and designed to improve community accessibility to services, primarily in the form of:</p> <ul style="list-style-type: none"> (a) small scale commercial uses such as offices, shops and consulting rooms (b) community services such as educational establishments, community centres, places of worship, pre-schools, childcare and other health and welfare services (c) services and facilities ancillary to the function or operation of supported accommodation or retirement facilities (d) open space and recreation facilities. 	<p>DTS/DPF 1.4</p> <p>None are applicable.</p>
<p>PO 1.5</p> <p>Expansion of existing community services such as educational establishments, community facilities and pre-schools in a manner which complements the scale of development envisaged by the desired outcome for the neighbourhood.</p>	<p>DTS/DPF 1.5</p> <p>Alteration of or addition to existing educational establishments, community facilities or pre-schools where all the following are satisfied:</p> <ul style="list-style-type: none"> (a) set back at least 3m from any boundary shared with a residential land use (b) building height not exceeding 1 building level (c) the total floor area of the building not exceeding 150% of the total floor area prior to the addition/alteration (d) off-street vehicular parking exists or will be provided in accordance with the rate(s) specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas to the nearest whole number.
<p>Site Dimensions and Land Division</p>	
<p>PO 2.1</p> <p>Allotments/sites for residential purposes are of suitable size and dimension to accommodate the anticipated dwelling form and are compatible with the prevailing development pattern in the locality.</p>	<p>DTS/DPF 2.1</p> <p>Development will not result in more than 1 dwelling on an existing allotment</p> <p>or</p> <p>Development involves the conversion of an existing dwelling into two or more dwellings and the existing dwelling retains its original external appearance to the public road</p> <p>or</p> <p>Allotments/sites for residential purposes accord with the following:</p>

	<p>(a) site areas (or allotment areas in the case of land division) are not less than the following (average site area per dwelling, including common areas, applies for group dwellings or dwellings within a residential flat building):</p> <table border="1" data-bbox="831 293 1522 371"> <tr> <th style="text-align: center;">Minimum Site Area</th> </tr> <tr> <td>Minimum site area is 2,000 sqm</td> </tr> </table> <p>and</p> <p>(b) site frontages (or allotment frontages in the case of land division) are not less than:</p> <p>In relation to DTS/DPF 2.1, in instances where:</p> <p>(c) more than one value is returned in the same field, refer to the <i>Minimum Frontage Technical and Numeric Variation</i> layer or <i>Minimum Site Area Technical and Numeric Variation</i> layer in the SA planning database to determine the applicable value relevant to the site of the proposed development</p> <p>(d) no value is returned in (a) or (b) (i.e. there is a blank field or the relevant dwelling type is not listed), then none are applicable and the relevant development cannot be classified as deemed-to-satisfy.</p>	Minimum Site Area	Minimum site area is 2,000 sqm
Minimum Site Area			
Minimum site area is 2,000 sqm			
<p>PO 2.2</p> <p>Development creating new allotments/sites in conjunction with retention of an existing dwelling ensures the site of the existing dwelling remains fit for purpose.</p>	<p>DTS/DPF 2.2</p> <p>Where the site of a dwelling does not comprise an entire allotment:</p> <p>(a) the balance of the allotment accords with the requirements specified in Established Neighbourhood Zone DTS/DPF 2.1, with 10% reduction in minimum site area where located in a Character Area Overlay or Historic Area Overlay</p> <p>(b) if there is an existing dwelling on the allotment that will remain on the allotment after completion of the development it will not contravene:</p> <ul style="list-style-type: none"> (i) private open space requirements specified in Design in Urban Areas Table 1 - Private Open Space (ii) car parking requirements specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas to the nearest whole number. 		
Site coverage			
<p>PO 3.1</p> <p>Building footprints are consistent with the character and pattern of the neighbourhood and provide sufficient space around buildings to limit visual impact, provide an attractive outlook and access to light and ventilation.</p>	<p>DTS/DPF 3.1</p> <p>Development does not result in site coverage exceeding:</p> <table border="1" data-bbox="831 1848 1522 1926"> <tr> <th style="text-align: center;">Site Coverage</th> </tr> <tr> <td>Maximum site coverage is 50 per cent</td> </tr> </table> <p>In instances where:</p> <p>(a) no value is returned (i.e. there is a blank field), then a maximum 50% site coverage applies</p> <p>(b) more than one value is returned in the same field, refer</p>	Site Coverage	Maximum site coverage is 50 per cent
Site Coverage			
Maximum site coverage is 50 per cent			

	<p>to the Site Coverage Technical and Numeric Variation layer in the SA planning database to determine the applicable value relevant to the site of the proposed development.</p>		
<p>Building Height</p>			
<p>PO 4.1</p> <p>Buildings contribute to the prevailing character of the neighbourhood and complements the height of nearby buildings.</p>	<p>DTS/DPF 4.1</p> <p>Building height (excluding garages, carports and outbuildings) is no greater than:</p> <p>(a) the following:</p> <table border="1" data-bbox="831 562 1520 640"> <tr> <th style="text-align: center;">Maximum Building Height (Levels)</th> </tr> <tr> <td style="text-align: center;">Maximum building height is 2 levels</td> </tr> </table> <p>(b) in all other cases (i.e. there are blank fields for both maximum building height (metres) and maximum building height (levels)) - 2 building levels up to a height of 9m.</p> <p>In relation to DTS/DPF 4.1, in instances where:</p> <p>(c) more than one value is returned in the same field, refer to the <i>Maximum Building Height (Levels) Technical and Numeric Variation layer</i> or <i>Maximum Building Height (Meters) Technical and Numeric Variation layer</i> in the SA planning database to determine the applicable value relevant to the site of the proposed development.</p> <p>(d) only one value is returned for DTS/DPF 4.1(a) (i.e. there is one blank field), then the relevant height in metres or building levels applies with no criteria for the other.</p>	Maximum Building Height (Levels)	Maximum building height is 2 levels
Maximum Building Height (Levels)			
Maximum building height is 2 levels			
<p>PO 4.2</p> <p>Additions and alterations do not adversely impact on the streetscape character.</p>	<p>DTS/DPF 4.2</p> <p>Additions and alterations:</p> <p>(a) are fully contained within the roof space of a building with no external alterations made to the building elevation facing the primary street</p> <p>or</p> <p>(b) meet all of the following:</p> <p>(i) do not include any development forward of the front façade building line</p> <p>(ii) where including a second or subsequent building level addition, does not project beyond a 45 degree angle measured from ground level at the building line of the existing building.</p>		
<p>Primary Street Setback</p>			
<p>PO 5.1</p> <p>Buildings are set back from primary street boundaries consistent with the existing streetscape.</p>	<p>DTS/DPF 5.1</p> <p>The building line of a building is set back from the primary street boundary:</p> <p>(a) at least the average setback to the building line of existing buildings on adjoining sites which face the same primary street (including those buildings that would adjoin the site if not separated by a public road or a vacant allotment)</p>		

	<p>(b) where there is only one existing building on adjoining sites which face the same primary street (including those that would adjoin if not separated by a public road or a vacant allotment), not less than the setback to the building line of that building</p> <p>or</p> <p>(c) in all other cases, no DTS/DPF is applicable.</p>		
<p>Secondary Street Setback</p>			
<p>PO 6.1</p> <p>Buildings are set back from secondary street boundaries (not being a rear laneway) to maintain the established pattern of separation between buildings and public streets and reinforce streetscape character.</p>	<p>DTS/DPF 6.1</p> <p>Building walls are set back from the secondary street boundary (other than a rear laneway):</p> <p>(a) no less than:</p> <table border="1" data-bbox="831 636 1522 712"> <tr> <td style="text-align: center;">Minimum Side Boundary Setback</td> </tr> <tr> <td>Minimum side boundary setback is 2m</td> </tr> </table> <p>or</p> <p>(b) 900mm, whichever is greater</p> <p>or</p> <p>(c) if a dwelling on any adjoining allotment is closer to the secondary street, the distance of that dwelling from the boundary with the secondary street.</p> <p>In instances where no value is returned in DTS/DPF 6.1(a) (i.e. there is a blank field), then it is taken that the value for DTS/DPF 6.1(a) is zero.</p>	Minimum Side Boundary Setback	Minimum side boundary setback is 2m
Minimum Side Boundary Setback			
Minimum side boundary setback is 2m			
<p>Boundary Walls</p>			
<p>PO 7.1</p> <p>Dwelling boundary walls are limited in height and length to manage visual and overshadowing impacts on adjoining properties.</p>	<p>DTS/DPF 7.1</p> <p>Dwellings do not incorporate side boundary walls where a side boundary setback value is returned in (a) below:</p> <p>(a)</p> <table border="1" data-bbox="831 1503 1522 1579"> <tr> <td style="text-align: center;">Minimum Side Boundary Setback</td> </tr> <tr> <td>Minimum side boundary setback is 2m</td> </tr> </table> <p>or</p> <p>(b) where no side boundary setback value is returned in (a) above, and except where the dwelling is located on a central site within a row dwelling or terrace arrangement, side boundary walls occur only on one side boundary and satisfy (i) or (ii) below:</p> <p>(i) side boundary walls adjoin or abut a boundary wall of a building on adjoining land for the same or lesser length and height</p> <p>(ii) side boundary walls do not:</p> <ol style="list-style-type: none"> A. exceed 3.2m in height from the lower of the natural or finished ground level B. exceed 8m in length C. when combined with other walls on the 	Minimum Side Boundary Setback	Minimum side boundary setback is 2m
Minimum Side Boundary Setback			
Minimum side boundary setback is 2m			

	<p>boundary of the subject development site, exceed a maximum 45% of the length of the boundary</p> <p>D. encroach within 3m of any other existing or proposed boundary walls on the subject land.</p>		
<p>PO 7.2</p> <p>Dwellings in a semi-detached, row or terrace arrangement maintain space between buildings consistent with a low density suburban streetscape character.</p>	<p>DTS/DPF 7.2</p> <p>Dwellings in a semi-detached, row or terrace arrangement are setback from side boundaries shared with allotments outside the development site at least the minimum distance identified in Established Neighbourhood Zone DTS/DPF 8.1.</p>		
<p>Side Boundary Setback</p>			
<p>PO 8.1</p> <p>Buildings are set back from side boundaries to provide:</p> <ul style="list-style-type: none"> (a) separation between buildings in a way that complements the established character of the locality (b) access to natural light and ventilation for neighbours. 	<p>DTS/DPF 8.1</p> <p>Other than walls located on a side boundary in accordance with Established Neighbourhood Zone DTS/DPF 7.1, building walls are set back from the side boundary:</p> <ul style="list-style-type: none"> (a) no less than: <table border="1" data-bbox="831 920 1520 999" style="margin-left: 20px;"> <tr> <th style="text-align: center;">Minimum Side Boundary Setback</th> </tr> <tr> <td style="text-align: center;">Minimum side boundary setback is 2m</td> </tr> </table> (b) in all other cases (i.e. there is a blank field), then: <ul style="list-style-type: none"> (i) at least 900mm where the wall is up to 3m (ii) other than for a south facing wall, at least 900mm plus 1/3 of the wall height above 3m (iii) at least 1.9m plus 1/3 of the wall height above 3m for south facing walls. 	Minimum Side Boundary Setback	Minimum side boundary setback is 2m
Minimum Side Boundary Setback			
Minimum side boundary setback is 2m			
<p>Rear Boundary Setback</p>			
<p>PO 9.1</p> <p>Buildings are set back from rear boundaries to provide:</p> <ul style="list-style-type: none"> (a) separation between dwellings in a way that complements the established character of the locality (b) access to natural light and ventilation for neighbours (c) private open space (d) space for landscaping and vegetation. 	<p>DTS/DPF 9.1</p> <p>Other than in relation to an access lane way, buildings are set back from the rear boundary at least:</p> <ul style="list-style-type: none"> (a) 4m for the first building level (b) 6m for any second building level. 		
<p>Appearance</p>			
<p>PO 10.1</p> <p>Garages and carports are designed and sited to be discrete and not dominate the appearance of the associated dwelling when viewed from the street.</p>	<p>DTS/DPF 10.1</p> <p>Garages and carports facing a street (other than an access lane way):</p> <ul style="list-style-type: none"> (a) are set back at least 0.5m behind the building line of the associated dwelling (b) are set back at least 5.5m from the boundary of the primary street (c) have a total garage door / opening width not exceeding 30% of the allotment or site frontage, to a maximum width of 7m. 		

<p>PO 10.2</p> <p>The appearance of development as viewed from public roads is sympathetic to the wall height, roof forms and roof pitches of the predominant housing stock in the locality.</p>	<p>DTS/DPF 10.2</p> <p>None are applicable.</p>
Ancillary buildings and structures	
<p>PO 11.1</p> <p>Residential ancillary buildings and structures are sited and designed to not detract from the streetscape or appearance of buildings on the site or neighbouring properties.</p>	<p>DTS/DPF 11.1</p> <p>Ancillary buildings and structures:</p> <ul style="list-style-type: none"> (a) are ancillary to a dwelling erected on the same site (b) have a floor area not exceeding 60m² (c) are constructed, added to or altered so that they are situated at least <ul style="list-style-type: none"> (i) 500mm behind the building line of the dwelling to which they are ancillary or (ii) 900mm from a boundary of the allotment with a secondary street (if the land has boundaries on two or more roads) (d) in the case of a garage or carport, the garage or carport: <ul style="list-style-type: none"> (i) is set back at least 5.5m from the boundary of the primary street (ii) when facing a primary street or secondary street has a total door/opening not exceeding 7m or 30% of the site frontage (whichever is the lesser) when facing a primary street or secondary street (e) if situated on a boundary (not being a boundary with a primary street or secondary street), a length not exceeding 8m unless: <ul style="list-style-type: none"> (i) a longer wall or structure exists on the adjacent site and is situated on the same allotment boundary and (ii) the proposed wall or structure will be built along the same length of boundary as the existing adjacent wall or structure to the same or lesser extent (f) if situated on a boundary of the allotment (not being a boundary with a primary street or secondary street), all walls or structures on the boundary not exceeding 45% of the length of that boundary (g) will not be located within 3m of any other wall along the same boundary unless on an adjacent site on that boundary there is an existing wall of a building that would be adjacent to or abut the proposed wall or structure (h) have a wall height or post height not exceeding 3m above natural ground level (and not including a gable end), and where located to the side of the associated dwelling, have a wall height or post height no higher than the wall height of the associated dwelling (i) have a roof height where no part of the roof is more than 5m above the natural ground level (j) if clad in sheet metal, are pre-colour treated or painted in a non-reflective colour. (k) retains a total area of soft landscaping in accordance

	<p>with (i) or (ii), whichever is less:</p> <p>(i) a total area as determined by the following table:</p> <table border="1" data-bbox="922 181 1522 636"> <thead> <tr> <th data-bbox="922 181 1321 338">Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m²)</th> <th data-bbox="1321 181 1522 338">Minimum percentage of site</th> </tr> </thead> <tbody> <tr> <td data-bbox="922 338 1321 371"><150</td> <td data-bbox="1321 338 1522 371">10%</td> </tr> <tr> <td data-bbox="922 371 1321 461">150-200</td> <td data-bbox="1321 371 1522 461">15%</td> </tr> <tr> <td data-bbox="922 461 1321 551">201-450</td> <td data-bbox="1321 461 1522 551">20%</td> </tr> <tr> <td data-bbox="922 551 1321 636">>450</td> <td data-bbox="1321 551 1522 636">25%</td> </tr> </tbody> </table> <p>(ii) the amount of existing soft landscaping prior to the development occurring.</p>	Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m ²)	Minimum percentage of site	<150	10%	150-200	15%	201-450	20%	>450	25%
Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m ²)	Minimum percentage of site										
<150	10%										
150-200	15%										
201-450	20%										
>450	25%										
<p>PO 11.2</p> <p>Ancillary buildings and structures do not impede on-site functional requirements such as private open space provision, car parking requirements or result in over-development of the site.</p>	<p>DTS/DPF 11.2</p> <p>Ancillary buildings and structures do not result in:</p> <p>(a) less private open space than specified in Design in Urban Areas Table 1 - Private Open Space</p> <p>(b) less on-site car parking than specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas.</p>										
Advertisements											
<p>PO 12.1</p> <p>Advertisements identify the associated business activity, and do not detract from the residential character of the locality.</p>	<p>DTS/DPF 12.1</p> <p>Advertisements relating to a lawful business activity associated with a residential use do not exceed 0.3m² and mounted flush with a wall or fence.</p>										

Table 5 - Procedural Matters (PM) - Notification

The following table identifies, pursuant to section 107(6) of the *Planning, Development and Infrastructure Act 2016*, classes of performance assessed development that are excluded from notification. The table also identifies any exemptions to the placement of notices when notification is required.

Interpretation

Notification tables exclude the classes of development listed in Column A from notification provided that they do not fall within a corresponding exclusion prescribed in Column B.

Where a development or an element of a development falls within more than one class of development listed in Column A, it will be excluded from notification if it is excluded (in its entirety) under any of those classes of development. It need not be excluded under all applicable classes of development.

Where a development involves multiple performance assessed elements, all performance assessed elements will require notification (regardless of whether one or more elements are excluded in the applicable notification table) unless every performance assessed element of the application is excluded in the applicable notification table, in which case the application will not require notification.

<p>Class of Development</p> <p>(Column A)</p>	<p>Exceptions</p> <p>(Column B)</p>
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<p>1. Development which, in the opinion of the relevant authority, is of a minor nature only and will not unreasonably impact on the owners or occupiers of land in the locality of the site of the development.</p>	<p>None specified.</p>
<p>2. All development undertaken by:</p> <ul style="list-style-type: none"> (a) the South Australian Housing Trust either individually or jointly with other persons or bodies or (b) a provider registered under the Community Housing National Law participating in a program relating to the renewal of housing endorsed by the South Australian Housing Trust. 	<p>Except development involving any of the following:</p> <ul style="list-style-type: none"> 1. residential flat building(s) of 3 or more building levels 2. the demolition of a State or Local Heritage Place 3. the demolition of a building (except an ancillary building) in a Historic Area Overlay.
<p>3. Any development involving any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> (a) air handling unit, air conditioning system or exhaust fan (b) ancillary accommodation (c) building work on railway land (d) carport (e) deck (f) dwelling (g) dwelling addition (h) fence (i) outbuilding (j) pergola (k) private bushfire shelter (l) residential flat building (m) retaining wall (n) shade sail (o) solar photovoltaic panels (roof mounted) (p) swimming pool or spa pool (q) verandah (r) water tank. 	<p>Except development that:</p> <ul style="list-style-type: none"> 1. exceeds the maximum building height specified in Established Neighbourhood Zone DTS/DPF 4.1 or 2. involves a building wall (or structure) that is proposed to be situated on (or abut) an allotment boundary (not being a boundary with a primary street or secondary street or an excluded boundary) and: <ul style="list-style-type: none"> (a) the length of the proposed wall (or structure) exceeds 8m (other than where the proposed wall abuts an existing wall or structure of greater length on the adjoining allotment) or (b) the height of the proposed wall (or post height) exceeds 3.2m measured from the lower of the natural or finished ground level (other than where the proposed wall abuts an existing wall or structure of greater height on the adjoining allotment).
<p>4. Any development involving any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> (a) consulting room (b) office (c) shop. 	<p>Except development that:</p> <ul style="list-style-type: none"> 1. does not satisfy Established Neighbourhood Zone DTS/DPF 1.2 or 2. exceeds the maximum building height specified in Established Neighbourhood Zone DTS/DPF 4.1 or 3. involves a building wall (or structure) that is proposed to be situated on (or abut) an allotment boundary (not being a boundary with a primary street or secondary street or an excluded boundary) and: <ul style="list-style-type: none"> (a) the length of the proposed wall (or structure) exceeds 8m (other than where the proposed wall abuts an existing wall or structure of greater length on the adjoining allotment) or (b) the height of the proposed wall (or post height) exceeds 3.2m measured from the lower

	of the natural or finished ground level (other than where the proposed wall abuts an existing wall or structure of greater height on the adjoining allotment).
5. Any of the following (or of any combination of any of the following): (a) internal building works (b) land division (c) recreation area (d) replacement building (e) temporary accommodation in an area affected by bushfire (f) tree damaging activity.	None specified.
6. Demolition.	Except any of the following: 1. the demolition of a State or Local Heritage Place 2. the demolition of a building (except an ancillary building) in a Historic Area Overlay.
Placement of Notices - Exemptions for Performance Assessed Development	
None specified.	
Placement of Notices - Exemptions for Restricted Development	
None specified.	

Part 3 - Overlays

Hazards (Bushfire - Medium Risk) Overlay

Assessment Provisions (AP)

Desired Outcome	
DO 1	Development, including land division responds to the medium level of bushfire risk and potential for ember attack and radiant heat by siting and designing buildings in a manner that mitigates the threat and impact of bushfires on life and property taking into account the increased frequency and intensity of bushfires as a result of climate change.
DO 2	To facilitate access for emergency service vehicles to aid the protection of lives and assets from bushfire danger.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance
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		Feature
Siting		
PO 1.1 Buildings and structures are located away from areas that pose an unacceptable bushfire risk as a result of vegetation cover and type, and terrain.	DTS/DPF 1.1 None are applicable.	
Built Form		
PO 2.1 Buildings and structures are designed and configured to reduce the impact of bushfire through using designs that reduce the potential for trapping burning debris against or underneath the building or structure, or between the ground and building floor level in the case of transportable buildings and buildings on stilts.	DTS/DPF 2.1 None are applicable.	
PO 2.2 Extensions to buildings, outbuildings and other ancillary structures are sited and constructed using materials to minimise the threat of fire spread to residential and tourist accommodation (including boarding houses, hostels, dormitory style accommodation, student accommodation and Workers' accommodation) in the event of bushfire.	DTS/DPF 2.2 Outbuildings and other ancillary structures are sited no closer than 6m from the habitable building.	
Habitable Buildings		
PO 3.1 To minimise the threat, impact and potential exposure to bushfires on life and property, residential and tourist accommodation and habitable buildings for vulnerable communities (including boarding houses, hostels, dormitory style accommodation, student accommodation and workers' accommodation) is sited on the flatter portion of allotments away from steep slopes.	DTS/DPF 3.1 None are applicable.	
PO 3.2 Residential, tourist accommodation and habitable buildings for vulnerable communities (including boarding houses, hostels, dormitory style accommodation, student accommodation and workers' accommodation) is sited away from vegetated areas that pose an unacceptable bushfire risk.	DTS/DPF 3.2 Residential, tourist accommodation and habitable buildings for vulnerable communities are provided with asset protection zone(s) in accordance with (a) and (b): (a) the asset protection zone has a minimum width of at least: (i) 50 metres to unmanaged grasslands (ii) 100 metres to hazardous bushland vegetation (b) the asset protection zone is contained wholly within the allotment of the development.	
PO 3.3 Residential, tourist accommodation and habitable buildings for vulnerable communities, (including boarding houses, hostels, dormitory style accommodation, student accommodation and workers' accommodation), has a dedicated area available that is capable of accommodating a bushfire protection system comprising firefighting equipment and water supply in	DTS/DPF 3.3 None are applicable.	

accordance with <i>Ministerial Building Standard MBS 008 - Designated bushfire prone areas - additional requirements.</i>	
Land Division	
<p>PO 4.1</p> <p>Land division is designed and incorporates measures to minimise the danger of fire hazard to residents and occupants of buildings, and to protect buildings and property from physical damage in the event of a bushfire.</p>	<p>DTS/DPF 4.1</p> <p>None are applicable.</p>
<p>PO 4.2</p> <p>Land division is designed to provide a continuous street pattern to facilitate the safe movement and evacuation of emergency vehicles, residents, occupants and visitors.</p>	<p>DTS/DPF 4.2</p> <p>None are applicable.</p>
<p>PO 4.3</p> <p>Where 10 or more new allotments are proposed, land division includes at least two separate and safe exit points to enable multiple avenues of evacuation in the event of a bushfire.</p>	<p>DTS/DPF 4.3</p> <p>None are applicable.</p>
<p>PO 4.4</p> <p>Land division incorporates perimeter roads of adequate design in conjunction with bushfire buffer zones to achieve adequate separation between residential allotments and areas of unacceptable bushfire risk and to support safe access for the purposes of fire-fighting.</p>	<p>DTS/DPF 4.4</p> <p>None are applicable.</p>
Vehicle Access - Roads, Driveways and Fire Tracks	
<p>PO 5.1</p> <p>Roads are designed and constructed to facilitate the safe and effective:</p> <ul style="list-style-type: none"> (a) access, operation and evacuation of fire-fighting vehicles and emergency personnel (b) evacuation of residents, occupants and visitors. 	<p>DTS/DPF 5.1</p> <p>Roads:</p> <ul style="list-style-type: none"> (a) are constructed with a formed, all-weather surface (b) have a gradient of not more than 16 degrees (1-in-3.5) at any point along the road (c) have a cross fall of not more than 6 degrees (1-in-9.5) at any point along the road (d) have a minimum formed road width of 6m (e) provide overhead clearance of not less than 4.0m between the road surface and overhanging branches or other obstructions including buildings and/or structures (Figure 1) (f) allow fire-fighting services (personnel and vehicles) to travel in a continuous forward movement around road curves by constructing the curves with a minimum external radius of 12.5m (Figure 2) (g) incorporating cul-de-sac endings or dead end roads do not exceed 200m in length and the end of the road has either: <ul style="list-style-type: none"> (i) a turning area with a minimum formed surface radius of 12.5m (Figure 3) or (ii) a 'T' or 'Y' shaped turning area with a minimum formed surface length of 11m and minimum internal radii of 9.5m (Figure 4) (h) incorporate solid, all-weather crossings over any watercourse that support fire-fighting vehicles with a gross vehicle mass (GVM) of 21 tonnes.

<p>PO 5.2</p> <p>Access to habitable buildings is designed and constructed to facilitate the safe and effective:</p> <ul style="list-style-type: none"> (a) access, operation and evacuation of fire-fighting vehicles and emergency personnel (b) evacuation of residents, occupants and visitors. 	<p>DTS/DPF 5.2</p> <p>Access is in accordance with (a) or (b):</p> <ul style="list-style-type: none"> (a) a clear and unobstructed vehicle or pedestrian pathway of not greater than 60 metres in length is available between the most distant part of the habitable building and the nearest part of a formed public access road (b) driveways: <ul style="list-style-type: none"> (i) do not exceed 600m in length (ii) are constructed with a formed, all-weather surface (iii) are connected to a formed, all-weather public road with the transition area between the road and driveway having a gradient of not more than 7 degrees (1-in-8) (iv) have a gradient of not more than 16 degrees (1-in-3.5) at any point along the driveway (v) have a crossfall of not more than 6 degrees (1-in-9.5) at any point along the driveway (vi) have a minimum formed width of 3m (4m where the gradient of the driveway is steeper than 12 degrees (1-in-4.5)) plus 0.5 metres clearance either side of the driveway from overhanging branches or other obstructions, including buildings and/or structures (Figure 1) (vii) incorporate passing bays with a minimum width of 6m and length of 17m every 200m (Figure 5) (viii) provide overhead clearance of not less than 4.0m between the driveway surface and overhanging branches or other obstructions, including buildings and/or structures (Figure 1) (ix) allow fire-fighting services (personnel and vehicles) to travel in a continuous forward movement around driveway curves by constructing the curves with a minimum external radius of 12.5m (Figure 2) (x) allow fire-fighting vehicles to safely enter and exit an allotment in a forward direction by using a 'U' shaped drive through design or by incorporating at the end of the driveway either: <ul style="list-style-type: none"> A. a loop road around the building or B. a turning area with a minimum radius of 12.5m (Figure 3) or C. a 'T' or 'Y' shaped turning area with a minimum formed length of 11m and minimum internal radii of 9.5m (Figure 4) (xi) incorporate solid, all-weather crossings over any watercourse that support fire-fighting vehicles with a gross vehicle mass (GVM) of 21 tonnes.
<p>PO 5.3</p> <p>Development does not rely on fire tracks as means of evacuation or access for fire-fighting purposes unless there are no safe alternatives available.</p>	<p>DTS/DPF 5.3</p> <p>None are applicable.</p>

Procedural Matters (PM) - Referrals

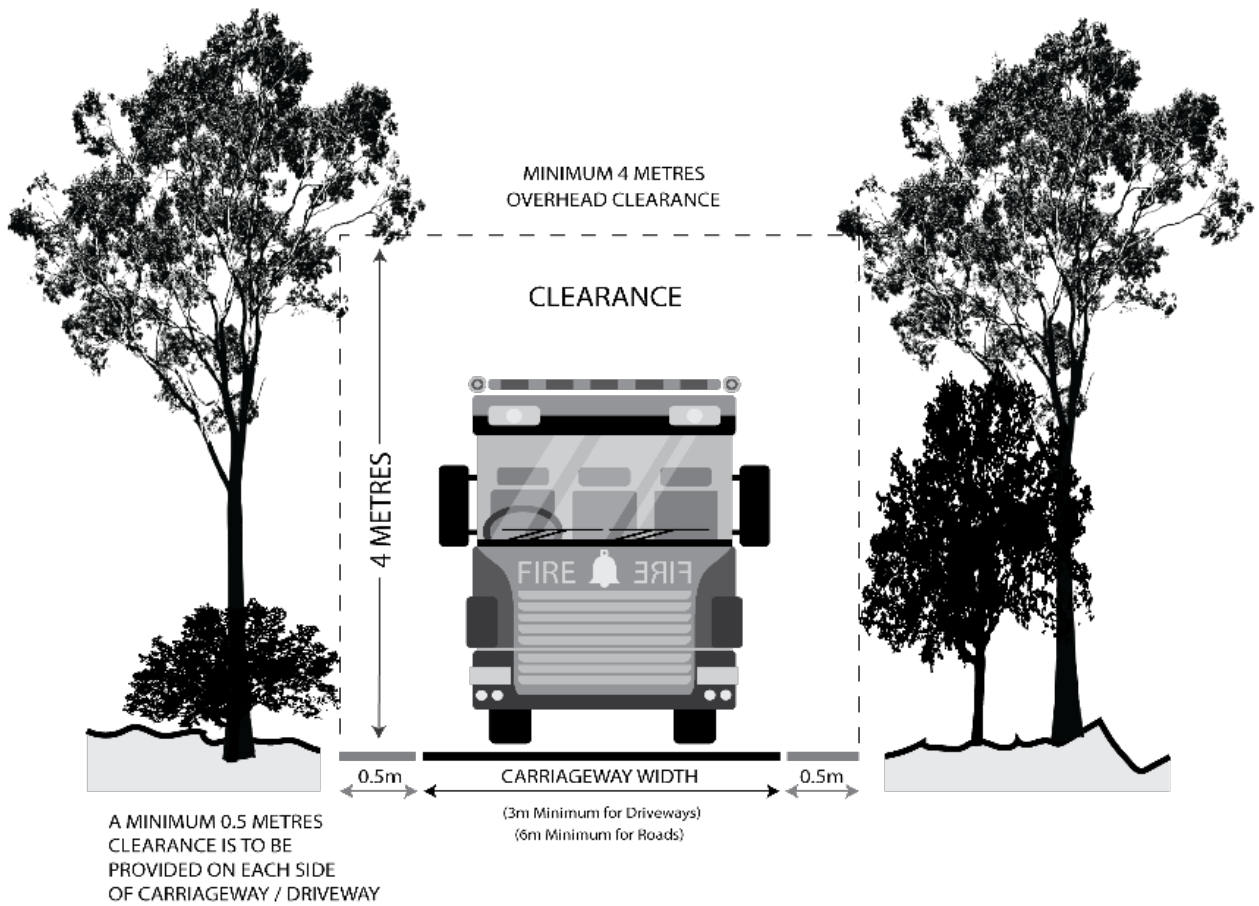
The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

Figures and Diagrams

Fire Engine and Appliance Clearances

Figure 1 - Overhead and Side Clearances



Roads and Driveway Design

Figure 2 - Road and Driveway Curves

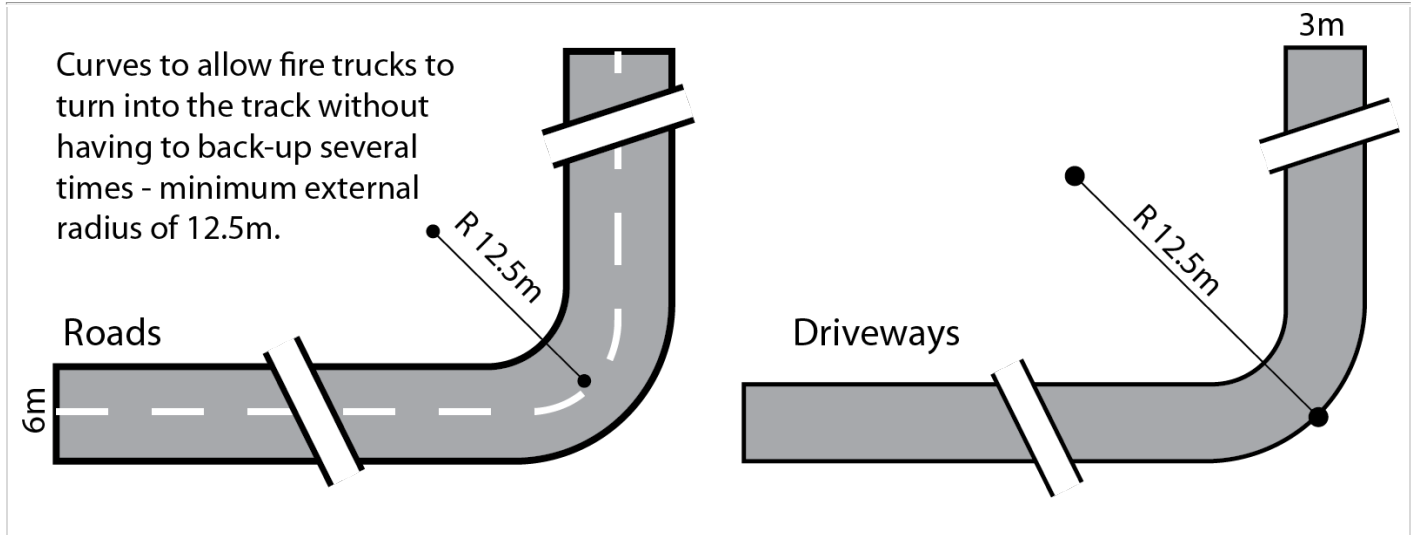


Figure 3 - Full Circle Turning Area

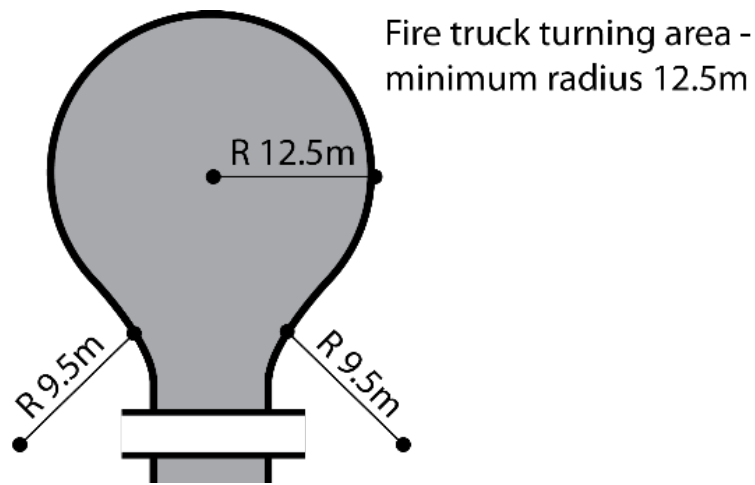
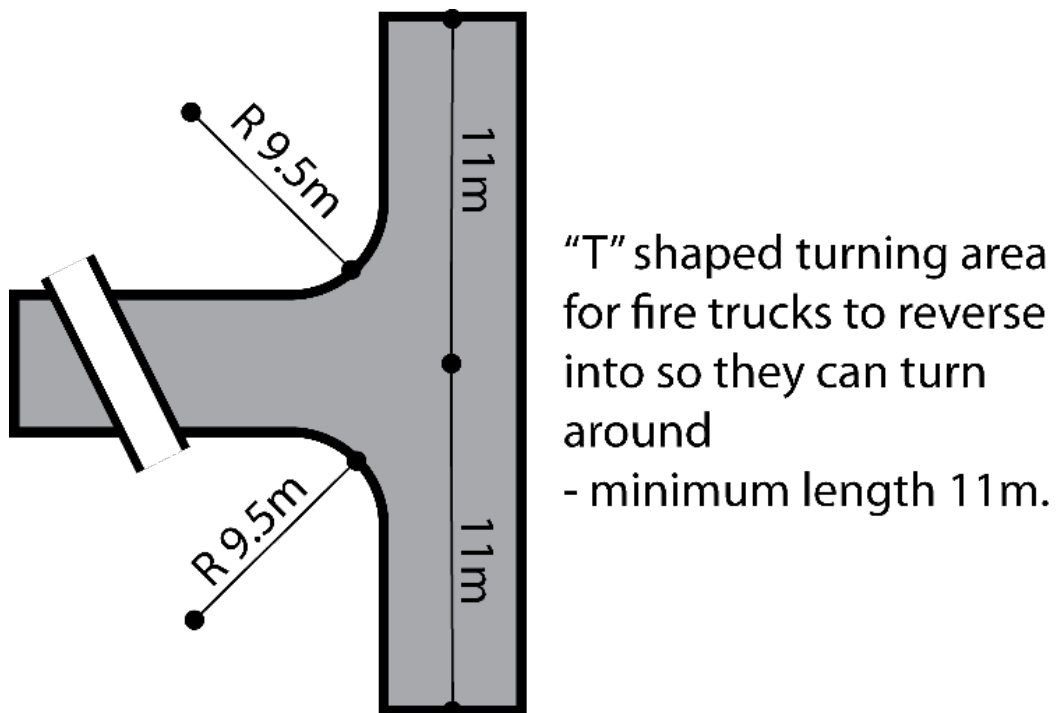


Figure 4 - 'T' or 'Y' Shaped Turning Head



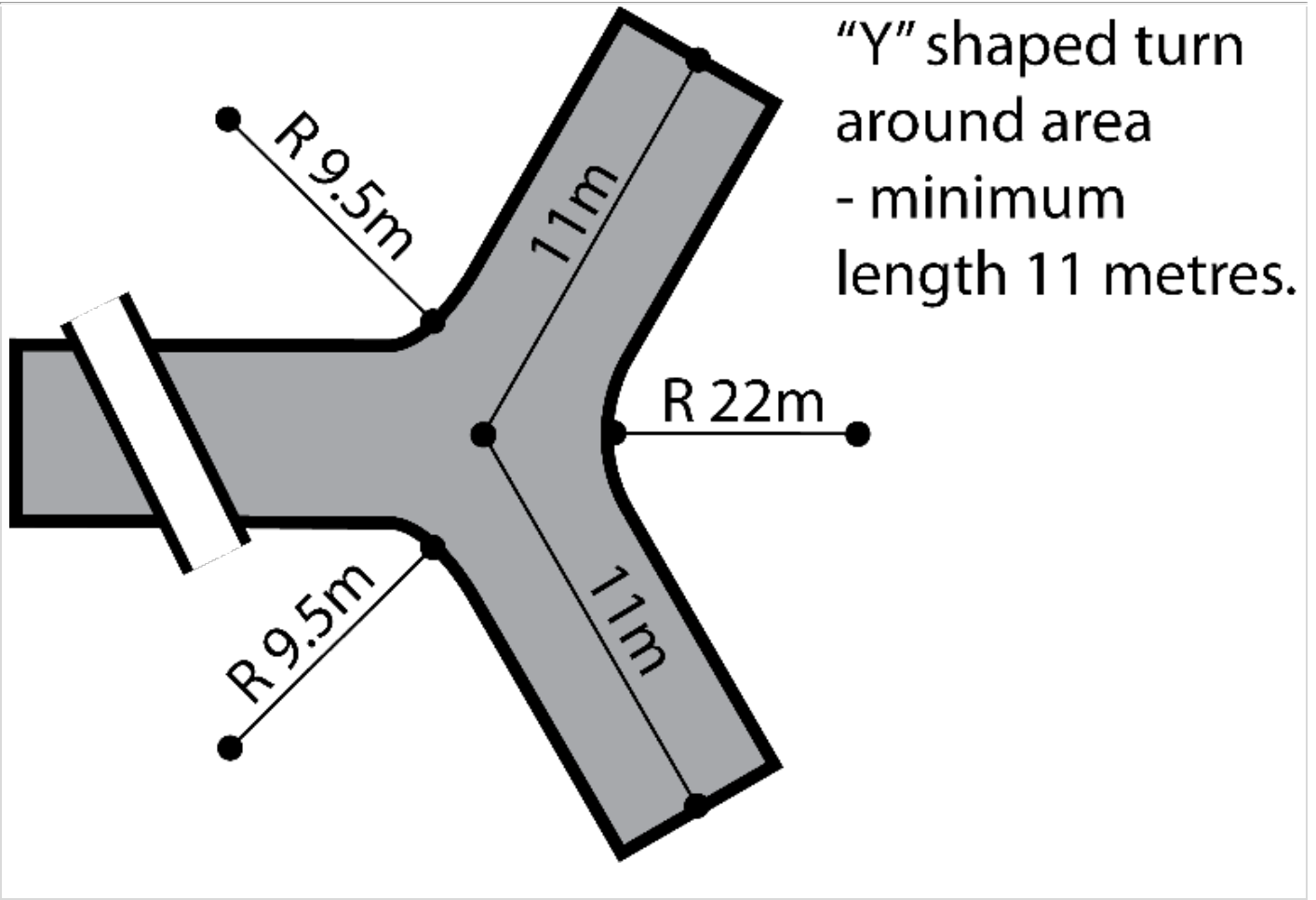
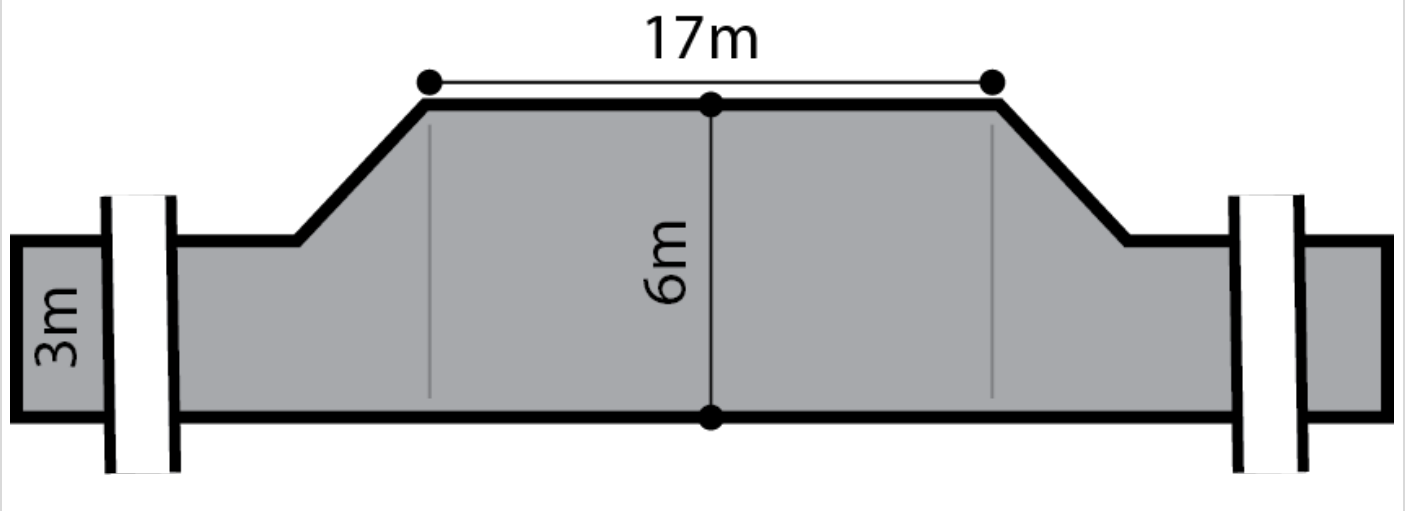


Figure 5 - Driveway Passing Bays

Passing bay for fire trucks - minimum width 6 metres, minimum length 17 metres.



Hazards (Flooding - Evidence Required) Overlay

Assessment Provisions (AP)

Desired Outcome

DO 1	Development adopts a precautionary approach to mitigate potential impacts on people, property, infrastructure and the environment from potential flood risk through the appropriate siting and design of development.
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Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Flood Resilience	
PO 1.1 Development is sited, designed and constructed to minimise the risk of entry of potential floodwaters where the entry of flood waters is likely to result in undue damage to or compromise ongoing activities within buildings.	DTS/DPF 1.1 Habitable buildings, commercial and industrial buildings, and buildings used for animal keeping incorporate a finished floor level at least 300mm above: <ul style="list-style-type: none"> (a) the highest point of top of kerb of the primary street or (b) the highest point of natural ground level at the primary street boundary where there is no kerb
Environmental Protection	
PO 2.1 Buildings and structures used either partly or wholly to contain or store hazardous materials are designed to prevent spills or leaks leaving the confines of the building.	DTS/DPF 2.1 Development does not involve the storage of hazardous materials.

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

Historic Area Overlay

Assessment Provisions (AP)

Desired Outcome	
DO 1	Historic themes and characteristics are reinforced through conservation and contextually responsive development, design and adaptive reuse that responds to existing coherent patterns of land division, site configuration, streetscapes, building siting and built scale, form and features as exhibited in the Historic Area and expressed in the Historic Area Statement.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
All Development	
PO 1.1 All development is undertaken having consideration to the historic streetscapes and built form as expressed in the Historic Area Statement.	DTS/DPF 1.1 None are applicable.
Built Form	
PO 2.1 The form and scale of new buildings and structures that are visible from the public realm are consistent with the prevailing historic characteristics of the historic area.	DTS/DPF 2.1 None are applicable.
PO 2.2 Development is consistent with the prevailing building and wall heights in the historic area.	DTS/DPF 2.2 None are applicable.
PO 2.3 Design and architectural detailing of street-facing buildings (including but not limited to roof pitch and form, openings, chimneys and verandahs) complement the prevailing characteristics in the historic area.	DTS/DPF 2.3 None are applicable.
PO 2.4 Development is consistent with the prevailing front and side boundary setback pattern in the historic area.	DTS/DPF 2.4 None are applicable.
PO 2.5 Materials are either consistent with or complement those within the historic area.	DTS/DPF 2.5 None are applicable.
Alterations and additions	
PO 3.1 Alterations and additions complement the subject building, employ a contextual design approach and are sited to ensure they do not dominate the primary façade.	DTS/DPF 3.1 Alterations and additions are fully contained within the roof space of an existing building with no external alterations made to the building elevation facing the primary street.
PO 3.2 Adaptive reuse and revitalisation of buildings to support retention consistent with the Historic Area Statement.	DTS/DPF 3.2 None are applicable.
Ancillary development	
PO 4.1 Ancillary development, including carports, outbuildings and garages, complements the historic character of the area and associated buildings.	DTS/DPF 4.1 None are applicable.

<p>PO 4.2</p> <p>Ancillary development, including carports, outbuildings and garages, is located behind the building line of the principal building(s) and does not dominate the building or its setting.</p>	<p>DTS/DPF 4.2</p> <p>None are applicable.</p>
<p>PO 4.3</p> <p>Advertising and advertising hoardings are located and designed to complement the building, be unobtrusive, be below the parapet line, not conceal or obstruct significant architectural elements and detailing, or dominate the building or its setting.</p>	<p>DTS/DPF 4.3</p> <p>None are applicable.</p>
<p>PO 4.4</p> <p>Fencing and gates closer to a street boundary (other than a laneway) than the elevation of the associated building are consistent with the traditional period, style and form of the associated building.</p>	<p>DTS/DPF 4.4</p> <p>None are applicable.</p>
Land Division	
<p>PO 5.1</p> <p>Land division creates allotments that are:</p> <ul style="list-style-type: none"> (a) compatible with the surrounding pattern of subdivision in the historic area (b) of a dimension to accommodate buildings of a bulk and scale that reflect existing buildings and setbacks in the historic area 	<p>DTS/DPF 5.1</p> <p>None are applicable.</p>
Context and Streetscape Amenity	
<p>PO 6.1</p> <p>The width of driveways and other vehicle access ways are consistent with the prevailing width of existing driveways of the historic area.</p>	<p>DTS/DPF 6.1</p> <p>None are applicable.</p>
<p>PO 6.2</p> <p>Development maintains the valued landscape patterns and characteristics that contribute to the historic area, except where they compromise safety, create nuisance, or impact adversely on buildings or infrastructure.</p>	<p>DTS/DPF 6.2</p> <p>None are applicable.</p>
Demolition	
<p>PO 7.1</p> <p>Buildings and structures, or features thereof, that demonstrate the historic characteristics as expressed in the Historic Area Statement are not demolished, unless:</p> <ul style="list-style-type: none"> (a) the front elevation of the building has been substantially altered and cannot be reasonably restored in a manner consistent with the building's original style or (b) the structural integrity or safe condition of the original building is beyond reasonable repair. 	<p>DTS/DPF 7.1</p> <p>None are applicable.</p>
<p>PO 7.2</p>	<p>DTS/DPF 7.2</p>

Partial demolition of a building where that portion to be demolished does not contribute to the historic character of the streetscape.	None are applicable.
PO 7.3 Buildings or elements of buildings that do not conform with the values described in the Historic Area Statement may be demolished.	DTS/DPF 7.3 None are applicable.
Ruins	
PO 8.1 Development conserves and complements features and ruins associated with former activities of significance.	DTS/DPF 8.1 None are applicable.

Historic Area Statements

Statement#	Statement														
Historic Areas Affecting Adelaide Hills Council															
AdHi2	<p>Stirling - Ayres Hill Road Historic Area Statement (AdHi2)</p> <p>The Historic Area Overlay identifies localities that comprise characteristics of an identifiable historic, economic and / or social theme of recognised importance. They can comprise land divisions, development patterns, built form characteristics and natural features that provide a legible connection to the historic development of a locality.</p> <p>These attributes have been identified in the below table. In some cases State and / or Local Heritage Places within the locality contribute to the attributes of an Historic Area.</p> <p>The preparation of an Historic Impact Statement can assist in determining potential additional attributes of an Historic Area where these are not stated in the below table.</p>														
	<table border="1"> <tr> <td>Eras, themes and context</td> <td>Mid to late 1880s residential.</td> </tr> <tr> <td>Allotments, subdivision and built form patterns</td> <td>Large blocks of land. Larger houses on large, well vegetated grounds. Dwellings set well back from the street boundary. Smaller subordinate buildings located closer to the street boundary.</td> </tr> <tr> <td>Architectural styles, detailing and built form features</td> <td>The architectural style of the buildings varies with their date of construction.</td> </tr> <tr> <td>Building height</td> <td>Building height to 9 metres. Original scale of buildings.</td> </tr> <tr> <td>Materials</td> <td>Consistent with the materials associated with the architectural style of the subject building. Random, coursed and dressed stone. Rendered stone. Brick, stone and rendered quoins. String courses. Hipped and gabled roofs. Dormer windows. Raked verandahs supported with timber posts and masonry pillars. Corrugated iron roofs. Decorative cast iron features. Brick and stone chimneys. Stone Porticos. Decorative and ornate timber bargeboards. External finishes non-reflective and utilise natural colours.</td> </tr> <tr> <td>Fencing</td> <td>Front fencing of pickets, post and wire and masonry (exposed or rendered brickwork or stonework) often obscured by hedges or other plantings, with varying heights to between 1200-1800 millimetres.</td> </tr> <tr> <td>Setting, landscaping, streetscape and public realm</td> <td>'Secluded' nature of houses, in most cases set well back on their blocks, hidden behind the gardens and hedges.</td> </tr> </table>	Eras, themes and context	Mid to late 1880s residential.	Allotments, subdivision and built form patterns	Large blocks of land. Larger houses on large, well vegetated grounds. Dwellings set well back from the street boundary. Smaller subordinate buildings located closer to the street boundary.	Architectural styles, detailing and built form features	The architectural style of the buildings varies with their date of construction.	Building height	Building height to 9 metres. Original scale of buildings.	Materials	Consistent with the materials associated with the architectural style of the subject building. Random, coursed and dressed stone. Rendered stone. Brick, stone and rendered quoins. String courses. Hipped and gabled roofs. Dormer windows. Raked verandahs supported with timber posts and masonry pillars. Corrugated iron roofs. Decorative cast iron features. Brick and stone chimneys. Stone Porticos. Decorative and ornate timber bargeboards. External finishes non-reflective and utilise natural colours.	Fencing	Front fencing of pickets, post and wire and masonry (exposed or rendered brickwork or stonework) often obscured by hedges or other plantings, with varying heights to between 1200-1800 millimetres.	Setting, landscaping, streetscape and public realm	'Secluded' nature of houses, in most cases set well back on their blocks, hidden behind the gardens and hedges.
	Eras, themes and context	Mid to late 1880s residential.													
	Allotments, subdivision and built form patterns	Large blocks of land. Larger houses on large, well vegetated grounds. Dwellings set well back from the street boundary. Smaller subordinate buildings located closer to the street boundary.													
	Architectural styles, detailing and built form features	The architectural style of the buildings varies with their date of construction.													
	Building height	Building height to 9 metres. Original scale of buildings.													
	Materials	Consistent with the materials associated with the architectural style of the subject building. Random, coursed and dressed stone. Rendered stone. Brick, stone and rendered quoins. String courses. Hipped and gabled roofs. Dormer windows. Raked verandahs supported with timber posts and masonry pillars. Corrugated iron roofs. Decorative cast iron features. Brick and stone chimneys. Stone Porticos. Decorative and ornate timber bargeboards. External finishes non-reflective and utilise natural colours.													
	Fencing	Front fencing of pickets, post and wire and masonry (exposed or rendered brickwork or stonework) often obscured by hedges or other plantings, with varying heights to between 1200-1800 millimetres.													
Setting, landscaping, streetscape and public realm	'Secluded' nature of houses, in most cases set well back on their blocks, hidden behind the gardens and hedges.														

	features	<p>Streetscape is dominated by tree plantings and fencing behind which can be seen the larger trees and shrubs of the gardens. The lower section of the road (from Laurel Road to the roundabout near St Catherine’s) is winding and bordered by hedges and trees. The upper portion of the road is straight and reveals a wider footpath margin than the lower section, adding to the feeling of privacy of the houses.</p> <p>Wide footpath verges which are of a rustic nature.</p> <p>Row and avenue plantings of exotic trees in the road verges.</p>
	Representative Buildings	<i>[Not identified]</i>

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

Limited Land Division Overlay

Assessment Provisions (AP)

Desired Outcome	
DO 1	The long term use of land for primary production is maintained by minimising fragmentation through division of land.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
General	
PO 1.1 Land division does not result in the creation of an additional allotment.	DTS/DPF 1.1 No additional allotments are created.
PO 1.2 Land division involving boundary realignments occurs only where the number of resulting allotments with a site area less than that	DTS/DPF 1.2 None are applicable.

specified in the relevant Zone is not greater than the number that existed prior to the realignment.	
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Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

Mount Lofty Ranges Water Supply Catchment (Area 1) Overlay

Assessment Provisions (AP)

Performance Outcomes (PO) and Deemed to Satisfy (DTS) / Designated Performance Feature (DPF) Criteria

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Stormwater	
DTS/DPF 3.4 Development includes: <ul style="list-style-type: none"> (a) rainwater tanks with a minimum capacity of 1,000L connected to carports, verandahs and outbuildings or (b) rainwater tanks with a minimum capacity of 4,500L connected to agricultural buildings exceeding 100m². 	DTS/DPF 3.5 Dwelling additions are connected to a rainwater tank with a minimum capacity of 1,000L.
DTS/DPF 3.9 Excavation and/or filling satisfy all the following: <ul style="list-style-type: none"> (a) is located 50m or more from watercourses (b) is located 100m or more from public water supply reservoirs and diversion weirs (c) does not involve excavation exceeding a vertical height of 0.75m (d) does not involve filling exceeding a vertical height of 0.75m (e) does not involve a total combined excavation and filling vertical height of 1.5m. 	

Mount Lofty Ranges Water Supply Catchment (Area 2) Overlay

Assessment Provisions (AP)

Desired Outcome

DO 1	Safeguard Greater Adelaide's public water supply by ensuring development has a neutral or beneficial effect on the quality of water harvested from secondary reservoirs or diversion weir catchments from the Mount Lofty Ranges.
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Performance Outcomes (PO) and Deemed to Satisfy (DTS) / Designated Performance Feature (DPF) Criteria

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Water Quality	
PO 1.1 Development results in a neutral or beneficial effect on the quality of water draining from the site to maintain and enhance the role of the catchment as a water supply.	DTS/DPF 1.1 None are applicable.
PO 1.2 Development does not include land uses that have the potential to cause adverse impacts on the quality of water draining into secondary public water supply reservoirs and weirs.	DTS/DPF 1.2 Development does not involve any one or combination of the following: <ul style="list-style-type: none"> (a) landfill (b) special industry.
Wastewater	
PO 2.1 Development that generates human wastewater, including alterations and additions, are established at an intensity and in a manner to minimise potential adverse impact on water quality within secondary reservoir and weir catchment areas.	DTS/DPF 2.1 Development including alterations and additions, in combination with existing built form and activities within an allotment: <ul style="list-style-type: none"> (a) do not generate a combined total of more than 1500 litres of wastewater per day and (b) will be connected to the same on-site wastewater system that is compliant with relevant South Australian standards or is otherwise connected to a sewer or community wastewater management system.
PO 2.2 Dairy development is of a scale and design that will avoid adverse water quality impacts.	DTS/DPF 2.2 Dairy development satisfies all of the following: <ul style="list-style-type: none"> (a) is located at least 100 metres from any watercourse, dam, bore or well (b) is connected to a wastewater management system that is located 200 metres from any watercourse, dam, bore or well and is designed and constructed to avoid leakage to groundwater or overflow under extreme rainfall conditions (c) treated wastewater irrigation areas:

	<ul style="list-style-type: none"> (i) have a slope of less than 1-in-5 (20 percent) (ii) are greater than 100 metres from any watercourse, dam, bore or well <p>are suitable to provide for seasonal wastewater irrigation without causing pollution of surface or groundwater.</p>
<p>PO 2.3</p> <p>Development that generates trade or industrial wastewater is of a scale and design to ensure wastewater is managed to avoid adverse water quality impacts is of a scale and design that will avoid adverse water quality impacts.</p>	<p>DTS/DPF 2.3</p> <p>Development that generates trade or industrial wastewater with a peak biological oxygen demand (BOD) of greater than 100 milligrams per litre satisfies the following:</p> <ul style="list-style-type: none"> (a) disposes of all wastewater to a sewerage or community wastewater management system, or (b) operates at a scale that generates less than 5 million litres of wastewater per year, and <ul style="list-style-type: none"> (i) is located greater than 300 metres from a watercourse, dam, bore or well, except where a spill retention basin is constructed, in which case, the minimum setback to a watercourse, dam, bore or well is 50 metres, and (ii) a development that incorporates a spill retention basin(s) for the purpose of reducing the setback to a watercourse, dam, bore or well, has basins designed and located: <ul style="list-style-type: none"> A. to minimise the risk of spills entering a downgradient watercourse, dam, bore of well B. in close proximity to wine making, wine storage and wastewater treatment facilities C. to capture 120% of the maximum aggregate volume of liquid raw materials, product and untreated wastewater which can be contained or produced at any one time during the peak of operation D. to be impervious; and E. to minimise the interception of any natural or artificial stormwater flow.
<p>PO 2.4</p> <p>Wastewater management systems result in a neutral or beneficial effect on the quality of water draining from the site.</p>	<p>DTS/DPF 2.4</p> <p>Development results in:</p> <ul style="list-style-type: none"> (a) a building or land use that is currently connected to an existing on-site wastewater system that is non-compliant with relevant South Australian standards being connected to a new or upgraded system that complies with such standards or (b) an existing on-site wastewater system being decommissioned and wastewater being disposed of to a sewer or community wastewater management system that complies with relevant South Australian standards.
<p>PO 2.5</p> <p>Surface and groundwater protected from wastewater discharge</p>	<p>DTS/DPF 2.5</p> <p>All components of an effluent disposal area are:</p>

<p>pollution.</p>	<ul style="list-style-type: none"> (a) setback 50 metres or more from a watercourse (b) setback 100 metres or more from a public water supply reservoir (c) located on land with a slope no greater than 1-in-5 (20%) (d) located on land with 1.2m or more depth to bedrock or a seasonal or permanent water table (e) above the 10% AEP flood level.
<p>Stormwater</p>	
<p>PO 3.1 Post-development peak stormwater discharge quantities and rates do not exceed pre-development quantities and rates to maintain water quality leaving the site.</p>	<p>DTS/DPF 3.1 None are applicable.</p>
<p>PO 3.2 Stormwater run-off from areas not likely to be subject to pollution diverted away from areas that could cause pollution.</p>	<p>DTS/DPF 3.2 None are applicable.</p>
<p>PO 3.3 Polluted stormwater is treated prior to discharge from the site.</p>	<p>DTS/DPF 3.3 None are applicable.</p>
<p>PO 3.4 Stormwater from carports, verandahs, outbuildings and agricultural buildings captured to protect water quality.</p>	<p>DTS/DPF 3.4 Development includes:</p> <ul style="list-style-type: none"> (a) rainwater tanks with a minimum capacity of 1,000L connected to carports, verandahs and outbuildings or (b) rainwater tanks with a minimum capacity of 4,500L connected to agricultural buildings exceeding 100m².
<p>PO 3.5 Stormwater from dwelling additions captured to protect water quality.</p>	<p>DTS/DPF 3.5 Dwelling additions are connected to a rainwater tank with a minimum capacity of 1,000L.</p>
<p>PO 3.6 Stormwater from shops and tourist accommodation is managed to protect water quality.</p>	<p>DTS/DPF 3.6 Shops and tourist accommodation satisfy all the following:</p> <ul style="list-style-type: none"> (a) are located 50m or more from watercourses, wetlands, land prone to waterlogging and bores (b) are located 100m or more from public water supply reservoirs and diversion weirs (c) are located on land with a slope not exceeding 20% (d) includes buildings connected to rainwater tanks with a minimum capacity of 1,000L (e) includes swales that divert clean stormwater away from areas where it could be polluted.
<p>PO 3.7 Stormwater from horse keeping and low intensity animal husbandry is managed to protect water quality.</p>	<p>DTS/DPF 3.7 Horse keeping and low intensity animal husbandry satisfy all the following:</p> <ul style="list-style-type: none"> (a) is located 50m or more from watercourses, wetlands, land prone to waterlogging and bores (b) is located on land with a slope not exceeding 10%

	<ul style="list-style-type: none"> (c) includes stables, shelters or other roofed structures connected to rainwater tanks with a minimum capacity of 1,000L (d) includes swales that divert clean stormwater away from areas (including yards, manure storage areas, and watering points) within which it could be polluted.
<p>PO 3.8</p> <p>Stormwater from horticulture is managed to protect water quality.</p>	<p>DTS/DPF 3.8</p> <p>Horticulture satisfies all the following:</p> <ul style="list-style-type: none"> (a) is located 50m or more from watercourses, wetlands, land prone to waterlogging and bores (b) is located 100m or more from public water supply reservoirs and diversion weirs (c) is located on land with a slope not exceeding 10% (d) includes swales or other structures that divert clean stormwater away from areas (including plant growing areas, chemical storage areas and plant waste storage areas) within which it could be polluted.
<p>PO 3.9</p> <p>Stormwater from excavated and filled areas is managed to protect water quality.</p>	<p>DTS/DPF 3.9</p> <p>Excavation and/or filling satisfy all the following:</p> <ul style="list-style-type: none"> (a) is located 50m or more from watercourses (b) is located 100m or more from public water supply reservoirs and diversion weirs (c) does not involve excavation exceeding a vertical height of 0.75m (d) does not involve filling exceeding a vertical height of 0.75m (e) does not involve a total combined excavation and filling vertical height of 1.5m.
<p>Landscapes and Natural Features</p>	
<p>PO 4.1</p> <p>Development minimises the need to modify landscapes and natural features.</p>	<p>DTS/DPF 4.1</p> <p>None are applicable.</p>
<p>Land Division</p>	
<p>PO 5.1</p> <p>Land division does not result in an increased risk of pollution to surface or underground water.</p>	<p>DTS/DPF 5.1</p> <p>Land division does not create additional allotments and satisfies (a) and/or (b):</p> <ul style="list-style-type: none"> (a) is for realignment of allotment boundaries to correct an anomaly in the placement of those boundaries with respect to the location of existing buildings or structures or (b) is for realignment of allotment boundaries in order to improve management of the land for primary production and/or conservation of natural features.
<p>PO 5.2</p> <p>Realignment of allotment boundaries does not create development potential for a dwelling and associated onsite</p>	<p>DTS/DPF 5.2</p> <p>None are applicable.</p>

wastewater management system where no such potential currently exists.	
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Procedural Matters (PM)

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
<p>Any of the following classes of development that are not connected (or not proposed to be connected) to a community wastewater management system or sewerage infrastructure:</p> <ul style="list-style-type: none"> (a) land division creating one or more additional allotments, either partly or wholly within the area of the overlay (b) function centre with more than 75 seats for customer dining purposes (c) restaurant with more than 40 seats for customer dining purposes (d) restaurant with more than 30 seats for customer dining purposes in association with a cellar door (e) dwelling where a habitable dwelling or tourist accommodation already exists on the same allotment (including where a valid planning authorisation exists to erect a dwelling or tourist accommodation on the same allotment) (f) tourist accommodation where a habitable dwelling or tourist accommodation already exists on the same allotment (including where a valid planning authorisation exists to erect a habitable dwelling or tourist accommodation on the same allotment) (g) workers' accommodation where a habitable dwelling or tourist accommodation already exists on the same allotment (including where a valid planning authorisation exists to erect a habitable dwelling or tourist accommodation on the same allotment) (h) any other development that generates human wastewater from a peak loading capacity of more than 40 persons (or more than 6,000 litres/day) 	Environment Protection Authority.	To provide expert technical assessment and direction to the relevant authority on whether a proposed development will have a neutral or beneficial impact on water quality.	Development of a class to which Schedule 9 clause 3 item 9 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.
Composting works (excluding a prescribed approved activity) - being a depot, facility or works with the capacity to treat, during a 12 month period more than 200 tonnes of organic waste or matter (EPA Licence)			

<p>Wastewater treatment works - being sewage treatment works, a community wastewater management system, winery wastewater treatment works or any other wastewater treatment works with the capacity to treat, during a 12 month period more than 2.5 ML of wastewater (EPA Licence required at more than 5ML)</p>	
<p>Feedlots - being carrying on an operation for holding in confined yard or area and feeding principally by mechanical means or by hand not less than an average of 200 cattle (EPA Licence) or 1,600 sheep or goats per day over any period of 12 months, but excluding any such operation carried on at an abattoir, slaughterhouse or saleyard or for the purpose only of drought or other emergency feeding</p>	
<p>Piggeries - being the conduct of a piggery (being premises having confined or roofed structures for keeping pigs) with a capacity of 130 or more standard pig units (EPA Licence required at 650 or more standard pig units)</p>	
<p>Dairies - carrying on of a dairy with a total processing capacity exceeding 100 milking animals at any one time.</p>	

Native Vegetation Overlay

Assessment Provisions (AP)

Desired Outcome	
DO 1	Areas of native vegetation are protected, retained and restored in order to sustain biodiversity, threatened species and vegetation communities, fauna habitat, ecosystem services, carbon storage and amenity values.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Environmental Protection	
PO 1.1	DTS/DPF 1.1

<p>Development avoids, or where it cannot be practically avoided, minimises the clearance of native vegetation taking into account the siting of buildings, access points, bushfire protection measures and building maintenance.</p>	<p>An application is accompanied by:</p> <ul style="list-style-type: none"> (a) a declaration stating that the proposal will not, or would not, involve clearance of native vegetation under the Native Vegetation Act 1991, including any clearance that may occur: <ul style="list-style-type: none"> (i) in connection with a relevant access point and / or driveway (ii) within 10m of a building (other than a residential building or tourist accommodation) (iii) within 20m of a dwelling or addition to an existing dwelling for fire prevention and control (iv) within 50m of residential or tourist accommodation in connection with a requirement under a relevant overlay to establish an asset protection zone in a bushfire prone area <p style="text-align: center;">or</p> (b) a report prepared in accordance with Regulation 18(2) (a) of the Native Vegetation Regulations 2017 that establishes that the clearance is categorised as 'Level 1 clearance'.
<p>PO 1.2</p> <p>Native vegetation clearance in association with development avoids the following:</p> <ul style="list-style-type: none"> (a) significant wildlife habitat and movement corridors (b) rare, vulnerable or endangered plants species (c) native vegetation that is significant because it is located in an area which has been extensively cleared (d) native vegetation that is growing in, or in association with, a wetland environment. 	<p>DTS/DPF 1.2</p> <p>None are applicable.</p>
<p>PO 1.3</p> <p>Intensive animal husbandry and agricultural activities are sited, set back and designed to minimise impacts on native vegetation, including impacts on native vegetation in an adjacent State Significant Native Vegetation Area, from:</p> <ul style="list-style-type: none"> (a) the spread of pest plants and phytophthora (b) the spread of non-indigenous plants species (c) excessive nutrient loading of the soil or loading arising from surface water runoff (d) soil compaction (e) chemical spray drift. 	<p>DTS/DPF 1.3</p> <p>Development within 500 metres of a boundary of a State Significant Native Vegetation Area does not involve any of the following:</p> <ul style="list-style-type: none"> (a) horticulture (b) intensive animal husbandry (c) dairy (d) commercial forestry (e) aquaculture.
<p>PO 1.4</p> <p>Development restores and enhances biodiversity and habitat values through revegetation using locally indigenous plant species.</p>	<p>DTS/DPF 1.4</p> <p>None are applicable.</p>
<p>Land division</p>	
<p>PO 2.1</p> <p>Land division does not result in the fragmentation of land containing native vegetation, or necessitate the clearance of</p>	<p>DTS/DPF 2.1</p> <p>Land division where:</p>

<p>native vegetation, unless such clearance is considered minor, taking into account the location of allotment boundaries, access ways, fire breaks, boundary fencing and potential building siting or the like.</p>	<p>(a) an application is accompanied by one of the following:</p> <ul style="list-style-type: none"> (i) a declaration stating that none of the allotments in the proposed plan of division contain native vegetation under the <i>Native Vegetation Act 1991</i> (ii) a declaration stating that no native vegetation clearance under the <i>Native Vegetation Act 1991</i> will be required as a result of the division of land (iii) a report prepared in accordance with Regulation 18(2)(a) of the <i>Native Vegetation Regulations 2017</i> that establishes that the vegetation to be cleared is categorised as 'Level 1 clearance' <p>or</p> <p>(b) an application for land division which is being considered concurrently with a proposal to develop each allotment which will satisfy, or would satisfy, the requirements of DTS/DPF 1.1, including any clearance that may occur</p> <p>or</p> <p>(c) the division is to support a Heritage Agreement under the <i>Native Vegetation Act 1991</i> or the <i>Heritage Places Act 1993</i>.</p>
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Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
Development that is the subject of a report prepared in accordance with Regulation 18(2)(a) of the <i>Native Vegetation Regulations 2017</i> that categorises the clearance, or potential clearance, as 'Level 3 clearance' or 'Level 4 clearance'.	Native Vegetation Council	To provide expert assessment and direction to the relevant authority on the potential impacts of development on native vegetation.	Development of a class to which Schedule 9 clause 3 item 11 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.

Prescribed Water Resources Area Overlay

Assessment Provisions (AP)

Desired Outcome

DO 1	Sustainable water use in prescribed surface water resources areas maintains the health and natural flow paths of water courses.
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Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
<p>PO 1.1</p> <p>All development, but in particular development involving any of the following:</p> <ul style="list-style-type: none"> (a) horticulture (b) activities requiring irrigation (c) aquaculture (d) industry (e) intensive animal husbandry (f) commercial forestry <p>has a lawful, sustainable and reliable water supply that does not place undue strain on water resources in prescribed surface water areas.</p>	<p>DTS/DPF 1.1</p> <p>Development satisfies either of the following:</p> <ul style="list-style-type: none"> (a) the applicant has a current water licence in which sufficient spare capacity exists to accommodate the water needs of the proposed use or (b) the proposal does not involve the taking of water for which a licence would be required under the <i>Landscape South Australia Act 2019</i>.
<p>PO 1.2</p> <p>Development comprising the erection, construction, modification, enlargement or removal of a dam, wall or other structure that will collect or divert surface water flowing over land is undertaken in a manner that maintains the quality and quantity of flows required to meet the needs of the environment as well as downstream users.</p>	<p>DTS/DPF 1.2</p> <p>None are applicable.</p>

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
Development that comprises the erection, construction, modification, enlargement or removal of a dam, wall or other structure that will collect or divert, or collects or diverts surface water flowing over land.	Relevant authority under the <i>Landscape South Australia Act 2019</i> that would, if it were not for the operation of section 106(1)(e) of that Act, have the authority under that Act to grant or refuse a permit to undertake the subject development.	To provide expert assessment and direction to the relevant authority on potential impacts from development on the health, sustainability and/or natural flow paths of water resources in accordance with the provisions of the relevant water allocation plan or regional landscape plan or equivalent.	Development of a class to which Schedule 9 clause 3 item 12 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.

<p>Any of the following classes of development:</p> <ul style="list-style-type: none"> (a) horticulture (b) activities requiring irrigation (c) aquaculture (d) industry (e) intensive animal husbandry (f) commercial forestry 	<p>The Chief Executive of the Department of the Minister responsible for the administration of the <i>Landscape South Australia Act 2019</i>.</p>	<p>To provide expert technical assessment and direction to the relevant authority on the taking of water to ensure development is undertaken sustainably and maintains the health and natural flow paths of water resources.</p>	<p>Development of a class to which Schedule 9 clause 3 item 13 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.</p>
<p>Commercial forestry that requires a forest water licence under Part 8 Division 6 of the <i>Landscape South Australia Act 2019</i>.</p>			

Regulated and Significant Tree Overlay

Assessment Provisions (AP)

Desired Outcome	
DO 1	Conservation of regulated and significant trees to provide aesthetic and environmental benefits and mitigate tree loss.

Performance Outcomes (PO) and Deemed to Satisfy (DTS) / Designated Performance Feature (DPF) Criteria

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Tree Retention and Health	
<p>PO 1.1</p> <p>Regulated trees are retained where they:</p> <ul style="list-style-type: none"> (a) make an important visual contribution to local character and amenity (b) are indigenous to the local area and listed under the <i>National Parks and Wildlife Act 1972</i> as a rare or endangered native species and / or (c) provide an important habitat for native fauna. 	<p>DTS/DPF 1.1</p> <p>None are applicable.</p>
<p>PO 1.2</p> <p>Significant trees are retained where they:</p> <ul style="list-style-type: none"> (a) make an important contribution to the character or amenity of the local area (b) are indigenous to the local area and are listed under the <i>National Parks and Wildlife Act 1972</i> as a rare or endangered native species (c) represent an important habitat for native fauna 	<p>DTS/DPF 1.2</p> <p>None are applicable.</p>

<ul style="list-style-type: none"> (d) are part of a wildlife corridor of a remnant area of native vegetation (e) are important to the maintenance of biodiversity in the local environment and / or (f) form a notable visual element to the landscape of the local area. 	
<p>PO 1.3</p> <p>A tree damaging activity not in connection with other development satisfies (a) and (b):</p> <ul style="list-style-type: none"> (a) tree damaging activity is only undertaken to: <ul style="list-style-type: none"> (i) remove a diseased tree where its life expectancy is short (ii) mitigate an unacceptable risk to public or private safety due to limb drop or the like (iii) rectify or prevent extensive damage to a building of value as comprising any of the following: <ul style="list-style-type: none"> A. a Local Heritage Place B. a State Heritage Place C. a substantial building of value <p>and there is no reasonable alternative to rectify or prevent such damage other than to undertake a tree damaging activity</p> <ul style="list-style-type: none"> (iv) reduce an unacceptable hazard associated with a tree within 20m of an existing residential, tourist accommodation or other habitable building from bushfire (v) treat disease or otherwise in the general interests of the health of the tree and / or (vi) maintain the aesthetic appearance and structural integrity of the tree (b) in relation to a significant tree, tree-damaging activity is avoided unless all reasonable remedial treatments and measures have been determined to be ineffective. 	<p>DTS/DPF 1.3</p> <p>None are applicable.</p>
<p>PO 1.4</p> <p>A tree-damaging activity in connection with other development satisfies all the following:</p> <ul style="list-style-type: none"> (a) it accommodates the reasonable development of land in accordance with the relevant zone or subzone where such development might not otherwise be possible (b) in the case of a significant tree, all reasonable development options and design solutions have been considered to prevent substantial tree-damaging activity occurring. 	<p>DTS/DPF 1.4</p> <p>None are applicable.</p>
<p>Ground work affecting trees</p>	
<p>PO 2.1</p> <p>Regulated and significant trees, including their root systems, are not unduly compromised by excavation and / or filling of land, or the sealing of surfaces within the vicinity of the tree to support</p>	<p>DTS/DPF 2.1</p> <p>None are applicable.</p>

their retention and health.	
Land Division	
PO 3.1 Land division results in an allotment configuration that enables its subsequent development and the retention of regulated and significant trees as far as is reasonably practicable.	DTS/DPF 3.1 Land division where: (a) there are no regulated or significant trees located within or adjacent to the plan of division or (b) the application demonstrates that an area exists to accommodate subsequent development of proposed allotments after an allowance has been made for a tree protection zone around any regulated tree within and adjacent to the plan of division.

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

State Heritage Place Overlay

Assessment Provisions (AP)

Desired Outcome	
DO 1	Development maintains the heritage and cultural values of State Heritage Places through conservation, ongoing use and adaptive reuse consistent with Statements of Significance and other relevant documents prepared and published by the administrative unit of the Public Service that is responsible for assisting a Minister in the administration of the <i>Heritage Places Act 1993</i> .

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Built Form	
PO 1.1 The form of new buildings and structures maintains the heritage values of the State Heritage Place.	DTS/DPF 1.1 None are applicable.

PO 1.2 Massing, scale and siting of development maintains the heritage values of the State Heritage Place.	DTS/DPF 1.2 None are applicable.
PO 1.3 Design and architectural detailing (including but not limited to roof pitch and form, openings, chimneys and verandahs) maintains the heritage values of the State Heritage Place.	DTS/DPF 1.3 None are applicable.
PO 1.4 Development is consistent with boundary setbacks and setting.	DTS/DPF 1.4 None are applicable.
PO 1.5 Materials and colours are either consistent with or complement the heritage values of the State Heritage Place.	DTS/DPF 1.5 None are applicable.
PO 1.6 New buildings and structures are not placed or erected between the primary and secondary street boundaries and the façade of a State Heritage Place.	DTS/DPF 1.6 None are applicable.
PO 1.7 Development of a State Heritage Place retains elements contributing to its heritage value.	DTS/DPF 1.7 None are applicable.
Alterations and Additions	
PO 2.1 Alterations and additions complement the State Heritage Place and are sited to be unobtrusive, not conceal or obstruct heritage features and detailing, or dominate the State Heritage Place or its setting.	DTS/DPF 2.1 None are applicable.
PO 2.2 Adaptive reuse and revitalisation of State Heritage Places to support their retention in a manner that respects and references the original use of the State Heritage Place.	DTS/DPF 2.2 None are applicable.
Ancillary Development	
PO 3.1 Ancillary development, including carports, outbuildings and garages, complement the heritage values of the State Heritage Place.	DTS/DPF 3.1 None are applicable.
PO 3.2 Ancillary development, including carports, outbuildings and garages, is located behind the building line of the State Heritage Place.	DTS/DPF 3.2 None are applicable.
PO 3.3 Advertising and advertising hoardings are designed and located to complement the State Heritage Place, be unobtrusive, be below the parapet line, not conceal or obstruct heritage elements	DTS/DPF 3.3 None are applicable.

and detailing, or dominate the building or the setting.	
PO 3.4 Fencing and gates closer to a street boundary (other than a laneway) than the street elevation of the associated building are consistent with the traditional period, style and form of the State Heritage Place.	DTS/DPF 3.4 None are applicable.
Land Division	
PO 4.1 Land division creates allotments that: (a) maintain the heritage values of the State Heritage Place, including setting (b) are of a dimension to accommodate new development that reinforces and is compatible with the heritage values of the State Heritage Place.	DTS/DPF 4.1 None are applicable.
Landscape Context and Streetscape Amenity	
PO 5.1 Individually heritage listed trees, parks, historic gardens and memorial avenues retained unless: (a) trees / plantings are, or have the potential to be, a danger to life or property or (b) trees / plantings are significantly diseased and their life expectancy is short.	DTS/DPF 5.1 None are applicable.
Demolition	
PO 6.1 State Heritage Places are not demolished, destroyed or removed in total or in part unless either of the following apply: (a) the portion of the State Heritage Place to be demolished, destroyed or removed is excluded from the extent of listing that is of heritage value or (b) the structural condition of the State Heritage Place represents an unacceptable risk to public or private safety and results from actions and unforeseen events beyond the control of the owner and is irredeemably beyond repair.	DTS/DPF 6.1 None are applicable.
Conservation Works	
PO 7.1 Conservation works to the exterior and interior of a State Heritage Place and other features of identified heritage value match original materials to be repaired and utilise traditional work methods.	DTS/DPF 7.1 None are applicable.

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

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Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
<p>Except where:</p> <ul style="list-style-type: none"> (a) the development is to be undertaken in accordance with a Heritage Agreement under the <i>Heritage Places Act 1993</i> or (b) the development is, in the opinion of the relevant authority, minor in nature or like for like maintenance and would not warrant a referral when considering the purpose of the referral <p>any of the following classes of development:</p> <ul style="list-style-type: none"> (a) demolition of internal or external significant building fabric (b) freestanding advertisements, signs and associated structures that are visible from a public street, road or thoroughfare that abuts the State Heritage Place (c) alterations or additions to buildings that: <ul style="list-style-type: none"> (i) are visible from a public street, road or thoroughfare that abuts the State Heritage Place or (ii) may materially affect the context of a State Heritage Place or (iii) involve substantive physical impact to the fabric of significant buildings; (d) new buildings that: <ul style="list-style-type: none"> (i) are visible from a public street, road or thoroughfare that abuts the State Heritage Place or (ii) may materially affect the context of the State Heritage Place (e) conservation repair works that are not representative of 'like for like' maintenance (f) solar panels that are visible from a public street, road or thoroughfare that abuts the State Heritage Place (g) land division (h) the removal, alteration or installation of fencing where visible from a public street, road or thoroughfare that abuts the State Heritage Place (i) the removal of an individual tree or a tree within a garden or park of identified heritage significance. 	<p>Minister responsible for the administration of the <i>Heritage Places Act 1993</i>.</p>	<p>To provide expert assessment and direction to the relevant authority on the potential impacts of development on State Heritage Places.</p>	<p>Development of a class to which Schedule 9 clause 3 item 17 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.</p>

Stormwater Management Overlay

Assessment Provisions (AP)

Desired Outcome	
DO 1	Development incorporates water sensitive urban design techniques to capture and re-use stormwater.

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature												
<p>PO 1.1</p> <p>Residential development is designed to capture and re-use stormwater to:</p> <ul style="list-style-type: none"> (a) maximise conservation of water resources (b) manage peak stormwater runoff flows and volume to ensure the carrying capacities of downstream systems are not overloaded (c) manage stormwater runoff quality. 	<p>DTS/DPF 1.1</p> <p>Residential development comprising detached, semi-detached or row dwellings, or less than 5 group dwellings or dwellings within a residential flat building:</p> <ul style="list-style-type: none"> (a) includes rainwater tank storage: <ul style="list-style-type: none"> (i) connected to at least: <ul style="list-style-type: none"> A. in relation to a detached dwelling (not in a battle-axe arrangement), semi-detached dwelling or row dwelling, 60% of the roof area B. in all other cases, 80% of the roof area (ii) connected to either a toilet, laundry cold water outlets or hot water service for sites less than 200m² (iii) connected to one toilet and either the laundry cold water outlets or hot water service for sites of 200m² or greater (iv) with a minimum total capacity in accordance with Table 1 (v) where detention is required, includes a 20-25 mm diameter slow release orifice at the bottom of the detention component of the tank (b) incorporates dwelling roof area comprising at least 80% of the site's impervious area <p>Table 1: Rainwater Tank</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr style="background-color: #d4edda;"> <th style="text-align: center;">Site size (m²)</th> <th style="text-align: center;">Minimum retention volume (Litres)</th> <th style="text-align: center;">Minimum detention volume (Litres)</th> </tr> </thead> <tbody> <tr> <td style="text-align: center;"><200</td> <td style="text-align: center;">1000</td> <td style="text-align: center;">1000</td> </tr> <tr> <td style="text-align: center;">200-400</td> <td style="text-align: center;">2000</td> <td style="text-align: center;">Site perviousness <30%: 1000 Site perviousness ≥30%: N/A</td> </tr> <tr> <td style="text-align: center;">>401</td> <td style="text-align: center;">4000</td> <td style="text-align: center;">Site perviousness <35%: 1000</td> </tr> </tbody> </table>	Site size (m ²)	Minimum retention volume (Litres)	Minimum detention volume (Litres)	<200	1000	1000	200-400	2000	Site perviousness <30%: 1000 Site perviousness ≥30%: N/A	>401	4000	Site perviousness <35%: 1000
Site size (m ²)	Minimum retention volume (Litres)	Minimum detention volume (Litres)											
<200	1000	1000											
200-400	2000	Site perviousness <30%: 1000 Site perviousness ≥30%: N/A											
>401	4000	Site perviousness <35%: 1000											

				Site perviousness ≥35%: N/A
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Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

Urban Tree Canopy Overlay

Assessment Provisions (AP)

Desired Outcome	
DO 1	Residential development preserves and enhances urban tree canopy through the planting of new trees and retention of existing mature trees where practicable.

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature																				
PO 1.1 Trees are planted or retained to contribute to an urban tree canopy.	DTS/DPF 1.1 Tree planting is provided in accordance with the following: <table border="1" style="margin-top: 10px;"> <thead> <tr> <th>Site size per dwelling (m²)</th> <th>Tree size* and number required per dwelling</th> </tr> </thead> <tbody> <tr> <td><450</td> <td>1 small tree</td> </tr> <tr> <td>450-800</td> <td>1 medium tree or 2 small trees</td> </tr> <tr> <td>>800</td> <td>1 large tree or 2 medium trees or 4 small trees</td> </tr> </tbody> </table> *refer Table 1 Tree Size <table border="1" style="margin-top: 10px;"> <thead> <tr> <th colspan="4">Table 1 Tree Size</th> </tr> <tr> <th>Tree size</th> <th>Mature height (minimum)</th> <th>Mature spread (minimum)</th> <th>Soil area around tree within development site (minimum)</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	Site size per dwelling (m ²)	Tree size* and number required per dwelling	<450	1 small tree	450-800	1 medium tree or 2 small trees	>800	1 large tree or 2 medium trees or 4 small trees	Table 1 Tree Size				Tree size	Mature height (minimum)	Mature spread (minimum)	Soil area around tree within development site (minimum)				
Site size per dwelling (m ²)	Tree size* and number required per dwelling																				
<450	1 small tree																				
450-800	1 medium tree or 2 small trees																				
>800	1 large tree or 2 medium trees or 4 small trees																				
Table 1 Tree Size																					
Tree size	Mature height (minimum)	Mature spread (minimum)	Soil area around tree within development site (minimum)																		

Small	4 m	2m	10m ² and min. dimension of 1.5m
Medium	6 m	4 m	30m ² and min. dimension of 2m
Large	12 m	8m	60m ² and min. dimension of 4m

The discount in Column D of Table 2 discounts the number of trees required to be planted in DTS/DPF 1.1 where existing tree(s) are retained on the subject land that meet the criteria in Columns A, B and C of Table 2, and are not a species identified in Regulation 3F(4)(b) of the Planning Development and Infrastructure (General) Regulations 2017.

Table 2 Tree Discounts			
Retained tree height (Column A)	Retained tree spread (Column B)	Retained soil area around tree within development site (Column C)	Discount applied (Column D)
4-6m	2-4m	10m ² and min. dimension of 1.5m	2 small trees (or 1 medium tree)
6-12m	4-8m	30m ² and min. dimension of 3m	2 medium trees (or 4 small trees)
>12m	>8m	60m ² and min. dimension of 6m	2 large trees (or 4 medium trees, or 8 small trees)

Note: In order to satisfy DTS/DPF 1.1, payment may be made in accordance with a relevant off-set scheme established by the Minister under section 197 of the Planning, Development and Infrastructure Act 2016, provided the provisions and requirements of that scheme are satisfied. For the purposes of section 102(4) of the Planning, Development and Infrastructure Act 2016, an applicant may elect for any of the matters in DTS/DPF 1.1 to be reserved.

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

Part 4 - General Development Policies

Advertisements

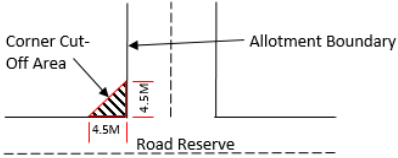
Assessment Provisions (AP)

Desired Outcome	
DO 1	Advertisements and advertising hoardings are appropriate to context, efficient and effective in communicating with the public, limited in number to avoid clutter, and do not create hazard.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Appearance	
PO 1.1 Advertisements are compatible and integrated with the design of the building and/or land they are located on.	DTS/DPF 1.1 Advertisements attached to a building satisfy all of the following: <ul style="list-style-type: none"> (a) are not located in a Neighbourhood-type zone (b) where they are flush with a wall: <ul style="list-style-type: none"> (i) if located at canopy level, are in the form of a fascia sign (ii) if located above canopy level: <ul style="list-style-type: none"> A. do not have any part rising above parapet height B. are not attached to the roof of the building (c) where they are not flush with a wall: <ul style="list-style-type: none"> (i) if attached to a verandah, no part of the advertisement protrudes beyond the outer limits of the verandah structure (ii) if attached to a two-storey building: <ul style="list-style-type: none"> A. has no part located above the finished

	<p>floor level of the second storey of the building</p> <p>B. does not protrude beyond the outer limits of any verandah structure below</p> <p>C. does not have a sign face that exceeds 1m² per side.</p> <p>(d) if located below canopy level, are flush with a wall</p> <p>(e) if located at canopy level, are in the form of a fascia sign</p> <p>(f) if located above a canopy:</p> <p>(i) are flush with a wall</p> <p>(ii) do not have any part rising above parapet height</p> <p>(iii) are not attached to the roof of the building.</p> <p>(g) if attached to a verandah, no part of the advertisement protrudes beyond the outer limits of the verandah structure</p> <p>(h) if attached to a two-storey building, have no part located above the finished floor level of the second storey of the building</p> <p>(i) where they are flush with a wall, do not, in combination with any other existing sign, cover more than 15% of the building facade to which they are attached.</p>
<p>PO 1.2</p> <p>Advertising hoardings do not disfigure the appearance of the land upon which they are situated or the character of the locality.</p>	<p>DTS/DPF 1.2</p> <p>Where development comprises an advertising hoarding, the supporting structure is:</p> <p>(a) concealed by the associated advertisement and decorative detailing</p> <p>or</p> <p>(b) not visible from an adjacent public street or thoroughfare, other than a support structure in the form of a single or dual post design.</p>
<p>PO 1.3</p> <p>Advertising does not encroach on public land or the land of an adjacent allotment.</p>	<p>DTS/DPF 1.3</p> <p>Advertisements and/or advertising hoardings are contained within the boundaries of the site.</p>
<p>PO 1.4</p> <p>Where possible, advertisements on public land are integrated with existing structures and infrastructure.</p>	<p>DTS/DPF 1.4</p> <p>Advertisements on public land that meet at least one of the following:</p> <p>(a) achieves Advertisements DTS/DPF 1.1</p> <p>(b) are integrated with a bus shelter.</p>
<p>PO 1.5</p> <p>Advertisements and/or advertising hoardings are of a scale and size appropriate to the character of the locality.</p>	<p>DTS/DPF 1.5</p> <p>None are applicable.</p>
<p>Proliferation of Advertisements</p>	
<p>PO 2.1</p> <p>Proliferation of advertisements is minimised to avoid visual clutter and untidiness.</p>	<p>DTS/DPF 2.1</p> <p>No more than one freestanding advertisement is displayed per occupancy.</p>

<p>PO 2.2</p> <p>Multiple business or activity advertisements are co-located and coordinated to avoid visual clutter and untidiness.</p>	<p>DTS/DPF 2.2</p> <p>Advertising of a multiple business or activity complex is located on a single advertisement fixture or structure.</p>
<p>PO 2.3</p> <p>Proliferation of advertisements attached to buildings is minimised to avoid visual clutter and untidiness.</p>	<p>DTS/DPF 2.3</p> <p>Advertisements satisfy all of the following:</p> <ul style="list-style-type: none"> (a) are attached to a building (b) other than in a Neighbourhood-type zone, where they are flush with a wall, cover no more than 15% of the building facade to which they are attached (c) do not result in more than one sign per occupancy that is not flush with a wall.
<p>Advertising Content</p>	
<p>PO 3.1</p> <p>Advertisements are limited to information relating to the lawful use of land they are located on to assist in the ready identification of the activity or activities on the land and avoid unrelated content that contributes to visual clutter and untidiness.</p>	<p>DTS/DPF 3.1</p> <p>Advertisements contain information limited to a lawful existing or proposed activity or activities on the same site as the advertisement.</p>
<p>Amenity Impacts</p>	
<p>PO 4.1</p> <p>Light spill from advertisement illumination does not unreasonably compromise the amenity of sensitive receivers.</p>	<p>DTS/DPF 4.1</p> <p>Advertisements do not incorporate any illumination.</p>
<p>Safety</p>	
<p>PO 5.1</p> <p>Advertisements and/or advertising hoardings erected on a verandah or projecting from a building wall are designed and located to allow for safe and convenient pedestrian access.</p>	<p>DTS/DPF 5.1</p> <p>Advertisements have a minimum clearance of 2.5m between the top of the footpath and base of the underside of the sign.</p>
<p>PO 5.2</p> <p>Advertisements and/or advertising hoardings do not distract or create a hazard to drivers through excessive illumination.</p>	<p>DTS/DPF 5.2</p> <p>No advertisement illumination is proposed.</p>
<p>PO 5.3</p> <p>Advertisements and/or advertising hoardings do not create a hazard to drivers by:</p> <ul style="list-style-type: none"> (a) being liable to interpretation by drivers as an official traffic sign or signal (b) obscuring or impairing drivers' view of official traffic signs or signals (c) obscuring or impairing drivers' view of features of a road that are potentially hazardous (such as junctions, bends, changes in width and traffic control devices) or other road or rail vehicles at/or approaching level crossings. 	<p>DTS/DPF 5.3</p> <p>Advertisements satisfy all of the following:</p> <ul style="list-style-type: none"> (a) are not located in a public road or rail reserve (b) are located wholly outside the land shown as 'Corner Cut-Off Area' in the following diagram 
<p>PO 5.4</p> <p>Advertisements and/or advertising hoardings do not create a</p>	<p>DTS/DPF 5.4</p> <p>Advertisements and/or advertising hoardings are not located</p>

hazard by distracting drivers from the primary driving task at a location where the demands on driver concentration are high.	along or adjacent to a road having a speed limit of 80km/h or more.
<p>PO 5.5</p> <p>Advertisements and/or advertising hoardings provide sufficient clearance from the road carriageway to allow for safe and convenient movement by all road users.</p>	<p>DTS/DPF 5.5</p> <p>Where the advertisement or advertising hoarding is:</p> <ul style="list-style-type: none"> (a) on a kerbed road with a speed zone of 60km/h or less, the advertisement or advertising hoarding is located at least 0.6m from the roadside edge of the kerb (b) on an unkerbed road with a speed zone of 60km/h or less, the advertisement or advertising hoarding is located at least 5.5m from the edge of the seal (c) on any other kerbed or unkerbed road, the advertisement or advertising hoarding is located a minimum of the following distance from the roadside edge of the kerb or the seal: <ul style="list-style-type: none"> (a) 110 km/h road - 14m (b) 100 km/h road - 13m (c) 90 km/h road - 10m (d) 70 or 80 km/h road - 8.5m.
<p>PO 5.6</p> <p>Advertising near signalised intersections does not cause unreasonable distraction to road users through illumination, flashing lights, or moving or changing displays or messages.</p>	<p>DTS/DPF 5.6</p> <p>Advertising:</p> <ul style="list-style-type: none"> (a) is not illuminated (b) does not incorporate a moving or changing display or message (c) does not incorporate a flashing light(s).

Animal Keeping and Horse Keeping

Assessment Provisions (AP)

Desired Outcome	
DO 1	Animals are kept at a density that is not beyond the carrying capacity of the land and in a manner that minimises their adverse effects on the environment, local amenity and surrounding development.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Siting and Design	
<p>PO 1.1</p> <p>Animal keeping, horse keeping and associated activities do not create adverse impacts on the environment or the amenity of the</p>	<p>DTS/DPF 1.1</p> <p>None are applicable.</p>

locality.	
PO 1.2 Animal keeping and horse keeping is located and managed to minimise the potential transmission of disease to other operations where animals are kept.	DTS/DPF 1.2 None are applicable.
Horse Keeping	
PO 2.1 Water from stable wash-down areas is directed to appropriate absorption areas and/or drainage pits to minimise pollution of land and water.	DTS/DPF 2.1 None are applicable.
PO 2.2 Stables, horse shelters or associated yards are sited appropriate distances away from sensitive receivers and/or allotments in other ownership to avoid adverse impacts from dust, erosion and odour.	DTS/DPF 2.2 Stables, horse shelters and associated yards are sited in accordance with all of the following: (a) 30m or more from any sensitive receivers (existing or approved) on land in other ownership (b) where an adjacent allotment is vacant and in other ownership, 30m or more from the boundary of that allotment.
PO 2.3 All areas accessible to horses are separated from septic tank effluent disposal areas to protect the integrity of that system. Stable flooring is constructed with an impervious material to facilitate regular cleaning.	DTS/DPF 2.3 Septic tank effluent disposal areas are enclosed with a horse-proof barrier such as a fence to exclude horses from this area.
PO 2.4 To minimise environmental harm and adverse impacts on water resources, stables, horse shelters and associated yards are appropriately set back from a watercourse.	DTS/DPF 2.4 Stables, horse shelters and associated yards are set back 50m or more from a watercourse.
PO 2.5 Stables, horse shelters and associated yards are located on slopes that are stable to minimise the risk of soil erosion and water runoff.	DTS/DPF 2.5 Stables, horse shelters and associated yards are not located on land with a slope greater than 10% (1-in-10).
Kennels	
PO 3.1 Kennel flooring is constructed with an impervious material to facilitate regular cleaning.	DTS/DPF 3.1 The floors of kennels satisfy all of the following: (a) are constructed of impervious concrete (b) are designed to be self-draining when washed down.
PO 3.2 Kennels and exercise yards are designed and sited to minimise noise nuisance to neighbours through measures such as: (a) adopting appropriate separation distances (b) orientating openings away from sensitive receivers.	DTS/DPF 3.2 Kennels are sited 500m or more from the nearest sensitive receiver on land in other ownership.

PO 3.3 Dogs are regularly observed and managed to minimise nuisance impact on adjoining sensitive receivers from animal behaviour.	DTS/DPF 3.3 Kennels are sited in association with a permanent dwelling on the land.
Wastes	
PO 4.1 Storage of manure, used litter and other wastes (other than wastewater lagoons) is designed, constructed and managed to minimise attracting and harbouring vermin.	DTS/DPF 4.1 None are applicable.
PO 4.2 Facilities for the storage of manure, used litter and other wastes (other than wastewater lagoons) are located to minimise the potential for polluting water resources.	DTS/DPF 4.2 Waste storage facilities (other than wastewater lagoons) are located outside the 1% AEP flood event areas.

Aquaculture

Assessment Provisions (AP)

Desired Outcome	
DO 1	Aquaculture facilities are developed in an ecologically, economically and socially sustainable manner to support an equitable sharing of marine, coastal and inland resources and mitigate conflict with other water-based and land-based uses.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Land-based Aquaculture	
PO 1.1 Land-based aquaculture and associated components are sited and designed to mitigate adverse impacts on nearby sensitive receivers.	DTS/DPF 1.1 Land-based aquaculture and associated components are located to satisfy all of the following: (a) 200m or more from a sensitive receiver in other ownership (b) 500m or more from the boundary of a zone primarily intended to accommodate sensitive receivers.
PO 1.2 Land-based aquaculture and associated components are sited and designed to prevent surface flows from entering ponds in a 1% AEP sea flood level event.	DTS/DPF 1.2 None are applicable.
PO 1.3	DTS/DPF 1.3

Land-based aquaculture and associated components are sited and designed to prevent pond leakage that would pollute groundwater.	None are applicable.
PO 1.4 Land-based aquaculture and associated components are sited and designed to prevent farmed species escaping and entering into any waters.	DTS/DPF 1.4 None are applicable.
PO 1.5 Land-based aquaculture and associated components, including intake and discharge pipes, are designed to minimise the need to traverse sensitive areas to minimise impact on the natural environment.	DTS/DPF 1.5 None are applicable.
PO 1.6 Pipe inlets and outlets associated with land-based aquaculture are sited and designed to minimise the risk of disease transmission.	DTS/DPF 1.6 None are applicable.
PO 1.7 Storage areas associated with aquaculture activity are integrated with the use of the land and sited and designed to minimise their visual impact on the surrounding environment.	DTS/DPF 1.7 None are applicable.
Marine Based Aquaculture	
PO 2.1 Marine aquaculture is sited and designed to minimise its adverse impacts on sensitive ecological areas including: (a) creeks and estuaries (b) wetlands (c) significant seagrass and mangrove communities (d) marine habitats and ecosystems.	DTS/DPF 2.1 None are applicable.
PO 2.2 Marine aquaculture is sited in areas with adequate water current to disperse sediments and dissolve particulate wastes to prevent the build-up of waste that may cause environmental harm.	DTS/DPF 2.2 None are applicable.
PO 2.3 Marine aquaculture is designed to not involve discharge of human waste on the site, on any adjacent land or into nearby waters.	DTS/DPF 2.3 None are applicable.
PO 2.4 Marine aquaculture (other than inter-tidal aquaculture) is located an appropriate distance seaward of the high water mark.	DTS/DPF 2.4 Marine aquaculture development is located 100m or more seaward of the high water mark.
PO 2.5 Marine aquaculture is sited and designed to not obstruct or interfere with:	DTS/DPF 2.5 None are applicable.

<ul style="list-style-type: none"> (a) areas of high public use (b) areas, including beaches, used for recreational activities such as swimming, fishing, skiing, sailing and other water sports (c) areas of outstanding visual or environmental value (d) areas of high tourism value (e) areas of important regional or state economic activity, including commercial ports, wharfs and jetties (f) the operation of infrastructure facilities including inlet and outlet pipes associated with the desalination of sea water. 	
<p>PO 2.6</p> <p>Marine aquaculture is sited and designed to minimise interference and obstruction to the natural processes of the coastal and marine environment.</p>	<p>DTS/DPF 2.6</p> <p>None are applicable.</p>
<p>PO 2.7</p> <p>Marine aquaculture is designed to be as unobtrusive as practicable by incorporating measures such as:</p> <ul style="list-style-type: none"> (a) using feed hoppers painted in subdued colours and suspending them as close as possible to the surface of the water (b) positioning structures to protrude the minimum distance practicable above the surface of the water (c) avoiding the use of shelters and structures above cages and platforms unless necessary to exclude predators and protected species from interacting with the farming structures and/or stock inside the cages, or for safety reasons (d) positioning racks, floats and other farm structures in unobtrusive locations landward from the shoreline. 	<p>DTS/DPF 2.7</p> <p>None are applicable.</p>
<p>PO 2.8</p> <p>Access, launching and maintenance facilities utilise existing established roads, tracks, ramps and paths to or from the sea where possible to minimise environmental and amenity impacts.</p>	<p>DTS/DPF 2.8</p> <p>None are applicable.</p>
<p>PO 2.9</p> <p>Access, launching and maintenance facilities are developed as common user facilities and are co-located where practicable to mitigate adverse impacts on coastal areas.</p>	<p>DTS/DPF 2.9</p> <p>None are applicable.</p>
<p>PO 2.10</p> <p>Marine aquaculture is sited to minimise potential impacts on, and to protect the integrity of, reserves under the <i>National Parks and Wildlife Act 1972</i>.</p>	<p>DTS/DPF 2.10</p> <p>Marine aquaculture is located 1000m or more seaward of the boundary of any reserve under the <i>National Parks and Wildlife Act 1972</i>.</p>
<p>PO 2.11</p> <p>Onshore storage, cooling and processing facilities do not impair the coastline and its visual amenity by:</p> <ul style="list-style-type: none"> (a) being sited, designed, landscaped and of a scale to reduce the overall bulk and appearance of buildings and 	<p>DTS/DPF 2.11</p> <p>None are applicable.</p>

<p>complement the coastal landscape</p> <p>(b) making provision for appropriately sited and designed vehicular access arrangements, including using existing vehicular access arrangements as far as practicable</p> <p>(c) incorporating appropriate waste treatment and disposal.</p>	
<p>Navigation and Safety</p>	
<p>PO 3.1</p> <p>Marine aquaculture sites are suitably marked to maintain navigational safety.</p>	<p>DTS/DPF 3.1</p> <p>None are applicable.</p>
<p>PO 3.2</p> <p>Marine aquaculture is sited to provide adequate separation between farms for safe navigation.</p>	<p>DTS/DPF 3.2</p> <p>None are applicable.</p>
<p>Environmental Management</p>	
<p>PO 4.1</p> <p>Marine aquaculture is maintained to prevent hazards to people and wildlife, including breeding grounds and habitats of native marine mammals and terrestrial fauna, especially migratory species.</p>	<p>DTS/DPF 4.1</p> <p>None are applicable.</p>
<p>PO 4.2</p> <p>Marine aquaculture is designed to facilitate the relocation or removal of structures in the case of emergency such as oil spills, algal blooms and altered water flows.</p>	<p>DTS/DPF 4.2</p> <p>None are applicable.</p>
<p>PO 4.3</p> <p>Marine aquaculture provides for progressive or future reclamation of disturbed areas ahead of, or upon, decommissioning.</p>	<p>DTS/DPF 4.3</p> <p>None are applicable.</p>
<p>PO 4.4</p> <p>Aquaculture operations incorporate measures for the removal and disposal of litter, disused material, shells, debris, detritus, dead animals and animal waste to prevent pollution of waters, wetlands, or the nearby coastline.</p>	<p>DTS/DPF 4.4</p> <p>None are applicable.</p>

Beverage Production in Rural Areas

Assessment Provisions (AP)

<h2 style="margin: 0;">Desired Outcome</h2>	
<p>DO 1</p>	<p>Mitigation of potential amenity and environmental impacts of value-adding beverage production facilities such as wineries, distilleries, cideries and breweries.</p>

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Odour and Noise	
PO 1.1 Beverage production activities are designed and sited to minimise odour impacts on rural amenity.	DTS/DPF 1.1 None are applicable.
PO 1.2 Beverage production activities are designed and sited to minimise noise impacts on sensitive receivers.	DTS/DPF 1.2 None are applicable.
PO 1.3 Fermentation, distillation, manufacturing, storage, packaging and bottling activities occur within enclosed buildings to improve the visual appearance within a locality and manage noise associated with these activities.	DTS/DPF 1.3 None are applicable.
PO 1.4 Breweries are designed to minimise odours emitted during boiling and fermentation stages of production.	DTS/DPF 1.4 Brew kettles are fitted with a vapour condenser.
PO 1.5 Beverage production solid wastes are stored in a manner that minimises odour impacts on sensitive receivers in other ownership.	DTS/DPF 1.5 Solid waste from beverage production is collected and stored in sealed containers and removed from the site within 48 hours.
Water Quality	
PO 2.1 Beverage production wastewater management systems (including wastewater irrigation) are set back from watercourses to minimise adverse impacts on water resources.	DTS/DPF 2.1 Wastewater management systems are set back 50m or more from the banks of watercourses and bores.
PO 2.2 The storage or disposal of chemicals or hazardous substances is undertaken in a manner to prevent pollution of water resources.	DTS/DPF 2.2 None are applicable.
PO 2.3 Stormwater runoff from areas that may cause contamination due to beverage production activities (including vehicle movements and machinery operations) is drained to an onsite stormwater treatment system to manage potential environmental impacts.	DTS/DPF 2.3 None are applicable.
PO 2.4 Stormwater runoff from areas unlikely to cause contamination by beverage production and associated activities (such as roof catchments and clean hard-paved surfaces) is diverted away	DTS/DPF 2.4 None are applicable.

from beverage production areas and wastewater management systems.	
Wastewater Irrigation	
PO 3.1 Beverage production wastewater irrigation systems are designed and located to not contaminate soil and surface and ground water resources or damage crops.	DTS/DPF 3.1 None are applicable.
PO 3.2 Beverage production wastewater irrigation systems are designed and located to minimise impact on amenity and avoid spray drift onto adjoining land.	DTS/DPF 3.2 Beverage production wastewater is not irrigated within 50m of any dwelling in other ownership.
PO 3.3 Beverage production wastewater is not irrigated onto areas that pose an undue risk to the environment or amenity such as: (a) waterlogged areas (b) land within 50m of a creek, swamp or domestic or stock water bore (c) land subject to flooding (d) steeply sloping land (e) rocky or highly permeable soil overlaying an unconfined aquifer.	DTS/DPF 3.3 None are applicable.

Bulk Handling and Storage Facilities

Assessment Provisions (AP)

Desired Outcome	
DO 1	Facilities for the bulk handling and storage of agricultural, mineral, petroleum, rock, ore or other similar commodities are designed to minimise adverse impacts on transport networks, the landscape and surrounding land uses.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Siting and Design	
PO 1.1 Bulk handling and storage facilities are sited and designed to minimise risks of adverse air quality and noise impacts on sensitive receivers.	DTS/DPF 1.1 Facilities for the handling, storage and dispatch of commodities in bulk (excluding processing) meet the following minimum separation distances from sensitive receivers:

	<ul style="list-style-type: none"> (a) bulk handling of agricultural crop products, rock, ores, minerals, petroleum products or chemicals at a wharf or wharf side facility (including sea-port grain terminals), where the handling of these materials into or from vessels does not exceed 100 tonnes per day: 300m or more from residential premises not associated with the facility (b) bulk handling of agricultural crop products, rock, ores, minerals, petroleum products or chemicals to or from any commercial storage facility: 300m or more from residential premises not associated with the facility (c) bulk petroleum storage involving individual containers with a capacity up to 200 litres and a total on-site storage capacity not exceeding 1,000 cubic metres: 500m or more (d) coal handling with: <ul style="list-style-type: none"> a. capacity up to 1 tonne per day or a storage capacity up to 50 tonnes: 500m or more b. capacity exceeding 1 tonne per day but not exceeding 100 tonnes per day or a storage capacity exceeding 50 tonnes but not exceeding 5000 tonnes: 1000m or more.
Buffers and Landscaping	
<p>PO 2.1</p> <p>Bulk handling and storage facilities incorporate a buffer area for the establishment of dense landscaping adjacent road frontages to enhance the appearance of land and buildings from public thoroughfares.</p>	<p>DTS/DPF 2.1</p> <p>None are applicable.</p>
<p>PO 2.2</p> <p>Bulk handling and storage facilities incorporate landscaping to assist with screening and dust filtration.</p>	<p>DTS/DPF 2.2</p> <p>None are applicable.</p>
Access and Parking	
<p>PO 3.1</p> <p>Roadways and vehicle parking areas associated with bulk handling and storage facilities are designed and surfaced to control dust emissions and prevent drag out of material from the site.</p>	<p>DTS/DPF 3.1</p> <p>Roadways and vehicle parking areas are sealed with an all-weather surface.</p>
Slipways, Wharves and Pontoons	
<p>PO 4.1</p> <p>Slipways, wharves and pontoons used for the handling of bulk materials (such as fuel, oil, catch, bait and the like) incorporate catchment devices to avoid the release of materials into adjacent waters.</p>	<p>DTS/DPF 4.1</p> <p>None are applicable.</p>

Clearance from Overhead Powerlines

Assessment Provisions (AP)

Desired Outcome	
DO 1	Protection of human health and safety when undertaking development in the vicinity of overhead transmission powerlines.

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
PO 1.1 Buildings are adequately separated from aboveground powerlines to minimise potential hazard to people and property.	DTS/DPF 1.1 One of the following is satisfied: (a) a declaration is provided by or on behalf of the applicant to the effect that the proposal would not be contrary to the regulations prescribed for the purposes of section 86 of the <i>Electricity Act 1996</i> (b) there are no aboveground powerlines adjoining the site that are the subject of the proposed development.

Design

Assessment Provisions (AP)

Desired Outcome	
DO 1	Development is: (a) contextual - by considering, recognising and carefully responding to its natural surroundings or built environment and positively contributes to the character of the immediate area (b) durable - fit for purpose, adaptable and long lasting (c) inclusive - by integrating landscape design to optimise pedestrian and cyclist usability, privacy and equitable access, and promoting the provision of quality spaces integrated with the public realm that can be used for access and recreation and help optimise security and safety both internally and within the public realm, for occupants and visitors (d) sustainable - by integrating sustainable techniques into the design and siting of development and landscaping to improve community health, urban heat, water management, environmental performance, biodiversity and local amenity and to minimise energy consumption.

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
All development	
External Appearance	
PO 1.1 Buildings reinforce corners through changes in setback, articulation, materials, colour and massing (including height,	DTS/DPF 1.1 None are applicable.

width, bulk, roof form and slope).	
<p>PO 1.2</p> <p>Where zero or minor setbacks are desirable, development provides shelter over footpaths (<u>in the form of verandahs, awnings, canopies and the like, with adequate lighting</u>) to positively contribute to the walkability, comfort and safety of the public realm.</p>	<p>DTS/DPF 1.2</p> <p>None are applicable.</p>
<p>PO 1.3</p> <p>Building elevations facing the primary street (other than ancillary buildings) are designed and detailed to convey purpose, identify main access points and complement the streetscape.</p>	<p>DTS/DPF 1.3</p> <p>None are applicable.</p>
<p>PO 1.4</p> <p>Plant, exhaust and intake vents and other technical equipment is integrated into the building design to minimise visibility from the public realm and negative impacts on residential amenity by:</p> <ul style="list-style-type: none"> (a) positioning plant and equipment in unobtrusive locations viewed from public roads and spaces (b) screening rooftop plant and equipment from view (c) when located on the roof of non-residential development, locating the plant and equipment as far as practicable from adjacent sensitive land uses. 	<p>DTS/DPF 1.4</p> <p>Development does not incorporate any structures that protrude beyond the roofline.</p>
<p>PO 1.5</p> <p>The negative visual impact of outdoor storage, waste management, loading and service areas is minimised by integrating them into the building design and screening them from public view (such as fencing, landscaping and built form) taking into account the form of development contemplated in the relevant zone.</p>	<p>DTS/DPF 1.5</p> <p>None are applicable.</p>
Safety	
<p>PO 2.1</p> <p>Development maximises opportunities for passive surveillance of the public realm by providing clear lines of sight, appropriate lighting and the use of visually permeable screening wherever practicable.</p>	<p>DTS/DPF 2.1</p> <p>None are applicable.</p>
<p>PO 2.2</p> <p>Development is designed to differentiate public, communal and private areas.</p>	<p>DTS/DPF 2.2</p> <p>None are applicable.</p>
<p>PO 2.3</p> <p>Buildings are designed with safe, perceptible and direct access from public street frontages and vehicle parking areas.</p>	<p>DTS/DPF 2.3</p> <p>None are applicable.</p>
<p>PO 2.4</p> <p>Development at street level is designed to maximise opportunities for passive surveillance of the adjacent public realm.</p>	<p>DTS/DPF 2.4</p> <p>None are applicable.</p>

<p>PO 2.5</p> <p>Common areas and entry points of buildings (such as the foyer areas of residential buildings), and non-residential land uses at street level, maximise passive surveillance from the public realm to the inside of the building at night.</p>	<p>DTS/DPF 2.5</p> <p>None are applicable.</p>
<p>Landscaping</p>	
<p>PO 3.1</p> <p>Soft landscaping and tree planting is incorporated to:</p> <ul style="list-style-type: none"> (a) minimise heat absorption and reflection (b) maximise shade and shelter (c) maximise stormwater infiltration (d) enhance the appearance of land and streetscapes (e) contribute to biodiversity. 	<p>DTS/DPF 3.1</p> <p>None are applicable.</p>
<p>PO 3.2</p> <p>Soft landscaping and tree planting maximises the use of locally indigenous plant species, incorporates plant species best suited to current and future climate conditions and avoids pest plant and weed species.</p>	<p>DTS/DPF 3.2</p> <p>None are applicable.</p>
<p>Environmental Performance</p>	
<p>PO 4.1</p> <p>Buildings are sited, oriented and designed to maximise natural sunlight access and ventilation to main activity areas, habitable rooms, common areas and open spaces.</p>	<p>DTS/DPF 4.1</p> <p>None are applicable.</p>
<p>PO 4.2</p> <p>Buildings are sited and designed to maximise passive environmental performance and minimise energy consumption and reliance on mechanical systems, such as heating and cooling.</p>	<p>DTS/DPF 4.2</p> <p>None are applicable.</p>
<p>PO 4.3</p> <p>Buildings incorporate climate-responsive techniques and features such as building and window orientation, use of eaves, verandahs and shading structures, water harvesting, at ground landscaping, green walls, green roofs and photovoltaic cells.</p>	<p>DTS/DPF 4.3</p> <p>None are applicable.</p>
<p>Water Sensitive Design</p>	
<p>PO 5.1</p> <p>Development is sited and designed to maintain natural hydrological systems without negatively impacting:</p> <ul style="list-style-type: none"> (a) the quantity and quality of surface water and groundwater (b) the depth and directional flow of surface water and groundwater (c) the quality and function of natural springs. 	<p>DTS/DPF 5.1</p> <p>None are applicable.</p>
<p>On-site Waste Treatment Systems</p>	
<p>PO 6.1</p>	<p>DTS/DPF 6.1</p>

<p>Dedicated on-site effluent disposal areas do not include any areas to be used for, or could be reasonably foreseen to be used for, private open space, driveways or car parking.</p>	<p>Effluent disposal drainage areas do not:</p> <ul style="list-style-type: none"> (a) encroach within an area used as private open space or result in less private open space than that specified in Design Table 1 - Private Open Space (b) use an area also used as a driveway (c) encroach within an area used for on-site car parking or result in less on-site car parking than that specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas.
<p>Carparking Appearance</p>	
<p>PO 7.1</p> <p>Development facing the street is designed to minimise the negative impacts of any semi-basement and undercroft car parking on the streetscapes through techniques such as:</p> <ul style="list-style-type: none"> (a) limiting protrusion above finished ground level (b) screening through appropriate planting, fencing and mounding (c) limiting the width of openings and integrating them into the building structure. 	<p>DTS/DPF 7.1</p> <p>None are applicable.</p>
<p>PO 7.2</p> <p>Vehicle parking areas are appropriately located, designed and constructed to minimise impacts on adjacent sensitive receivers through measures such as ensuring they are attractively developed and landscaped, screen fenced and the like.</p>	<p>DTS/DPF 7.2</p> <p>None are applicable.</p>
<p>PO 7.3</p> <p>Safe, legible, direct and accessible pedestrian connections are provided between parking areas and the development.</p>	<p>DTS/DPF 7.3</p> <p>None are applicable.</p>
<p>PO 7.4</p> <p>Street level vehicle parking areas incorporate tree planting to provide shade and reduce solar heat absorption and reflection.</p>	<p>DTS/DPF 7.4</p> <p>None are applicable.</p>
<p>PO 7.5</p> <p>Street level parking areas incorporate soft landscaping to improve visual appearance when viewed from within the site and from public places.</p>	<p>DTS/DPF 7.5</p> <p>None are applicable.</p>
<p>PO 7.6</p> <p>Vehicle parking areas and associated driveways are landscaped to provide shade and positively contribute to amenity.</p>	<p>DTS/DPF 7.6</p> <p>None are applicable.</p>
<p>PO 7.7</p> <p>Vehicle parking areas and access ways incorporate integrated stormwater management techniques such as permeable or porous surfaces, infiltration systems, drainage swales or rain gardens that integrate with soft landscaping.</p>	<p>DTS/DPF 7.7</p> <p>None are applicable.</p>
<p>Earthworks and sloping land</p>	

<p>PO 8.1</p> <p>Development, including any associated driveways and access tracks, minimises the need for earthworks to limit disturbance to natural topography.</p>	<p>DTS/DPF 8.1</p> <p>Development does not involve any of the following:</p> <ul style="list-style-type: none"> (a) excavation exceeding a vertical height of 1m (b) filling exceeding a vertical height of 1m (c) a total combined excavation and filling vertical height of 2m or more.
<p>PO 8.2</p> <p>Driveways and access tracks are designed and constructed to allow safe and convenient access on sloping land (with a gradient exceeding 1 in 8).</p>	<p>DTS/DPF 8.2</p> <p>Driveways and access tracks on sloping land (with a gradient exceeding 1 in 8) satisfy (a) and (b):</p> <ul style="list-style-type: none"> (a) do not have a gradient exceeding 25% (1-in-4) at any point along the driveway (b) are constructed with an all-weather trafficable surface.
<p>PO 8.3</p> <p>Driveways and access tracks on sloping land (with a gradient exceeding 1 in 8):</p> <ul style="list-style-type: none"> (a) do not contribute to the instability of embankments and cuttings (b) provide level transition areas for the safe movement of people and goods to and from the development (c) are designed to integrate with the natural topography of the land. 	<p>DTS/DPF 8.3</p> <p>None are applicable.</p>
<p>PO 8.4</p> <p>Development on sloping land (with a gradient exceeding 1 in 8) avoids the alteration of natural drainage lines and includes on-site drainage systems to minimise erosion.</p>	<p>DTS/DPF 8.4</p> <p>None are applicable.</p>
<p>PO 8.5</p> <p>Development does not occur on land at risk of landslip nor increases the potential for landslip or land surface instability.</p>	<p>DTS/DPF 8.5</p> <p>None are applicable.</p>
<p>Fences and Walls</p>	
<p>PO 9.1</p> <p>Fences, walls and retaining walls are of sufficient height to maintain privacy and security without unreasonably impacting the visual amenity and adjoining land's access to sunlight or the amenity of public places.</p>	<p>DTS/DPF 9.1</p> <p>None are applicable.</p>
<p>PO 9.2</p> <p>Landscaping incorporated on the low side of retaining walls is visible from public roads and public open space to minimise visual impacts.</p>	<p>DTS/DPF 9.2</p> <p>A vegetated landscaped strip 1m wide or more is provided against the low side of a retaining wall.</p>
<p>Overlooking / Visual Privacy (in building 3 storeys or less)</p>	
<p>PO 10.1</p> <p>Development mitigates direct overlooking from upper level windows to habitable rooms and private open spaces of</p>	<p>DTS/DPF 10.1</p> <p>Upper level windows facing side or rear boundaries shared with a residential allotment/site satisfy one of the following:</p>

<p>adjoining residential uses.</p>	<ul style="list-style-type: none"> (a) are permanently obscured to a height of 1.5m above finished floor level and are fixed or not capable of being opened more than 200mm (b) have sill heights greater than or equal to 1.5m above finished floor level (c) incorporate screening with a maximum of 25% openings, permanently fixed no more than 500mm from the window surface and sited adjacent to any part of the window less than 1.5 m above the finished floor level.
<p>PO 10.2 Development mitigates direct overlooking from balconies, terraces and decks to habitable rooms and private open space of adjoining residential uses.</p>	<p>DTS/DPF 10.2 One of the following is satisfied:</p> <ul style="list-style-type: none"> (a) the longest side of the balcony or terrace will face a public road, public road reserve or public reserve that is at least 15m wide in all places faced by the balcony or terrace or (b) all sides of balconies or terraces on upper building levels are permanently obscured by screening with a maximum 25% transparency/openings fixed to a minimum height of: <ul style="list-style-type: none"> (i) 1.5m above finished floor level where the balcony is located at least 15 metres from the nearest habitable window of a dwelling on adjacent land or (ii) 1.7m above finished floor level in all other cases
<p>All Residential development</p>	
<p>Front elevations and passive surveillance</p>	
<p>PO 11.1 Dwellings incorporate windows along primary street frontages to encourage passive surveillance and make a positive contribution to the streetscape.</p>	<p>DTS/DPF 11.1 Each dwelling with a frontage to a public street:</p> <ul style="list-style-type: none"> (a) includes at least one window facing the primary street from a habitable room that has a minimum internal room dimension of 2.4m (b) has an aggregate window area of at least 2m² facing the primary street.
<p>PO 11.2 Dwellings incorporate entry doors within street frontages to address the street and provide a legible entry point for visitors.</p>	<p>DTS/DPF 11.2 Dwellings with a frontage to a public street have an entry door visible from the primary street boundary.</p>
<p>Outlook and amenity</p>	
<p>PO 12.1 Living rooms have an external outlook to provide a high standard of amenity for occupants.</p>	<p>DTS/DPF 12.1 A living room of a dwelling incorporates a window with an outlook towards the street frontage or private open space, public open space, or waterfront areas.</p>
<p>PO 12.2 Bedrooms are separated or shielded from active communal recreation areas, common access areas and vehicle parking</p>	<p>DTS/DPF 12.2 None are applicable.</p>

<p>areas and access ways to mitigate noise and artificial light intrusion.</p>	
<p>Ancillary Development</p>	
<p>PO 13.1</p> <p>Residential ancillary buildings and structures are sited and designed to not detract from the streetscape or appearance of buildings on the site or neighbouring properties.</p>	<p>DTS/DPF 13.1</p> <p>Ancillary buildings:</p> <ul style="list-style-type: none"> (a) are ancillary to a dwelling erected on the same site (b) have a floor area not exceeding 60m² (c) are not constructed, added to or altered so that any part is situated: <ul style="list-style-type: none"> (i) in front of any part of the building line of the dwelling to which it is ancillary or (ii) within 900mm of a boundary of the allotment with a secondary street (if the land has boundaries on two or more roads) (d) in the case of a garage or carport, the garage or carport: <ul style="list-style-type: none"> (i) is set back at least 5.5m from the boundary of the primary street (ii) when facing a primary street or secondary street, has a total door / opening not exceeding: <ul style="list-style-type: none"> A. for dwellings of single building level - 7m in width or 50% of the site frontage, whichever is the lesser B. for dwellings comprising two or more building levels at the building line fronting the same public street - 7m in width (e) if situated on a boundary (not being a boundary with a primary street or secondary street), do not exceed a length of 11.5m unless: <ul style="list-style-type: none"> (i) a longer wall or structure exists on the adjacent site and is situated on the same allotment boundary and (ii) the proposed wall or structure will be built along the same length of boundary as the existing adjacent wall or structure to the same or lesser extent (f) if situated on a boundary of the allotment (not being a boundary with a primary street or secondary street), all walls or structures on the boundary will not exceed 45% of the length of that boundary (g) will not be located within 3m of any other wall along the same boundary unless on an adjacent site on that boundary there is an existing wall of a building that would be adjacent to or about the proposed wall or structure (h) have a wall height or post height not exceeding 3m above natural ground level (and not including a gable end) (i) have a roof height where no part of the roof is more than 5m above the natural ground level (j) if clad in sheet metal, is pre-colour treated or painted in a non-reflective colour (k) retains a total area of soft landscaping in accordance

	<p>with (i) or (ii), whichever is less:</p> <p>(i) a total area as determined by the following table:</p> <table border="1" data-bbox="1007 210 1520 734"> <thead> <tr> <th data-bbox="1007 210 1337 439">Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m²)</th> <th data-bbox="1337 210 1520 439">Minimum percentage of site</th> </tr> </thead> <tbody> <tr> <td data-bbox="1007 439 1337 472"><150</td> <td data-bbox="1337 439 1520 472">10%</td> </tr> <tr> <td data-bbox="1007 472 1337 557">150-200</td> <td data-bbox="1337 472 1520 557">15%</td> </tr> <tr> <td data-bbox="1007 557 1337 642">201-450</td> <td data-bbox="1337 557 1520 642">20%</td> </tr> <tr> <td data-bbox="1007 642 1337 734">>450</td> <td data-bbox="1337 642 1520 734">25%</td> </tr> </tbody> </table> <p>(ii) the amount of existing soft landscaping prior to the development occurring.</p>	Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m ²)	Minimum percentage of site	<150	10%	150-200	15%	201-450	20%	>450	25%
Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m ²)	Minimum percentage of site										
<150	10%										
150-200	15%										
201-450	20%										
>450	25%										
<p>PO 13.2</p> <p>Ancillary buildings and structures do not impede on-site functional requirements such as private open space provision or car parking requirements and do not result in over-development of the site.</p>	<p>DTS/DPF 13.2</p> <p>Ancillary buildings and structures do not result in:</p> <p>(a) less private open space than specified in Design in Urban Areas Table 1 - Private Open Space</p> <p>(b) less on-site car parking than specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas.</p>										
<p>PO 13.3</p> <p>Fixed plant and equipment in the form of pumps and/or filtration systems for a swimming pool or spa is positioned and/or housed to not cause unreasonable noise nuisance to adjacent sensitive receivers.</p>	<p>DTS/DPF 13.3</p> <p>The pump and/or filtration system is ancillary to a dwelling erected on the same site and is:</p> <p>(a) enclosed in a solid acoustic structure that is located at least 5m from the nearest habitable room located on an adjoining allotment</p> <p>or</p> <p>(b) located at least 12m from the nearest habitable room located on an adjoining allotment.</p>										
Garage appearance											
<p>PO 14.1</p> <p>Garaging is designed to not detract from the streetscape or appearance of a dwelling.</p>	<p>DTS/DPF 14.1</p> <p>Garages and carports facing a street:</p> <p>(a) are situated so that no part of the garage or carport is in front of any part of the building line of the dwelling</p> <p>(b) are set back at least 5.5m from the boundary of the primary street</p> <p>(c) have a garage door / opening not exceeding 7m in width</p> <p>(d) have a garage door / opening width not exceeding 50% of the site frontage unless the dwelling has two or more building levels at the building line fronting the same public street.</p>										
Massing											

<p>PO 15.1</p> <p>The visual mass of larger buildings is reduced when viewed from adjoining allotments or public streets.</p>	<p>DTS/DPF 15.1</p> <p>None are applicable</p>
<p>Dwelling additions</p>	
<p>PO 16.1</p> <p>Dwelling additions are sited and designed to not detract from the streetscape or amenity of adjoining properties and do not impede on-site functional requirements.</p>	<p>DTS / DPF 16.1</p> <p>Dwelling additions:</p> <ul style="list-style-type: none"> (a) are not constructed, added to or altered so that any part is situated closer to a public street (b) do not result in: <ul style="list-style-type: none"> (i) excavation exceeding a vertical height of 1m (ii) filling exceeding a vertical height of 1m (iii) a total combined excavation and filling vertical height of 2m or more (iv) less Private Open Space than specified in Design Table 1 - Private Open Space (v) less on-site parking than specified in Transport Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas (vi) upper level windows facing side or rear boundaries unless: <ul style="list-style-type: none"> A. they are permanently obscured to a height of 1.5m above finished floor level that is fixed or not capable of being opened more than 200mm or B. have sill heights greater than or equal to 1.5m above finished floor level or C. incorporate screening to a height of 1.5m above finished floor level (vii) all sides of balconies or terraces on upper building levels are permanently obscured by screening with a maximum 25% transparency/openings fixed to a minimum height of: <ul style="list-style-type: none"> A. 1.5m above finished floor level where the balcony is located at least 15 metres from the nearest habitable window of a dwelling on adjacent land B. 1.7m above finished floor level in all other cases.
<p>Private Open Space</p>	
<p>PO 17.1</p> <p>Dwellings are provided with suitable sized areas of usable private open space to meet the needs of occupants.</p>	<p>DTS/DPF 17.1</p> <p>Private open space is provided in accordance with Design Table 1 - Private Open Space.</p>
<p>Water Sensitive Design</p>	
<p>PO 18.1</p> <p>Residential development creating a common driveway / access</p>	<p>DTS/DPF 18.1</p> <p>Residential development creating a common driveway / access</p>

<p>includes stormwater management systems that minimise the discharge of sediment, suspended solids, organic matter, nutrients, bacteria, litter and other contaminants to the stormwater system, watercourses or other water bodies.</p>	<p>that services 5 or more dwellings achieves the following stormwater runoff outcomes:</p> <ul style="list-style-type: none"> (a) 80 per cent reduction in average annual total suspended solids (b) 60 per cent reduction in average annual total phosphorus (c) 45 per cent reduction in average annual total nitrogen.
<p>PO 18.2</p> <p>Residential development creating a common driveway / access includes a stormwater management system designed to mitigate peak flows and manage the rate and duration of stormwater discharges from the site to ensure that the development does not increase the peak flows in downstream systems.</p>	<p>DTS/DPF 18.2</p> <p>Development creating a common driveway / access that services 5 or more dwellings:</p> <ul style="list-style-type: none"> (a) maintains the pre-development peak flow rate from the site based upon a 0.35 runoff coefficient for the 18.1% AEP 30-minute storm and the stormwater runoff time to peak is not increased or captures and retains the difference in pre-development runoff volume (based upon a 0.35 runoff coefficient) vs post development runoff volume from the site for an 18.1% AEP 30-minute storm; and (b) manages site generated stormwater runoff up to and including the 1% AEP flood event to avoid flooding of buildings.
<p>Car parking, access and manoeuvrability</p>	
<p>PO 19.1</p> <p>Enclosed parking spaces are of a size and dimensions to be functional, accessible and convenient.</p>	<p>DTS/DPF 19.1</p> <p>Residential car parking spaces enclosed by fencing, walls or other structures have the following internal dimensions (separate from any waste storage area):</p> <ul style="list-style-type: none"> (a) single width car parking spaces: <ul style="list-style-type: none"> (i) a minimum length of 5.4m per space (ii) a minimum width of 3.0m (iii) a minimum garage door width of 2.4m (b) double width car parking spaces (side by side): <ul style="list-style-type: none"> (i) a minimum length of 5.4m (ii) a minimum width of 5.4m (iii) minimum garage door width of 2.4m per space.
<p>PO 19.2</p> <p>Uncovered parking spaces are of a size and dimensions to be functional, accessible and convenient.</p>	<p>DTS/DPF 19.2</p> <p>Uncovered car parking spaces have:</p> <ul style="list-style-type: none"> (a) a minimum length of 5.4m (b) a minimum width of 2.4m (c) a minimum width between the centre line of the space and any fence, wall or other obstruction of 1.5m
<p>PO 19.3</p> <p>Driveways are located and designed to facilitate safe access and egress while maximising land available for street tree planting, landscaped street frontages, domestic waste collection and on-street parking.</p>	<p>DTS/DPF 19.3</p> <p>Driveways and access points on sites with a frontage to a public road of 10m or less have a width between 3.0 and 3.2 metres measured at the property boundary and are the only access point provided on the site.</p>

<p>PO 19.4</p> <p>Vehicle access is safe, convenient, minimises interruption to the operation of public roads and does not interfere with street infrastructure or street trees.</p>	<p>DTS/DPF 19.4</p> <p>Vehicle access to designated car parking spaces satisfy (a) or (b):</p> <ul style="list-style-type: none"> (a) is provided via a lawfully existing or authorised access point or an access point for which consent has been granted as part of an application for the division of land (b) where newly proposed: <ul style="list-style-type: none"> (i) is set back 6m or more from the tangent point of an intersection of 2 or more roads (ii) is set back outside of the marked lines or infrastructure dedicating a pedestrian crossing (iii) does not involve the removal, relocation or damage to of mature street trees, street furniture or utility infrastructure services.
<p>PO 19.5</p> <p>Driveways are designed to enable safe and convenient vehicle movements from the public road to on-site parking spaces.</p>	<p>DTS/DPF 19.5</p> <p>Driveways are designed and sited so that:</p> <ul style="list-style-type: none"> (a) the gradient from the place of access on the boundary of the allotment to the finished floor level at the front of the garage or carport is not steeper than 1:4 on average (b) they are aligned relative to the street boundary so that there is no more than a 20 degree deviation from 90 degrees between the centreline of any dedicated car parking space to which it provides access (measured from the front of that space) and the street boundary (c) if located to provide access from an alley, lane or right of way - the alley, land or right of way is at least 6.2m wide along the boundary of the allotment / site
<p>PO 19.6</p> <p>Driveways and access points are designed and distributed to optimise the provision of on-street visitor parking.</p>	<p>DTS/DPF 19.6</p> <p>Where on-street parking is available abutting the site's street frontage, on-street parking is retained in accordance with the following requirements:</p> <ul style="list-style-type: none"> (a) minimum 0.33 on-street spaces per dwelling on the site (rounded up to the nearest whole number) (b) minimum car park length of 5.4m where a vehicle can enter or exit a space directly (c) minimum carpark length of 6m for an intermediate space located between two other parking spaces or to an end obstruction where the parking is indented.
<p>Waste storage</p>	
<p>PO 20.1</p> <p>Provision is made for the adequate and convenient storage of waste bins in a location screened from public view.</p>	<p>DTS/DPF 20.1</p> <p>None are applicable.</p>
<p>Design of Transportable Dwellings</p>	
<p>PO 21.1</p> <p>The sub-floor space beneath transportable buildings is enclosed to give the appearance of a permanent structure.</p>	<p>DTS/DPF 21.1</p> <p>Buildings satisfy (a) or (b):</p> <ul style="list-style-type: none"> (a) are not transportable or

	(b) the sub-floor space between the building and ground level is clad in a material and finish consistent with the building.										
Group dwelling, residential flat buildings and battle-axe development											
Amenity											
<p>PO 22.1</p> <p>Dwellings are of a suitable size to accommodate a layout that is well organised and provides a high standard of amenity for occupants.</p>	<p>DTS/DPF 22.1</p> <p>Dwellings have a minimum internal floor area in accordance with the following table:</p> <table border="1" style="margin-left: auto; margin-right: auto;"> <thead> <tr> <th style="text-align: center;">Number of bedrooms</th> <th style="text-align: center;">Minimum internal floor area</th> </tr> </thead> <tbody> <tr> <td style="text-align: center;">Studio</td> <td style="text-align: center;">35m²</td> </tr> <tr> <td style="text-align: center;">1 bedroom</td> <td style="text-align: center;">50m²</td> </tr> <tr> <td style="text-align: center;">2 bedroom</td> <td style="text-align: center;">65m²</td> </tr> <tr> <td style="text-align: center;">3+ bedrooms</td> <td style="text-align: center;">80m² and any dwelling over 3 bedrooms provides an additional 15m² for every additional bedroom</td> </tr> </tbody> </table>	Number of bedrooms	Minimum internal floor area	Studio	35m ²	1 bedroom	50m ²	2 bedroom	65m ²	3+ bedrooms	80m ² and any dwelling over 3 bedrooms provides an additional 15m ² for every additional bedroom
Number of bedrooms	Minimum internal floor area										
Studio	35m ²										
1 bedroom	50m ²										
2 bedroom	65m ²										
3+ bedrooms	80m ² and any dwelling over 3 bedrooms provides an additional 15m ² for every additional bedroom										
<p>PO 22.2</p> <p>The orientation and siting of buildings minimises impacts on the amenity, outlook and privacy of occupants and neighbours.</p>	<p>DTS/DPF 22.2</p> <p>None are applicable.</p>										
<p>PO 22.3</p> <p>Development maximises the number of dwellings that face public open space and public streets and limits dwellings oriented towards adjoining properties.</p>	<p>DTS/DPF 22.3</p> <p>None are applicable.</p>										
<p>PO 22.4</p> <p>Battle-axe development is appropriately sited and designed to respond to the existing neighbourhood context.</p>	<p>DTS/DPF 22.4</p> <p>Dwelling sites/allotments are not in the form of a battle-axe arrangement.</p>										
Communal Open Space											
<p>PO 23.1</p> <p>Private open space provision may be substituted for communal open space which is designed and sited to meet the recreation and amenity needs of residents.</p>	<p>DTS/DPF 23.1</p> <p>None are applicable.</p>										
<p>PO 23.2</p> <p>Communal open space is of sufficient size and dimensions to cater for group recreation.</p>	<p>DTS/DPF 23.2</p> <p>Communal open space incorporates a minimum dimension of 5 metres.</p>										
<p>PO 23.3</p> <p>Communal open space is designed and sited to:</p>	<p>DTS/DPF 23.3</p> <p>None are applicable.</p>										

<p>(a) be conveniently accessed by the dwellings which it services</p> <p>(b) have regard to acoustic, safety, security and wind effects.</p>	
<p>PO 23.4</p> <p>Communal open space contains landscaping and facilities that are functional, attractive and encourage recreational use.</p>	<p>DTS/DPF 23.4</p> <p>None are applicable.</p>
<p>PO 23.5</p> <p>Communal open space is designed and sited to:</p> <p>(a) in relation to rooftop or elevated gardens, minimise overlooking into habitable room windows or onto the useable private open space of other dwellings</p> <p>(b) in relation to ground floor communal space, be overlooked by habitable rooms to facilitate passive surveillance.</p>	<p>DTS/DPF 23.5</p> <p>None are applicable.</p>
Carparking, access and manoeuvrability	
<p>PO 24.1</p> <p>Driveways and access points are designed and distributed to optimise the provision of on-street visitor parking.</p>	<p>DTS/DPF 24.1</p> <p>Where on-street parking is available directly adjacent the site, on-street parking is retained adjacent the subject site in accordance with the following requirements:</p> <p>(a) minimum 0.33 on-street car parks per proposed dwellings (rounded up to the nearest whole number)</p> <p>(b) minimum car park length of 5.4m where a vehicle can enter or exit a space directly</p> <p>(c) minimum carpark length of 6m for an intermediate space located between two other parking spaces or to an end obstruction where the parking is indented.</p>
<p>PO 24.2</p> <p>The number of vehicular access points onto public roads is minimised to reduce interruption of the footpath and positively contribute to public safety and walkability.</p>	<p>DTS/DPF 24.2</p> <p>Access to group dwellings or dwellings within a residential flat building is provided via a single common driveway.</p>
<p>PO 24.3</p> <p>Residential driveways that service more than one dwelling are designed to allow safe and convenient movement.</p>	<p>DTS/DPF 24.3</p> <p>Driveways that service more than 1 dwelling or a dwelling on a battle-axe site:</p> <p>(a) have a minimum width of 3m</p> <p>(b) for driveways servicing more than 3 dwellings:</p> <p>(i) have a width of 5.5m or more and a length of 6m or more at the kerb of the primary street</p> <p>(ii) where the driveway length exceeds 30m, incorporate a passing point at least every 30 metres with a minimum width of 5.5m and a minimum length of 6m.</p>
<p>PO 24.4</p> <p>Residential driveways in a battle-axe configuration are designed to allow safe and convenient movement.</p>	<p>DTS/DPF 24.4</p> <p>Where in a battle-axe configuration, a driveway servicing one dwelling has a minimum width of 3m.</p>

PO 24.5 Residential driveways that service more than one dwelling are designed to allow passenger vehicles to enter and exit the site and manoeuvre within the site in a safe and convenient manner.	DTS/DPF 24.5 Driveways providing access to more than one dwelling, or a dwelling on a battle-axe site, allow a B85 passenger vehicle to enter and exit the garages or parking spaces in no more than a three-point turn manoeuvre.
PO 24.6 Dwellings are adequately separated from common driveways and manoeuvring areas.	DTS/DPF 24.6 Dwelling walls with entry doors or ground level habitable room windows are set back at least 1.5m from any driveway or area designated for the movement and manoeuvring of vehicles.
Soft Landscaping	
PO 25.1 Soft landscaping is provided between dwellings and common driveways to improve the outlook for occupants and appearance of common areas.	DTS/DPF 25.1 Other than where located directly in front of a garage or a building entry, soft landscaping with a minimum dimension of 1m is provided between a dwelling and common driveway.
PO 25.2 Soft landscaping is provided that improves the appearance of common driveways.	DTS/DPF 25.2 Where a common driveway is located directly adjacent the side or rear boundary of the site, soft landscaping with a minimum dimension of 1m is provided between the driveway and site boundary (excluding along the perimeter of a passing point).
Site Facilities / Waste Storage	
PO 26.1 Provision is made for suitable mailbox facilities close to the major pedestrian entry to the site or conveniently located considering the nature of accommodation and mobility of occupants.	DTS/DPF 26.1 None are applicable.
PO 26.2 Provision is made for suitable external clothes drying facilities.	DTS/DPF 26.2 None are applicable.
PO 26.3 Provision is made for suitable household waste and recyclable material storage facilities which are: (a) located away, or screened, from public view, and (b) conveniently located in proximity to dwellings and the waste collection point.	DTS/DPF 26.3 None are applicable.
PO 26.4 Waste and recyclable material storage areas are located away from dwellings.	DTS/DPF 26.4 Dedicated waste and recyclable material storage areas are located at least 3m from any habitable room window.
PO 26.5 Where waste bins cannot be conveniently collected from the street, provision is made for on-site waste collection, designed to accommodate the safe and convenient access, egress and movement of waste collection vehicles.	DTS/DPF 26.5 None are applicable.
PO 26.6 Services including gas and water meters are conveniently located	DTS/DPF 26.6 None are applicable.

and screened from public view.	
Supported accommodation and retirement facilities	
Siting and Configuration	
PO 27.1 Supported accommodation and housing for aged persons and people with disabilities is located where on-site movement of residents is not unduly restricted by the slope of the land.	DTS/DPF 27.1 None are applicable.
Movement and Access	
PO 28.1 Development is designed to support safe and convenient access and movement for residents by providing: (a) ground-level access or lifted access to all units (b) level entry porches, ramps, paths, driveways, passenger loading areas and areas adjacent to footpaths that allow for the passing of wheelchairs and resting places (c) car parks with gradients no steeper than 1-in-40 and of sufficient area to provide for wheelchair manoeuvrability (d) kerb ramps at pedestrian crossing points.	DTS/DPF 28.1 None are applicable.
Communal Open Space	
PO 29.1 Development is designed to provide attractive, convenient and comfortable indoor and outdoor communal areas to be used by residents and visitors.	DTS/DPF 29.1 None are applicable.
PO 29.2 Private open space provision may be substituted for communal open space which is designed and sited to meet the recreation and amenity needs of residents.	DTS/DPF 29.2 None are applicable.
PO 29.3 Communal open space is of sufficient size and dimensions to cater for group recreation.	DTS/DPF 29.3 Communal open space incorporates a minimum dimension of 5 metres.
PO 29.4 Communal open space is designed and sited to: (a) be conveniently accessed by the dwellings which it services (b) have regard to acoustic, safety, security and wind effects.	DTS/DPF 29.4 None are applicable.
PO 29.5 Communal open space contains landscaping and facilities that are functional, attractive and encourage recreational use.	DTS/DPF 29.5 None are applicable.
PO 29.6 Communal open space is designed and sited to: (a) in relation to rooftop or elevated gardens, minimise	DTS/DPF 29.6 None are applicable.

<p>overlooking into habitable room windows or onto the useable private open space of other dwellings</p> <p>(b) in relation to ground floor communal space, be overlooked by habitable rooms to facilitate passive surveillance.</p>	
Site Facilities / Waste Storage	
<p>PO 30.1</p> <p>Development is designed to provide storage areas for personal items and specialised equipment such as small electric powered vehicles, including facilities for the recharging of small electric powered vehicles.</p>	<p>DTS/DPF 30.1</p> <p>None are applicable.</p>
<p>PO 30.2</p> <p>Provision is made for suitable mailbox facilities close to the major pedestrian entry to the site or conveniently located considering the nature of accommodation and mobility of occupants.</p>	<p>DTS/DPF 30.2</p> <p>None are applicable.</p>
<p>PO 30.3</p> <p>Provision is made for suitable external clothes drying facilities.</p>	<p>DTS/DPF 28.3</p> <p>None are applicable.</p>
<p>PO 30.4</p> <p>Provision is made for suitable household waste and recyclable material storage facilities conveniently located and screened from public view.</p>	<p>DTS/DPF 30.4</p> <p>None are applicable.</p>
<p>PO 30.5</p> <p>Waste and recyclable material storage areas are located away from dwellings.</p>	<p>DTS/DPF 30.5</p> <p>Dedicated waste and recyclable material storage areas are located at least 3m from any habitable room window.</p>
<p>PO 30.6</p> <p>Provision is made for on-site waste collection where 10 or more bins are to be collected at any one time.</p>	<p>DTS/DPF 30.6</p> <p>None are applicable.</p>
<p>PO 30.7</p> <p>Services including gas and water meters are conveniently located and screened from public view.</p>	<p>DTS/DPF 30.7</p> <p>None are applicable.</p>
All non-residential development	
Water Sensitive Design	
<p>PO 31.1</p> <p>Development likely to result in significant risk of export of litter, oil or grease includes stormwater management systems designed to minimise pollutants entering stormwater.</p>	<p>DTS/DPF 31.1</p> <p>None are applicable.</p>
<p>PO 31.2</p> <p>Water discharged from a development site is of a physical, chemical and biological condition equivalent to or better than its pre-developed state.</p>	<p>DTS/DPF 31.2</p> <p>None are applicable.</p>
Wash-down and Waste Loading and Unloading	

<p>PO 32.1</p> <p>Areas for activities including loading and unloading, storage of waste refuse bins in commercial and industrial development or wash-down areas used for the cleaning of vehicles, vessels, plant or equipment are:</p> <ul style="list-style-type: none"> (a) designed to contain all wastewater likely to pollute stormwater within a bunded and roofed area to exclude the entry of external surface stormwater run-off (b) paved with an impervious material to facilitate wastewater collection (c) of sufficient size to prevent 'splash-out' or 'over-spray' of wastewater from the wash-down area (d) designed to drain wastewater to either: <ul style="list-style-type: none"> (i) a treatment device such as a sediment trap and coalescing plate oil separator with subsequent disposal to a sewer, private or Community Wastewater Management Scheme or (ii) a holding tank and its subsequent removal off-site on a regular basis. 	<p>DTS/DPF 32.1</p> <p>None are applicable.</p>
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Table 1 - Private Open Space

Dwelling Type	Minimum Rate
Dwelling (at ground level)	<p>Total private open space area:</p> <ul style="list-style-type: none"> (a) Site area <301m²: 24m² located behind the building line. (b) Site area ≥ 301m²: 60m² located behind the building line. <p>Minimum directly accessible from a living room: 16m² / with a minimum dimension 3m.</p>
Dwelling (above ground level)	<p>Studio (no separate bedroom): 4m² with a minimum dimension 1.8m</p> <p>One bedroom: 8m² with a minimum dimension 2.1m</p> <p>Two bedroom dwelling: 11m² with a minimum dimension 2.4m</p> <p>Three + bedroom dwelling: 15m² with a minimum dimension 2.6m</p>
Cabin or caravan (permanently fixed to the ground) in a residential park or a caravan and tourist park	<p>Total area: 16m², which may be used as second car parking space, provided on each site intended for residential occupation.</p>

Design in Urban Areas

Assessment Provisions (AP)

Desired Outcome

DO 1	<p>Development is:</p> <ul style="list-style-type: none"> (a) contextual - by considering, recognising and carefully responding to its natural surroundings or built environment and positively contributing to the character of the locality (b) durable - fit for purpose, adaptable and long lasting (c) inclusive - by integrating landscape design to optimise pedestrian and cyclist usability, privacy and equitable access and promoting the provision of quality spaces integrated with the public realm that can be used for access and recreation and help optimise security and safety both internally and within the public realm, for occupants and visitors (d) sustainable - by integrating sustainable techniques into the design and siting of development and landscaping to improve community health, urban heat, water management, environmental performance, biodiversity and local amenity and to minimise energy consumption.
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Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
All Development	
External Appearance	
PO 1.1 Buildings reinforce corners through changes in setback, articulation, materials, colour and massing (including height, width, bulk, roof form and slope).	DTS/DPF 1.1 None are applicable.
PO 1.2 Where zero or minor setbacks are desirable, development provides shelter over footpaths (in the form of verandahs, awnings, canopies and the like, with adequate lighting) to positively contribute to the walkability, comfort and safety of the public realm.	DTS/DPF 1.2 None are applicable.
PO 1.3 Building elevations facing the primary street (other than ancillary buildings) are designed and detailed to convey purpose, identify main access points and complement the streetscape.	DTS/DPF 1.3 None are applicable.
PO 1.4 Plant, exhaust and intake vents and other technical equipment are integrated into the building design to minimise visibility from the public realm and negative impacts on residential amenity by: <ul style="list-style-type: none"> (a) positioning plant and equipment discretely, in unobtrusive locations as viewed from public roads and spaces (b) screening rooftop plant and equipment from view (c) when located on the roof of non-residential development, locating the plant and equipment as far as practicable from adjacent sensitive land uses. 	DTS/DPF 1.4 Development does not incorporate any structures that protrude beyond the roofline.
PO 1.5 The negative visual impact of outdoor storage, waste	DTS/DPF 1.5 None are applicable.

<p>management, loading and service areas is minimised by integrating them into the building design and screening them from public view (such as fencing, landscaping and built form), taking into account the form of development contemplated in the relevant zone.</p>	
<p>Safety</p>	
<p>PO 2.1 Development maximises opportunities for passive surveillance of the public realm by providing clear lines of sight, appropriate lighting and the use of visually permeable screening wherever practicable.</p>	<p>DTS/DPF 2.1 None are applicable.</p>
<p>PO 2.2 Development is designed to differentiate public, communal and private areas.</p>	<p>DTS/DPF 2.2 None are applicable.</p>
<p>PO 2.3 Buildings are designed with safe, perceptible and direct access from public street frontages and vehicle parking areas.</p>	<p>DTS/DPF 2.3 None are applicable.</p>
<p>PO 2.4 Development at street level is designed to maximise opportunities for passive surveillance of the adjacent public realm.</p>	<p>DTS/DPF 2.4 None are applicable.</p>
<p>PO 2.5 Common areas and entry points of buildings (such as the foyer areas of residential buildings) and non-residential land uses at street level, maximise passive surveillance from the public realm to the inside of the building at night.</p>	<p>DTS/DPF 2.5 None are applicable.</p>
<p>Landscaping</p>	
<p>PO 3.1 Soft landscaping and tree planting are incorporated to:</p> <ul style="list-style-type: none"> (a) minimise heat absorption and reflection (b) maximise shade and shelter (c) maximise stormwater infiltration (d) enhance the appearance of land and streetscapes. 	<p>DTS/DPF 3.1 None are applicable.</p>
<p>Environmental Performance</p>	
<p>PO 4.1 Buildings are sited, oriented and designed to maximise natural sunlight access and ventilation to main activity areas, habitable rooms, common areas and open spaces.</p>	<p>DTS/DPF 4.1 None are applicable.</p>
<p>PO 4.2 Buildings are sited and designed to maximise passive environmental performance and minimise energy consumption and reliance on mechanical systems, such as heating and cooling.</p>	<p>DTS/DPF 4.2 None are applicable.</p>

<p>PO 4.3</p> <p>Buildings incorporate climate responsive techniques and features such as building and window orientation, use of eaves, verandahs and shading structures, water harvesting, at ground landscaping, green walls, green roofs and photovoltaic cells.</p>	<p>DTS/DPF 4.3</p> <p>None are applicable.</p>
Water Sensitive Design	
<p>PO 5.1</p> <p>Development is sited and designed to maintain natural hydrological systems without negatively impacting:</p> <ul style="list-style-type: none"> (a) the quantity and quality of surface water and groundwater (b) the depth and directional flow of surface water and groundwater (c) the quality and function of natural springs. 	<p>DTS/DPF 5.1</p> <p>None are applicable.</p>
On-site Waste Treatment Systems	
<p>PO 6.1</p> <p>Dedicated on-site effluent disposal areas do not include any areas to be used for, or could be reasonably foreseen to be used for, private open space, driveways or car parking.</p>	<p>DTS/DPF 6.1</p> <p>Effluent disposal drainage areas do not:</p> <ul style="list-style-type: none"> (a) encroach within an area used as private open space or result in less private open space than that specified in Design in Urban Areas Table 1 - Private Open Space (b) use an area also used as a driveway (c) encroach within an area used for on-site car parking or result in less on-site car parking than that specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas.
Car parking appearance	
<p>PO 7.1</p> <p>Development facing the street is designed to minimise the negative impacts of any semi-basement and undercroft car parking on streetscapes through techniques such as:</p> <ul style="list-style-type: none"> (a) limiting protrusion above finished ground level (b) screening through appropriate planting, fencing and mounding (c) limiting the width of openings and integrating them into the building structure. 	<p>DTS/DPF 7.1</p> <p>None are applicable.</p>
<p>PO 7.2</p> <p>Vehicle parking areas appropriately located, designed and constructed to minimise impacts on adjacent sensitive receivers through measures such as ensuring they are attractively developed and landscaped, screen fenced and the like.</p>	<p>DTS/DPF 7.2</p> <p>None are applicable.</p>
<p>PO 7.3</p> <p>Safe, legible, direct and accessible pedestrian connections are provided between parking areas and the development.</p>	<p>DTS/DPF 7.3</p> <p>None are applicable.</p>
<p>PO 7.4</p> <p>Street-level vehicle parking areas incorporate tree planting to</p>	<p>DTS/DPF 7.4</p> <p>Vehicle parking areas that are open to the sky and comprise 10</p>

provide shade, reduce solar heat absorption and reflection.	or more car parking spaces include a shade tree with a mature canopy of 4m diameter spaced for each 10 car parking spaces provided and a landscaped strip on any road frontage of a minimum dimension of 1m.
PO 7.5 Street level parking areas incorporate soft landscaping to improve visual appearance when viewed from within the site and from public places.	DTS/DPF 7.5 Vehicle parking areas comprising 10 or more car parking spaces include soft landscaping with a minimum dimension of: (a) 1m along all public road frontages and allotment boundaries (b) 1m between double rows of car parking spaces.
PO 7.6 Vehicle parking areas and associated driveways are landscaped to provide shade and positively contribute to amenity.	DTS/DPF 7.6 None are applicable.
PO 7.7 Vehicle parking areas and access ways incorporate integrated stormwater management techniques such as permeable or porous surfaces, infiltration systems, drainage swales or rain gardens that integrate with soft landscaping.	DTS/DPF 7.7 None are applicable.
Earthworks and sloping land	
PO 8.1 Development, including any associated driveways and access tracks, minimises the need for earthworks to limit disturbance to natural topography.	DTS/DPF 8.1 Development does not involve any of the following: (a) excavation exceeding a vertical height of 1m (b) filling exceeding a vertical height of 1m (c) a total combined excavation and filling vertical height of 2m or more.
PO 8.2 Driveways and access tracks designed and constructed to allow safe and convenient access on sloping land.	DTS/DPF 8.2 Driveways and access tracks on sloping land (with a gradient exceeding 1 in 8) satisfy (a) and (b): (a) do not have a gradient exceeding 25% (1-in-4) at any point along the driveway (b) are constructed with an all-weather trafficable surface.
PO 8.3 Driveways and access tracks on sloping land (with a gradient exceeding 1 in 8): (a) do not contribute to the instability of embankments and cuttings (b) provide level transition areas for the safe movement of people and goods to and from the development (c) are designed to integrate with the natural topography of the land.	DTS/DPF 8.3 None are applicable.
PO 8.4 Development on sloping land (with a gradient exceeding 1 in 8) avoids the alteration of natural drainage lines and includes on site drainage systems to minimise erosion.	DTS/DPF 8.4 None are applicable.

PO 8.5 Development does not occur on land at risk of landslip or increase the potential for landslip or land surface instability.	DTS/DPF 8.5 None are applicable.
Fences and walls	
PO 9.1 Fences, walls and retaining walls of sufficient height maintain privacy and security without unreasonably impacting visual amenity and adjoining land's access to sunlight or the amenity of public places.	DTS/DPF 9.1 None are applicable.
PO 9.2 Landscaping is incorporated on the low side of retaining walls that are visible from public roads and public open space to minimise visual impacts.	DTS/DPF 9.2 A vegetated landscaped strip 1m wide or more is provided against the low side of a retaining wall.
Overlooking / Visual Privacy (low rise buildings)	
PO 10.1 Development mitigates direct overlooking from upper level windows to habitable rooms and private open spaces of adjoining residential uses in neighbourhood-type zones.	DTS/DPF 10.1 Upper level windows facing side or rear boundaries shared with a residential use in a neighbourhood-type zone: (a) are permanently obscured to a height of 1.5m above finished floor level and are fixed or not capable of being opened more than 125mm (b) have sill heights greater than or equal to 1.5m above finished floor level (c) incorporate screening with a maximum of 25% openings, permanently fixed no more than 500mm from the window surface and sited adjacent to any part of the window less than 1.5 m above the finished floor level.
PO 10.2 Development mitigates direct overlooking from balconies to habitable rooms and private open space of adjoining residential uses in neighbourhood type zones.	DTS/DPF 10.2 One of the following is satisfied: (a) the longest side of the balcony or terrace will face a public road, public road reserve or public reserve that is at least 15m wide in all places faced by the balcony or terrace or (b) all sides of balconies or terraces on upper building levels are permanently obscured by screening with a maximum 25% transparency/openings fixed to a minimum height of: (i) 1.5m above finished floor level where the balcony is located at least 15 metres from the nearest habitable window of a dwelling on adjacent land or (ii) 1.7m above finished floor level in all other cases
Site Facilities / Waste Storage (excluding low rise residential development)	
PO 11.1 Development provides a dedicated area for on-site collection and sorting of recyclable materials and refuse, green organic waste and wash bay facilities for the ongoing maintenance of bins that	DTS/DPF 11.1 None are applicable.

is adequate in size considering the number and nature of the activities they will serve and the frequency of collection.	
PO 11.2 Communal waste storage and collection areas are located, enclosed and designed to be screened from view from the public domain, open space and dwellings.	DTS/DPF 11.2 None are applicable.
PO 11.3 Communal waste storage and collection areas are designed to be well ventilated and located away from habitable rooms.	DTS/DPF 11.3 None are applicable.
PO 11.4 Communal waste storage and collection areas are designed to allow waste and recycling collection vehicles to enter and leave the site without reversing.	DTS/DPF 11.4 None are applicable.
PO 11.5 For mixed use developments, non-residential waste and recycling storage areas and access provide opportunities for on-site management of food waste through composting or other waste recovery as appropriate.	DTS/DPF 11.5 None are applicable.
All Development - Medium and High Rise	
External Appearance	
PO 12.1 Buildings positively contribute to the character of the local area by responding to local context.	DTS/DPF 12.1 None are applicable.
PO 12.2 Architectural detail at street level and a mixture of materials at lower building levels near the public interface are provided to reinforce a human scale.	DTS/DPF 12.2 None are applicable.
PO 12.3 Buildings are designed to reduce visual mass by breaking up building elevations into distinct elements.	DTS/DPF 12.3 None are applicable.
PO 12.4 Boundary walls visible from public land include visually interesting treatments to break up large blank elevations.	DTS/DPF 12.4 None are applicable.
PO 12.5 External materials and finishes are durable and age well to minimise ongoing maintenance requirements.	DTS/DPF 12.5 Buildings utilise a combination of the following external materials and finishes: (a) masonry (b) natural stone (c) pre-finished materials that minimise staining, discolouring or deterioration.
PO 12.6 Street-facing building elevations are designed to provide attractive, high quality and pedestrian-friendly street frontages.	DTS/DPF 12.6 Building street frontages incorporate: (a) active uses such as shops or offices (b) prominent entry areas for multi-storey buildings (where it is a common entry) (c) habitable rooms of dwellings (d) areas of communal public realm with public art or the

	like, where consistent with the zone and/or subzone provisions.																				
<p>PO 12.7</p> <p>Entrances to multi-storey buildings are safe, attractive, welcoming, functional and contribute to streetscape character.</p>	<p>DTS/DPF 12.7</p> <p>Entrances to multi-storey buildings are:</p> <ul style="list-style-type: none"> (a) oriented towards the street (b) clearly visible and easily identifiable from the street and vehicle parking areas (c) designed to be prominent, accentuated and a welcoming feature if there are no active or occupied ground floor uses (d) designed to provide shelter, a sense of personal address and transitional space around the entry (e) located as close as practicable to the lift and / or lobby access to minimise the need for long access corridors (f) designed to avoid the creation of potential areas of entrapment. 																				
<p>PO 12.8</p> <p>Building services, plant and mechanical equipment are screened from the public realm.</p>	<p>DTS/DPF 12.8</p> <p>None are applicable.</p>																				
Landscaping																					
<p>PO 13.1</p> <p>Development facing a street provides a well landscaped area that contains a deep soil space to accommodate a tree of a species and size adequate to provide shade, contribute to tree canopy targets and soften the appearance of buildings.</p>	<p>DTS/DPF 13.1</p> <p>Buildings provide a 4m by 4m deep soil space in front of the building that accommodates a medium to large tree, except where no building setback from front property boundaries is desired.</p>																				
<p>PO 13.2</p> <p>Deep soil zones are provided to retain existing vegetation or provide areas that can accommodate new deep root vegetation, including tall trees with large canopies to provide shade and soften the appearance of multi-storey buildings.</p>	<p>DTS/DPF 13.2</p> <p>Multi-storey development provides deep soil zones and incorporates trees at not less than the following rates, except in a location or zone where full site coverage is desired.</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="background-color: #0056b3; color: white;">Site area</th> <th style="background-color: #0056b3; color: white;">Minimum deep soil area</th> <th style="background-color: #0056b3; color: white;">Minimum dimension</th> <th style="background-color: #0056b3; color: white;">Tree / deep soil zones</th> </tr> </thead> <tbody> <tr> <td><300 m²</td> <td>10 m²</td> <td>1.5m</td> <td>1 small tree / 10 m²</td> </tr> <tr> <td>300-1500 m²</td> <td>7% site area</td> <td>3m</td> <td>1 medium tree / 30 m²</td> </tr> <tr> <td>>1500 m²</td> <td>7% site area</td> <td>6m</td> <td>1 large or medium tree / 60 m²</td> </tr> </tbody> </table> <p>Tree size and site area definitions</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 20%;">Small tree</td> <td>4-6m mature height and 2-4m canopy spread</td> </tr> <tr> <td>Medium tree</td> <td>6-12m mature height and 4-8m canopy spread</td> </tr> </table>	Site area	Minimum deep soil area	Minimum dimension	Tree / deep soil zones	<300 m ²	10 m ²	1.5m	1 small tree / 10 m ²	300-1500 m ²	7% site area	3m	1 medium tree / 30 m ²	>1500 m ²	7% site area	6m	1 large or medium tree / 60 m ²	Small tree	4-6m mature height and 2-4m canopy spread	Medium tree	6-12m mature height and 4-8m canopy spread
Site area	Minimum deep soil area	Minimum dimension	Tree / deep soil zones																		
<300 m ²	10 m ²	1.5m	1 small tree / 10 m ²																		
300-1500 m ²	7% site area	3m	1 medium tree / 30 m ²																		
>1500 m ²	7% site area	6m	1 large or medium tree / 60 m ²																		
Small tree	4-6m mature height and 2-4m canopy spread																				
Medium tree	6-12m mature height and 4-8m canopy spread																				

		Large tree	12m mature height and >8m canopy spread
		Site area	The total area for development site, not average area per dwelling
PO 13.3	Deep soil zones with access to natural light are provided to assist in maintaining vegetation health.	DTS/DPF 13.3	None are applicable.
PO 13.4	Unless separated by a public road or reserve, development sites adjacent to any zone that has a primary purpose of accommodating low-rise residential development incorporate a deep soil zone along the common boundary to enable medium to large trees to be retained or established to assist in screening new buildings of 3 or more building levels in height.	DTS/DPF 13.4	Building elements of 3 or more building levels in height are set back at least 6m from a zone boundary in which a deep soil zone area is incorporated.
Environmental			
PO 14.1	Development minimises detrimental micro-climatic impacts on adjacent land and buildings.	DTS/DPF 14.1	None are applicable.
PO 14.2	Development incorporates sustainable design techniques and features such as window orientation, eaves and shading structures, water harvesting and use, green walls and roof designs that enable the provision of rain water tanks (where they are not provided elsewhere on site), green roofs and photovoltaic cells.	DTS/DPF 14.2	None are applicable.
PO 14.3	Development of 5 or more building levels, or 21m or more in height (as measured from natural ground level and excluding roof-mounted mechanical plant and equipment) is designed to minimise the impacts of wind through measures such as: <ul style="list-style-type: none"> (a) a podium at the base of a tall tower and aligned with the street to deflect wind away from the street (b) substantial verandahs around a building to deflect downward travelling wind flows over pedestrian areas (c) the placement of buildings and use of setbacks to deflect the wind at ground level (d) avoiding tall shear elevations that create windy conditions at street level. 	DTS/DPF 14.3	None are applicable.
Car Parking			
PO 15.1	Multi-level vehicle parking structures are designed to contribute to active street frontages and complement neighbouring buildings.	DTS/DPF 15.1	Multi-level vehicle parking structures within buildings: <ul style="list-style-type: none"> (a) provide land uses such as commercial, retail or other non-car parking uses along ground floor street frontages

	(b) incorporate facade treatments in building elevations facing along major street frontages that are sufficiently enclosed and detailed to complement adjacent buildings.
PO 15.2 Multi-level vehicle parking structures within buildings complement the surrounding built form in terms of height, massing and scale.	DTS/DPF 15.2 None are applicable.
Overlooking/Visual Privacy	
PO 16.1 Development mitigates direct overlooking of habitable rooms and private open spaces of adjacent residential uses in neighbourhood-type zones through measures such as: (a) appropriate site layout and building orientation (b) off-setting the location of balconies and windows of habitable rooms or areas with those of other buildings so that views are oblique rather than direct to avoid direct line of sight (c) building setbacks from boundaries (including building boundary to boundary where appropriate) that interrupt views or that provide a spatial separation between balconies or windows of habitable rooms (d) screening devices that are integrated into the building design and have minimal negative effect on residents' or neighbours' amenity.	DTS/DPF 16.1 None are applicable.
All residential development	
Front elevations and passive surveillance	
PO 17.1 Dwellings incorporate windows facing primary street frontages to encourage passive surveillance and make a positive contribution to the streetscape.	DTS/DPF 17.1 Each dwelling with a frontage to a public street: (a) includes at least one window facing the primary street from a habitable room that has a minimum internal room dimension of 2.4m (b) has an aggregate window area of at least 2m ² facing the primary street.
PO 17.2 Dwellings incorporate entry doors within street frontages to address the street and provide a legible entry point for visitors.	DTS/DPF 17.2 Dwellings with a frontage to a public street have an entry door visible from the primary street boundary.
Outlook and Amenity	
PO 18.1 Living rooms have an external outlook to provide a high standard of amenity for occupants.	DTS/DPF 18.1 A living room of a dwelling incorporates a window with an external outlook of the street frontage, private open space, public open space, or waterfront areas.
PO 18.2 Bedrooms are separated or shielded from active communal recreation areas, common access areas and vehicle parking areas and access ways to mitigate noise and artificial light intrusion.	DTS/DPF 18.2 None are applicable.

Ancillary Development	
<p>PO 19.1</p> <p>Residential ancillary buildings are sited and designed to not detract from the streetscape or appearance of primary residential buildings on the site or neighbouring properties.</p>	<p>DTS/DPF 19.1</p> <p>Ancillary buildings:</p> <ul style="list-style-type: none"> (a) are ancillary to a dwelling erected on the same site (b) have a floor area not exceeding 60m² (c) are not constructed, added to or altered so that any part is situated: <ul style="list-style-type: none"> (i) in front of any part of the building line of the dwelling to which it is ancillary or (ii) within 900mm of a boundary of the allotment with a secondary street (if the land has boundaries on two or more roads) (d) in the case of a garage or carport, the garage or carport: <ul style="list-style-type: none"> (i) is set back at least 5.5m from the boundary of the primary street (ii) when facing a primary street or secondary street, has a total door / opening not exceeding: <ul style="list-style-type: none"> A. for dwellings of single building level - 7m in width or 50% of the site frontage, whichever is the lesser B. for dwellings comprising two or more building levels at the building line fronting the same public street - 7m in width (e) if situated on a boundary (not being a boundary with a primary street or secondary street), do not exceed a length of 11.5m unless: <ul style="list-style-type: none"> (i) a longer wall or structure exists on the adjacent site and is situated on the same allotment boundary and (ii) the proposed wall or structure will be built along the same length of boundary as the existing adjacent wall or structure to the same or lesser extent (f) if situated on a boundary of the allotment (not being a boundary with a primary street or secondary street), all walls or structures on the boundary will not exceed 45% of the length of that boundary (g) will not be located within 3m of any other wall along the same boundary unless on an adjacent site on that boundary there is an existing wall of a building that would be adjacent to or about the proposed wall or structure (h) have a wall height or post height not exceeding 3m above natural ground level (and not including a gable end) (i) have a roof height where no part of the roof is more than 5m above the natural ground level (j) if clad in sheet metal, is pre-colour treated or painted in a non-reflective colour (k) retains a total area of soft landscaping in accordance with (i) or (ii), whichever is less: <ul style="list-style-type: none"> (i) a total area as determined by the following

	<p>table:</p> <table border="1" data-bbox="1007 141 1520 667"> <thead> <tr> <th data-bbox="1007 141 1337 371">Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m²)</th> <th data-bbox="1337 141 1520 371">Minimum percentage of site</th> </tr> </thead> <tbody> <tr> <td data-bbox="1007 371 1337 405"><150</td> <td data-bbox="1337 371 1520 405">10%</td> </tr> <tr> <td data-bbox="1007 405 1337 495">150-200</td> <td data-bbox="1337 405 1520 495">15%</td> </tr> <tr> <td data-bbox="1007 495 1337 577">201-450</td> <td data-bbox="1337 495 1520 577">20%</td> </tr> <tr> <td data-bbox="1007 577 1337 667">>450</td> <td data-bbox="1337 577 1520 667">25%</td> </tr> </tbody> </table> <p>(ii) the amount of existing soft landscaping prior to the development occurring.</p>	Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m ²)	Minimum percentage of site	<150	10%	150-200	15%	201-450	20%	>450	25%
Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m ²)	Minimum percentage of site										
<150	10%										
150-200	15%										
201-450	20%										
>450	25%										
<p>PO 19.2</p> <p>Ancillary buildings and structures do not impede on-site functional requirements such as private open space provision, car parking requirements or result in over-development of the site.</p>	<p>DTS/DPF 19.2</p> <p>Ancillary buildings and structures do not result in:</p> <ul style="list-style-type: none"> (a) less private open space than specified in Design in Urban Areas Table 1 - Private Open Space (b) less on-site car parking than specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas. 										
<p>PO 19.3</p> <p>Fixed plant and equipment in the form of pumps and/or filtration systems for a swimming pool or spa positioned and/or housed to not cause unreasonable noise nuisance to adjacent sensitive receivers.</p>	<p>DTS/DPF 19.3</p> <p>The pump and/or filtration system is ancillary to a dwelling erected on the same site and is:</p> <ul style="list-style-type: none"> (a) enclosed in a solid acoustic structure that is located at least 5m from the nearest habitable room located on an adjoining allotment or (b) located at least 12m from the nearest habitable room located on an adjoining allotment. 										
Residential Development - Low Rise											
External appearance											
<p>PO 20.1</p> <p>Garaging is designed to not detract from the streetscape or appearance of a dwelling.</p>	<p>DTS/DPF 20.1</p> <p>Garages and carports facing a street:</p> <ul style="list-style-type: none"> (a) are situated so that no part of the garage or carport will be in front of any part of the building line of the dwelling (b) are set back at least 5.5m from the boundary of the primary street (c) have a garage door / opening width not exceeding 7m (d) have a garage door / opening width not exceeding 50% of the site frontage unless the dwelling has two or more building levels at the building line fronting the same public street. 										

<p>PO 20.2</p> <p>Dwelling elevations facing public streets and common driveways make a positive contribution to the streetscape and the appearance of common driveway areas.</p>	<p>DTS/DPF 20.2</p> <p>Each dwelling includes at least 3 of the following design features within the building elevation facing a primary street, and at least 2 of the following design features within the building elevation facing any other public road (other than a laneway) or a common driveway:</p> <ul style="list-style-type: none"> (a) a minimum of 30% of the building wall is set back an additional 300mm from the building line (b) a porch or portico projects at least 1m from the building wall (c) a balcony projects from the building wall (d) a verandah projects at least 1m from the building wall (e) eaves of a minimum 400mm width extend along the width of the front elevation (f) a minimum 30% of the width of the upper level projects forward from the lower level primary building line by at least 300mm (g) a minimum of two different materials or finishes are incorporated on the walls of the front building elevation, with a maximum of 80% of the building elevation in a single material or finish. 		
<p>PO 20.3</p> <p>The visual mass of larger buildings is reduced when viewed from adjoining allotments or public streets.</p>	<p>DTS/DPF 20.3</p> <p>None are applicable</p>		
<p>Private Open Space</p>			
<p>PO 21.1</p> <p>Dwellings are provided with suitable sized areas of usable private open space to meet the needs of occupants.</p>	<p>DTS/DPF 21.1</p> <p>Private open space is provided in accordance with Design in Urban Areas Table 1 - Private Open Space.</p>		
<p>PO 21.2</p> <p>Private open space is positioned to provide convenient access from internal living areas.</p>	<p>DTS/DPF 21.2</p> <p>Private open space is directly accessible from a habitable room.</p>		
<p>Landscaping</p>			
<p>PO 22.1</p> <p>Soft landscaping is incorporated into development to:</p> <ul style="list-style-type: none"> (a) minimise heat absorption and reflection (b) contribute shade and shelter (c) provide for stormwater infiltration and biodiversity (d) enhance the appearance of land and streetscapes. 	<p>DTS/DPF 22.1</p> <p>Residential development incorporates soft landscaping with a minimum dimension of 700mm provided in accordance with (a) and (b):</p> <ul style="list-style-type: none"> (a) a total area as determined by the following table: <table border="1" data-bbox="922 1957 1522 2116"> <tr> <td style="background-color: #0056b3; color: white; padding: 5px;">Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m²)</td> <td style="background-color: #0056b3; color: white; padding: 5px;">Minimum percentage of site</td> </tr> </table>	Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m ²)	Minimum percentage of site
Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m ²)	Minimum percentage of site		

	<table border="1"> <tr> <td><150</td> <td>10%</td> </tr> <tr> <td>150-200</td> <td>15%</td> </tr> <tr> <td>>200-450</td> <td>20%</td> </tr> <tr> <td>>450</td> <td>25%</td> </tr> </table> <p>(b) at least 30% of any land between the primary street boundary and the primary building line.</p>	<150	10%	150-200	15%	>200-450	20%	>450	25%
<150	10%								
150-200	15%								
>200-450	20%								
>450	25%								
Car parking, access and manoeuvrability									
<p>PO 23.1</p> <p>Enclosed car parking spaces are of dimensions to be functional, accessible and convenient.</p>	<p>DTS/DPF 23.1</p> <p>Residential car parking spaces enclosed by fencing, walls or other structures have the following internal dimensions (separate from any waste storage area):</p> <p>(a) single width car parking spaces:</p> <ul style="list-style-type: none"> (i) a minimum length of 5.4m per space (ii) a minimum width of 3.0m (iii) a minimum garage door width of 2.4m <p>(b) double width car parking spaces (side by side):</p> <ul style="list-style-type: none"> (i) a minimum length of 5.4m (ii) a minimum width of 5.4m (iii) minimum garage door width of 2.4m per space. 								
<p>PO 23.2</p> <p>Uncovered car parking space are of dimensions to be functional, accessible and convenient.</p>	<p>DTS/DPF 23.2</p> <p>Uncovered car parking spaces have:</p> <ul style="list-style-type: none"> (a) a minimum length of 5.4m (b) a minimum width of 2.4m (c) a minimum width between the centre line of the space and any fence, wall or other obstruction of 1.5m. 								
<p>PO 23.3</p> <p>Driveways and access points are located and designed to facilitate safe access and egress while maximising land available for street tree planting, domestic waste collection, landscaped street frontages and on-street parking.</p>	<p>DTS/DPF 23.3</p> <p>Driveways and access points satisfy (a) or (b):</p> <ul style="list-style-type: none"> (a) sites with a frontage to a public road of 10m or less, have a width between 3.0 and 3.2 metres measured at the property boundary and are the only access point provided on the site (b) sites with a frontage to a public road greater than 10m: <ul style="list-style-type: none"> (i) have a maximum width of 5m measured at the property boundary and are the only access point provided on the site; (ii) have a width between 3.0 metres and 3.2 metres measured at the property boundary and no more than two access points are provided on site, separated by no less than 1m. 								
<p>PO 23.4</p> <p>Vehicle access is safe, convenient, minimises interruption to the operation of public roads and does not interfere with street</p>	<p>DTS/DPF 23.4</p> <p>Vehicle access to designated car parking spaces satisfy (a) or (b):</p>								

<p>infrastructure or street trees.</p>	<ul style="list-style-type: none"> (a) is provided via a lawfully existing or authorised access point or an access point for which consent has been granted as part of an application for the division of land (b) where newly proposed, is set back: <ul style="list-style-type: none"> (i) 0.5m or more from any street furniture, street pole, infrastructure services pit, or other stormwater or utility infrastructure unless consent is provided from the asset owner (ii) 2m or more from the base of the trunk of a street tree unless consent is provided from the tree owner for a lesser distance (iii) 6m or more from the tangent point of an intersection of 2 or more roads (iv) outside of the marked lines or infrastructure dedicating a pedestrian crossing.
<p>PO 23.5 Driveways are designed to enable safe and convenient vehicle movements from the public road to on-site parking spaces.</p>	<p>DTS/DPF 23.5 Driveways are designed and sited so that:</p> <ul style="list-style-type: none"> (a) the gradient from the place of access on the boundary of the allotment to the finished floor level at the front of the garage or carport is not steeper than 1-in-4 on average (b) they are aligned relative to the street so that there is no more than a 20 degree deviation from 90 degrees between the centreline of any dedicated car parking space to which it provides access (measured from the front of that space) and the road boundary. (c) if located so as to provide access from an alley, lane or right of way - the alley, lane or right of way is at least 6.2m wide along the boundary of the allotment / site
<p>PO 23.6 Driveways and access points are designed and distributed to optimise the provision of on-street visitor parking.</p>	<p>DTS/DPF 23.6 Where on-street parking is available abutting the site's street frontage, on-street parking is retained in accordance with the following requirements:</p> <ul style="list-style-type: none"> (a) minimum 0.33 on-street spaces per dwelling on the site (rounded up to the nearest whole number) (b) minimum car park length of 5.4m where a vehicle can enter or exit a space directly (c) minimum carpark length of 6m for an intermediate space located between two other parking spaces or to an end obstruction where the parking is indented.
<p>Waste storage</p>	
<p>PO 24.1 Provision is made for the convenient storage of waste bins in a location screened from public view.</p>	<p>DTS/DPF 24.1 Where dwellings abut both side boundaries a waste bin storage area is provided behind the building line of each dwelling that:</p> <ul style="list-style-type: none"> (a) has a minimum area of 2m² with a minimum dimension of 900mm (separate from any designated car parking spaces or private open space); and (b) has a continuous unobstructed path of travel (excluding moveable objects like gates, vehicles and roller doors) with a minimum width of 800mm between the waste bin storage area and the street.

Design of Transportable Buildings	
PO 25.1 The sub-floor space beneath transportable buildings is enclosed to give the appearance of a permanent structure.	DTS/DPF 25.1 Buildings satisfy (a) or (b): (a) are not transportable (b) the sub-floor space between the building and ground level is clad in a material and finish consistent with the building.
Residential Development - Medium and High Rise (including serviced apartments)	
Outlook and Visual Privacy	
PO 26.1 Ground level dwellings have a satisfactory short range visual outlook to public, communal or private open space.	DTS/DPF 26.1 Buildings: (a) provide a habitable room at ground or first level with a window facing toward the street (b) limit the height / extent of solid walls or fences facing the street to 1.2m high above the footpath level or, where higher, to 50% of the site frontage.
PO 26.2 The visual privacy of ground level dwellings within multi-level buildings is protected.	DTS/DPF 26.2 The finished floor level of ground level dwellings in multi-storey developments is raised by up to 1.2m.
Private Open Space	
PO 27.1 Dwellings are provided with suitable sized areas of usable private open space to meet the needs of occupants.	DTS/DPF 27.1 Private open space provided in accordance with Design in Urban Areas Table 1 - Private Open Space.
Residential amenity in multi-level buildings	
PO 28.1 Residential accommodation within multi-level buildings have habitable rooms, windows and balconies designed and positioned to be separated from those of other dwellings and accommodation to provide visual and acoustic privacy and allow for natural ventilation and the infiltration of daylight into interior and outdoor spaces.	DTS/DPF 28.1 Habitable rooms and balconies of independent dwellings and accommodation are separated by at least 6m from one another where there is a direct line of sight between them and 3m or more from a side or rear property boundary.
PO 28.2 Balconies are designed, positioned and integrated into the overall architectural form and detail of the development to: (a) respond to daylight, wind, and acoustic conditions to maximise comfort and provide visual privacy (b) allow views and casual surveillance of the street while providing for safety and visual privacy of nearby living spaces and private outdoor areas.	DTS/DPF 28.2 Balconies utilise one or a combination of the following design elements: (a) sun screens (b) pergolas (c) louvres (d) green facades (e) openable walls.
PO 28.3 Balconies are of sufficient size and depth to accommodate outdoor seating and promote indoor / outdoor living.	DTS/DPF 28.3 Balconies open directly from a habitable room and incorporate a minimum dimension of 2m.

<p>PO 28.4</p> <p>Dwellings are provided with sufficient space for storage to meet likely occupant needs.</p>	<p>DTS/DPF 28.4</p> <p>Dwellings (not including student accommodation or serviced apartments) are provided with storage at the following rates with at least 50% or more of the storage volume to be provided within the dwelling:</p> <ul style="list-style-type: none"> (a) studio: not less than 6m³ (b) 1 bedroom dwelling / apartment: not less than 8m³ (c) 2 bedroom dwelling / apartment: not less than 10m³ (d) 3+ bedroom dwelling / apartment: not less than 12m³.
<p>PO 28.5</p> <p>Dwellings that use light wells for access to daylight, outlook and ventilation for habitable rooms, are designed to ensure a reasonable living amenity is provided.</p>	<p>DTS/DPF 28.5</p> <p>Light wells:</p> <ul style="list-style-type: none"> (a) are not used as the primary source of outlook for living rooms (b) up to 18m in height have a minimum horizontal dimension of 3m, or 6m if overlooked by bedrooms (c) above 18m in height have a minimum horizontal dimension of 6m, or 9m if overlooked by bedrooms.
<p>PO 28.6</p> <p>Attached or abutting dwellings are designed to minimise the transmission of sound between dwellings and, in particular, to protect bedrooms from possible noise intrusions.</p>	<p>DTS/DPF 28.6</p> <p>None are applicable.</p>
<p>PO 28.7</p> <p>Dwellings are designed so that internal structural columns correspond with the position of internal walls to ensure that the space within the dwelling/apartment is useable.</p>	<p>DTS/DPF 28.7</p> <p>None are applicable.</p>
<p>Dwelling Configuration</p>	
<p>PO 29.1</p> <p>Buildings containing in excess of 10 dwellings provide a variety of dwelling sizes and a range in the number of bedrooms per dwelling to contribute to housing diversity.</p>	<p>DTS/DPF 29.1</p> <p>Buildings containing in excess of 10 dwellings provide at least one of each of the following:</p> <ul style="list-style-type: none"> (a) studio (where there is no separate bedroom) (b) 1 bedroom dwelling / apartment with a floor area of at least 50m² (c) 2 bedroom dwelling / apartment with a floor area of at least 65m² (d) 3+ bedroom dwelling / apartment with a floor area of at least 80m², and any dwelling over 3 bedrooms provides an additional 15m² for every additional bedroom.
<p>PO 29.2</p> <p>Dwellings located on the ground floor of multi-level buildings with 3 or more bedrooms have the windows of their habitable rooms overlooking internal courtyard space or other public space, where possible.</p>	<p>DTS/DPF 29.2</p> <p>None are applicable.</p>
<p>Common Areas</p>	
<p>PO 30.1</p> <p>The size of lifts, lobbies and corridors is sufficient to accommodate movement of bicycles, strollers, mobility aids and</p>	<p>DTS/DPF 30.1</p> <p>Common corridor or circulation areas:</p>

<p>visitor waiting areas.</p>	<p>(a) have a minimum ceiling height of 2.7m (b) provide access to no more than 8 dwellings (c) incorporate a wider section at apartment entries where the corridors exceed 12m in length from a core.</p>
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Group Dwellings, Residential Flat Buildings and Battle axe Development

Amenity

<p>PO 31.1 Dwellings are of a suitable size to provide a high standard of amenity for occupants.</p>	<p>DTS/DPF 31.1 Dwellings have a minimum internal floor area in accordance with the following table:</p> <table border="1" data-bbox="829 533 1524 1095"> <thead> <tr> <th data-bbox="829 533 1173 622">Number of bedrooms</th> <th data-bbox="1173 533 1524 622">Minimum internal floor area</th> </tr> </thead> <tbody> <tr> <td data-bbox="829 622 1173 712">Studio</td> <td data-bbox="1173 622 1524 712">35m²</td> </tr> <tr> <td data-bbox="829 712 1173 801">1 bedroom</td> <td data-bbox="1173 712 1524 801">50m²</td> </tr> <tr> <td data-bbox="829 801 1173 891">2 bedroom</td> <td data-bbox="1173 801 1524 891">65m²</td> </tr> <tr> <td data-bbox="829 891 1173 1095">3+ bedrooms</td> <td data-bbox="1173 891 1524 1095">80m² and any dwelling over 3 bedrooms provides an additional 15m² for every additional bedroom</td> </tr> </tbody> </table>	Number of bedrooms	Minimum internal floor area	Studio	35m ²	1 bedroom	50m ²	2 bedroom	65m ²	3+ bedrooms	80m ² and any dwelling over 3 bedrooms provides an additional 15m ² for every additional bedroom
Number of bedrooms	Minimum internal floor area										
Studio	35m ²										
1 bedroom	50m ²										
2 bedroom	65m ²										
3+ bedrooms	80m ² and any dwelling over 3 bedrooms provides an additional 15m ² for every additional bedroom										

<p>PO 31.2 The orientation and siting of buildings minimises impacts on the amenity, outlook and privacy of occupants and neighbours.</p>	<p>DTS/DPF 31.2 None are applicable.</p>
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<p>PO 31.3 Development maximises the number of dwellings that face public open space and public streets and limits dwellings oriented towards adjoining properties.</p>	<p>DTS/DPF 31.3 None are applicable.</p>
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<p>PO 31.4 Battle-axe development is appropriately sited and designed to respond to the existing neighbourhood context.</p>	<p>DTS/DPF 31.4 Dwelling sites/allotments are not in the form of a battle-axe arrangement.</p>
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Communal Open Space

<p>PO 32.1 Private open space provision may be substituted for communal open space which is designed and sited to meet the recreation and amenity needs of residents.</p>	<p>DTS/DPF 32.1 None are applicable.</p>
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<p>PO 32.2 Communal open space is of sufficient size and dimensions to cater for group recreation.</p>	<p>DTS/DPF 32.2 Communal open space incorporates a minimum dimension of 5 metres.</p>
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<p>PO 32.3 Communal open space is designed and sited to:</p> <p>(a) be conveniently accessed by the dwellings which it services</p>	<p>DTS/DPF 32.3 None are applicable.</p>
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<p>(b) have regard to acoustic, safety, security and wind effects.</p>	
<p>PO 32.4 Communal open space contains landscaping and facilities that are functional, attractive and encourage recreational use.</p>	<p>DTS/DPF 32.4 None are applicable.</p>
<p>PO 32.5 Communal open space is designed and sited to:</p> <p>(a) in relation to rooftop or elevated gardens, minimise overlooking into habitable room windows or onto the useable private open space of other dwellings</p> <p>(b) in relation to ground floor communal space, be overlooked by habitable rooms to facilitate passive surveillance.</p>	<p>DTS/DPF 32.5 None are applicable.</p>
<p>Car parking, access and manoeuvrability</p>	
<p>PO 33.1 Driveways and access points are designed and distributed to optimise the provision of on-street visitor parking.</p>	<p>DTS/DPF 33.1 Where on-street parking is available directly adjacent the site, on-street parking is retained adjacent the subject site in accordance with the following requirements:</p> <p>(a) minimum 0.33 on-street car parks per proposed dwelling (rounded up to the nearest whole number)</p> <p>(b) minimum car park length of 5.4m where a vehicle can enter or exit a space directly</p> <p>(c) minimum carpark length of 6m for an intermediate space located between two other parking spaces or to an end obstruction where the parking is indented.</p>
<p>PO 33.2 The number of vehicular access points onto public roads is minimised to reduce interruption of the footpath and positively contribute to public safety and walkability.</p>	<p>DTS/DPF 33.2 Access to group dwellings or dwellings within a residential flat building is provided via a single common driveway.</p>
<p>PO 33.3 Residential driveways that service more than one dwelling are designed to allow safe and convenient movement.</p>	<p>DTS/DPF 33.3 Driveways that service more than 1 dwelling or a dwelling on a battle-axe site:</p> <p>(a) have a minimum width of 3m</p> <p>(b) for driveways servicing more than 3 dwellings:</p> <p>(i) have a width of 5.5m or more and a length of 6m or more at the kerb of the primary street</p> <p>(ii) where the driveway length exceeds 30m, incorporate a passing point at least every 30 metres with a minimum width of 5.5m and a minimum length of 6m.</p>
<p>PO 33.4 Residential driveways that service more than one dwelling or a dwelling on a battle-axe site are designed to allow passenger vehicles to enter and exit and manoeuvre within the site in a safe and convenient manner.</p>	<p>DTS/DPF 33.4 Driveways providing access to more than one dwelling, or a dwelling on a battle-axe site, allow a B85 passenger vehicle to enter and exit the garages or parking spaces in no more than a three-point turn manoeuvre.</p>
<p>PO 33.5</p>	<p>DTS/DPF 33.5</p>

Dwellings are adequately separated from common driveways and manoeuvring areas.	Dwelling walls with entry doors or ground level habitable room windows are set back at least 1.5m from any driveway or area designated for the movement and manoeuvring of vehicles.
Soft landscaping	
PO 34.1 Soft landscaping is provided between dwellings and common driveways to improve the outlook for occupants and appearance of common areas.	DTS/DPF 34.1 Other than where located directly in front of a garage or building entry, soft landscaping with a minimum dimension of 1m is provided between a dwelling and common driveway.
PO 34.2 Battle-axe or common driveways incorporate landscaping and permeability to improve appearance and assist in stormwater management.	DTS/DPF 34.2 Battle-axe or common driveways satisfy (a) and (b): (a) are constructed of a minimum of 50% permeable or porous material (b) where the driveway is located directly adjacent the side or rear boundary of the site, soft landscaping with a minimum dimension of 1m is provided between the driveway and site boundary (excluding along the perimeter of a passing point).
Site Facilities / Waste Storage	
PO 35.1 Provision is made for suitable mailbox facilities close to the major pedestrian entry to the site or conveniently located considering the nature of accommodation and mobility of occupants.	DTS/DPF 35.1 None are applicable.
PO 35.2 Provision is made for suitable external clothes drying facilities.	DTS/DPF 35.2 None are applicable.
PO 35.3 Provision is made for suitable household waste and recyclable material storage facilities which are: (a) located away, or screened, from public view, and (b) conveniently located in proximity to dwellings and the waste collection point.	DTS/DPF 35.3 None are applicable.
PO 35.4 Waste and recyclable material storage areas are located away from dwellings.	DTS/DPF 35.4 Dedicated waste and recyclable material storage areas are located at least 3m from any habitable room window.
PO 35.5 Where waste bins cannot be conveniently collected from the street, provision is made for on-site waste collection, designed to accommodate the safe and convenient access, egress and movement of waste collection vehicles.	DTS/DPF 35.5 None are applicable.
PO 35.6 Services including gas and water meters are conveniently located and screened from public view.	DTS/DPF 35.6 None are applicable.
Water sensitive urban design	

<p>PO 36.1</p> <p>Residential development creating a common driveway / access includes stormwater management systems that minimise the discharge of sediment, suspended solids, organic matter, nutrients, bacteria, litter and other contaminants to the stormwater system, watercourses or other water bodies.</p>	<p>DTS/DPF 36.1</p> <p>None are applicable.</p>
<p>PO 36.2</p> <p>Residential development creating a common driveway / access includes a stormwater management system designed to mitigate peak flows and manage the rate and duration of stormwater discharges from the site to ensure that the development does not increase the peak flows in downstream systems.</p>	<p>DTS/DPF 36.2</p> <p>None are applicable.</p>
<p>Supported Accommodation and retirement facilities</p>	
<p>Siting, Configuration and Design</p>	
<p>PO 37.1</p> <p>Supported accommodation and housing for aged persons and people with disabilities is located where on-site movement of residents is not unduly restricted by the slope of the land.</p>	<p>DTS/DPF 37.1</p> <p>None are applicable.</p>
<p>PO 37.2</p> <p>Universal design features are incorporated to provide options for people living with disabilities or limited mobility and / or to facilitate ageing in place.</p>	<p>DTS/DPF 37.2</p> <p>None are applicable.</p>
<p>Movement and Access</p>	
<p>PO 38.1</p> <p>Development is designed to support safe and convenient access and movement for residents by providing:</p> <ul style="list-style-type: none"> (a) ground-level access or lifted access to all units (b) level entry porches, ramps, paths, driveways, passenger loading areas and areas adjacent to footpaths that allow for the passing of wheelchairs and resting places (c) car parks with gradients no steeper than 1-in-40, and of sufficient area to provide for wheelchair manoeuvrability (d) kerb ramps at pedestrian crossing points. 	<p>DTS/DPF 38.1</p> <p>None are applicable.</p>
<p>Communal Open Space</p>	
<p>PO 39.1</p> <p>Development is designed to provide attractive, convenient and comfortable indoor and outdoor communal areas to be used by residents and visitors.</p>	<p>DTS/DPF 39.1</p> <p>None are applicable.</p>
<p>PO 39.2</p> <p>Private open space provision may be substituted for communal open space which is designed and sited to meet the recreation and amenity needs of residents.</p>	<p>DTS/DPF 39.2</p> <p>None are applicable.</p>
<p>PO 39.3</p> <p>Communal open space is of sufficient size and dimensions to</p>	<p>DTS/DPF 39.3</p> <p>Communal open space incorporates a minimum dimension of 5</p>

cater for group recreation.	metres.
PO 39.4 Communal open space is designed and sited to: (a) be conveniently accessed by the dwellings which it services (b) have regard to acoustic, safety, security and wind effects.	DTS/DPF 39.4 None are applicable.
PO 39.5 Communal open space contains landscaping and facilities that are functional, attractive and encourage recreational use.	DTS/DPF 39.5 None are applicable.
PO 39.6 Communal open space is designed and sited to: (a) in relation to rooftop or elevated gardens, minimise overlooking into habitable room windows or onto the useable private open space of other dwellings (b) in relation to ground floor communal space, be overlooked by habitable rooms to facilitate passive surveillance.	DTS/DPF 39.6 None are applicable.
Site Facilities / Waste Storage	
PO 40.1 Development is designed to provide storage areas for personal items and specialised equipment such as small electric powered vehicles, including facilities for the recharging of small electric-powered vehicles.	DTS/DPF 40.1 None are applicable.
PO 40.2 Provision is made for suitable mailbox facilities close to the major pedestrian entry to the site or conveniently located considering the nature of accommodation and mobility of occupants.	DTS/DPF 40.2 None are applicable.
PO 40.3 Provision is made for suitable external clothes drying facilities.	DTS/DPF 40.3 None are applicable.
PO 40.4 Provision is made for suitable household waste and recyclable material storage facilities conveniently located away, or screened, from view.	DTS/DPF 40.4 None are applicable.
PO 40.5 Waste and recyclable material storage areas are located away from dwellings.	DTS/DPF 40.5 Dedicated waste and recyclable material storage areas are located at least 3m from any habitable room window.
PO 40.6 Provision is made for on-site waste collection where 10 or more bins are to be collected at any one time.	DTS/DPF 40.6 None are applicable.
PO 40.7	DTS/DPF 40.7

<p>Services, including gas and water meters, are conveniently located and screened from public view.</p>	<p>None are applicable.</p>
<p>Student Accommodation</p>	
<p>PO 41.1</p> <p>Student accommodation is designed to provide safe, secure, attractive, convenient and comfortable living conditions for residents, including an internal layout and facilities that are designed to provide sufficient space and amenity for the requirements of student life and promote social interaction.</p>	<p>DTS/DPF 41.1</p> <p>Student accommodation provides:</p> <ul style="list-style-type: none"> (a) a range of living options to meet a variety of accommodation needs, such as one-bedroom, two-bedroom and disability access units (b) common or shared facilities to enable a more efficient use of space, including: <ul style="list-style-type: none"> (i) shared cooking, laundry and external drying facilities (ii) internal and external communal and private open space provided in accordance with Design in Urban Areas Table 1 - Private Open Space (iii) common storage facilities at the rate of 8m³ for every 2 dwellings or students (iv) common on-site parking in accordance with Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas (v) bicycle parking at the rate of one space for every 2 students.
<p>PO 41.2</p> <p>Student accommodation is designed to provide easy adaptation of the building to accommodate an alternative use of the building in the event it is no longer required for student housing.</p>	<p>DTS/DPF 41.2</p> <p>None are applicable.</p>
<p>All non-residential development</p>	
<p>Water Sensitive Design</p>	
<p>PO 42.1</p> <p>Development likely to result in risk of export of sediment, suspended solids, organic matter, nutrients, oil and grease include stormwater management systems designed to minimise pollutants entering stormwater.</p>	<p>DTS/DPF 42.1</p> <p>None are applicable.</p>
<p>PO 42.2</p> <p>Water discharged from a development site is of a physical, chemical and biological condition equivalent to or better than its pre-developed state.</p>	<p>DTS/DPF 42.2</p> <p>None are applicable.</p>
<p>PO 42.3</p> <p>Development includes stormwater management systems to mitigate peak flows and manage the rate and duration of stormwater discharges from the site to ensure that development does not increase peak flows in downstream systems.</p>	<p>DTS/DPF 42.3</p> <p>None are applicable.</p>
<p>Wash-down and Waste Loading and Unloading</p>	
<p>PO 43.1</p>	<p>DTS/DPF 43.1</p>

<p>Areas for activities including loading and unloading, storage of waste refuse bins in commercial and industrial development or wash-down areas used for the cleaning of vehicles, plant or equipment are:</p> <ul style="list-style-type: none"> (a) designed to contain all wastewater likely to pollute stormwater within a bunded and roofed area to exclude the entry of external surface stormwater run-off (b) paved with an impervious material to facilitate wastewater collection (c) of sufficient size to prevent 'splash-out' or 'over-spray' of wastewater from the wash-down area (d) are designed to drain wastewater to either: <ul style="list-style-type: none"> (i) a treatment device such as a sediment trap and coalescing plate oil separator with subsequent disposal to a sewer, private or Community Wastewater Management Scheme or (ii) a holding tank and its subsequent removal off-site on a regular basis. 	<p>None are applicable.</p>
Laneway Development	
Infrastructure and Access	
<p>PO 44.1</p> <p>Development with a primary street comprising a laneway, alley, lane, right of way or similar minor thoroughfare only occurs where:</p> <ul style="list-style-type: none"> (a) existing utility infrastructure and services are capable of accommodating the development (b) the primary street can support access by emergency and regular service vehicles (such as waste collection) (c) it does not require the provision or upgrading of infrastructure on public land (such as footpaths and stormwater management systems) (d) safety of pedestrians or vehicle movement is maintained (e) any necessary grade transition is accommodated within the site of the development to support an appropriate development intensity and orderly development of land fronting minor thoroughfares. 	<p>DTS/DPF 44.1</p> <p>Development with a primary street frontage that is not an alley, lane, right of way or similar public thoroughfare.</p>

Table 1 - Private Open Space

Dwelling Type	Dwelling / Site Configuration	Minimum Rate
<p>Dwelling (at ground level, other than a residential flat building that includes above ground dwellings)</p>		<p>Total private open space area:</p> <ul style="list-style-type: none"> (a) Site area <301m²: 24m² located behind the building line. (b) Site area ≥ 301m²: 60m² located behind the building line. <p>Minimum directly accessible from a living room: 16m² / with a minimum dimension 3m.</p>

Cabin or caravan (permanently fixed to the ground) in a residential park or caravan and tourist park		Total area: 16m ² , which may be uses as second car parking space, provided on each site intended for residential occupation.
Dwelling in a residential flat building or mixed use building which incorporate above ground level dwellings	Dwellings at ground level:	15m ² / minimum dimension 3m
	Dwellings above ground level:	
	Studio (no separate bedroom)	4m ² / minimum dimension 1.8m
	One bedroom dwelling	8m ² / minimum dimension 2.1m
	Two bedroom dwelling	11m ² / minimum dimension 2.4m
	Three + bedroom dwelling	15 m ² / minimum dimension 2.6m

Forestry

Assessment Provisions (AP)

Desired Outcome	
DO 1	Commercial forestry is designed and sited to maximise economic benefits whilst managing potential negative impacts on the environment, transport networks, surrounding land uses and landscapes.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Siting	
PO 1.1 Commercial forestry plantations are established where there is no detrimental effect on the physical environment or scenic quality of the rural landscape.	DTS/DPF 1.1 None are applicable.
PO 1.2 Commercial forestry plantations are established on slopes that are stable to minimise the risk of soil erosion.	DTS/DPF 1.2 Commercial forestry plantations are not located on land with a slope exceeding 20% (1-in-5).
PO 1.3 Commercial forestry plantations and operations associated with	DTS/DPF 1.3 Commercial forestry plantations and operations associated with

<p>their establishment, management and harvesting are appropriately set back from any sensitive receiver to minimise fire risk and noise disturbance.</p>	<p>their establishment, management and harvesting are set back 50m or more from any sensitive receiver.</p>
<p>PO 1.4 Commercial forestry plantations are separated from reserves gazetted under the <i>National Parks and Wildlife Act 1972</i> and/or <i>Wilderness Protection Act 1992</i> to minimise fire risk and potential for weed infestation.</p>	<p>DTS/DPF 1.4 Commercial forestry plantations and operations associated with their establishment, management and harvesting are set back 50m or more from a reserve gazetted under the <i>National Parks and Wildlife Act 1972</i> and/or <i>Wilderness Protection Act 1992</i>.</p>
<p>Water Protection</p>	
<p>PO 2.1 Commercial forestry plantations incorporate artificial drainage lines (i.e. culverts, runoffs and constructed drains) integrated with natural drainage lines to minimise concentrated water flows onto or from plantation areas.</p>	<p>DTS/DPF 2.1 None are applicable.</p>
<p>PO 2.2 Appropriate siting, layout and design measures are adopted to minimise the impact of commercial forestry plantations on surface water resources.</p>	<p>DTS/DPF 2.2 Commercial forestry plantations:</p> <ul style="list-style-type: none"> (a) do not involve cultivation (excluding spot cultivation) in drainage lines (b) are set back 20m or more from the banks of any major watercourse (a third order or higher watercourse), lake, reservoir, wetland or sinkhole (with direct connection to an aquifer) (c) are set back 10m or more from the banks of any first or second order watercourse or sinkhole (with no direct connection to an aquifer).
<p>Fire Management</p>	
<p>PO 3.1 Commercial forestry plantations incorporate appropriate firebreaks and fire management design elements.</p>	<p>DTS/DPF 3.1 Commercial forestry plantations provide:</p> <ul style="list-style-type: none"> (a) 7m or more wide external boundary firebreaks for plantations of 40ha or less (b) 10m or more wide external boundary firebreaks for plantations of between 40ha and 100ha (c) 20m or more wide external boundary firebreaks, or 10m with an additional 10m or more of fuel-reduced plantation, for plantations of 100ha or greater.
<p>PO 3.2 Commercial forestry plantations incorporate appropriate fire management access tracks.</p>	<p>DTS/DPF 3.2 Commercial forestry plantation fire management access tracks:</p> <ul style="list-style-type: none"> (a) are incorporated within all firebreaks (b) are 7m or more wide with a vertical clearance of 4m or more (c) are aligned to provide straight through access at junctions, or if they are a no through access track are appropriately signposted and provide suitable turnaround areas for fire-fighting vehicles (d) partition the plantation into units of 40ha or less in area.
<p>Power-line Clearances</p>	

<p>PO 4.1</p> <p>Commercial forestry plantations achieve and maintain appropriate clearances from aboveground powerlines.</p>	<p>DTS/DPF 4.1</p> <p>Commercial forestry plantations incorporating trees with an expected mature height of greater than 6m meet the clearance requirements listed in the following table:</p> <table border="1" data-bbox="829 286 1516 990"> <thead> <tr> <th data-bbox="829 286 1098 474">Voltage of transmission line</th> <th data-bbox="1098 286 1228 474">Tower or Pole</th> <th data-bbox="1228 286 1516 474">Minimum horizontal clearance distance between plantings and transmission lines</th> </tr> </thead> <tbody> <tr> <td data-bbox="829 474 1098 562">500 kV</td> <td data-bbox="1098 474 1228 562">Tower</td> <td data-bbox="1228 474 1516 562">38m</td> </tr> <tr> <td data-bbox="829 562 1098 649">275 kV</td> <td data-bbox="1098 562 1228 649">Tower</td> <td data-bbox="1228 562 1516 649">25m</td> </tr> <tr> <td data-bbox="829 649 1098 736">132 kV</td> <td data-bbox="1098 649 1228 736">Tower</td> <td data-bbox="1228 649 1516 736">30m</td> </tr> <tr> <td data-bbox="829 736 1098 824">132 kV</td> <td data-bbox="1098 736 1228 824">Pole</td> <td data-bbox="1228 736 1516 824">20m</td> </tr> <tr> <td data-bbox="829 824 1098 911">66 kV</td> <td data-bbox="1098 824 1228 911">Pole</td> <td data-bbox="1228 824 1516 911">20m</td> </tr> <tr> <td data-bbox="829 911 1098 990">Less than 66 kV</td> <td data-bbox="1098 911 1228 990">Pole</td> <td data-bbox="1228 911 1516 990">20m</td> </tr> </tbody> </table>	Voltage of transmission line	Tower or Pole	Minimum horizontal clearance distance between plantings and transmission lines	500 kV	Tower	38m	275 kV	Tower	25m	132 kV	Tower	30m	132 kV	Pole	20m	66 kV	Pole	20m	Less than 66 kV	Pole	20m
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Housing Renewal

Assessment Provisions (AP)

Desired Outcome	
DO 1	Renewed residential environments replace older social housing and provide new social housing infrastructure and other housing options and tenures to enhance the residential amenity of the local area.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Land Use and Intensity	
<p>PO 1.1</p> <p>Residential development provides a range of housing choices.</p>	<p>DTS/DPF 1.1</p> <p>Development comprises one or more of the following:</p> <ul style="list-style-type: none"> (a) detached dwellings (b) semi-detached dwellings (c) row dwellings

	<p>(d) group dwellings</p> <p>(e) residential flat buildings.</p>
<p>PO 1.2</p> <p>Medium-density housing options or higher are located in close proximity to public transit, open space and/or activity centres.</p>	<p>DTS/DPF 1.2</p> <p>None are applicable.</p>
Building Height	
<p>PO 2.1</p> <p>Buildings generally do not exceed 3 building levels unless in locations close to public transport, centres and/or open space.</p>	<p>DTS/DPF 2.1</p> <p>Building height (excluding garages, carports and outbuildings) does not exceed 3 building levels and 12m and wall height does not exceed 9m (not including a gable end).</p>
<p>PO 2.2</p> <p>Medium or high rise residential flat buildings located within or at the interface with zones which restrict heights to a maximum of 2 building levels transition down in scale and height towards the boundary of that zone, other than where it is a street boundary.</p>	<p>DTS/DPF 2.2</p> <p>None are applicable.</p>
Primary Street Setback	
<p>PO 3.1</p> <p>Buildings are set back from the primary street boundary to contribute to an attractive streetscape character.</p>	<p>DTS/DPF 3.1</p> <p>Buildings are no closer to the primary street (excluding any balcony, verandah, porch, awning or similar structure) than 3m.</p>
Secondary Street Setback	
<p>PO 4.1</p> <p>Buildings are set back from secondary street boundaries to maintain separation between building walls and public streets and contribute to a suburban streetscape character.</p>	<p>DTS/DPF 4.1</p> <p>Buildings are set back at least 900mm from the boundary of the allotment with a secondary street frontage.</p>
Boundary Walls	
<p>PO 5.1</p> <p>Boundary walls are limited in height and length to manage visual impacts and access to natural light and ventilation.</p>	<p>DTS/DPF 5.1</p> <p>Except where the dwelling is located on a central site within a row dwelling or terrace arrangement, dwellings with side boundary walls are sited on only one side boundary and satisfy (a) or (b):</p> <p>(a) adjoin or abut a boundary wall of a building on adjoining land for the same length and height</p> <p>(b) do not:</p> <p>(i) exceed 3.2m in height from the lower of the natural or finished ground level</p> <p>(ii) exceed 11.5m in length</p> <p>(iii) when combined with other walls on the boundary of the subject development site, a maximum 45% of the length of the boundary</p> <p>(iv) encroach within 3 metres of any other existing or proposed boundary walls on the subject land.</p>
<p>PO 5.2</p> <p>Dwellings in a semi-detached, row or terrace arrangement</p>	<p>DTS/DPF 5.2</p> <p>Dwellings in a semi-detached or row arrangement are set back</p>

<p>maintain space between buildings consistent with a suburban streetscape character.</p>	<p>900mm or more from side boundaries shared with allotments outside the development site, except for a carport or garage.</p>
<p>Side Boundary Setback</p>	
<p>PO 6.1</p> <p>Buildings are set back from side boundaries to provide:</p> <ul style="list-style-type: none"> (a) separation between dwellings in a way that contributes to a suburban character (b) access to natural light and ventilation for neighbours. 	<p>DTS/DPF 6.1</p> <p>Other than walls located on a side boundary, buildings are set back from side boundaries:</p> <ul style="list-style-type: none"> (a) at least 900mm where the wall height is up to 3m (b) other than for a wall facing a southern side boundary, at least 900mm plus 1/3 of the wall height above 3m (c) at least 1.9m plus 1/3 of the wall height above 3m for walls facing a southern side boundary.
<p>Rear Boundary Setback</p>	
<p>PO 7.1</p> <p>Buildings are set back from rear boundaries to provide:</p> <ul style="list-style-type: none"> (a) separation between dwellings in a way that contributes to a suburban character (b) access to natural light and ventilation for neighbours (c) private open space (d) space for landscaping and vegetation. 	<p>DTS/DPF 7.1</p> <p>Dwellings are set back from the rear boundary:</p> <ul style="list-style-type: none"> (a) 3m or more for the first building level (b) 5m or more for any subsequent building level.
<p>Buildings elevation design</p>	
<p>PO 8.1</p> <p>Dwelling elevations facing public streets and common driveways make a positive contribution to the streetscape and common driveway areas.</p>	<p>DTS/DPF 8.1</p> <p>Each dwelling includes at least 3 of the following design features within the building elevation facing a primary street, and at least 2 of the following design features within the building elevation facing any other public road (other than a laneway) or a common driveway:</p> <ul style="list-style-type: none"> (a) a minimum of 30% of the building elevation is set back an additional 300mm from the building line (b) a porch or portico projects at least 1m from the building elevation (c) a balcony projects from the building elevation (d) a verandah projects at least 1m from the building elevation (e) eaves of a minimum 400mm width extend along the width of the front elevation (f) a minimum 30% of the width of the upper level projects forward from the lower level primary building line by at least 300mm. (g) a minimum of two different materials or finishes are incorporated on the walls of the building elevation, with a maximum of 80% of the building elevation in a single material or finish.
<p>PO 8.2</p> <p>Dwellings incorporate windows along primary street frontages to encourage passive surveillance and make a positive contribution to the streetscape.</p>	<p>DTS/DPF 8.2</p> <p>Each dwelling with a frontage to a public street:</p> <ul style="list-style-type: none"> (a) includes at least one window facing the primary street from a habitable room that has a minimum internal room dimension of 2.4m (b) has an aggregate window area of at least 2m² facing the

	primary street												
PO 8.3 The visual mass of larger buildings is reduced when viewed from adjoining allotments or public streets.	DTS/DPF 8.3 None are applicable.												
PO 8.4 Built form considers local context and provides a quality design response through scale, massing, materials, colours and architectural expression.	DTS/DPF 8.4 None are applicable.												
PO 8.5 Entrances to multi-storey buildings are: (a) oriented towards the street (b) visible and easily identifiable from the street (c) designed to include a common mail box structure.	DTS/DPF 8.5 None are applicable.												
Outlook and amenity													
PO 9.1 Living rooms have an external outlook to provide a high standard of amenity for occupants.	DTS/DPF 9.1 A living room of a dwelling incorporates a window with an external outlook towards the street frontage or private open space.												
PO 9.2 Bedrooms are separated or shielded from active communal recreation areas, common access areas and vehicle parking areas and access ways to mitigate noise and artificial light intrusion.	DTS/DPF 9.2 None are applicable.												
Private Open Space													
PO 10.1 Dwellings are provided with suitable sized areas of usable private open space to meet the needs of occupants.	<p>DTS/DPF 10.1 Private open space is provided in accordance with the following table:</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr style="background-color: #2c3e50; color: white;"> <th style="padding: 5px;">Dwelling Type</th> <th style="padding: 5px;">Dwelling / Site Configuration</th> <th style="padding: 5px;">Minimum Rate</th> </tr> </thead> <tbody> <tr> <td style="padding: 5px; vertical-align: top;">Dwelling (at ground level)</td> <td style="padding: 5px;"></td> <td style="padding: 5px; vertical-align: top;">Total area: 24m² located behind the building line Minimum adjacent to a living room: 16m² with a minimum dimension 3m</td> </tr> <tr> <td style="padding: 5px; vertical-align: top;">Dwelling (above ground level)</td> <td style="padding: 5px; vertical-align: top;">Studio</td> <td style="padding: 5px; vertical-align: top;">4m² / minimum dimension 1.8m</td> </tr> <tr> <td style="padding: 5px;"></td> <td style="padding: 5px; vertical-align: top;">One bedroom dwelling</td> <td style="padding: 5px; vertical-align: top;">8m² / minimum dimension 2.1m</td> </tr> </tbody> </table>	Dwelling Type	Dwelling / Site Configuration	Minimum Rate	Dwelling (at ground level)		Total area: 24m ² located behind the building line Minimum adjacent to a living room: 16m ² with a minimum dimension 3m	Dwelling (above ground level)	Studio	4m ² / minimum dimension 1.8m		One bedroom dwelling	8m ² / minimum dimension 2.1m
Dwelling Type	Dwelling / Site Configuration	Minimum Rate											
Dwelling (at ground level)		Total area: 24m ² located behind the building line Minimum adjacent to a living room: 16m ² with a minimum dimension 3m											
Dwelling (above ground level)	Studio	4m ² / minimum dimension 1.8m											
	One bedroom dwelling	8m ² / minimum dimension 2.1m											

		Two bedroom dwelling	11 m ² / minimum dimension 2.4m
		Three + bedroom dwelling	15 m ² / minimum dimension 2.6m
PO 10.2 Private open space positioned to provide convenient access from internal living areas.	DTS/DPF 10.2 At least 50% of the required area of private open space is accessible from a habitable room.		
PO 10.3 Private open space is positioned and designed to: (a) provide useable outdoor space that suits the needs of occupants; (b) take advantage of desirable orientation and vistas; and (c) adequately define public and private space.	DTS/DPF 10.3 None are applicable.		
Visual privacy			
PO 11.1 Development mitigates direct overlooking from upper level windows to habitable rooms and private open spaces of adjoining residential uses.	DTS/DPF 11.1 Upper level windows facing side or rear boundaries shared with another residential allotment/site satisfy one of the following: (a) are permanently obscured to a height of 1.5m above finished floor level and are fixed or not capable of being opened more than 200mm (b) have sill heights greater than or equal to 1.5m above finished floor level (c) incorporate screening with a maximum of 25% openings, permanently fixed no more than 500mm from the window surface and sited adjacent to any part of the window less than 1.5m above the finished floor.		
PO 11.2 Development mitigates direct overlooking from upper level balconies and terraces to habitable rooms and private open space of adjoining residential uses.	DTS/DPF 11.2 One of the following is satisfied: (a) the longest side of the balcony or terrace will face a public road, public road reserve or public reserve that is at least 15m wide in all places faced by the balcony or terrace or (b) all sides of balconies or terraces on upper building levels are permanently obscured by screening with a maximum 25% transparency/openings fixed to a minimum height of: (i) 1.5m above finished floor level where the balcony is located at least 15 metres from the nearest habitable window of a dwelling on adjacent land or (ii) 1.7m above finished floor level in all other cases		
Landscaping			

<p>PO 12.1</p> <p>Soft landscaping is incorporated into development to:</p> <ul style="list-style-type: none"> (a) minimise heat absorption and reflection (b) maximise shade and shelter (c) maximise stormwater infiltration and biodiversity (d) enhance the appearance of land and streetscapes. 	<p>DTS/DPF 12.1</p> <p>Residential development incorporates pervious areas for soft landscaping with a minimum dimension of 700mm provided in accordance with (a) and (b):</p> <ul style="list-style-type: none"> (a) a total area as determined by the following table: <table border="1" data-bbox="831 376 1522 629"> <thead> <tr> <th>Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m²)</th> <th>Minimum percentage of site</th> </tr> </thead> <tbody> <tr> <td><150</td> <td>10%</td> </tr> <tr> <td><200</td> <td>15%</td> </tr> <tr> <td>200-450</td> <td>20%</td> </tr> <tr> <td>>450</td> <td>25%</td> </tr> </tbody> </table> <ul style="list-style-type: none"> (b) at least 30% of land between the road boundary and the building line. 	Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m ²)	Minimum percentage of site	<150	10%	<200	15%	200-450	20%	>450	25%
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<150	10%										
<200	15%										
200-450	20%										
>450	25%										
<p>Water Sensitive Design</p>											
<p>PO 13.1</p> <p>Residential development is designed to capture and use stormwater to:</p> <ul style="list-style-type: none"> (a) maximise efficient use of water resources (b) manage peak stormwater runoff flows and volume to ensure the carrying capacities of downstream systems are not overloaded (c) manage runoff quality to maintain, as close as practical, pre-development conditions. 	<p>DTS/DPF 13.1</p> <p>None are applicable.</p>										
<p>Car Parking</p>											
<p>PO 14.1</p> <p>On-site car parking is provided to meet the anticipated demand of residents, with less on-site parking in areas in close proximity to public transport.</p>	<p>DTS/DPF 14.1</p> <p>On-site car parking is provided at the following rates per dwelling:</p> <ul style="list-style-type: none"> (a) 2 or fewer bedrooms - 1 car parking space (b) 3 or more bedrooms - 2 car parking spaces. 										
<p>PO 14.2</p> <p>Enclosed car parking spaces are of dimensions to be functional, accessible and convenient.</p>	<p>DTS/DPF 14.2</p> <p>Residential parking spaces enclosed by fencing, walls or other obstructions with the following internal dimensions (separate from any waste storage area):</p> <ul style="list-style-type: none"> (a) single parking spaces: <ul style="list-style-type: none"> (i) a minimum length of 5.4m (ii) a minimum width of 3.0m (iii) a minimum garage door width of 2.4m (b) double parking spaces (side by side): <ul style="list-style-type: none"> (i) a minimum length of 5.4m (ii) a minimum width of 5.5m (iii) minimum garage door width of 2.4m per space. 										
<p>PO 14.3</p>	<p>DTS/DPF 14.3</p>										

<p>Uncovered car parking spaces are of dimensions to be functional, accessible and convenient.</p>	<p>Uncovered car parking spaces have:</p> <ul style="list-style-type: none"> (a) a minimum length of 5.4m (b) a minimum width of 2.4m (c) a minimum width between the centre line of the space and any fence, wall or other obstruction of 1.5m.
<p>PO 14.4 Residential flat buildings and group dwelling developments provide sufficient on-site visitor car parking to cater for anticipated demand.</p>	<p>DTS/DPF 14.4 Visitor car parking for group and residential flat buildings incorporating 4 or more dwellings is provided on-site at a minimum ratio of 0.25 car parking spaces per dwelling.</p>
<p>PO 14.5 Residential flat buildings provide dedicated areas for bicycle parking.</p>	<p>DTS/DPF 14.5 Residential flat buildings provide one bicycle parking space per dwelling.</p>
<p>Overshadowing</p>	
<p>PO 15.1 Development minimises overshadowing of the private open spaces of adjoining land by ensuring that ground level open space associated with residential buildings receive direct sunlight for a minimum of 2 hours between 9am and 3pm on 21 June.</p>	<p>DTS/DPF 15.1 None are applicable.</p>
<p>Waste</p>	
<p>PO 16.1 Provision is made for the convenient storage of waste bins in a location screened from public view.</p>	<p>DTS/DPF 16.1 A waste bin storage area is provided behind the primary building line that:</p> <ul style="list-style-type: none"> (a) has a minimum area of 2m² with a minimum dimension of 900mm (separate from any designated car parking spaces or private open space).; and (b) has a continuous unobstructed path of travel (excluding moveable objects like gates, vehicles and roller doors) with a minimum width of 800mm between the waste bin storage area and the street.
<p>PO 16.2 Residential flat buildings provide a dedicated area for the on-site storage of waste which is:</p> <ul style="list-style-type: none"> (a) easily and safely accessible for residents and for collection vehicles (b) screened from adjoining land and public roads (c) of sufficient dimensions to be able to accommodate the waste storage needs of the development considering the intensity and nature of the development and the frequency of collection. 	<p>DTS/DPF 16.2 None are applicable.</p>
<p>Vehicle Access</p>	
<p>PO 17.1 Driveways are located and designed to facilitate safe access and egress while maximising land available for street tree planting, landscaped street frontages and on-street parking.</p>	<p>DTS/DPF 17.1 None are applicable.</p>

<p>PO 17.2</p> <p>Vehicle access is safe, convenient, minimises interruption to the operation of public roads and does not interfere with street infrastructure or street trees.</p>	<p>DTS/DPF 17.2</p> <p>Vehicle access to designated car parking spaces satisfy (a) or (b):</p> <ul style="list-style-type: none"> (a) is provided via a lawfully existing or authorised access point or an access point for which consent has been granted as part of an application for the division of land (b) where newly proposed, is set back: <ul style="list-style-type: none"> (i) 0.5m or more from any street furniture, street pole, infrastructure services pit, or other stormwater or utility infrastructure unless consent is provided from the asset owner (ii) 2m or more from the base of the trunk of a street tree unless consent is provided from the tree owner for a lesser distance (iii) 6m or more from the tangent point of an intersection of 2 or more roads (iv) outside of the marked lines or infrastructure dedicating a pedestrian crossing.
<p>PO 17.3</p> <p>Driveways are designed to enable safe and convenient vehicle movements from the public road to on-site parking spaces.</p>	<p>DTS/DPF 17.3</p> <p>Driveways are designed and sited so that:</p> <ul style="list-style-type: none"> (a) the gradient from the place of access on the boundary of the allotment to the finished floor level at the front of the garage or carport is not more than 1-in-4 on average (b) they are aligned relative to the street so that there is no more than a 20 degree deviation from 90 degrees between the centreline of any dedicated car parking space to which it provides access (measured from the front of that space) and the road boundary. (c) if located so as to provide access from an alley, lane or right of way - the alley, lane or right of way is at least 6.2m wide along the boundary of the allotment / site.
<p>PO 17.4</p> <p>Driveways and access points are designed and distributed to optimise the provision of on-street parking.</p>	<p>DTS/DPF 17.4</p> <p>Where on-street parking is available abutting the site's street frontage, on-street parking is retained in accordance with the following requirements:</p> <ol style="list-style-type: none"> 1. minimum 0.33 on-street spaces per dwelling on the site (rounded up to the nearest whole number) 2. Minimum car park length of 5.4m where a vehicle can enter or exit a space directly 3. minimum car park length of 6m for an intermediate space located between two other parking spaces.
<p>PO 17.5</p> <p>Residential driveways that service more than one dwelling of a dimension to allow safe and convenient movement.</p>	<p>DTS/DPF 17.5</p> <p>Where on-street parking is available abutting the site's street frontage, on-street parking is retained in accordance with the following requirements:</p> <ul style="list-style-type: none"> (a) minimum 0.33 on-street spaces per dwelling on the site (rounded up to the nearest whole number) (b) minimum car park length of 5.4m where a vehicle can enter or exit a space directly (c) minimum carpark length of 6m for an intermediate

	space located between two other parking spaces or to an end obstruction where the parking is indented.
PO 17.6 Residential driveways that service more than one dwelling are designed to allow passenger vehicles to enter and exit the site and manoeuvre within the site in a safe and convenient manner.	DTS/DPF 17.6 Driveways providing access to more than one dwelling, or a dwelling on a battle-axe site, allow a B85 passenger vehicle to enter and exit the garages or parking spaces in no more than a three-point turn manoeuvre
PO 17.7 Dwellings are adequately separated from common driveways and manoeuvring areas.	DTS/DPF 17.7 Dwelling walls with entry doors or ground level habitable room windows are set back at least 1.5m from any driveway or area designated for the movement and manoeuvring of vehicles.
Storage	
PO 18.1 Dwellings are provided with sufficient and accessible space for storage to meet likely occupant needs.	DTS/DPF 18.1 Dwellings are provided with storage at the following rates and 50% or more of the storage volume is provided within the dwelling: (a) studio: not less than 6m ³ (b) 1 bedroom dwelling / apartment: not less than 8m ³ (c) 2 bedroom dwelling / apartment: not less than 10m ³ (d) 3+ bedroom dwelling / apartment: not less than 12m ³ .
Earthworks	
PO 19.1 Development, including any associated driveways and access tracks, minimises the need for earthworks to limit disturbance to natural topography.	DTS/DPF 19.1 The development does not involve: (a) excavation exceeding a vertical height of 1m or (b) filling exceeding a vertical height of 1m or (c) a total combined excavation and filling vertical height exceeding 2m.
Service connections and infrastructure	
PO 20.1 Dwellings are provided with appropriate service connections and infrastructure.	DTS/DPF 20.1 The site and building: (a) have the ability to be connected to a permanent potable water supply (b) have the ability to be connected to a sewerage system, or a wastewater system approved under the <i>South Australian Public Health Act 2011</i> (c) have the ability to be connected to electricity supply (d) have the ability to be connected to an adequate water supply (and pressure) for fire-fighting purposes (e) would not be contrary to the Regulations prescribed for the purposes of Section 86 of the <i>Electricity Act 1996</i> .
Site contamination	
PO 21.1 Land that is suitable for sensitive land uses to provide a safe	DTS/DPF 21.1 Development satisfies (a), (b), (c) or (d):

environment.	<ul style="list-style-type: none"> (a) does not involve a change in the use of land (b) involves a change in the use of land that does not constitute a change to a <u>more sensitive use</u> (c) involves a change in the use of land to a <u>more sensitive use</u> on land at which <u>site contamination</u> does not exist (as demonstrated in a <u>site contamination declaration form</u>) (d) involves a change in the use of land to a <u>more sensitive use</u> on land at which <u>site contamination</u> exists, or may exist (as demonstrated in a site contamination declaration form), and satisfies both of the following: <ul style="list-style-type: none"> (i) a <u>site contamination audit report</u> has been prepared under Part 10A of the <i>Environment Protection Act 1993</i> in relation to the land within the previous 5 years which states that <ul style="list-style-type: none"> A. <u>site contamination</u> does not exist (or no longer exists) at the land or B. the land is suitable for the proposed use or range of uses (without the need for any further <u>remediation</u>) or C. where <u>remediation</u> is, or remains, necessary for the proposed use (or range of uses), <u>remediation work</u> has been carried out or will be carried out (and the applicant has provided a written undertaking that the remediation works will be implemented in association with the development) and (ii) no other <u>class 1 activity</u> or <u>class 2 activity</u> has taken place at the land since the preparation of the site contamination audit report (as demonstrated in a <u>site contamination declaration form</u>).
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Infrastructure and Renewable Energy Facilities

Assessment Provisions (AP)

Desired Outcome	
DO 1	Efficient provision of infrastructure networks and services, renewable energy facilities and ancillary development in a manner that minimises hazard, is environmentally and culturally sensitive and manages adverse visual impacts on natural and rural landscapes and residential amenity.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria /
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Designated Performance Feature	
General	
PO 1.1 Development is located and designed to minimise hazard or nuisance to adjacent development and land uses.	DTS/DPF 1.1 None are applicable.
Visual Amenity	
PO 2.1 The visual impact of above-ground infrastructure networks and services (excluding high voltage transmission lines), renewable energy facilities (excluding wind farms), energy storage facilities and ancillary development is minimised from townships, scenic routes and public roads by: (a) utilising features of the natural landscape to obscure views where practicable (b) siting development below ridgelines where practicable (c) avoiding visually sensitive and significant landscapes (d) using materials and finishes with low-reflectivity and colours that complement the surroundings (e) using existing vegetation to screen buildings (f) incorporating landscaping or landscaped mounding around the perimeter of a site and between adjacent allotments accommodating or zoned to primarily accommodate sensitive receivers.	DTS/DPF 2.1 None are applicable.
PO 2.2 Pumping stations, battery storage facilities, maintenance sheds and other ancillary structures incorporate vegetation buffers to reduce adverse visual impacts on adjacent land.	DTS/DPF 2.2 None are applicable.
PO 2.3 Surfaces exposed by earthworks associated with the installation of storage facilities, pipework, penstock, substations and other ancillary plant are reinstated and revegetated to reduce adverse visual impacts on adjacent land.	DTS/DPF 2.3 None are applicable.
Rehabilitation	
PO 3.1 Progressive rehabilitation (incorporating revegetation) of disturbed areas, ahead of or upon decommissioning of areas used for renewable energy facilities and transmission corridors.	DTS/DPF 3.1 None are applicable.
Hazard Management	

<p>PO 4.1</p> <p>Infrastructure and renewable energy facilities and ancillary development located and operated to not adversely impact maritime or air transport safety, including the operation of ports, airfields and landing strips.</p>	<p>DTS/DPF 4.1</p> <p>None are applicable.</p>
<p>PO 4.2</p> <p>Facilities for energy generation, power storage and transmission are separated as far as practicable from dwellings, tourist accommodation and frequently visited public places (such as viewing platforms / lookouts) to reduce risks to public safety from fire or equipment malfunction.</p>	<p>DTS/DPF 4.2</p> <p>None are applicable.</p>
<p>PO 4.3</p> <p>Bushfire hazard risk is minimised for renewable energy facilities by providing appropriate access tracks, safety equipment and water tanks and establishing cleared areas around substations, battery storage and operations compounds.</p>	<p>DTS/DPF 4.3</p> <p>None are applicable.</p>
<p>Electricity Infrastructure and Battery Storage Facilities</p>	
<p>PO 5.1</p> <p>Electricity infrastructure is located to minimise visual impacts through techniques including:</p> <ul style="list-style-type: none"> (a) siting utilities and services: <ul style="list-style-type: none"> (i) on areas already cleared of native vegetation (ii) where there is minimal interference or disturbance to existing native vegetation or biodiversity (b) grouping utility buildings and structures with non-residential development, where practicable. 	<p>DTS/DPF 5.1</p> <p>None are applicable.</p>
<p>PO 5.2</p> <p>Electricity supply (excluding transmission lines) serving new development in urban areas and townships installed underground, excluding lines having a capacity exceeding or equal to 33kV.</p>	<p>DTS/DPF 5.2</p> <p>None are applicable.</p>
<p>PO 5.3</p> <p>Battery storage facilities are co-located with substation infrastructure where practicable to minimise the development footprint and reduce environmental impacts.</p>	<p>DTS/DPF 5.3</p> <p>None are applicable.</p>
<p>Telecommunication Facilities</p>	
<p>PO 6.1</p> <p>The proliferation of telecommunications facilities in the form of towers/monopoles in any one locality is</p>	<p>DTS/DPF 6.1</p> <p>None are applicable.</p>

<p>managed, where technically feasible, by co-locating a facility with other communications facilities to mitigate impacts from clutter on visual amenity.</p>	
<p>PO 6.2 Telecommunications antennae are located as close as practicable to support structures to manage overall bulk and mitigate impacts on visual amenity.</p>	<p>DTS/DPF 6.2 None are applicable.</p>
<p>PO 6.3 Telecommunications facilities, particularly towers/monopoles, are located and sized to mitigate visual impacts by the following methods:</p> <p>(a) where technically feasible, incorporating the facility within an existing structure that may serve another purpose</p> <p>or all of the following:</p> <p>(b) using existing buildings and landscape features to obscure or interrupt views of a facility from nearby public roads, residential areas and places of high public amenity to the extent practical without unduly hindering the effective provision of telecommunications services</p> <p>(c) using materials and finishes that complement the environment</p> <p>(d) screening using landscaping and vegetation, particularly for equipment shelters and huts.</p>	<p>DTS/DPF 6.3 None are applicable.</p>
<p>Renewable Energy Facilities</p>	
<p>PO 7.1 Renewable energy facilities are located as close as practicable to existing transmission infrastructure to facilitate connections and minimise environmental impacts as a result of extending transmission infrastructure.</p>	<p>DTS/DPF 7.1 None are applicable.</p>
<p>Renewable Energy Facilities (Wind Farm)</p>	
<p>PO 8.1 Visual impact of wind turbine generators on the amenity of residential and tourist development is reduced through appropriate separation.</p>	<p>DTS/DPF 8.1 Wind turbine generators are:</p> <p>(a) set back at least 2000m from the base of a turbine to any of the following zones:</p> <ul style="list-style-type: none"> (i) Rural Settlement Zone (ii) Township Zone (iii) Rural Living Zone (iv) Rural Neighbourhood Zone <p>with an additional 10m setback per additional metre over 150m overall turbine height (measured from the base of the turbine).</p> <p>(b) set back at least 1500m from the base of the turbine to non-associated (non-stakeholder) dwellings and tourist accommodation</p>

<p>PO 8.2</p> <p>The visual impact of wind turbine generators on natural landscapes is managed by:</p> <ul style="list-style-type: none"> (a) designing wind turbine generators to be uniform in colour, size and shape (b) coordinating blade rotation and direction (c) mounting wind turbine generators on tubular towers as opposed to lattice towers. 	<p>DTS/DPF 8.2</p> <p>None are applicable.</p>														
<p>PO 8.3</p> <p>Wind turbine generators and ancillary development minimise potential for bird and bat strike.</p>	<p>DTS/DPF 8.3</p> <p>None are applicable.</p>														
<p>PO 8.4</p> <p>Wind turbine generators incorporate recognition systems or physical markers to minimise the risk to aircraft operations.</p>	<p>DTS/DPF 8.4</p> <p>No Commonwealth air safety (CASA / ASA) or Defence requirement is applicable.</p>														
<p>PO 8.5</p> <p>Meteorological masts and guidewires are identifiable to aircraft through the use of colour bands, marker balls, high visibility sleeves or flashing strobes.</p>	<p>DTS/DPF 8.5</p> <p>None are applicable.</p>														
<p>Renewable Energy Facilities (Solar Power)</p>															
<p>PO 9.1</p> <p>Ground mounted solar power facilities generating 5MW or more are not located on land requiring the clearance of areas of intact native vegetation or on land of high environmental, scenic or cultural value.</p>	<p>DTS/DPF 9.1</p> <p>None are applicable.</p>														
<p>PO 9.2</p> <p>Ground mounted solar power facilities allow for movement of wildlife by:</p> <ul style="list-style-type: none"> (a) incorporating wildlife corridors and habitat refuges (b) avoiding the use of extensive security or perimeter fencing or incorporating fencing that enables the passage of small animals without unreasonably compromising the security of the facility. 	<p>DTS/DPF 9.2</p> <p>None are applicable.</p>														
<p>PO 9.3</p> <p>Amenity impacts of solar power facilities are minimised through separation from conservation areas and sensitive receivers in other ownership.</p>	<p>DTS/DPF 9.3</p> <p>Ground mounted solar power facilities are set back from land boundaries, conservation areas and relevant zones in accordance with the following criteria:</p> <table border="1" data-bbox="730 1899 1522 2128"> <thead> <tr> <th data-bbox="730 1899 901 2128">Generation Capacity</th> <th data-bbox="901 1899 1056 2128">Approximate size of array</th> <th data-bbox="1056 1899 1177 2128">Setback from adjoining land boundary</th> <th data-bbox="1177 1899 1332 2128">Setback from conservation areas</th> <th data-bbox="1332 1899 1522 2128">Setback from Township, Rural Settlement, Rural Neighbourhood</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>					Generation Capacity	Approximate size of array	Setback from adjoining land boundary	Setback from conservation areas	Setback from Township, Rural Settlement, Rural Neighbourhood					
Generation Capacity	Approximate size of array	Setback from adjoining land boundary	Setback from conservation areas	Setback from Township, Rural Settlement, Rural Neighbourhood											

					and Rural Living Zones¹
	50MW>	80ha+	30m	500m	2km
	10MW<50MW	16ha<80ha	25m	500m	1.5km
	5MW<10MW	8ha to <16ha	20m	500m	1km
	1MW<5MW	1.6ha to <8ha	15m	500m	500m
	100kW<1MW	0.5ha<1.6ha	10m	500m	100m
	<100kW	<0.5ha	5m	500m	25m
	<p>Notes:</p> <p>1. Does not apply when the site of the proposed ground mounted solar power facility is located within one of these zones.</p>				
PO 9.4	<p>Ground mounted solar power facilities incorporate landscaping within setbacks from adjacent road frontages and boundaries of adjacent allotments accommodating non-host dwellings, where balanced with infrastructure access and bushfire safety considerations.</p>				
	<p>DTS/DPF 9.4</p> <p>None are applicable.</p>				
Hydropower / Pumped Hydropower Facilities					
PO 10.1	<p>Hydropower / pumped hydropower facility storage is designed and operated to minimise the risk of storage dam failure.</p>				
	<p>DTS/DPF 10.1</p> <p>None are applicable.</p>				
PO 10.2	<p>Hydropower / pumped hydropower facility storage is designed and operated to minimise water loss through increased evaporation or system leakage, with the incorporation of appropriate liners, dam covers, operational measures or detection systems.</p>				
	<p>DTS/DPF 10.2</p> <p>None are applicable.</p>				
PO 10.3	<p>Hydropower / pumped hydropower facilities on existing or former mine sites minimise environmental impacts from site contamination, including from mine operations or water sources subject to such processes, now or in the future.</p>				
	<p>DTS/DPF 10.3</p> <p>None are applicable.</p>				
Water Supply					
PO 11.1	<p>DTS/DPF 11.1</p>				

<p>Development is connected to an appropriate water supply to meet the ongoing requirements of the intended use.</p>	<p>Development is connected, or will be connected, to a reticulated water scheme or mains water supply with the capacity to meet the on-going requirements of the development.</p>
<p>PO 11.2</p> <p>Dwellings are connected to a reticulated water scheme or mains water supply with the capacity to meet the requirements of the intended use. Where this is not available an appropriate rainwater tank or storage system for domestic use is provided.</p>	<p>DTS/DPF 11.2</p> <p>A dwelling is connected, or will be connected, to a reticulated water scheme or mains water supply with the capacity to meet the requirements of the development. Where this is not available it is serviced by a rainwater tank or tanks capable of holding at least 50,000 litres of water which is:</p> <ul style="list-style-type: none"> (a) exclusively for domestic use (b) connected to the roof drainage system of the dwelling.
<p>Wastewater Services</p>	
<p>PO 12.1</p> <p>Development is connected to an approved common wastewater disposal service with the capacity to meet the requirements of the intended use. Where this is not available an appropriate on-site service is provided to meet the ongoing requirements of the intended use in accordance with the following:</p> <ul style="list-style-type: none"> (a) it is wholly located and contained within the allotment of the development it will service (b) in areas where there is a high risk of contamination of surface, ground, or marine water resources from on-site disposal of liquid wastes, disposal systems are included to minimise the risk of pollution to those water resources (c) septic tank effluent drainage fields and other wastewater disposal areas are located away from watercourses and flood prone, sloping, saline or poorly drained land to minimise environmental harm. 	<p>DTS/DPF 12.1</p> <p>Development is connected, or will be connected, to an approved common wastewater disposal service with the capacity to meet the requirements of the development. Where this is not available it is instead capable of being serviced by an on-site waste water treatment system in accordance with the following:</p> <ul style="list-style-type: none"> (a) the system is wholly located and contained within the allotment of development it will service; and (b) the system will comply with the requirements of the South Australian Public Health Act 2011.
<p>PO 12.2</p> <p>Effluent drainage fields and other wastewater disposal areas are maintained to ensure the effective operation of waste systems and minimise risks to human health and the environment.</p>	<p>DTS/DPF 12.2</p> <p>Development is not built on, or encroaches within, an area that is, or will be, required for a sewerage system or waste control system.</p>
<p>Temporary Facilities</p>	
<p>PO 13.1</p> <p>In rural and remote locations, development that is likely to generate significant waste material during construction, including packaging waste, makes provision for a temporary on-site waste storage enclosure to minimise the incidence of wind-blown litter.</p>	<p>DTS/DPF 13.1</p> <p>A waste collection and disposal service is used to dispose of the volume of waste at the rate it is generated.</p>
<p>PO 13.2</p> <p>Temporary facilities to support the establishment of renewable energy facilities (including borrow pits, concrete batching plants, laydown, storage, access roads and worker amenity areas) are sited and</p>	<p>DTS/DPF 13.2</p> <p>None are applicable.</p>

operated to minimise environmental impact.	
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Intensive Animal Husbandry and Dairies

Assessment Provisions (AP)

Desired Outcome

DO 1	Development of intensive animal husbandry and dairies in locations that are protected from encroachment by sensitive receivers and in a manner that minimises their adverse effects on amenity and the environment.
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Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Siting and Design	
PO 1.1 Intensive animal husbandry, dairies and associated activities are sited, designed, constructed and managed to not unreasonably impact on the environment or amenity of the locality.	DTS/DPF 1.1 None are applicable.
PO 1.2 Intensive animal husbandry, dairies and associated activities are sited, designed, constructed and managed to prevent the potential transmission of disease to other operations where animals are kept.	DTS/DPF 1.2 None are applicable.
PO 1.3 Intensive animal husbandry and associated activities such as wastewater lagoons and liquid/solid waste disposal areas are sited, designed, constructed and managed to not unreasonably impact on sensitive receivers in other ownership in terms of noise and air emissions.	DTS/DPF 1.3 None are applicable.
PO 1.4 Dairies and associated activities such as wastewater lagoons and liquid/solid waste disposal areas are sited, designed, constructed and managed to not unreasonably impact on sensitive receivers in other ownership in terms of noise and air emissions.	DTS/DPF 1.4 Dairies, associated wastewater lagoon(s) and liquid/solid waste storage and disposal facilities are located 500m or more from the nearest sensitive receiver in other ownership.
PO 1.5 Lagoons for the storage or treatment of milking shed effluent is adequately separated from roads to minimise impacts from	DTS/DPF 1.5 Lagoons for the storage or treatment of milking shed effluent are set back 20m or more from public roads.

odour on the general public.	
Waste	
<p>PO 2.1</p> <p>Storage of manure, used litter and other wastes (other than waste water lagoons) is sited, designed, constructed and managed to:</p> <ul style="list-style-type: none"> (a) avoid attracting and harbouring vermin (b) avoid polluting water resources (c) be located outside 1% AEP flood event areas. 	<p>DTS/DPF 2.1</p> <p>None are applicable.</p>
Soil and Water Protection	
<p>PO 3.1</p> <p>To avoid environmental harm and adverse effects on water resources, intensive animal husbandry operations are appropriately set back from:</p> <ul style="list-style-type: none"> (a) public water supply reservoirs (b) major watercourses (third order or higher stream) (c) any other watercourse, bore or well used for domestic or stock water supplies. 	<p>DTS/DPF 3.1</p> <p>Intensive animal husbandry operations are set back:</p> <ul style="list-style-type: none"> (a) 800m or more from a public water supply reservoir (b) 200m or more from a major watercourse (third order or higher stream) (c) 100m or more from any other watercourse, bore or well used for domestic or stock water supplies.
<p>PO 3.2</p> <p>Intensive animal husbandry operations and dairies incorporate appropriately designed effluent and run-off facilities that:</p> <ul style="list-style-type: none"> (a) have sufficient capacity to hold effluent and runoff from the operations on site (b) ensure effluent does not infiltrate and pollute groundwater, soil or other water resources. 	<p>DTS/DPF 3.2</p> <p>None are applicable.</p>

Interface between Land Uses

Assessment Provisions (AP)

Desired Outcome	
DO 1	Development is located and designed to mitigate adverse effects on or from neighbouring and proximate land uses.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
General Land Use Compatibility	

<p>PO 1.1</p> <p>Sensitive receivers are designed and sited to protect residents and occupants from adverse impacts generated by lawfully existing land uses (or lawfully approved land uses) and land uses desired in the zone.</p>	<p>DTS/DPF 1.1</p> <p>None are applicable.</p>								
<p>PO 1.2</p> <p>Development adjacent to a site containing a sensitive receiver (or lawfully approved sensitive receiver) or zone primarily intended to accommodate sensitive receivers is designed to minimise adverse impacts.</p>	<p>DTS/DPF 1.2</p> <p>None are applicable.</p>								
<p>Hours of Operation</p>									
<p>PO 2.1</p> <p>Non-residential development does not unreasonably impact the amenity of sensitive receivers (or lawfully approved sensitive receivers) or an adjacent zone primarily for sensitive receivers through its hours of operation having regard to:</p> <ul style="list-style-type: none"> (a) the nature of the development (b) measures to mitigate off-site impacts (c) the extent to which the development is desired in the zone (d) measures that might be taken in an adjacent zone primarily for sensitive receivers that mitigate adverse impacts without unreasonably compromising the intended use of that land. 	<p>DTS/DPF 2.1</p> <p>Development operating within the following hours:</p> <table border="1" data-bbox="829 728 1484 1590"> <thead> <tr> <th data-bbox="829 728 1093 817">Class of Development</th> <th data-bbox="1093 728 1484 817">Hours of operation</th> </tr> </thead> <tbody> <tr> <td data-bbox="829 817 1093 974">Consulting room</td> <td data-bbox="1093 817 1484 974">7am to 9pm, Monday to Friday 8am to 5pm, Saturday</td> </tr> <tr> <td data-bbox="829 974 1093 1131">Office</td> <td data-bbox="1093 974 1484 1131">7am to 9pm, Monday to Friday 8am to 5pm, Saturday</td> </tr> <tr> <td data-bbox="829 1131 1093 1590"> Shop, other than any one or combination of the following: <ul style="list-style-type: none"> (a) restaurant (b) cellar door in the Productive Rural Landscape Zone, Rural Zone or Rural Horticulture Zone </td> <td data-bbox="1093 1131 1484 1590">7am to 9pm, Monday to Friday 8am to 5pm, Saturday and Sunday</td> </tr> </tbody> </table>	Class of Development	Hours of operation	Consulting room	7am to 9pm, Monday to Friday 8am to 5pm, Saturday	Office	7am to 9pm, Monday to Friday 8am to 5pm, Saturday	Shop, other than any one or combination of the following: <ul style="list-style-type: none"> (a) restaurant (b) cellar door in the Productive Rural Landscape Zone, Rural Zone or Rural Horticulture Zone 	7am to 9pm, Monday to Friday 8am to 5pm, Saturday and Sunday
Class of Development	Hours of operation								
Consulting room	7am to 9pm, Monday to Friday 8am to 5pm, Saturday								
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Shop, other than any one or combination of the following: <ul style="list-style-type: none"> (a) restaurant (b) cellar door in the Productive Rural Landscape Zone, Rural Zone or Rural Horticulture Zone 	7am to 9pm, Monday to Friday 8am to 5pm, Saturday and Sunday								
<p>Overshadowing</p>									
<p>PO 3.1</p> <p>Overshadowing of habitable room windows of adjacent residential land uses in:</p> <ul style="list-style-type: none"> a. a neighbourhood-type zone is minimised to maintain access to direct winter sunlight b. other zones is managed to enable access to direct winter sunlight. 	<p>DTS/DPF 3.1</p> <p>North-facing windows of habitable rooms of adjacent residential land uses in a neighbourhood-type zone receive at least 3 hours of direct sunlight between 9.00am and 3.00pm on 21 June.</p>								
<p>PO 3.2</p> <p>Overshadowing of the primary area of private open space or communal open space of adjacent residential land uses in:</p>	<p>DTS/DPF 3.2</p> <p>Development maintains 2 hours of direct sunlight between 9.00 am and 3.00 pm on 21 June to adjacent residential land uses in a</p>								

<p>a. a neighbourhood type zone is minimised to maintain access to direct winter sunlight</p> <p>b. other zones is managed to enable access to direct winter sunlight.</p>	<p>neighbourhood-type zone in accordance with the following:</p> <p>a. for ground level private open space, the smaller of the following:</p> <p>i. half the existing ground level open space</p> <p>or</p> <p>ii. 35m² of the existing ground level open space (with at least one of the area's dimensions measuring 2.5m)</p> <p>b. for ground level communal open space, at least half of the existing ground level open space.</p>
<p>PO 3.3</p> <p>Development does not unduly reduce the generating capacity of adjacent rooftop solar energy facilities taking into account:</p> <p>(a) the form of development contemplated in the zone</p> <p>(b) the orientation of the solar energy facilities</p> <p>(c) the extent to which the solar energy facilities are already overshadowed.</p>	<p>DTS/DPF 3.3</p> <p>None are applicable.</p>
<p>PO 3.4</p> <p>Development that incorporates moving parts, including windmills and wind farms, are located and operated to not cause unreasonable nuisance to nearby dwellings and tourist accommodation caused by shadow flicker.</p>	<p>DTS/DPF 3.4</p> <p>None are applicable.</p>
<p>Activities Generating Noise or Vibration</p>	
<p>PO 4.1</p> <p>Development that emits noise (other than music) does not unreasonably impact the amenity of sensitive receivers (or lawfully approved sensitive receivers).</p>	<p>DTS/DPF 4.1</p> <p>Noise that affects sensitive receivers achieves the relevant Environment Protection (Noise) Policy criteria.</p>
<p>PO 4.2</p> <p>Areas for the on-site manoeuvring of service and delivery vehicles, plant and equipment, outdoor work spaces (and the like) are designed and sited to not unreasonably impact the amenity of adjacent sensitive receivers (or lawfully approved sensitive receivers) and zones primarily intended to accommodate sensitive receivers due to noise and vibration by adopting techniques including:</p> <p>(a) locating openings of buildings and associated services away from the interface with the adjacent sensitive receivers and zones primarily intended to accommodate sensitive receivers</p> <p>(b) when sited outdoors, locating such areas as far as practicable from adjacent sensitive receivers and zones primarily intended to accommodate sensitive receivers</p> <p>(c) housing plant and equipment within an enclosed structure or acoustic enclosure</p> <p>(d) providing a suitable acoustic barrier between the plant and / or equipment and the adjacent sensitive receiver boundary or zone.</p>	<p>DTS/DPF 4.2</p> <p>None are applicable.</p>
<p>PO 4.3</p>	<p>DTS/DPF 4.3</p>

<p>Fixed plant and equipment in the form of pumps and/or filtration systems for a swimming pool or spa are positioned and/or housed to not cause unreasonable noise nuisance to adjacent sensitive receivers (or lawfully approved sensitive receivers).</p>	<p>The pump and/or filtration system ancillary to a dwelling erected on the same site is:</p> <ul style="list-style-type: none"> (a) enclosed in a solid acoustic structure located at least 5m from the nearest habitable room located on an adjoining allotment or (b) located at least 12m from the nearest habitable room located on an adjoining allotment. 				
<p>PO 4.4</p> <p>External noise into bedrooms is minimised by separating or shielding these rooms from service equipment areas and fixed noise sources located on the same or an adjoining allotment.</p>	<p>DTS/DPF 4.4</p> <p>Adjacent land is used for residential purposes.</p>				
<p>PO 4.5</p> <p>Outdoor areas associated with licensed premises (such as beer gardens or dining areas) are designed and/or sited to not cause unreasonable noise impact on existing adjacent sensitive receivers (or lawfully approved sensitive receivers).</p>	<p>DTS/DPF 4.5</p> <p>None are applicable.</p>				
<p>PO 4.6</p> <p>Development incorporating music achieves suitable acoustic amenity when measured at the boundary of an adjacent sensitive receiver (or lawfully approved sensitive receiver) or zone primarily intended to accommodate sensitive receivers.</p>	<p>DTS/DPF 4.6</p> <p>Development incorporating music includes noise attenuation measures that will achieve the following noise levels:</p> <table border="1" data-bbox="831 1016 1485 1332"> <thead> <tr> <th data-bbox="831 1016 1098 1104">Assessment location</th> <th data-bbox="1102 1016 1485 1104">Music noise level</th> </tr> </thead> <tbody> <tr> <td data-bbox="831 1111 1098 1332">Externally at the nearest existing or envisaged noise sensitive location</td> <td data-bbox="1102 1111 1485 1332">Less than 8dB above the level of background noise ($L_{90,15min}$) in any octave band of the sound spectrum ($LOCT_{10,15} < LOCT_{90,15} + 8dB$)</td> </tr> </tbody> </table>	Assessment location	Music noise level	Externally at the nearest existing or envisaged noise sensitive location	Less than 8dB above the level of background noise ($L_{90,15min}$) in any octave band of the sound spectrum ($LOCT_{10,15} < LOCT_{90,15} + 8dB$)
Assessment location	Music noise level				
Externally at the nearest existing or envisaged noise sensitive location	Less than 8dB above the level of background noise ($L_{90,15min}$) in any octave band of the sound spectrum ($LOCT_{10,15} < LOCT_{90,15} + 8dB$)				
<p>Air Quality</p>					
<p>PO 5.1</p> <p>Development with the potential to emit harmful or nuisance-generating air pollution incorporates air pollution control measures to prevent harm to human health or unreasonably impact the amenity of sensitive receivers (or lawfully approved sensitive receivers) within the locality and zones primarily intended to accommodate sensitive receivers.</p>	<p>DTS/DPF 5.1</p> <p>None are applicable.</p>				
<p>PO 5.2</p> <p>Development that includes chimneys or exhaust flues (including cafes, restaurants and fast food outlets) is designed to minimise nuisance or adverse health impacts to sensitive receivers (or lawfully approved sensitive receivers) by:</p> <ul style="list-style-type: none"> (a) incorporating appropriate treatment technology before exhaust emissions are released (b) locating and designing chimneys or exhaust flues to maximise the dispersion of exhaust emissions, taking into account the location of sensitive receivers. 	<p>DTS/DPF 5.2</p> <p>None are applicable.</p>				

Light Spill	
<p>PO 6.1</p> <p>External lighting is positioned and designed to not cause unreasonable light spill impact on adjacent sensitive receivers (or lawfully approved sensitive receivers).</p>	<p>DTS/DPF 6.1</p> <p>None are applicable.</p>
<p>PO 6.2</p> <p>External lighting is not hazardous to motorists and cyclists.</p>	<p>DTS/DPF 6.2</p> <p>None are applicable.</p>
Solar Reflectivity / Glare	
<p>PO 7.1</p> <p>Development is designed and comprised of materials and finishes that do not unreasonably cause a distraction to adjacent road users and pedestrian areas or unreasonably cause heat loading and micro-climatic impacts on adjacent buildings and land uses as a result of reflective solar glare.</p>	<p>DTS/DPF 7.1</p> <p>None are applicable.</p>
Electrical Interference	
<p>PO 8.1</p> <p>Development in rural and remote areas does not unreasonably diminish or result in the loss of existing communication services due to electrical interference.</p>	<p>DTS/DPF 8.1</p> <p>The building or structure:</p> <ul style="list-style-type: none"> (a) is no greater than 10m in height, measured from existing ground level or (b) is not within a line of sight between a fixed transmitter and fixed receiver (antenna) other than where an alternative service is available via a different fixed transmitter or cable.
Interface with Rural Activities	
<p>PO 9.1</p> <p>Sensitive receivers are located and designed to mitigate impacts from lawfully existing horticultural and farming activities (or lawfully approved horticultural and farming activities), including spray drift and noise and do not prejudice the continued operation of these activities.</p>	<p>DTS/DPF 9.1</p> <p>None are applicable.</p>
<p>PO 9.2</p> <p>Sensitive receivers are located and designed to mitigate potential impacts from lawfully existing intensive animal husbandry activities and do not prejudice the continued operation of these activities.</p>	<p>DTS/DPF 9.2</p> <p>None are applicable.</p>
<p>PO 9.3</p> <p>Sensitive receivers are located and designed to mitigate potential impacts from lawfully existing land-based aquaculture activities and do not prejudice the continued operation of these activities.</p>	<p>DTS/DPF 9.3</p> <p>Sensitive receivers are located at least 200m from the boundary of a site used for land-based aquaculture and associated components in other ownership.</p>
<p>PO 9.4</p> <p>Sensitive receivers are located and designed to mitigate potential impacts from lawfully existing dairies including associated wastewater lagoons and liquid/solid waste storage</p>	<p>DTS/DPF 9.4</p> <p>Sensitive receivers are sited at least 500m from the boundary of a site used for a dairy and associated wastewater lagoon(s) and liquid/solid waste storage and disposal facilities in other</p>

and disposal facilities and do not prejudice the continued operation of these activities.	ownership.
PO 9.5 Sensitive receivers are located and designed to mitigate the potential impacts from lawfully existing facilities used for the handling, transportation and storage of bulk commodities (recognising the potential for extended hours of operation) and do not prejudice the continued operation of these activities.	DTS/DPF 9.5 Sensitive receivers are located away from the boundary of a site used for the handling, transportation and/or storage of bulk commodities in other ownership in accordance with the following: (a) 300m or more, where it involves the handling of agricultural crop products, rock, ores, minerals, petroleum products or chemicals to or from any commercial storage facility (b) 300m or more, where it involves the handling of agricultural crop products, rock, ores, minerals, petroleum products or chemicals at a wharf or wharf side facility (including sea-port grain terminals) where the handling of these materials into or from vessels does not exceed 100 tonnes per day (c) 500m or more, where it involves the storage of bulk petroleum in individual containers with a capacity up to 200 litres and a total on-site storage capacity not exceeding 1000 cubic metres (d) 500m or more, where it involves the handling of coal with a capacity up to 1 tonne per day or a storage capacity up to 50 tonnes (e) 1000m or more, where it involves the handling of coal with a capacity exceeding 1 tonne per day but not exceeding 100 tonnes per day or a storage capacity exceeding 50 tonnes but not exceeding 5000 tonnes.
PO 9.6 Setbacks and vegetation plantings along allotment boundaries should be incorporated to mitigate the potential impacts of spray drift and other impacts associated with agricultural and horticultural activities.	DTS/DPF 9.6 None are applicable.
PO 9.7 Urban development does not prejudice existing agricultural and horticultural activities through appropriate separation and design techniques.	DTS/DPF 9.7 None are applicable.
Interface with Mines and Quarries (Rural and Remote Areas)	
PO 10.1 Sensitive receivers are separated from existing mines to minimise the adverse impacts from noise, dust and vibration.	DTS/DPF 10.1 Sensitive receivers are located no closer than 500m from the boundary of a Mining Production Tenement under the <i>Mining Act 1971</i> .

Land Division

Assessment Provisions (AP)

Desired Outcome

DO 1	<p>Land division:</p> <ul style="list-style-type: none"> (a) creates allotments with the appropriate dimensions and shape for their intended use (b) allows efficient provision of new infrastructure and the optimum use of underutilised infrastructure (c) integrates and allocates adequate and suitable land for the preservation of site features of value, including significant vegetation, watercourses, water bodies and other environmental features (d) facilitates solar access through allotment orientation (e) creates a compact urban form that supports active travel, walkability and the use of public transport (f) avoids areas of high natural hazard risk.
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Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
All land division	
Allotment configuration	
PO 1.1 Land division creates allotments suitable for their intended use.	DTS/DPF 1.1 Division of land satisfies (a) or (b): <ul style="list-style-type: none"> (a) reflects the site boundaries illustrated and approved in an operative or existing development authorisation for residential development under the <i>Development Act 1993</i> or <i>Planning, Development and Infrastructure Act 2016</i> where the allotments are used or are proposed to be used solely for residential purposes (b) is proposed as part of a combined land division application with deemed-to-satisfy dwellings on the proposed allotments.
PO 1.2 Land division considers the physical characteristics of the land, preservation of environmental and cultural features of value and the prevailing context of the locality.	DTS/DPF 1.2 None are applicable.
Design and Layout	
PO 2.1 Land division results in a pattern of development that minimises the likelihood of future earthworks and retaining walls.	DTS/DPF 2.1 None are applicable.
PO 2.2 Land division enables the appropriate management of interface impacts between potentially conflicting land uses and/or zones.	DTS/DPF 2.2 None are applicable.
PO 2.3 Land division maximises the number of allotments that face public open space and public streets.	DTS/DPF 2.3 None are applicable.
PO 2.4 Land division is integrated with site features, adjacent land uses,	DTS/DPF 2.4 None are applicable.

the existing transport network and available infrastructure.	
PO 2.5 Development and infrastructure is provided and staged in a manner that supports an orderly and economic provision of land, infrastructure and services.	DTS/DPF 2.5 None are applicable.
PO 2.6 Land division results in watercourses being retained within open space and development taking place on land not subject to flooding.	DTS/DPF 2.6 None are applicable.
PO 2.7 Land division results in legible street patterns connected to the surrounding street network.	DTS/DPF 2.7 None are applicable.
PO 2.8 Land division is designed to preserve existing vegetation of value including native vegetation and regulated and significant trees.	DTS/DPF 2.8 None are applicable.
Roads and Access	
PO 3.1 Land division provides allotments with access to an all-weather public road.	DTS/DPF 3.1 None are applicable.
PO 3.2 Street patterns and intersections are designed to enable the safe and efficient movement of pedestrian, cycle and vehicular traffic.	DTS/DPF 3.2 None are applicable.
PO 3.3 Land division does not impede access to publicly owned open space and/or recreation facilities.	DTS/DPF 3.3 None are applicable.
PO 3.4 Road reserves provide for safe and convenient movement and parking of projected volumes of vehicles and allow for the efficient movement of service and emergency vehicles.	DTS/DPF 3.4 None are applicable.
PO 3.5 Road reserves are designed to accommodate pedestrian and cycling infrastructure, street tree planting, landscaping and street furniture.	DTS/DPF 3.5 None are applicable.
PO 3.6 Road reserves accommodate stormwater drainage and public utilities.	DTS/DPF 3.6 None are applicable.
PO 3.7 Road reserves provide unobstructed vehicular access and egress to and from individual allotments and sites.	DTS/DPF 3.7 None are applicable.
PO 3.8	DTS/DPF 3.8

Street patterns and intersections are designed to enable the safe and efficient movement of pedestrian, cycle and vehicular traffic.	None are applicable.
PO 3.9 Roads, open space and thoroughfares provide safe and convenient linkages to the surrounding open space and transport network.	DTS/DPF 3.9 None are applicable.
PO 3.10 Public streets are designed to enable tree planting to provide shade and enhance the amenity of streetscapes.	DTS/DPF 3.10 None are applicable.
PO 3.11 Local streets are designed to create low-speed environments that are safe for cyclists and pedestrians.	DTS/DPF 3.11 None are applicable.
Infrastructure	
PO 4.1 Land division incorporates public utility services within road reserves or dedicated easements.	DTS/DPF 4.1 None are applicable.
PO 4.2 Waste water, sewage and other effluent is capable of being disposed of from each allotment without risk to public health or the environment.	DTS/DPF 4.2 Each allotment can be connected to: (a) a waste water treatment plant that has the hydraulic volume and pollutant load treatment and disposal capacity for the maximum predicted wastewater volume generated by subsequent development of the proposed allotment or (b) a form of on-site waste water treatment and disposal that meets relevant public health and environmental standards.
PO 4.3 Septic tank effluent drainage fields and other waste water disposal areas are maintained to ensure the effective operation of waste systems and minimise risks to human health and the environment.	DTS/DPF 4.3 Development is not built on, or encroaches within, an area that is or will be, required for a sewerage system or waste control system.
PO 4.4 Constructed wetland systems, including associated detention and retention basins, are sited and designed to ensure public health and safety is protected, including by minimising potential public health risks arising from the breeding of mosquitoes.	DTS/DPF 4.4 None are applicable.
PO 4.5 Constructed wetland systems, including associated detention and retention basins, are sited and designed to allow sediments to settle prior to discharge into watercourses or the marine environment.	DTS/DPF 4.5 None are applicable.
PO 4.6	DTS/DPF 4.6

Constructed wetland systems, including associated detention and retention basins, are sited and designed to function as a landscape feature.	None are applicable.
Minor Land Division (Under 20 Allotments)	
Open Space	
PO 5.1 Land division proposing an additional allotment under 1 hectare provides or supports the provision of open space.	DTS/DPF 5.1 None are applicable.
Solar Orientation	
PO 6.1 Land division for residential purposes facilitates solar access through allotment orientation.	DTS/DPF 6.1 None are applicable.
Water Sensitive Design	
PO 7.1 Land division creating a new road or common driveway includes stormwater management systems that minimise the discharge of sediment, suspended solids, organic matter, nutrients, bacteria, litter and other contaminants to the stormwater system, watercourses or other water bodies.	DTS/DPF 7.1 None are applicable.
PO 7.2 Land division designed to mitigate peak flows and manage the rate and duration of stormwater discharges from the site to ensure that the development does not increase the peak flows in downstream systems.	DTS/DPF 7.2 None are applicable.
Battle-Axe Development	
PO 8.1 Battle-axe development appropriately responds to the existing neighbourhood context.	DTS/DPF 8.1 Allotments are not in the form of a battle-axe arrangement.
PO 8.2 Battle-axe development designed to allow safe and convenient movement.	DTS/DPF 8.2 The handle of a battle-axe development: (a) has a minimum width of 4m or (b) where more than 3 allotments are proposed, a minimum width of 5.5m.
PO 8.3 Battle-axe allotments and/or common land are of a suitable size and dimension to allow passenger vehicles to enter and exit and manoeuvre within the site in a safe and convenient manner.	DTS/DPF 8.3 Battle-axe development allows a B85 passenger vehicle to enter and exit parking spaces in no more than a three-point turn manoeuvre.
PO 8.4 Battle-axe or common driveways incorporate landscaping and permeability to improve appearance and assist in stormwater management.	DTS/DPF 8.4 Battle-axe or common driveways satisfy (a) and (b): (a) are constructed of a minimum of 50% permeable or porous material (b) where the driveway is located directly adjacent the side or rear boundary of the site, soft landscaping with a minimum dimension of 1m is provided between the

	driveway and site boundary (excluding along the perimeter of a passing point).
Major Land Division (20+ Allotments)	
Open Space	
PO 9.1 Land division allocates or retains evenly distributed, high quality areas of open space to improve residential amenity and provide urban heat amelioration.	DTS/DPF 9.1 None are applicable.
PO 9.2 Land allocated for open space is suitable for its intended active and passive recreational use considering gradient and potential for inundation.	DTS/DPF 9.2 None are applicable.
PO 9.3 Land allocated for active recreation has dimensions capable of accommodating a range of active recreational activities.	DTS/DPF 9.3 None are applicable.
Water Sensitive Design	
PO 10.1 Land division creating 20 or more residential allotments includes a stormwater management system designed to mitigate peak flows and manage the rate and duration of stormwater discharges from the site to ensure that the development does not increase the peak flows in downstream systems.	DTS/DPF 10.1 None are applicable.
PO 10.2 Land division creating 20 or more non-residential allotments includes a stormwater management system designed to mitigate peak flows and manage the rate and duration of stormwater discharges from the site to ensure that the development does not increase the peak flows in downstream systems.	DTS/DPF 10.2 None are applicable.
PO 10.3 Land division creating 20 or more allotments includes stormwater management systems that minimise the discharge of sediment, suspended solids, organic matter, nutrients, bacteria, litter and other contaminants to the stormwater system, watercourses or other water bodies.	DTS/DPF 10.3 None are applicable.
Solar Orientation	
PO 11.1 Land division creating 20 or more allotments for residential purposes facilitates solar access through allotment orientation and allotment dimensions.	DTS/DPF 11.1 None are applicable.

Marinas and On-Water Structures

Assessment Provisions (AP)

Desired Outcome	
DO 1	Marinas and on-water structures are located and designed to minimise the impairment of commercial, recreational and navigational activities and adverse impacts on the environment.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Navigation and Safety	
PO 1.1 Safe public access is provided or maintained to the waterfront, public infrastructure and recreation areas.	DTS/DPF 1.1 None are applicable.
PO 1.2 The operation of wharves is not impaired by marinas and on-water structures.	DTS/DPF 1.2 None are applicable.
PO 1.3 Navigation and access channels are not impaired by marinas and on-water structures.	DTS/DPF 1.3 None are applicable.
PO 1.4 Commercial shipping lanes are not impaired by marinas and on-water structures.	DTS/DPF 1.4 Marinas and on-water structures are set back 250m or more from commercial shipping lanes.
PO 1.5 Marinas and on-water structures are located to avoid interfering with the operation or function of a water supply pumping station.	DTS/DPF 1.5 On-water structures are set back: (a) 3km or more from upstream water supply pumping station take-off points (b) 500m or more from downstream water supply pumping station take-off points.
PO 1.6 Maintenance of on-water infrastructure, including revetment walls, is not impaired by marinas and on-water structures.	DTS/DPF 1.6 None are applicable.
Environmental Protection	
PO 2.1 Development is sited and designed to facilitate water circulation and exchange.	DTS/DPF 2.1 None are applicable.

Open Space and Recreation

Assessment Provisions (AP)

Desired Outcome	
DO 1	Pleasant, functional and accessible open space and recreation facilities are provided at State, regional, district, neighbourhood and local levels for active and passive recreation, biodiversity, community health, urban cooling, tree canopy cover, visual amenity, gathering spaces, wildlife and waterway corridors, and a range of other functions and at a range of sizes that reflect the purpose of that open space.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Land Use and Intensity	
PO 1.1 Recreation facilities are compatible with surrounding land uses and activities.	DTS/DPF 1.1 None are applicable.
PO 1.2 Open space areas include natural or landscaped areas using locally indigenous plant species and large trees.	DTS/DPF 1.2 None are applicable.
Design and Siting	
PO 2.1 Open space and recreation facilities address adjacent public roads to optimise pedestrian access and visibility.	DTS/DPF 2.1 None are applicable.
PO 2.2 Open space and recreation facilities incorporate park furniture, shaded areas and resting places.	DTS/DPF 2.2 None are applicable.
PO 2.3 Open space and recreation facilities link habitats, wildlife corridors and existing open spaces and recreation facilities.	DTS/DPF 2.3 None are applicable.
Pedestrians and Cyclists	
PO 3.1 Open space incorporates: (a) pedestrian and cycle linkages to other open spaces, centres, schools and public transport nodes;	DTS/DPF 3.1 None are applicable.

(b) safe crossing points where pedestrian routes intersect the road network;	
(c) easily identified access points.	
Usability	
PO 4.1 Land allocated for open space is suitable for its intended active and passive recreational use taking into consideration its gradient and potential for inundation.	DTS/DPF 4.1 None are applicable.
Safety and Security	
PO 5.1 Open space is overlooked by housing, commercial or other development to provide casual surveillance where possible.	DTS/DPF 5.1 None are applicable.
PO 5.2 Play equipment is located to maximise opportunities for passive surveillance.	DTS/DPF 5.2 None are applicable.
PO 5.3 Landscaping provided in open space and recreation facilities maximises opportunities for casual surveillance throughout the park.	DTS/DPF 5.3 None are applicable.
PO 5.4 Fenced parks and playgrounds have more than one entrance or exit to minimise potential entrapment.	DTS/DPF 5.4 None are applicable.
PO 5.5 Adequate lighting is provided around toilets, telephones, seating, litter bins, bicycle storage, car parks and other such facilities.	DTS/DPF 5.5 None are applicable.
PO 5.6 Pedestrian and bicycle movement after dark is focused along clearly defined, adequately lit routes with observable entries and exits.	DTS/DPF 5.6 None are applicable.
Signage	
PO 6.1 Signage is provided at entrances to and within the open space and recreation facilities to provide clear orientation to major points of interest such as the location of public toilets, telephones, safe routes, park activities and the like.	DTS/DPF 6.1 None are applicable.
Buildings and Structures	
PO 7.1 Buildings and car parking areas in open space areas are designed, located and of a scale to be unobtrusive.	DTS/DPF 7.1 None are applicable.
PO 7.2 Buildings and structures in open space areas are clustered where practical to ensure that the majority of the site remains open.	DTS/DPF 7.2 None are applicable.

PO 7.3 Development in open space is constructed to minimise the extent of impervious surfaces.	DTS/DPF 7.3 None are applicable.
PO 7.4 Development that abuts or includes a coastal reserve or Crown land used for scenic, conservation or recreational purposes is located and designed to have regard to the purpose, management and amenity of the reserve.	DTS/DPF 7.4 None are applicable.
Landscaping	
PO 8.1 Open space and recreation facilities provide for the planting and retention of large trees and vegetation.	DTS/DPF 8.1 None are applicable.
PO 8.2 Landscaping in open space and recreation facilities provides shade and windbreaks: (a) along cyclist and pedestrian routes; (b) around picnic and barbecue areas; (c) in car parking areas.	DTS/DPF 8.2 None are applicable.
PO 8.3 Landscaping in open space facilitates habitat for local fauna and facilitates biodiversity.	DTS/DPF 8.3 None are applicable.
PO 8.4 Landscaping including trees and other vegetation passively watered with local rainfall run-off, where practicable.	DTS/DPF 8.4 None are applicable.

Out of Activity Centre Development

Assessment Provisions (AP)

Desired Outcome	
DO1	The role of Activity Centres in contributing to the form and pattern of development and enabling equitable and convenient access to a range of shopping, administrative, cultural, entertainment and other facilities in a single trip is maintained and reinforced.

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
PO 1.1 Non-residential development outside Activity Centres of a scale and type that does not diminish the role of Activity Centres: (a) as primary locations for shopping, administrative, cultural, entertainment and community services (b) as a focus for regular social and business gatherings	DTS/DPF 1.1 None are applicable.

<p>(c) in contributing to or maintaining a pattern of development that supports equitable community access to services and facilities.</p>	
<p>PO 1.2 Out-of-activity centre non-residential development complements Activity Centres through the provision of services and facilities:</p> <p>(a) that support the needs of local residents and workers, particularly in underserved locations</p> <p>(b) at the edge of Activities Centres where they cannot readily be accommodated within an existing Activity Centre to expand the range of services on offer and support the role of the Activity Centre.</p>	<p>DTS/DPF 1.2 None are applicable.</p>

Resource Extraction

Assessment Provisions (AP)

<h2 style="text-align: center;">Desired Outcome</h2>	
<p>DO 1</p>	<p>Resource extraction activities are developed in a manner that minimises human and environmental impacts.</p>

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

<h2 style="text-align: center;">Performance Outcome</h2>	<h2 style="text-align: center;">Deemed-to-Satisfy Criteria / Designated Performance Feature</h2>
<p>Land Use and Intensity</p>	
<p>PO 1.1 Resource extraction activities minimise landscape damage outside of those areas unavoidably disturbed to access and exploit a resource and provide for the progressive reclamation and betterment of disturbed areas.</p>	<p>DTS/DPF 1.1 None are applicable.</p>
<p>PO 1.2 Resource extraction activities avoid damage to cultural sites or artefacts.</p>	<p>DTS/DPF 1.2 None are applicable.</p>
<p>Water Quality</p>	
<p>PO 2.1 Stormwater and/or wastewater from resource extraction activities is diverted into appropriately sized treatment and retention systems to enable reuse on site.</p>	<p>DTS/DPF 2.1 None are applicable.</p>

Separation Treatments, Buffers and Landscaping	
PO 3.1 Resource extraction activities minimise adverse impacts upon sensitive receivers through incorporation of separation distances and/or mounding/vegetation.	DTS/DPF 3.1 None are applicable.
PO 3.2 Resource extraction activities are screened from view from adjacent land by perimeter landscaping and/or mounding.	DTS/DPF 3.2 None are applicable.

Site Contamination

Assessment Provisions (AP)

Desired Outcome	
DO 1	Ensure land is suitable for the proposed use in circumstances where it is, or may have been, subject to site contamination.

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
PO 1.1 Ensure land is suitable for use when land use changes to a more sensitive use.	DTS/DPF 1.1 Development satisfies (a), (b), (c) or (d): <ul style="list-style-type: none"> (a) does not involve a change in the use of land (b) involves a change in the use of land that does not constitute a change to a more sensitive use (c) involves a change in the use of land to a more sensitive use on land at which site contamination is unlikely to exist (as demonstrated in a site contamination declaration form) (d) involves a change in the use of land to a more sensitive use on land at which site contamination exists, or may exist (as demonstrated in a site contamination declaration form), and satisfies both of the following: <ul style="list-style-type: none"> (i) a site contamination audit report has been prepared under Part 10A of the <i>Environment Protection Act 1993</i> in relation to the land within the previous 5 years which states that- <ul style="list-style-type: none"> A. site contamination does not exist (or no longer exists) at the land or B. the land is suitable for the proposed use or range of uses (without the need for any further remediation) or C. where remediation is, or remains, necessary for the proposed use (or range of uses), remediation work has

	<p>been carried out or will be carried out (and the applicant has provided a written undertaking that the remediation works will be implemented in association with the development)</p> <p>and</p> <p>(ii) no other class 1 activity or class 2 activity has taken place at the land since the preparation of the site contamination audit report (as demonstrated in a site contamination declaration form).</p>
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Tourism Development

Assessment Provisions (AP)

Desired Outcome	
DO 1	Tourism development is built in locations that cater to the needs of visitors and positively contributes to South Australia's visitor economy.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
General	
PO 1.1 Tourism development complements and contributes to local, natural, cultural or historical context where: <ul style="list-style-type: none"> (a) it supports immersive natural experiences (b) it showcases South Australia's landscapes and produce (c) its events and functions are connected to local food, wine and nature. 	DTS/DPF 1.1 None are applicable.
PO 1.2 Tourism development comprising multiple accommodation units (including any facilities and activities for use by guests and visitors) is clustered to minimise environmental and contextual impact.	DTS/DPF 1.2 None are applicable.
Caravan and Tourist Parks	
PO 2.1 Potential conflicts between long-term residents and short-term	DTS/DPF 2.1 None are applicable.

tourists are minimised through suitable siting and design measures.	
PO 2.2 Occupants are provided privacy and amenity through landscaping and fencing.	DTS/DPF 2.2 None are applicable.
PO 2.3 Communal open space and centrally located recreation facilities are provided for guests and visitors.	DTS/DPF 2.3 12.5% or more of a caravan park comprises clearly defined communal open space, landscaped areas and areas for recreation.
PO 2.4 Perimeter landscaping is used to enhance the amenity of the locality.	DTS/DPF 2.4 None are applicable.
PO 2.5 Amenity blocks (showers, toilets, laundry and kitchen facilities) are sufficient to serve the full occupancy of the development.	DTS/DPF 2.5 None are applicable.
PO 2.6 Long-term occupation does not displace tourist accommodation, particularly in important tourist destinations such as coastal and riverine locations.	DTS/DPF 2.6 None are applicable.
Tourist accommodation in areas constituted under the National Parks and Wildlife Act 1972	
PO 3.1 Tourist accommodation avoids delicate or environmentally sensitive areas such as sand dunes, cliff tops, estuaries, wetlands or substantially intact strata of native vegetation (including regenerated areas of native vegetation lost through bushfire).	DTS/DPF 3.1 None are applicable.
PO 3.2 Tourist accommodation is sited and designed in a manner that is subservient to the natural environment and where adverse impacts on natural features, landscapes, habitats and cultural assets are avoided.	DTS/DPF 3.2 None are applicable.
PO 3.3 Tourist accommodation and recreational facilities, including associated access ways and ancillary structures, are located on cleared (other than where cleared as a result of bushfire) or degraded areas or where environmental improvements can be achieved.	DTS/DPF 3.3 None are applicable.
PO 3.4 Tourist accommodation is designed to prevent conversion to private dwellings through: (a) comprising a minimum of 10 accommodation units (b) clustering separated individual accommodation units (c) being of a size unsuitable for a private dwelling	DTS/DPF 3.4 None are applicable.

<p>(d) ensuring functional areas that are generally associated with a private dwelling such as kitchens and laundries are excluded from, or physically separated from individual accommodation units, or are of a size unsuitable for a private dwelling.</p>	
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Transport, Access and Parking

Assessment Provisions (AP)

Desired Outcome	
DO 1	A comprehensive, integrated and connected transport system that is safe, sustainable, efficient, convenient and accessible to all users.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Movement Systems	
<p>PO 1.1</p> <p>Development is integrated with the existing transport system and designed to minimise its potential impact on the functional performance of the transport system.</p>	<p>DTS/DPF 1.1</p> <p>None are applicable.</p>
<p>PO 1.2</p> <p>Development is designed to discourage commercial and industrial vehicle movements through residential streets and adjacent other sensitive receivers.</p>	<p>DTS/DPF 1.2</p> <p>None are applicable.</p>
<p>PO 1.3</p> <p>Industrial, commercial and service vehicle movements, loading areas and designated parking spaces are separated from passenger vehicle car parking areas to ensure efficient and safe movement and minimise potential conflict.</p>	<p>DTS/DPF 1.3</p> <p>None are applicable.</p>
<p>PO 1.4</p> <p>Development is sited and designed so that loading, unloading and turning of all traffic avoids interrupting the operation of and queuing on public roads and pedestrian paths.</p>	<p>DTS/DPF 1.4</p> <p>All vehicle manoeuvring occurs onsite.</p>
Sightlines	
<p>PO 2.1</p> <p>Sightlines at intersections, pedestrian and cycle crossings, and</p>	<p>DTS/DPF 2.1</p> <p>None are applicable.</p>

crossovers to allotments for motorists, cyclists and pedestrians are maintained or enhanced to ensure safety for all road users and pedestrians.	
PO 2.2 Walls, fencing and landscaping adjacent to driveways and corner sites are designed to provide adequate sightlines between vehicles and pedestrians.	DTS/DPF 2.2 None are applicable.
Vehicle Access	
PO 3.1 Safe and convenient access minimises impact or interruption on the operation of public roads.	DTS/DPF 3.1 The access is: (a) provided via a lawfully existing or authorised driveway or access point or an access point for which consent has been granted as part of an application for the division of land or (b) not located within 6m of an intersection of 2 or more roads or a pedestrian activated crossing.
PO 3.2 Development incorporating vehicular access ramps ensures vehicles can enter and exit a site safely and without creating a hazard to pedestrians and other vehicular traffic.	DTS/DPF 3.2 None are applicable.
PO 3.3 Access points are sited and designed to accommodate the type and volume of traffic likely to be generated by the development or land use.	DTS/DPF 3.3 None are applicable.
PO 3.4 Access points are sited and designed to minimise any adverse impacts on neighbouring properties.	DTS/DPF 3.4 None are applicable.
PO 3.5 Access points are located so as not to interfere with street trees, existing street furniture (including directional signs, lighting, seating and weather shelters) or infrastructure services to maintain the appearance of the streetscape, preserve local amenity and minimise disruption to utility infrastructure assets.	DTS/DPF 3.5 Vehicle access to designated car parking spaces satisfy (a) or (b): (a) is provided via a lawfully existing or authorised access point or an access point for which consent has been granted as part of an application for the division of land (b) where newly proposed, is set back: (i) 0.5m or more from any street furniture, street pole, infrastructure services pit, or other stormwater or utility infrastructure unless consent is provided from the asset owner (ii) 2m or more from the base of the trunk of a street tree unless consent is provided from the tree owner for a lesser distance (iii) 6m or more from the tangent point of an intersection of 2 or more roads (iv) outside of the marked lines or infrastructure dedicating a pedestrian crossing.
PO 3.6	DTS/DPF 3.6

<p>Driveways and access points are separated and minimised in number to optimise the provision of on-street visitor parking (where on-street parking is appropriate).</p>	<p>Driveways and access points:</p> <ul style="list-style-type: none"> (a) for sites with a frontage to a public road of 20m or less, one access point no greater than 3.5m in width is provided (b) for sites with a frontage to a public road greater than 20m: <ul style="list-style-type: none"> (i) a single access point no greater than 6m in width is provided or (ii) not more than two access points with a width of 3.5m each are provided.
<p>PO 3.7</p> <p>Access points are appropriately separated from level crossings to avoid interference and ensure their safe ongoing operation.</p>	<p>DTS/DPF 3.7</p> <p>Development does not involve a new or modified access or cause an increase in traffic through an existing access that is located within the following distance from a railway crossing:</p> <ul style="list-style-type: none"> (a) 80 km/h road - 110m (b) 70 km/h road - 90m (c) 60 km/h road - 70m (d) 50km/h or less road - 50m.
<p>PO 3.8</p> <p>Driveways, access points, access tracks and parking areas are designed and constructed to allow adequate movement and manoeuvrability having regard to the types of vehicles that are reasonably anticipated.</p>	<p>DTS/DPF 3.8</p> <p>None are applicable.</p>
<p>PO 3.9</p> <p>Development is designed to ensure vehicle circulation between activity areas occurs within the site without the need to use public roads.</p>	<p>DTS/DPF 3.9</p> <p>None are applicable.</p>
<p>Access for People with Disabilities</p>	
<p>PO 4.1</p> <p>Development is sited and designed to provide safe, dignified and convenient access for people with a disability.</p>	<p>DTS/DPF 4.1</p> <p>None are applicable.</p>
<p>Vehicle Parking Rates</p>	
<p>PO 5.1</p> <p>Sufficient on-site vehicle parking and specifically marked accessible car parking places are provided to meet the needs of the development or land use having regard to factors that may support a reduced on-site rate such as:</p> <ul style="list-style-type: none"> (a) availability of on-street car parking (b) shared use of other parking areas (c) in relation to a mixed-use development, where the hours of operation of commercial activities complement the residential use of the site, the provision of vehicle parking may be shared (d) the adaptive reuse of a State or Local Heritage Place. 	<p>DTS/DPF 5.1</p> <p>Development provides a number of car parking spaces on-site at a rate no less than the amount calculated using one of the following, whichever is relevant:</p> <ul style="list-style-type: none"> (a) Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements (b) Transport, Access and Parking Table 2 - Off-Street Vehicle Parking Requirements in Designated Areas (c) if located in an area where a lawfully established carparking fund operates, the number of spaces calculated under (a) or (b) less the number of spaces offset by contribution to the fund.

Vehicle Parking Areas	
<p>PO 6.1</p> <p>Vehicle parking areas are sited and designed to minimise impact on the operation of public roads by avoiding the use of public roads when moving from one part of a parking area to another.</p>	<p>DTS/DPF 6.1</p> <p>Movement between vehicle parking areas within the site can occur without the need to use a public road.</p>
<p>PO 6.2</p> <p>Vehicle parking areas are appropriately located, designed and constructed to minimise impacts on adjacent sensitive receivers through measures such as ensuring they are attractively developed and landscaped, screen fenced, and the like.</p>	<p>DTS/DPF 6.2</p> <p>None are applicable.</p>
<p>PO 6.3</p> <p>Vehicle parking areas are designed to provide opportunity for integration and shared-use of adjacent car parking areas to reduce the total extent of vehicle parking areas and access points.</p>	<p>DTS/DPF 6.3</p> <p>None are applicable.</p>
<p>PO 6.4</p> <p>Pedestrian linkages between parking areas and the development are provided and are safe and convenient.</p>	<p>DTS/DPF 6.4</p> <p>None are applicable.</p>
<p>PO 6.5</p> <p>Vehicle parking areas that are likely to be used during non-daylight hours are provided with sufficient lighting to entry and exit points to ensure clear visibility to users.</p>	<p>DTS/DPF 6.5</p> <p>None are applicable.</p>
<p>PO 6.6</p> <p>Loading areas and designated parking spaces for service vehicles are provided within the boundary of the site.</p>	<p>DTS/DPF 6.6</p> <p>Loading areas and designated parking spaces are wholly located within the site.</p>
<p>PO 6.7</p> <p>On-site visitor parking spaces are sited and designed to be accessible to all visitors at all times.</p>	<p>DTS/DPF 6.7</p> <p>None are applicable.</p>
Undercroft and Below Ground Garaging and Parking of Vehicles	
<p>PO 7.1</p> <p>Undercroft and below ground garaging of vehicles is designed to enable safe entry and exit from the site without compromising pedestrian or cyclist safety or causing conflict with other vehicles.</p>	<p>DTS/DPF 7.1</p> <p>None are applicable.</p>
Internal Roads and Parking Areas in Residential Parks and Caravan and Tourist Parks	
<p>PO 8.1</p> <p>Internal road and vehicle parking areas are surfaced to prevent dust becoming a nuisance to park residents and occupants.</p>	<p>DTS/DPF 8.1</p> <p>None are applicable.</p>
<p>PO 8.2</p> <p>Traffic circulation and movement within the park is pedestrian friendly and promotes low speed vehicle movement.</p>	<p>DTS/DPF 8.2</p> <p>None are applicable.</p>
Bicycle Parking in Designated Areas	

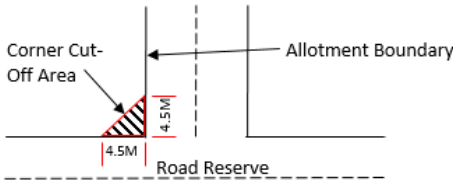
<p>PO 9.1</p> <p>The provision of adequately sized on-site bicycle parking facilities encourages cycling as an active transport mode.</p>	<p>DTS/DPF 9.1</p> <p>Areas and / or fixtures are provided for the parking and storage of bicycles at a rate not less than the amount calculated using Transport, Access and Parking Table 3 - Off Street Bicycle Parking Requirements.</p>
<p>PO 9.2</p> <p>Bicycle parking facilities provide for the secure storage and tethering of bicycles in a place where casual surveillance is possible, is well lit and signed for the safety and convenience of cyclists and deters property theft.</p>	<p>DTS/DPF 9.2</p> <p>None are applicable.</p>
<p>PO 9.3</p> <p>Non-residential development incorporates end-of-journey facilities for employees such as showers, changing facilities and secure lockers, and signage indicating the location of the facilities to encourage cycling as a mode of journey-to-work transport.</p>	<p>DTS/DPF 9.3</p> <p>None are applicable.</p>
<p>Corner Cut-Offs</p>	
<p>PO 10.1</p> <p>Development is located and designed to ensure drivers can safely turn into and out of public road junctions.</p>	<p>DTS/DPF 10.1</p> <p>Development does not involve building work, or building work is located wholly outside the land shown as Corner Cut-Off Area in the following diagram:</p> 

Table 1 - General Off-Street Car Parking Requirements

The following parking rates apply and if located in an area where a lawfully established carparking fund operates, the number of spaces is reduced by an amount equal to the number of spaces offset by contribution to the fund.

Class of Development	Car Parking Rate (unless varied by Table 2 onwards)
<p>Where a development comprises more than one development type, then the overall car parking rate will be taken to be the sum of the car parking rates for each development type.</p>	
<p>Residential Development</p>	
<p>Detached Dwelling</p>	<p>Dwelling with 1 bedroom (including rooms capable of being used as a bedroom) - 1 space per dwelling.</p> <p>Dwelling with 2 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.</p>
<p>Group Dwelling</p>	<p>Dwelling with 1 or 2 bedrooms (including rooms capable of being used as a bedroom) - 1 space per dwelling.</p>

	<p>Dwelling with 3 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.</p> <p>0.33 spaces per dwelling for visitor parking where development involves 3 or more dwellings.</p>
Residential Flat Building	<p>Dwelling with 1 or 2 bedrooms (including rooms capable of being used as a bedroom) - 1 space per dwelling.</p> <p>Dwelling with 3 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.</p> <p>0.33 spaces per dwelling for visitor parking where development involves 3 or more dwellings.</p>
Row Dwelling where vehicle access is from the primary street	<p>Dwelling with 1 bedroom (including rooms capable of being used as a bedroom) - 1 space per dwelling.</p> <p>Dwelling with 2 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.</p>
Row Dwelling where vehicle access is not from the primary street (i.e. rear-loaded)	<p>Dwelling with 1 or 2 bedrooms (including rooms capable of being used as a bedroom) - 1 space per dwelling.</p> <p>Dwelling with 3 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.</p>
Semi-Detached Dwelling	<p>Dwelling with 1 bedroom (including rooms capable of being used as a bedroom) - 1 space per dwelling.</p> <p>Dwelling with 2 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.</p>
Aged / Supported Accommodation	
Retirement village	<p>Dwelling with 1 or 2 bedrooms (including rooms capable of being used as a bedroom) - 1 space per dwelling.</p> <p>Dwelling with 3 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling.</p> <p>0.2 spaces per dwelling for visitor parking.</p>
Supported accommodation	0.3 spaces per bed.
Residential Development (Other)	
Ancillary accommodation	No additional requirements beyond those associated with the main dwelling.
Residential park	<p>Dwelling with 1 or 2 bedrooms (including rooms capable of being used as a bedroom) - 1 space per dwelling.</p> <p>Dwelling with 3 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling.</p> <p>0.2 spaces per dwelling for visitor parking.</p>
Student accommodation	0.3 spaces per bed.
Workers' accommodation	0.5 spaces per bed plus 0.2 spaces per bed for visitor parking.
Tourist	

Caravan park / tourist park	<p>Parks with 100 sites or less - a minimum of 1 space per 10 sites to be used for accommodation.</p> <p>Parks with more than 100 sites - a minimum of 1 space per 15 sites used for accommodation.</p> <p>A minimum of 1 space for every caravan (permanently fixed to the ground) or cabin.</p>
Tourist accommodation	1 car parking space per accommodation unit / guest room.
Commercial Uses	
Auction room/ depot	1 space per 100m ² of building floor area plus an additional 2 spaces.
Automotive collision repair	3 spaces per service bay.
Call centre	8 spaces per 100m ² of gross leasable floor area.
Motor repair station	3 spaces per service bay.
Office	4 spaces per 100m ² of gross leasable floor area.
Retail fuel outlet	3 spaces per 100m ² gross leasable floor area.
Service trade premises	<p>2.5 spaces per 100m² of gross leasable floor area</p> <p>1 space per 100m² of outdoor area used for display purposes.</p>
Shop (no commercial kitchen)	<p>5.5 spaces per 100m² of gross leasable floor area where not located in an integrated complex containing two or more tenancies (and which may comprise more than one building) where facilities for off-street vehicle parking, vehicle loading and unloading, and the storage and collection of refuse are shared.</p> <p>5 spaces per 100m² of gross leasable floor area where located in an integrated complex containing two or more tenancies (and which may comprise more than one building) where facilities for off-street vehicle parking, vehicle loading and unloading, and the storage and collection of refuse are shared.</p>
Shop (in the form of a bulky goods outlet)	2.5 spaces per 100m ² of gross leasable floor area.
Shop (in the form of a restaurant or involving a commercial kitchen)	<p>Premises with a dine-in service only (which may include a take-away component with no drive-through) - 0.4 spaces per seat.</p> <p>Premises with take-away service but with no seats - 12 spaces per 100m² of total floor area plus a drive-through queue capacity of ten vehicles measured from the pick-up point.</p> <p>Premises with a dine-in and drive-through take-away service - 0.3 spaces per seat plus a drive through queue capacity of 10 vehicles measured from the pick-</p>

	up point.
Community and Civic Uses	
Childcare centre	0.25 spaces per child
Library	4 spaces per 100m ² of total floor area.
Community facility	10 spaces per 100m ² of total floor area.
Hall / meeting hall	0.2 spaces per seat.
Place of worship	1 space for every 3 visitor seats.
Pre-school	1 per employee plus 0.25 per child (drop off/pick up bays)
Educational establishment	<p>For a primary school - 1.1 space per full time equivalent employee plus 0.25 spaces per student for a pickup/set down area either on-site or on the public realm within 300m of the site.</p> <p>For a secondary school - 1.1 per full time equivalent employee plus 0.1 spaces per student for a pickup/set down area either on-site or on the public realm within 300m of the site.</p> <p>For a tertiary institution - 0.4 per student based on the maximum number of students on the site at any time.</p>
Health Related Uses	
Hospital	<p>4.5 spaces per bed for a public hospital.</p> <p>1.5 spaces per bed for a private hospital.</p>
Consulting room	4 spaces per consulting room excluding ancillary facilities.
Recreational and Entertainment Uses	
Cinema complex	0.2 spaces per seat.
Concert hall / theatre	0.2 spaces per seat.
Hotel	1 space for every 2m ² of total floor area in a public bar plus 1 space for every 6m ² of total floor area available to the public in a lounge, beer garden plus 1 space per 2 gaming machines, plus 1 space per 3 seats in a restaurant.
Indoor recreation facility	<p>6.5 spaces per 100m² of total floor area for a Fitness Centre</p> <p>4.5 spaces per 100m² of total floor area for all other Indoor recreation facilities.</p>

Industry/Employment Uses	
Fuel depot	1.5 spaces per 100m ² total floor area 1 spaces per 100m ² of outdoor area used for fuel depot activity purposes.
Industry	1.5 spaces per 100m ² of total floor area.
Store	0.5 spaces per 100m ² of total floor area.
Timber yard	1.5 spaces per 100m ² of total floor area 1 space per 100m ² of outdoor area used for display purposes.
Warehouse	0.5 spaces per 100m ² total floor area.
Other Uses	
Funeral Parlour	1 space per 5 seats in the chapel plus 1 space for each vehicle operated by the parlour.
Radio or Television Station	5 spaces per 100m ² of total building floor area.

Table 2 - Off-Street Car Parking Requirements in Designated Areas

The following parking rates apply in any zone, subzone or other area described in the ‘Designated Areas’ column subject to the following:

- (a) the location of the development is unable to satisfy the requirements of Table 2 – Criteria (other than where a location is exempted from the application of those criteria)
- or
- (b) the development satisfies Table 2 – Criteria (or is exempt from those criteria) and is located in an area where a lawfully established carparking fund operates, in which case the number of spaces are reduced by an amount equal to the number of spaces offset by contribution to the fund.

Class of Development	Car Parking Rate		Designated Areas
	Minimum number of spaces	Maximum number of spaces	
	Where a development comprises more than one development type, then the overall car parking rate will be taken to be the sum of the car parking rates for each development type.		
Development generally			
All classes of development	No minimum.	No maximum except in the Primary Pedestrian Area identified in the Primary Pedestrian Area Concept Plan, where the maximum is:	Capital City Zone City Main Street Zone City Riverbank Zone

		<p>1 space for each dwelling with a total floor area less than 75 square metres</p> <p>2 spaces for each dwelling with a total floor area between 75 square metres and 150 square metres</p> <p>3 spaces for each dwelling with a total floor area greater than 150 square metres.</p> <p>Residential flat building or Residential component of a multi-storey building: 1 visitor space for each 6 dwellings.</p>	<p>Adelaide Park Lands Zone</p> <p>Business Neighbourhood Zone (within the City of Adelaide)</p> <p>The St Andrews Hospital Precinct Subzone and Women's and Children's Hospital Precinct Subzone of the Community Facilities Zone</p>
Non-residential development			
Non-residential development excluding tourist accommodation	3 spaces per 100m ² of gross leasable floor area.	5 spaces per 100m ² of gross leasable floor area.	<p>City Living Zone</p> <p>Urban Corridor (Boulevard) Zone</p> <p>Urban Corridor (Business) Zone</p> <p>Urban Corridor (Living) Zone</p> <p>Urban Corridor (Main Street) Zone</p> <p>Urban Neighbourhood Zone</p>
Non-residential development excluding tourist accommodation	3 spaces per 100m ² of gross leasable floor area.	6 spaces per 100m ² of gross leasable floor area.	<p>Strategic Innovation Zone</p> <p>Suburban Activity Centre Zone</p> <p>Suburban Business Zone</p> <p>Business Neighbourhood Zone</p> <p>Suburban Main Street Zone</p> <p>Urban Activity Centre Zone</p>
Tourist accommodation	1 space for every 4 bedrooms up to 100 bedrooms plus 1 space for every 5 bedrooms over 100 bedrooms	1 space per 2 bedrooms up to 100 bedrooms and 1 space per 4 bedrooms over 100 bedrooms	<p>City Living Zone</p> <p>Urban Activity Centre Zone</p> <p>Urban Corridor (Boulevard) Zone</p> <p>Urban Corridor (Business) Zone</p> <p>Urban Corridor (Living) Zone</p> <p>Urban Corridor (Main Street) Zone</p> <p>Urban Neighbourhood Zone</p>
Residential development			
Residential component	Dwelling with no separate	None specified.	City Living Zone

<p>of a multi-storey building</p>	<p>bedroom -0.25 spaces per dwelling</p> <p>1 bedroom dwelling - 0.75 spaces per dwelling</p> <p>2 bedroom dwelling - 1 space per dwelling</p> <p>3 or more bedroom dwelling - 1.25 spaces per dwelling</p> <p>0.25 spaces per dwelling for visitor parking.</p>		<p>Strategic Innovation Zone</p> <p>Urban Activity Centre Zone</p> <p>Urban Corridor (Boulevard) Zone</p> <p>Urban Corridor (Business) Zone</p> <p>Urban Corridor (Living) Zone</p> <p>Urban Corridor (Main Street) Zone</p> <p>Urban Neighbourhood Zone</p>
<p>Residential flat building</p>	<p>Dwelling with no separate bedroom -0.25 spaces per dwelling</p> <p>1 bedroom dwelling - 0.75 spaces per dwelling</p> <p>2 bedroom dwelling - 1 space per dwelling</p> <p>3 or more bedroom dwelling - 1.25 spaces per dwelling</p> <p>0.25 spaces per dwelling for visitor parking.</p>	<p>None specified.</p>	<p>City Living Zone</p> <p>Urban Activity Centre Zone</p> <p>Urban Corridor (Boulevard) Zone</p> <p>Urban Corridor (Business) Zone</p> <p>Urban Corridor (Living) Zone</p> <p>Urban Corridor (Main Street) Zone</p> <p>Urban Neighbourhood Zone</p>

Table 2 - Criteria:

The following criteria are used in conjunction with Table 2. The 'Exception' column identifies locations where the criteria do not apply and the car parking rates in Table 2 are applicable.

Criteria	Exceptions
<p>The designated area is wholly located within Metropolitan Adelaide and any part of the development site satisfies one or more of the following:</p> <p>(a) is within 200 metres of any section of road reserve along which a bus service operates as a high frequency public transit service⁽²⁾</p> <p>(b) is within 400 metres of a bus interchange⁽¹⁾</p> <p>(c) is within 400 metres of an O-Bahn interchange⁽¹⁾</p> <p>(d) is within 400 metres of a passenger rail station⁽¹⁾</p> <p>(e) is within 400 metres of a passenger tram station⁽¹⁾</p> <p>(f) is within 400 metres of the Adelaide Parklands.</p>	<p>(a) All zones in the City of Adelaide</p> <p>(b) Strategic Innovation Zone in the following locations:</p> <ul style="list-style-type: none"> (i) City of Burnside (ii) City of Marion (iii) City of Mitcham <p>(c) Urban Corridor (Boulevard) Zone</p> <p>(d) Urban Corridor (Business) Zone</p> <p>(e) Urban Corridor (Living) Zone</p> <p>(f) Urban Corridor (Main Street) Zone</p> <p>(g) Urban Neighbourhood Zone</p>

[NOTE(S): (1) Measured from an area that contains any platform(s), shelter(s) or stop(s) where people congregate for the purpose waiting to board a bus, tram or train, but does not include areas used for the parking of vehicles. (2) A high frequency public transit service is a route serviced every 15 minutes between 7.30am and 6.30pm Monday to Friday and every 30 minutes at night, Saturday, Sunday and public holidays until 10pm.]

Table 3 - Off-Street Bicycle Parking Requirements

The bicycle parking rates apply within designated areas located within parts of the State identified in the Schedule to Table 3.

Class of Development	Bicycle Parking Rate Where a development comprises more than one development type, then the overall bicycle parking rate will be taken to be the sum of the bicycle parking rates for each development type.
Consulting Room	1 space per 20 employees plus 1 space per 20 consulting rooms for customers.
Educational establishment	For a secondary school - 1 space per 20 full-time time employees plus 10 percent of the total number of employee spaces for visitors. For tertiary education - 1 space per 20 employees plus 1 space per 10 full time students.
Hospital	1 space per 15 beds plus 1 space per 30 beds for visitors.
Indoor recreation facility	1 space per 4 employees plus 1 space per 200m ² of gross leasable floor area for visitors.
Licensed Premises	1 per 20 employees, plus 1 per 60 square metres total floor area, plus 1 per 40 square metres of bar floor area, plus 1 per 120 square metres lounge and beer garden floor area, plus 1 per 60 square metres dining floor area, plus 1 per 40 square metres gaming room floor area.
Office	1 space for every 200m ² of gross leasable floor area plus 2 spaces plus 1 space per 1000m ² of gross leasable floor area for visitors.
Pre-school	1 space per 20 full time employees plus 1 space per 40 full time children.
Recreation area	1 per 1500 spectator seats for employees plus 1 per 250 visitor and customers.
Residential flat building	Within the City of Adelaide 1 for every dwelling for residents with a total floor area less than 150 square metres, 2 for every dwelling for residents with a total floor area greater than 150 square metres, plus 1 for every 10 dwellings for visitors, and in all other cases 1 space for every 4 dwellings for residents plus 1 for every 10 dwellings for visitors.
Residential component of a multi-storey building	Within the City of Adelaide 1 for every dwelling for residents with a total floor area less than 150 square metres, 2 for every dwelling for residents with a total floor area greater than 150 square metres, plus 1 for every 10 dwellings for visitors, and in all other cases 1 space for every 4 dwellings for residents plus 1 space for every 10 dwellings for visitors.
Shop	1 space for every 300m ² of gross leasable floor area plus 1 space for every 600m ² of gross leasable floor area for customers.

Tourist accommodation	1 space for every 20 employees plus 2 for the first 40 rooms and 1 for every additional 40 rooms for visitors.
Schedule to Table 3	
Designated Area	Relevant part of the State
	The bicycle parking rate applies to a designated area located in a relevant part of the State described below.
All zones	City of Adelaide
Business Neighbourhood Zone	Metropolitan Adelaide
Strategic Innovation Zone	
Suburban Activity Centre Zone	
Suburban Business Zone	
Suburban Main Street Zone	
Urban Activity Centre Zone	
Urban Corridor (Boulevard) Zone	
Urban Corridor (Business) Zone	
Urban Corridor (Living) Zone	
Urban Corridor (Main Street) Zone	
Urban Neighbourhood Zone	

Waste Treatment and Management Facilities

Assessment Provisions (AP)

Desired Outcome	
DO 1	Mitigation of the potential environmental and amenity impacts of waste treatment and management facilities.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
	Siting

<p>PO 1.1</p> <p>Waste treatment and management facilities incorporate separation distances and attenuation measures within the site between waste operations areas (including all closed, operating and future cells) and sensitive receivers and sensitive environmental features to mitigate off-site impacts from noise, air and dust emissions.</p>	<p>DTS/DPF 1.1</p> <p>None are applicable.</p>
Soil and Water Protection	
<p>PO 2.1</p> <p>Soil, groundwater and surface water are protected from contamination from waste treatment and management facilities through measures such as:</p> <ul style="list-style-type: none"> (a) containing potential groundwater and surface water contaminants within waste operations areas (b) diverting clean stormwater away from waste operations areas and potentially contaminated areas (c) providing a leachate barrier between waste operations areas and underlying soil and groundwater. 	<p>DTS/DPF 2.1</p> <p>None are applicable.</p>
<p>PO 2.2</p> <p>Wastewater lagoons are set back from watercourses to minimise environmental harm and adverse effects on water resources.</p>	<p>DTS/DPF 2.2</p> <p>Wastewater lagoons are set back 50m or more from watercourse banks.</p>
<p>PO 2.3</p> <p>Wastewater lagoons are designed and sited to:</p> <ul style="list-style-type: none"> (a) avoid intersecting underground waters; (b) avoid inundation by flood waters; (c) ensure lagoon contents do not overflow; (d) include a liner designed to prevent leakage. 	<p>DTS/DPF 2.3</p> <p>None are applicable.</p>
<p>PO 2.4</p> <p>Waste operations areas of landfills and organic waste processing facilities are set back from watercourses to minimise adverse impacts on water resources.</p>	<p>DTS/DPF 2.4</p> <p>Waste operations areas are set back 100m or more from watercourse banks.</p>
Amenity	
<p>PO 3.1</p> <p>Waste treatment and management facilities are screened, located and designed to minimise adverse visual impacts on amenity.</p>	<p>DTS/DPF 3.1</p> <p>None are applicable.</p>
<p>PO 3.2</p> <p>Access routes to waste treatment and management facilities via residential streets is avoided.</p>	<p>DTS/DPF 3.2</p> <p>None are applicable.</p>
<p>PO 3.3</p> <p>Litter control measures minimise the incidence of windblown litter.</p>	<p>DTS/DPF 3.3</p> <p>None are applicable.</p>

PO 3.4 Waste treatment and management facilities are designed to minimise adverse impacts on both the site and surrounding areas from weed and vermin infestation.	DTS/DPF 3.4 None are applicable.
Access	
PO 4.1 Traffic circulation movements within any waste treatment or management site are designed to enable vehicles to enter and exit the site in a forward direction.	DTS/DPF 4.1 None are applicable.
PO 4.2 Suitable access for emergency vehicles is provided to and within waste treatment or management sites.	DTS/DPF 4.2 None are applicable.
Fencing and Security	
PO 5.1 Security fencing provided around waste treatment and management facilities prevents unauthorised access to operations and potential hazard to the public.	DTS/DPF 5.1 Chain wire mesh or pre-coated painted metal fencing 2m or more in height is erected along the perimeter of the waste treatment or waste management facility site.
Landfill	
PO 6.1 Landfill gas emissions are managed in an environmentally acceptable manner.	DTS/DPF 6.1 None are applicable.
PO 6.2 Landfill facilities are separated from areas of environmental significance and land used for public recreation and enjoyment.	DTS/DPF 6.2 Landfill facilities are set back 250m or more from a public open space reserve, forest reserve, national park or Conservation Zone.
PO 6.3 Landfill facilities are located on land that is not subject to land slip.	DTS/DPF 6.3 None are applicable.
PO 6.4 Landfill facilities are separated from areas subject to flooding.	DTS/DPF 6.4 Landfill facilities are set back 500m or more from land inundated in a 1% AEP flood event.
Organic Waste Processing Facilities	
PO 7.1 Organic waste processing facilities are separated from the coast to avoid potential environment harm.	DTS/DPF 7.1 Organic waste processing facilities are set back 500m or more from the coastal high water mark.
PO 7.2 Organic waste processing facilities are located on land where the engineered liner and underlying seasonal water table cannot intersect.	DTS/DPF 7.2 None are applicable.
PO 7.3 Organic waste processing facilities are sited away from areas of environmental significance and land used for public recreation	DTS/DPF 7.3 Organic waste processing facilities are set back 250m or more from a public open space reserve, forest reserve, national park or

and enjoyment.	a Conservation Zone.
PO 7.4 Organic waste processing facilities are located on land that is not subject to land slip.	DTS/DPF 7.4 None are applicable.
PO 7.5 Organic waste processing facilities separated from areas subject to flooding.	DTS/DPF 7.5 Organic waste processing facilities are set back 500m or more from land inundated in a 1% AEP flood event.
Major Wastewater Treatment Facilities	
PO 8.1 Major wastewater treatment and disposal systems, including lagoons, are designed to minimise potential adverse odour impacts on sensitive receivers, minimise public and environmental health risks and protect water quality.	DTS/DPF 8.1 None are applicable.
PO 8.2 Artificial wetland systems for the storage of treated wastewater are designed and sited to minimise potential public health risks arising from the breeding of mosquitoes.	DTS/DPF 8.2 None are applicable.

Workers' accommodation and Settlements

Assessment Provisions (AP)

Desired Outcome	
DO 1	Appropriately designed and located accommodation for seasonal and short-term workers in rural areas that minimises environmental and social impacts.

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
PO 1.1 Workers' accommodation and settlements are obscured from scenic routes, tourist destinations and areas of conservation significance or otherwise designed to complement the surrounding landscape.	DTS/DPF 1.1 None are applicable.
PO 1.2 Workers' accommodation and settlements are sited and designed to minimise nuisance impacts on the amenity of adjacent users of land.	DTS/DPF 1.2 None are applicable.
PO 1.3	DTS/DPF 1.3

<p>Workers' accommodation and settlements are built with materials and colours that blend with the landscape.</p>	<p>None are applicable.</p>
<p>PO 1.4 Workers' accommodation and settlements are supplied with service infrastructure such as power, water and effluent disposal sufficient to satisfy the living requirements of workers.</p>	<p>DTS/DPF 1.4 None are applicable.</p>

No criteria applies to this land use. Please check the definition of the land use for further detail.