

CAP MEETING – 8 NOVEMBER 2023
ITEM 8.2

DEVELOPMENT NO.:	22015517
APPLICANT:	Wegener Constructions
ADDRESS:	61 SPRIGG RD CRAFERS SA 5152 CT 6223/726 & 6151/231
NATURE OF DEVELOPMENT:	Store associated with existing industry (spring water extraction, bottling & distribution), new opening to existing building, relocation of outbuilding (toilet block) & new parking area
ZONING INFORMATION:	<p>Zones:</p> <ul style="list-style-type: none"> • Productive Rural Landscape <p>Overlays:</p> <ul style="list-style-type: none"> • Environment and Food Production Area • Hazards (Bushfire - High Risk) • Heritage Adjacency • Hazards (Flooding - Evidence Required) • Limited Land Division • Mount Lofty Ranges Water Supply Catchment (Area 2) • Native Vegetation • Prescribed Water Resources Area • State Significant Native Vegetation • Scenic Quality • Traffic Generating Development • Water Resources
LODGEMENT DATE:	22 July 2022
RELEVANT AUTHORITY:	Assessment Panel at Adelaide Hills Council
PLANNING & DESIGN CODE VERSION:	2022.13
CATEGORY OF DEVELOPMENT:	Code Assessed - Performance Assessed
NOTIFICATION:	Yes Notification period from 6 September to 26 September 2023
RECOMMENDING OFFICER:	Marie Molinaro Statutory Planner
REFERRALS STATUTORY:	Nil
REFERRALS NON-STATUTORY:	Council Engineering Council Environmental Health

CONTENTS:

ATTACHMENT 1: Application Documents

ATTACHMENT 6: Relevant P&D Code Policies

ATTACHMENT 2: Subject Land Map

ATTACHMENT 3: Zoning Map

ATTACHMENT 4: Representations

ATTACHMENT 5: Response to Representations

CAP MEETING – 8 NOVEMBER 2023

ITEM 8.2

DETAILED DESCRIPTION OF PROPOSAL:

Construction of one (1) store building which is intended to be used for the storage of bottled/package spring water products awaiting distribution. The applicant's advice is that the additional storage building is required as bottled spring water product is now required to be held longer on-site to pass new quality and assurance testing requirements of some external customers.

Further details are as follows:

Proposed Store Building

- 21.5m x 16m = 344 square metre floor area.
- 4.2m wall height and 6m overall height.
- Colorbond 'Cottage Green' walls and roof.
- The proposed store building is on the southern side of existing industry buildings on the land.
- The proposed store building is setback 3m from the nearest existing industry building and 50m from the south-western corner of the land adjoining the Cleland Conservation Park.
- The proposed store building is not closer to the Sprigg Road boundary than existing industry buildings on the land.
- The proposed store building is not higher than existing industrial buildings on the land.
- Stormwater from the proposed building will be directed to a 20,000L water storage tank, with overflow directed to a swale drain which connects to an existing stormwater pit on Sprigg Road.

New Opening to Existing Building

- The nearest existing industry building to the north will be altered to include a new sliding door opening which will enable bottled/package spring water to be transported by forklift to the proposed store building.

Relocation of Outbuilding (Toilet Block) & New Parking Area

- The proposed store building is located on an existing benched area that has been cut into the land and was used partly as an informal parking area, and also contains a toilet block.
- As a result, a proposed replacement parking area is to be located further south of the proposed store building, separated by an existing internal access road. It is approximately 70m from the Sprigg Road boundary.
- The parking area has already been completed, so this part of the proposal is retrospective. It required the removal of some vineyard plantings.
- The parking area is 36m x 30m = 1080 square metres in area with a compacted gravel surface treatment.
- Run-off from the parking area will be directed through the grass lined vineyard to an existing stormwater pit on Sprigg Road.
- The toilet block is to be re-located adjacent to the proposed store building.
- The toilet block will be connected to the existing on-site wastewater system.

The application documents are included as **Attachment 1 – Application Documents**.

CAP MEETING – 8 NOVEMBER 2023**ITEM 8.2****BACKGROUND:**

APPROVAL DATE	APPLICATION NUMBER	DESCRIPTION OF PROPOSAL
1992	92/146/330	Industry – building extension
29 February 1996	94/142/330	Addition to shed (industry)
12 December 1996	96/231/330	Variation to development authorisations 92/146/330 & 92/231/330 to alter the internal driveway, widen cross-over and vary landscape screening
	99/673/473	WTHDRAWN – shed
29 March 1999	99/308/473	Demolition of existing shed
8 April 1999	99/328/473	Shed
28 May 1999	99/347/473	Variation to development authorisation 99/328/473 to alter the colour of the shed from beige to green
20 July 1999	99/656/473	Addition to shed
29 March 2000	99/121/473	Storage shed
5 July 2000	00/756/473	Consolidation of existing spring water packaging operation incorporating joinder of two existing sheds to form a new 468 square metre packaging shed and Relocation of existing water storage tanks
	01/368/473	WITHDRAWN – re-located the existing sheds (excluding the office) from the lower platform to the upper platform
1 August 2003	02/958/473	The Relocation of the storage area for bottled and packaged spring water from the existing (lower site level) building to new storage buildings (upper site level), the Relocation of the loading/unloading area and six (6) carparking spaces from the lower to the upper site level and the change of use of the lower site level building from office and storage to office and farm implement shed
12 August 2005	05/596/473	Variation to condition two (2) of 473/958/02 in order to increase storage area within existing shed
23 September 2008	08/872/473	Extension to existing storage shed associated with existing water extraction operation
26 April 2013	13/195/473	Addition to existing building for storage purposes only
1 September 2014	14/D017/473	Boundary re-alignment (3 allotments into 3 allotments)
8 September 2016	16/499/473	Horticultural building
4 January 2019	18/505/473	Boundary re-alignment (2 allotments into 2 allotments)
12 July 2023	23003710	Variation to conditions 4 & 5 of development authorisation 473/958/02 to alter timing of vehicle movements & adjust hours of operation

Development authorisation 23003710 was granted Development Approval by the Council Assessment Panel (CAP) at its meeting on 12 July 2023.

CAP MEETING – 8 NOVEMBER 2023

ITEM 8.2

SUBJECT LAND & LOCALITY:

Site Description:

Location reference: 61 SPRIGG RD CRAFERS SA 5152

Title ref.: CT 6223/726 **Plan Parcel:** D120793 AL21 **Council:** ADELAIDE HILLS COUNCIL
CT 6151/231 D95188 AL1

The subject land is comprised of two irregular shaped allotments with a combined area of 8.9 hectares. The land is on the high on the high side of Sprigg Road, which is a sealed Council road.

The land contains the spring water bores, buildings for packaging and storing the spring water with associated vehicle parking and manoeuvring areas and two dwellings with associated outbuildings. The applicant/operator of the business resides in one of the dwellings on the land. The land also contains a small vineyard and dam.

Built form on the land forming part of the industry use is clustered in two groups near Sprigg Road, comprising office and storage space on a lower level and packaging and storage on an upper level. The approximate combined floor area of all industry use buildings is approximately 1877 square metres. These buildings are mostly of Colorbond construction in shades of green.

The lower and upper level buildings are separated by an area which was formerly a mature tree lined landscaping strip. There are two access points to Sprigg Road for the industry use with a circular internal driveway around the buildings.

Both groups of buildings are cut into the land and framed by native vegetation to the rear of the land.

The land contains two easements for supply purposes, which are unaffected by the proposal.

The surrounding locality contains a mix of rural residential and primary production (viticulture & grazing) uses. The Cleland Conservation Park adjoins the subject land to the west and south-west. Cleland Conservation Park is a State Heritage Place. Sprigg Road and the Cleland Conservation Park contain part of the Heysen Walking Trail.

The subject land is identified on **Attachment 2 – Subject Land Map**. The zoning is shown on the map in **Attachment 3 – Zoning Map**.

CONSENT TYPE REQUIRED:

Planning Consent

CATEGORY OF DEVELOPMENT:

- **PER ELEMENT:**

Outbuilding: Code Assessed - Performance Assessed

Other - Commercial/Industrial – Car park: Code Assessed - Performance Assessed

Store: Code Assessed - Performance Assessed

- **OVERALL APPLICATION CATEGORY:**

Code Assessed - Performance Assessed

- **REASON**

The proposal is not listed as Accepted, Deemed to Satisfy or Restricted in the Planning & Design Code, so it defaults to being a Performance Assessed type of development.

CAP MEETING – 8 NOVEMBER 2023

ITEM 8.2

PUBLIC NOTIFICATION

- **REASON**

As per Table 5 procedural matters of the Productive Rural Landscape Zone, the store element is only excluded from public notification provided both Designated Performance Feature 4.1 Designated Performance 4.3 are met. The proposal does not meet all the criteria in both Designated Performance Features so public notification was required.

- **LIST OF REPRESENTATIONS**

Three (3) valid and one (1) invalid representations were received during the public notification period. One (1) supporting and two (2) opposing representations were received. The two (2) opposing representors wish to be heard in support of their written representation.

The representor details are below:

Representor Name	Representor's Address	Wishes to be Heard	Nominated Speaker (if relevant)
Stuart Bailey	69 Sprigg Road, Crafers	No	
Phillip Brunning	27 Halifax Street, Adelaide	Yes	Phillip Brunning
Abbie Southam	26 Sprigg Road, Piccadilly	Yes	Abbie Southam

The representor Phillip Brunning is representing a group of five (5) residents in the locality.

- **SUMMARY**

The issues contained in the representations can be summarised as follows:

Supporting representation

- Consent should be granted to a long- standing producer of spring water products who supplies major supermarkets and employs local residents.

Opposing representations

- Seeking clarification as to why public notification was not undertaken as part of the assessment process of related development application 23003710.
- Alleging that the industry use is non-compliant with existing development authorisation conditions applicable to hours of operation and timing of associated truck movements.
- The proposal represents an incremental intensification of the existing land use, which exacerbates negative impacts on rural residential amenity.
- The application information is lacking to enable a full assessment of the proposal.
- The proposal is at variance with the Planning & Design Code.
- Concern that the proposed building will have a negative visual impact relative to a lack of landscape screening, removal of native vegetation and setback to the Heysen Trail.
- Concern that the proposed car-parking area and storage areas for large vehicles used in the industry use detract from the rural landscape setting of the locality.
- Concern regarding traffic volume impacts - that the industry use is generating traffic volumes not suitable for the adjoining road network and damaging the surface treatment of the surrounding road network.
- Concern regarding traffic safety - trucks used in the industry operations are too large for the adjoining road network.
- Concern regarding noise and dust impact from large trucks using the surrounding road network.

CAP MEETING – 8 NOVEMBER 2023

ITEM 8.2

- Seeking clarification regarding the setback of the industry use to non-associated dwellings and if this should be a specified 300m setback distance.

A copy of the representations is included as **Attachment 4 – Representations** and the applicant's response is provided in **Attachment 5 – Response to Representations**.

AGENCY REFERRALS

No agency referrals were required.

INTERNAL REFERRALS

- Council Engineering
Provided advice regarding stormwater management and traffic matters. Their advice is summarised in the report.
- Council Environmental Health
Advised that Relocation of the toilet block does not require separate wastewater approval.

PLANNING ASSESSMENT

Desired Outcomes

Desired outcomes are policies designed to aid the interpretation of performance outcomes by setting a general policy agenda for a zone, subzone, overlay or general development policies module. Where a relevant authority is uncertain as to whether or how a performance outcome applies to a development, the desired outcome(s) may inform its consideration of the relevance and application of a performance outcome, or assist in assessing the merits of the development against the applicable performance outcomes collectively.

Performance Outcomes

Performance outcomes are policies designed to facilitate assessment according to specified factors, including land use, site dimensions and land division, built form, character and hazard risk minimisation.

Designated Performance Features

In order to assist a relevant authority to interpret the performance outcomes, in some cases the policy includes a standard outcome which will generally meet the corresponding performance outcome (a designated performance feature or DPF). A DPF provides a guide to a relevant authority as to what is generally considered to satisfy the corresponding performance outcome but does not need to necessarily be satisfied to meet the performance outcome, and does not derogate from the discretion to determine that the outcome is met in another way, or from the need to assess development on its merits against all relevant policies.

The application has been assessed against the relevant provisions of the Planning & Design Code, which are contained in **Attachment 6 – Relevant P&D Code Policies**.

Productive Rural Landscape Zone

Desired Outcome	
DO 1	A diverse range of land uses at an appropriate scale and intensity that capitalise on the region’s proximity to the metropolitan area and the tourist and lifestyle opportunities this presents while also conserving the natural and rural character, identity, biodiversity and sensitive environmental areas and scenic qualities of the landscape.
DO 2	A zone that promotes agriculture, horticulture, value adding opportunities, farm gate businesses, the sale and consumption of agricultural based products, tourist development and accommodation that expands the economic base and promotes its regional identity.
DO 3	Create local conditions that support new and continuing investment while seeking to promote co-existence with adjoining activities and mitigate land use conflicts.
Performance Outcomes (PO) & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria	
Land Use & Intensity PO 1.1 & DTS/DPF 1.1	
Rural Industry PO 4.1 & DTS/DPF 4.1, PO 4.2, PO 4.3 & DTS/DPF 4.3	
Built Form & Character PO 11.1	

Desired Outcome 1 seeks in part for a diverse range of uses, noting that the existing and longstanding land use is a form of industry in a primarily rural residential and primary production locality. There is no change in land use resulting from the proposed store building, it is to support a change in packaged product storage requirements as driven by external customer needs. The scale of the industry operation is not changing with regard to hours of operation, staff numbers or timing or frequency of vehicle movements. Whilst as a result of the proposal the scale of the industry use is increasing with regard to the area of land occupied by built form and associated parking and manoeuvring areas, this is still considered to be at an appropriate scale with regard to the overall size of the subject land and maintenance of generous setbacks.

Desired Outcome 1 also seeks for amongst other matters the conservation of the natural and rural character and scenic qualities of the landscape. Visual amenity impact matters are discussed later in the report in the Overlays, Scenic Quality Overlays section.

Desired Outcome 3 specifically speaks to the proposal as it in part seeks the creation of conditions that support continuing investment. Desired Outcome 3 also seeks for the promotion of a co-existence with adjoining activities and the mitigation of land use conflicts. There is not anticipated to be an unreasonable impact on adjoining rural residential activities as a result of the proposed store building or the new parking area. However, land use conflict matters are discussed further in the report in the General Development Policies, Interface between Land Uses section.

The Rural Industry Performance Outcomes are discussed in full as they relate directly to the proposal.

PO 4.1

Small-scale industry (including beverage production and washing, processing, bottling and packaging activities), storage, warehousing, produce grading and packing, transport distribution or similar activities provide opportunities for diversification and value adding to locally sourced primary production activities.

CAP MEETING – 8 NOVEMBER 2023

ITEM 8.2

Performance Outcome 4.1 is viewed by Council staff as being mostly applicable to the establishment of new rural industries.

However, as per the representations, concern was raised that the proposal is at variance with part c) of corresponding Designated Performance Feature 4.1, which seeks for industries to have a total floor area not exceeding 350 square metres. The representation is of the view that this Designated Performance Feature is of particular relevance to the assessment of the proposal. However, this view is not shared by Council staff.

The combined floor area of existing industry buildings is already in excess of 350 square metres, being of an area of approximately 1877 square metres. The proposed store building represents a modest 18 per cent floor area increase.

Performance Outcome 4.2 below applies to the expansion of established industry and does not have a built form floor area guide.

PO 4.2

Expansion of established small-scale or new large-scale industry (including beverage production and washing, processing, bottling and packaging activities), storage, warehousing, produce grading and packing, transport distribution or similar activities:

- a) are commensurate with the allotment on which it is situated to mitigate adverse impacts on the amenity of land in other ownership and the character of the locality.*
- b) realise efficiencies in primary production related storage, sorting, packaging, manufacturing and the like.*
- c) primarily involve primary production commodities sourced from the same allotment and/or surrounding areas.*

Performance Outcome 4.2 is considered to be more relevant to the assessment of the proposal as it in part relates to the expansion of established industry. It is not clear why this Performance Outcome speaks to the expansion of 'small-scale' industry but also anticipates 'large-scale' new industry.

Nonetheless, the proposal is considered meet parts a) and b) of the Performance Outcome. Part c) is not relevant to the proposal as there is no change to the source location of the spring water, it is however sourced from the subject land.

With regard to part a) as noted above, the industry activity being the bottling and packaging of spring water is occurring on the same allotment as the spring water bore source. The proposal is not considered to have an adverse impact on the amenity of the land in other ownership as the new building is for storage only and maintains generous setbacks. The character of the locality viewed in land use terms is mainly rural residential and primary production (grazing and horticulture). The existing industry use is therefore somewhat of an anomaly in the locality. However, the proposal does maintain the character of the existing industry built form as it of the same material, colour scheme and height as existing buildings.

With regard to point b) and it seeking amongst other matters efficiency in storage, the new building is required as a result of bottle product needing to be stored on the land longer as a result of customer requirements.

Recommended condition two (2) re-enforces that the proposed store building is only to be used for the storage of bottled/package spring water.

PO 4.3

Industry, storage, warehousing, transport distribution or similar activities are sited, designed and of a scale that maintains rural function and character in a manner that respects landscape amenity.

CAP MEETING – 8 NOVEMBER 2023

ITEM 8.2

The siting and design of the proposed store building is considered to respect landscape amenity. The building is clustered near existing buildings, sited on an existing benched area that has been cut into the land. Further to this, the building is of a non-reflective material and finished in a green colour to complement existing industry buildings on the land.

As per the representations, vegetation has been removed from the land around the industry buildings in around 2019-2021. This matter is discussed further in the Overlays, Native Vegetation Overlay and Scenic Qualities Overlay section of the report.

The industry buildings on the land have the appearance of large agricultural buildings common to the Productive Rural Landscape Zone. The largest building on the upper level is sited lengthways on the land, which screens the smaller industry buildings behind. So, the full extent of all industry buildings on the land is not readily visible from the adjoining public road.

The new parking area is large with an area of 1080 square metres and required some excavation and removal of part of a vineyard. However, the parking area is sited in an area convenient to the industry buildings. It is finished in compacted gravel which is considered to be keeping with a rural setting and it is setback 70m from the Sprigg Road boundary with remaining vineyard in-between. The excavation for the new car-park area has been battered to blend with the slope of the land.

The issue of scale has been discussed earlier in the report. The industry use is considered to maintain a rural function as it relates to the processing of a product sourced from the land, and it does not impede upon other rural activities occurring in the locality.

Overlays

Environment and Food Production Areas Overlay

Desired Outcomes	
DO 1	Protection of valuable rural, landscape, environmental and food production areas from urban encroachment.
Performance Outcomes & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria	
PO 1.1	

This Overlay is not relevant to the proposal as PO1.1 relates to land division.

CAP MEETING – 8 NOVEMBER 2023
ITEM 8.2

Hazards (Bushfire – High Risk) Overlay

Desired Outcome	
DO 1	Development, including land division is sited and designed to minimise the threat and impact of bushfires on life and property with regard to the following risks: <ul style="list-style-type: none"> - Potential for uncontrolled bushfire events taking into account the increased frequency and intensity of bushfires as a result of climate change. - High levels and exposure to ember attack - Impact from burning debris. - Radiant heat likelihood and direct exposure to flames from a fire front.
DO 2	Activities that increase the number of people living and working in the area or where evacuation would be difficult is sited away from areas of unacceptable bushfire risk.
DO 3	To facilitate access for emergency service vehicles to aid the protection of lives and assets from bushfire danger.
Performance Outcomes (PO) & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria	
Land Use PO 1.1	
Siting PO 2.1	
Built Form PO 3.2	

The proposed store building is of Colorbond construction and sited away from native vegetation on the land, which is consistent with Performance Outcomes 1.1, 2.1 & 3.2.

Heritage Adjacency Overlay

Desired Outcome	
DO 1	Development adjacent to State and Local Heritage Places maintains the heritage and cultural values of those Places.
Performance Outcomes (PO) & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria	
Built Form PO 1.1	

The proposal is considered to meet Performance Outcome 1.1, which seeks for development adjacent to a State (or Local Heritage) Place to not dominate, encroach on or unduly impact on the setting of the Place.

The proposed store building and the new car-park area are approximately 40-50m from the boundary of the adjoining State Heritage Place, Cleland Conservation Park. The proposed store building and new car-park area are clustered with existing built form and cleared driveway and manoeuvring areas and remaining native vegetation on the subject land behind the industry use provides a visual buffer between the two sites.

CAP MEETING – 8 NOVEMBER 2023

ITEM 8.2

Further to this, the subject land is at the fringe of the Conservation Park, which spans an area of approximately 35 hectares.

Per Overlay procedural matters, development which in the opinion of the relevant authority materially affects the context within which the State Heritage Place is situated requires a referral to the Minister responsible for the administration of the Heritage Places Act 1993 (State Heritage).

In light of the above, staff formed the opinion that the proposal does not materially affect the context of the adjoining Cleland Conservation Park so a referral to State Heritage was not undertaken.

The proposal is consistent with the Heritage Adjacency Overlay provisions.

Hazards (Flooding – Evidence Required) Overlay

Desired Outcome	
DO 1	Development adopts a precautionary approach to mitigate potential impacts on people, property, infrastructure and the environment from potential flood risk through the appropriate siting and design of development.
Performance Outcomes (PO) & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria	
Flood Resilience PO 1.1 & DTS/DPF 1.1	
Environmental Protection PO 2.1 & DTS/DPF 2.1	

The subject land is on the high side of Sprigg Road and well away from mapped watercourses on the opposite side of Sprigg Road.

Limited Land Division Overlay

Desired Outcomes	
DO 1	The long term use of land for primary production is maintained by minimising fragmentation through division of land.

This Overlay is not relevant to the proposal as it is not for a land division.

CAP MEETING – 8 NOVEMBER 2023

ITEM 8.2

Mount Lofty Ranges Water Supply Catchment (Area 2) Overlay

Desired Outcomes	
DO 1	Safeguard Greater Adelaide’s public water supply by ensuring development has a neutral or beneficial effect on the quality of water harvested from secondary reservoirs or diversion weir catchments from the Mount Lofty Ranges.
Performance Outcomes & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria	
Water Quality PO 1.1, PO 1.2	
Wastewater PO 2.4 & DTS/DPF 2.4	
Stormwater PO 3.1 & DTS/DPF 3.1	
Landscapes and Natural Features PO 4.1	

Regarding stormwater management, the applicant has provided a stormwater management plan with calculations for roof run-off from the proposed store building and from surface run-off from the new parking area.

As per the management plan, run-off will be directed to existing stormwater pits on Sprigg Road. Council Engineering accept the stormwater design.

Recommended condition four (4) requires the installation of a gross pollutant trap to the new parking area.

The proposal is consistent with the Mount Lofty Ranges Water Supply Catchment (Area 2) Overlay provisions.

Native Vegetation Overlay

Desired Outcome	
DO 1	Areas of native vegetation are protected, retained and restored in order to sustain biodiversity, threatened species and vegetation communities, fauna habitat, ecosystem services, carbon storage and amenity values.
Performance Outcomes (PO) & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria	
Environmental Protection PO 1.1 & DTS/DPF 1.1, PO 1.4	

As per the representations, a mature vegetation screen was removed from between the lower and upper level group of industry buildings sometime in 2021. The area for the proposed store building appears to have been levelled and cleared of vegetation before this in around mid-2019.

Council staff approached the Native Vegetation Council about this clearance. Their advice was that the vegetation that been removed was planted, so it was not native vegetation as defined under the Native Vegetation Act (1991).

The proposed store building and new park area are well setback from the remaining native vegetation behind so as to ensure this vegetation is protected.

The proposal is consistent with the Native Vegetation Overlay provisions. However, the removal of this vegetation is discussed further in the Scenic Quality Overlay section of the report.

CAP MEETING – 8 NOVEMBER 2023

ITEM 8.2

Prescribed Water Resources Area Overlay

Desired Outcomes	
DO 1	Sustainable water use in prescribed surface water resources areas maintains the health and natural flow paths of watercourses.

This Overlay is not relevant to the proposal as the DTS/DPF criteria relate to activities that require water allocation licences from Landscape South Australia such as horticulture, forestry and new dams or alterations to existing dams.

State Significant Native Vegetation Areas Overlay

Desired Outcome	
DO 1	Protect, retain and restore significant areas of native vegetation.
Performance Outcomes (PO) & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria	
Environmental Protection PO 1.1 & DTS/DPF 1.1	

See comments above as per the Native Vegetation Overlay.

Scenic Quality Overlay

Desired Outcomes	
DO 1	Development complements natural and rural character, and areas of scenic value.
Performance Outcomes & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria	
Land Use and Intensity PO 1.1	
Built Form and Character PO 2.1	
Landscaping PO 3.1 & DTS/DPF 3.1	
Earthworks PO 4.1 & DTS/DPF4.1	

As per Performance Outcome 1.1 the existing, long standing industry use is not changing as a result of the proposal.

Performance Outcome 2.1 speaks to the design of built form and seeks for development to be carefully sited and designed to:

- a) Complement rural or natural character.
- b) Minimise disruption to natural landform.
- c) Integrate existing natural features.
- d) Minimise impacts on scenic features.
- e) Be low scale.
- f) Be visually unobtrusive and blend with the surrounding area.

CAP MEETING – 8 NOVEMBER 2023

ITEM 8.2

The proposal is considered to sufficiently meet all of parts a) – f) as follows:

- a) As discussed earlier in the report the industry use is somewhat of an anomaly in the locality. However, the industry use buildings have the appearance or character of large agricultural type buildings common in the Productive Rural Landscape Zone.
- b) The siting of the proposed store building minimises disruption to natural landform. It is located on an existing benched pad. It is acknowledged however that the resultant new parking area has required the disturbance to a large 1080 square metre area of land, requiring excavation and part removal of a vineyard.
- c) The siting of the new parking area takes advantage of an existing internal driveway.
- d) The proposal is considered to minimise impact on the adjoining Conservation Park as the proposed works are well setback from the shared boundaries.
- e) The proposed store building is considered to be low scale. It represents an 18 per cent floor area increase to the existing industry use. It is no higher than existing industry buildings.
- f) The proposed store building is considered to be visually unobtrusive as it is clustered near existing buildings, is sited lengthways facing the roadway, is of a non-reflective material in a colour that blends with existing industry buildings and is sited on a benched area that has been cut into the land.

Meeting Performance Outcome 2.1 is considered to also achieve compliance with Performance Outcome 11.1 of the Productive Rural Landscape Zone, which speaks to the desired siting and design of large buildings.

Recommended condition three (3) requires the external appearance of the proposed store building to complement existing industry buildings on the land.

Regarding landscaping and Performance Outcome 3.1, an indicative landscaping area has been shown on the site plan surrounding the new parking area. However, a recommended reserved matter seeks the provision of a detailed landscaping plan by a suitably qualified professional.

The reserved matter also seeks for replacement landscaping between the lower and upper level group of buildings.

If accepted, additional conditions can be applied to the reserved matter regarding planting timeframe and ongoing maintenance.

Performance Outcome 4.1 speaks to earthworks and seeks that excavation and filling is limited to reduce the visual prominence of buildings and make provision for water storage facilities to maintain natural landforms and landscapes.

The excavation for the new parking area is not technically consistent with this Performance Outcome.

The proposal is mostly consistent with the Scenic Quality Overlay provisions.

Traffic Generating Development Overlay

Desired Outcomes	
DO1	Safe and efficient operation of Urban Transport Routes and Major Urban Transport Routes for all road users.
DO2	Provision of safe and efficient access to and from urban transport routes and major urban transport routes.

This Overlay is not relevant to the proposal as the DTS/DPF criteria relate to large scale land division, commercial and education facility type developments.

CAP MEETING – 8 NOVEMBER 2023

ITEM 8.2

Water Resources Overlay

Desired Outcome	
DO1	Protection of the quality of surface waters considering adverse water quality impacts with projected reductions in rainfall and warmer air temperatures as a result of climate change.
DO2	Maintain the conveyance function and natural flow paths of watercourses to assist in the management of flood waters and stormwater runoff.

See comment above as per the Hazards (Flooding – Evidence Required) Overlay.

General Development Policies

Clearance from Overhead Powerlines

Desired Outcomes	
DO1	Protection of human health and safety when undertaking development in the vicinity of overhead transmission powerlines.
Performance Outcomes & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria	
PO1.1 & DTS/DPF1.1	

The applicant has signed the building safety near powerlines declaration, which complies with DPF1.1.

Design

Desired Outcome	
DO 1	Development is: a) contextual – by considering, recognising and carefully responding to its natural surroundings or built environment and positively contributes to the character of the immediate areas b) dural – fit for purpose, adaptable and long lasting. c) inclusive – by integrating landscape design to optimise pedestrian and cyclist usability, privacy and equitable access, and promoting the provision of quality spaces integrated with the public realm that can be used for access and recreation and help optimise security and safety both internally and within the public realm for occupants and visitors. d) sustainable – by integrating sustainable techniques into the design and siting of development and landscaping to improve community health, urban heat, water management, environmental performance, biodiversity and local amenity and to minimise energy consumption.

CAP MEETING – 8 NOVEMBER 2023

ITEM 8.2

Performance Outcomes (PO) & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria
External Appearance PO 1.5
Landscaping PO 3.1 & PO 3.2
On-Site Waste Treatment Systems PO6.1 & DTS/DPF6.1
Carparking Appearance PO7.2, PO 7.6, PO 7.7
Earthworks and Sloping Land PO 8.1 & DTS/DPF 8.1

The proposed new store building is considered to meet part a) of Desired Outcome 1 as it has been designed to respond to the existing built environment forming the industry use. As discussed earlier in the report, the character of the industry use buildings is similar to that of large agricultural buildings common in the Productive Rural Landscape Zone.

With regard to PO 1.1 and external appearance, there is no outdoor storage of goods associated with the proposal. Large vehicle parking mostly occurs on the northern side of the land partly behind vegetation and one of the dwellings on the land as evidenced from a review of Metromaps aerial photography. The new parking area is first evident on Metromaps in December 2021 and in most of the following photography series is mostly vacant.

Performance Outcomes 7.2, 7.6 & 7.7 relate directly to the new parking area part of the proposal and its appearance. The proposed new parking area is approximately 170m from the nearest non-associated dwelling at 26 Sprigg Road, Piccadilly. The site plan shows indicative landscaping around the parking area and the recommended reserved matter seeks a formal landscaping plan by a suitably qualified person to enhance the appearance of the parking area and the industry use buildings.

Run-off from the parking area, which is a compacted gravel finish is to be directed through the grassed vineyard below and to existing stormwater infrastructure on Sprigg Road, which is consistent with PO 7.7. As discussed earlier in the report, recommended condition five (5) also requires the installation of a gross pollutant trap to the new parking area.

The proposed store building and the new parking area do not encroach upon the on-site waste control system as sought by PO 6.1.

The proposal is consistent with the Design module provisions.

Infrastructure and Renewable Energy Facilities

Desired Outcome	
DO 1	Efficient provision of infrastructure networks and services, renewable energy facilities and ancillary development in a manner that minimises hazard, is environmentally and culturally sensitive and manages adverse visual impacts on natural and rural landscapes and residential amenity.
Performance Outcomes (PO) & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria	
Wastewater Services PO12.1 & DTS/DPF12.1, PO12.2 & DTS/DPF12.2	

CAP MEETING – 8 NOVEMBER 2023

ITEM 8.2

Regarding wastewater, Council Environmental Health advised that relocation of the toilet block does not require wastewater approval.

The proposal is consistent with the Infrastructure and Renewable Energy Facilities module provisions.

Interface between Land Uses

Desired Outcome	
DO 1	Development is located and designed to mitigate adverse effects on or from neighbouring and proximate land uses.
Performance Outcomes (PO) & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria	
General Land Use Compatibility PO 1.2	
Hours of Operation PO 2.1 & DTS/DPF 2.1	
Light Spill PO 6.1	

Desired Outcome 1 and Performance Outcome 1.2 seek for development to be designed to minimise adverse effects on neighbouring uses and sensitive receivers.

The proposed store building is for storage only, so there will be no increase in processing/packaging activity that may produce additional noise. The proposed store building only contains a single personal access door on the southern side adjoining the internal driveway, so it is considered unlikely that vehicle loading or unloading would occur directly from this building which could also potentially result in additional noise impact.

The largest opening faces north towards existing industry buildings on the land so noise from forklift movements is not directed towards the nearest non-associated dwelling at 26 Sprigg Road, Piccadilly.

As per the representations, the proposed store building is no closer to the nearest non-associated dwelling than existing buildings.

Hours of operation of the industry use were revised as part of related development authorisation 23003710. As per the representations this application was not publicly notified as it was a variation to operational matters only. This application was submitted in response to compliance action undertaken by Council as a result of large vehicles entering and exiting the land at times in breach of conditions from development authorisation 02/958/473. Application 23003710 was granted approval by the Council Assessment Panel (CAP) at the 12 July 2023 meeting.

The current proposal does not alter the approved hours of operation from development 23003710.

Representor concern regarding traffic impacts is noted, but addressed by condition three (3) of development authorisation 02/958/473 as follows:

That the number of articulated tanker or semi-trailer deliveries to and/or from the site shall be limited to a maximum of 40 vehicles per week (with an average of no more than 8 vehicles per working day).

This condition continues to apply and the applicant advises they are compliant with this condition.

Council Engineering advise that General Access Vehicles have right of access to road networks, with General Access Vehicles being up to 19m in length and a 42 tonne in mass. Articulated tankers and semi-trailer trucks do not exceed this limit. There are no restrictions on Sprigg Road relating to General Access Vehicles.

CAP MEETING – 8 NOVEMBER 2023

ITEM 8.2

With regard to road user safety, there are two (2) truck warning signs one (1) on the northern and one (1) on the southern approach to the subject land. There is also one (1) pedestrian warning sign near the southern access point to the subject land. Council Engineering are of the view that this warning signage is sufficient.

Council Engineering have also inspected the roadway outside the subject land. There has been some recent patching and the remaining area is in good condition. No further repair work is recommended.

Regarding PO 6.1 and light spill, recommended condition six (6) restricts external lighting around the proposed store building as being necessary for security purposes only in a manner that does not cause nuisance to adjoining properties.

There is no lighting in the proposed parking area. The approved hours of operation are that industry operations cease by 8:00pm. Therefore, any headlight glare from vehicles leaving the site is not considered to be unreasonable in regard to timeframe of occurrence. Further, the nearest non-associated dwelling at 26 Sprigg Road, Piccadilly is screened by vegetation between the dwelling and the boundary facing Sprigg Road.

There are no registered complaints regarding light spill, noise or dust nuisance from the parking area, noting it was established almost two (2) years ago.

The proposal is consistent with the Interface between Land Uses module provisions.

Transport, Access and Parking

Desired Outcome	
DO 1	A comprehensive, integrated and connected transport system that is safe, sustainable, efficient, convenient and accessible to all users.
Performance Outcomes (PO) & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria	
Vehicle Access	
PO 3.1 & DTS/DPF 3.1	
Vehicle Parking Rates	
PO 5.1 & DTS/DPF 5.1	

Performance Outcome 5.1 seeks the provision of sufficient off-street vehicle parking areas. Corresponding Designated Performance Feature 5.1 sets out a specific off-street vehicle parking rate for land uses relative to Table 1 - General Off-Street Car Parking Requirements.

Designated Performance Feature 5.1 is not considered to be particularly useful in the assessment of the proposal. If Table 1 was applied to the proposal an additional five (5) car-parking would be required based on the rate of 1.5 car-parking spaces per 100 square metres of total floor area for an industry use.

In the representations it is put forward that the on-site car parking provision has not been addressed. Council Staff do not share this view.

Development authorisation 02/958/473 included on the site plan 11 vehicle parking spaces, some on the lower level and some on the upper level. 11 parking spaces can be accommodated on the new parking area.

There are no registered complaints regarding staff vehicles parking off-site and Metromaps photography does not show any vehicles parked off-site.

CAP MEETING – 8 NOVEMBER 2023

ITEM 8.2

CONCLUSION

The proposal is primarily for an additional storage building in association with a long-standing spring water extraction, bottling and distribution facility (industry) in the Productive Rural Landscape Zone. Associated with the proposed storage building is a new parking area and some minor building work to existing structures.

The proposal complies with Performance Outcome 4.2 of the Productive Rural Landscape Zone relating directly to the expansion of established industry, and the proposed store building is considered to be sited and designed to sufficiently minimise visual impact in accordance with the Scenic Quality Overlay provisions.

The new parking area is large and there is associated land modification required. However, landscaping as sought by the recommended reserved matter is considered to assist with providing screening of both the parking area and to minimise the visual impact of industry buildings.

Representor concerns regarding large vehicle movements associated with the industry use and their impact on rural residential amenity and traffic safety are noted. However, this proposal has no bearing on these matters. There is an ongoing condition from preceding development authorisation 473/958/02 which controls the number of weekly overall large vehicle movements to and from the subject land. In addition, separate conditions from development authorisation 23003710 control hours of operation and large vehicle movement timeframes. Further to this, Council Engineering are satisfied with the existing traffic safety signage near the subject land.

RECOMMENDATION

It is recommended that the Council Assessment Panel resolve that:

- 1) Pursuant to Section 107(2)(c) of the Planning, Development and Infrastructure Act 2016, and having undertaken an assessment of the application against the Planning and Design Code, the application is NOT seriously at variance with the provisions of the Planning and Design Code; and**
- 2) Development Application Number 22015517, by Wegener Constructions for store associated with existing industry (spring water extraction, bottling & distribution), new opening to existing building, Relocation of outbuilding (toilet block) & new parking area at 61 Sprigg Road, Crafers is GRANTED Planning Consent subject to the following reserved matter and conditions:**

RESERVED MATTER

Pursuant to section 102 (3) of the *Planning, Development and Infrastructure Act of 2016*, the following matter(s) shall be reserved for further assessment prior to the granting of Development Approval, the Assessment Manager is delegated to undertake this further assessment:

- 1) A detailed landscaping plan shall be prepared by a suitably qualified professional and submitted with further details regarding plant species and plant locations including screening around the new parking area and between the lower and upper level group of industry buildings.**

Plant species detailed in the landscaping plan shall be selected from the Council's Native Habitat Landscaping and Gardening Guide or Native Habitat Gardening Guide for Low Flammability Gardens. The guides can be downloaded from the Council website: [Native Gardens at Home • Adelaide Hills Council \(ahc.sa.gov.au\)](http://ahc.sa.gov.au).

Pursuant to Section 127(1) of the *Planning, Development and Infrastructure Act 2016*, the power to impose further conditions of consent in respect of the reserved matters above is delegated to the Assessment Manager.

CAP MEETING – 8 NOVEMBER 2023

ITEM 8.2

CONDITIONS

Planning Consent

- 1) The development granted shall be undertaken and completed in accordance with the stamped plans and documentation, except where varied by conditions below.**
- 2) The store building shall only be used for storage of bottled/package spring water in association with the existing industry use. Any additional or different use of this building will constitute a change in use and will require separate Development Approval.**
- 3) External finishes of the store building shall be of materials and colours to match or complement those of the existing industry buildings to the reasonable satisfaction of Council.**
- 4) All surface water from the new parking area shall be directed to a gross pollutant trap (GPT) capable of removing oils, silts, greases, and gross pollutants to Council satisfaction prior to discharge to the Council stormwater system.**
- 5) All roof runoff generated by the store building shall be directed to a rainwater tank with overflow to the street in accordance with the approved stormwater design report by Fyfe dated 17 August 2023 to the satisfaction of Council within one month of the roof cladding being installed. All roof and hard surface runoff shall be managed to prevent trespass onto adjoining properties and into the effluent disposal area.**
- 6) Flood lighting around the store building shall be restricted to that necessary for security purposes only and shall be directed and shielded in such a manner as to not cause nuisance to adjacent properties.**

ADVISORY NOTES

Planning Consent

- 1) No work can commence on this development unless a Development Approval has been obtained. If one or more consents have been granted on this Decision Notification Form, you must not start any site works or building work or change of use of the land until you have received notification that Development Approval has been granted.**
- 2) Appeal rights – General rights of review and appeal exist in relation to any assessment, request, direction or act of a relevant authority in relation to the determination of this application, including conditions.**
- 3) This Planning Consent is valid for a period of twenty four (24) months commencing from the date of the decision, subject to the below or subject to an extension having been granted by the relevant authority. If applicable, Building Consent must be obtained prior to expiration of the Planning Consent.**
- 4) Where an approved development has been substantially commenced within 2 years from the operative date of approval, the approval will then lapse 3 years from the operative date of the approval (unless the development has been substantially or fully completed within those 3 years, in which case the approval will not lapse).**

CAP MEETING – 8 NOVEMBER 2023
ITEM 8.2

OFFICER MAKING RECOMMENDATION

Name: Marie Molinaro
Title: Statutory Planner

NOTES

STORM WATER PIPES SHALL BE 90mm Ø uPVC WITH 100mm MINIMUM COVER FOR NON-TRAFFICABLE AND 400mm FOR TRAFFICABLE AREAS.
GRADE MINIMUM 1:200 IN DIRECTION OF THE FLOW.

GUTTERS AND DOWNPIPE TO AS3500.3.2-NATIONAL PLUMBING & DRAINAGE PART 3.2

INSTALLATION OF ALL SERVICES SHALL COMPLY WITH THE RESPECTIVE SUPPLY AUTHORITY REQUIREMENTS

IN ACCORDANCE WITH AS3500.3 NEW STORM WATER LINE SHALL BE CONNECTED TO EXISTING SYSTEM AND DRAINED TO STREET WATER TABLE.

CONNECT NEW SEWER DRAIN TO EXISTING NOTE - SEWER DRAIN LAYOUT MAY BE MODIFIED ON SITE AT BUILDERS DISCRETION

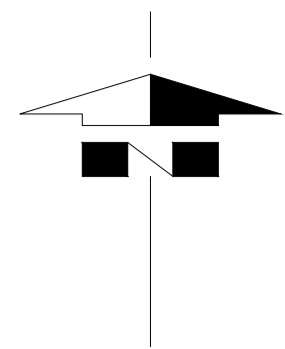
ALL LANDSCAPING PLANT SPECIES TO BE SELECTED FROM THE AHC "NATIVE HABITAT LANDSCAPING AND GARDENING GUIDE" AND AREA TO BE SELECTED TO PROVIDE VISUAL AMENITY TO THE CAR PARK AREA AS VIEWED FROM PUBLIC LAND.

PLANTING TO OCCUR IN FIRST AVAILABLE PLANTING SEASON

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<p>Client: I BAILEY</p>		<p>Rev: Date:</p>		<p>Notes:</p>	
<p>Drawing Title: SITE PLAN</p>		<p>Date: 3-Apr-23</p>		<p>Page: 1</p>	
<p>Client Name: PLANNING ISSUE</p>		<p>Reason: A</p>		<p>Revisions:</p>	
<p>Product: NEW SHED</p>		<p>Project Address: 61 SPRIGG RD, CRAFRERS</p>		<p>Revisions:</p>	
<p>28 GIBSON STREET, WEST BEACH SA 5004 Phone: 0412 022 848 Email: paul@quartzbd.com.au Web: www.quartzbd.com.au ABN: 22 141 732 860</p>		<p>QUARTZ BUILDING DESIGN</p>		<p>APPROXIMATE SEPTIC TANK LOCATION</p>	

SITE PLAN
SCALE 1:1000 @ A1



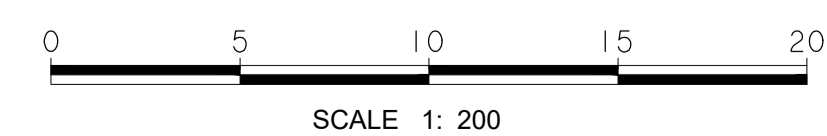


LEGEND

- 530.941NV - DRAIN INVERT
- 531.49EB - EDGE OF BITUMEN
- 543.07EC - EDGE OF CONCRETE
- GATE
- SURVEY MARK
- TREE
- TWO TRUNK TREE
- DRAIN PIPE
- PVC VENT
- HOSE BOX REEL
- BUILDING
- FENCE
- GUTTER
- BANK TOP
- BANK BOTTOM
- MINOR CONTOUR LINE
- MAJOR CONTOUR LINE
- NATURAL SURFACE
- VERANDAH

PLAN DETAILS

COUNCIL : ADELAIDE HILLS COUNCIL
 MAP SHEET :
 CT REFS : CT 6151/231



LEVEL DATUM :	AHD	DATA FILE/S :	69112-1
LEVEL AUTHORITY :	PSM 66282382	SURVEYOR :	BEH
CO-ORD DATUM :	MGA 2020 GDA 54		

NO.	REVISION	STAFF	CHECK	DATE
0	PREPARED FOR REVIEW	ZIB	BEH	23/05/23

WEGENER CONSTRUCTIONS				INSTRUCTION :	69112-1
DETAIL AND LEVEL SURVEY				DATE	23/05/2023
61 SPRIGG ROAD PICCADILLY				SHEET	1 OF 1
HUNDRED OF ONKAPARINGA				REV.	0
CRAFERS SOUTH AUSTRALIA				DRAWING 69112-1-SV-T01-r0	

ORIGINAL SIZE A1

ADELAIDE
 12, 124 South Terrace
 Adelaide SA 5000
 GPO Box 2450
 Adelaide SA 5001

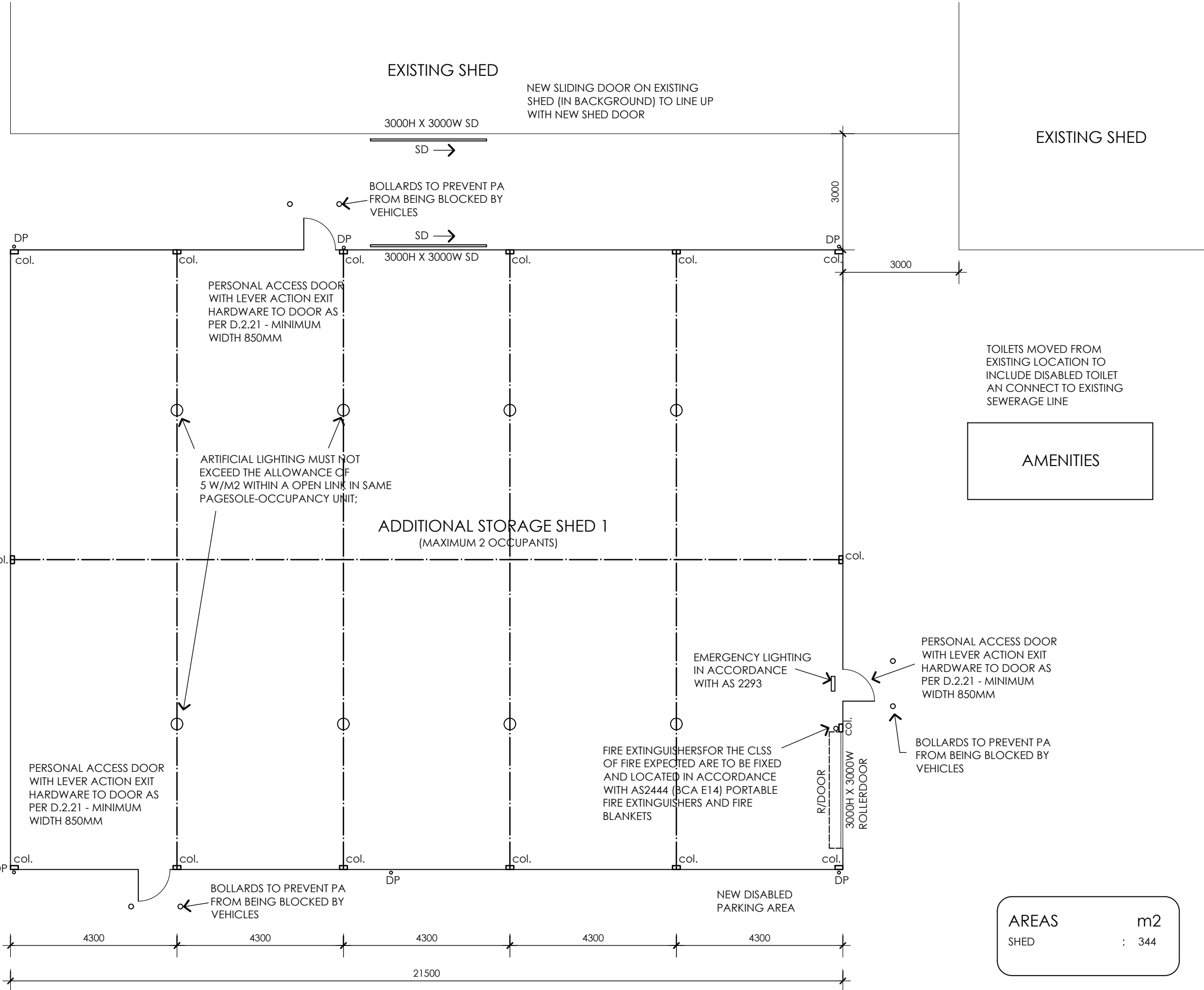
T 61 8 8201 9600
 www.fyfc.com.au

EXTERIOR ARTIFICIAL LIGHTING ATTACHED TO OR DIRECTED AT THE FACADE OF A BUILDING, MUST BE CONTROLLED BY: A DAYLIGHT SENSOR; OR A TIME SWITCH THAT IS CAPABLE OF SWITCHING ON AND OFF ELECTRIC POWER TO THE SYSTEM AT VARIABLE PRE-PROGRAMMED TIMES AND ON VARIABLE PRE-PROGRAMMED DAYS; IN ACCORDANCE WITH NCC J6.5

ALL ARTIFICIAL LIGHTING MUST BE INDIVIDUALLY OPERATED BY A SWITCH; OR OTHER CONTROL DEVICE; OR A COMBINATION OF BOTH IN ACCORDANCE WITH NCC J6.3


BUILDING MATERIALS SHALL COMPLY WITH NCC C1.10 FIRE HAZARD PROPERTIES

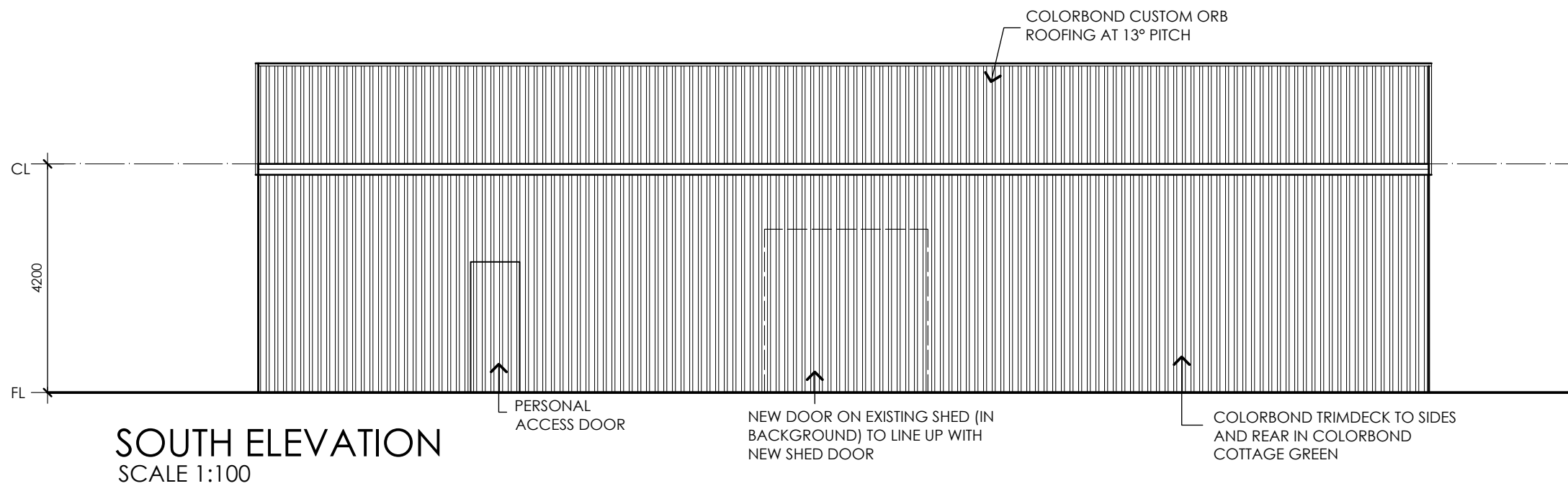
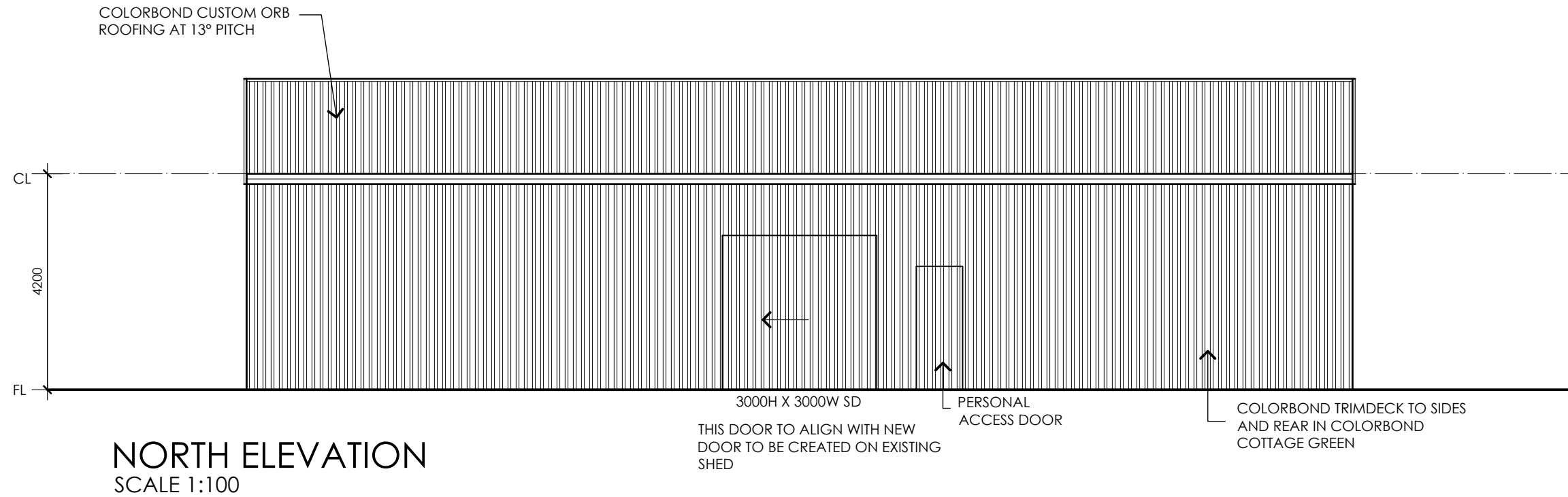
EXIT DOOR HARDWARE IS REQUIRED TO COMPLY WITH PART D2.21 OF THE NCC - LEVER ACTION HARDWARE ALWAYS OPERABLE IN THE DIRECTION OF EGRESS.



PROPOSED PLAN
SCALE 1:100 @ A2

AREAS	m2
SHED	: 344

 <p>28 GIBSON STREET, WEST BEACH SA 5024</p> <p>Phone: 0412 022 948 Email: paul@quartzbd.com.au Web: www.quartzbd.com.au</p> <p>ABN: 22 141 732 660</p>	<p>© COPYRIGHT</p> <p>These drawings are copyright and remain the exclusive property of Quartz Building Design. Reproduction of the whole or any part of these drawings without written permission is prohibited.</p>	<p>Drawing Title: FLOOR PLAN</p>		<p>Scale @ A3: 1:100</p>		<p>Figured dimensions shall take preference over scaled drawings. Contractors shall verify all dimensions prior to commencement. It is the builders/contractors responsibility to check and confirm all drawing & details prior to ordering of materials and or quoting of the project and or commencement of construction. Quartz Building Design will not be responsible for errors or omissions.</p>	<table border="1"> <thead> <tr> <th>Rev:</th> <th>Date:</th> <th>Notes:</th> </tr> </thead> <tbody> <tr> <td>-</td> <td>-</td> <td>-</td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	Rev:	Date:	Notes:	-	-	-									
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<p>Project: NEW SHED</p>	<p>Project Address: 61 SPRIGG RD, CRAFERS</p>	<p>Revision: A Page: 2</p>																				



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Drawing Title:

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Drawing Issue:

PLANNING ISSUE

Project:

NEW SHED

Client:

I BAILEY

Project Address:

**61 SPRIGG RD,
CRAFERS**

Scale @ A3:

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Date:

3-Apr-23

Revision:

A

Page:

3

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Rev:

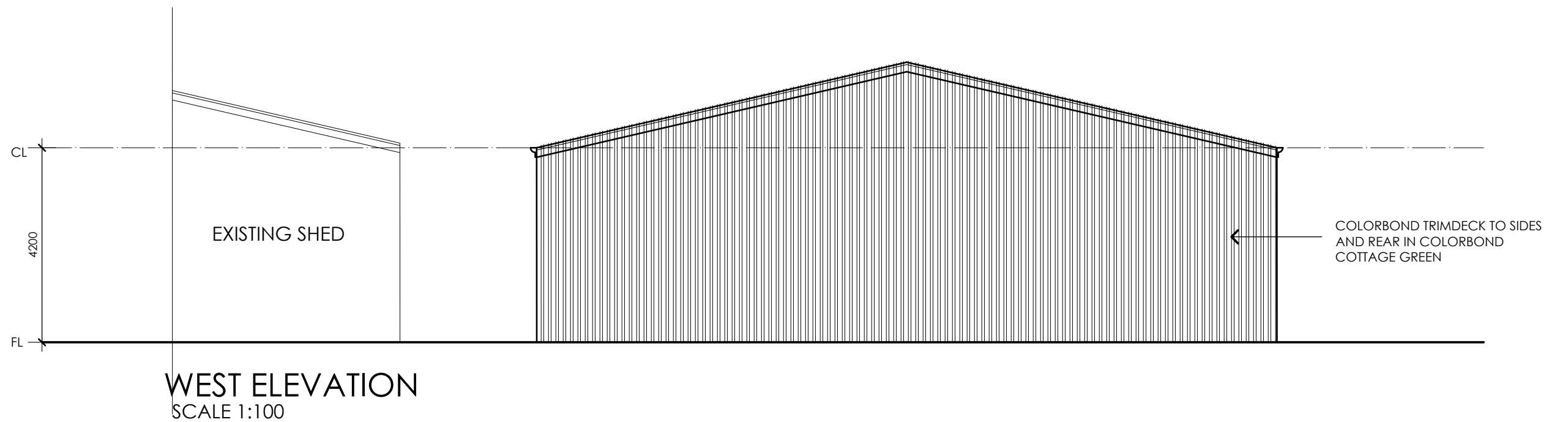
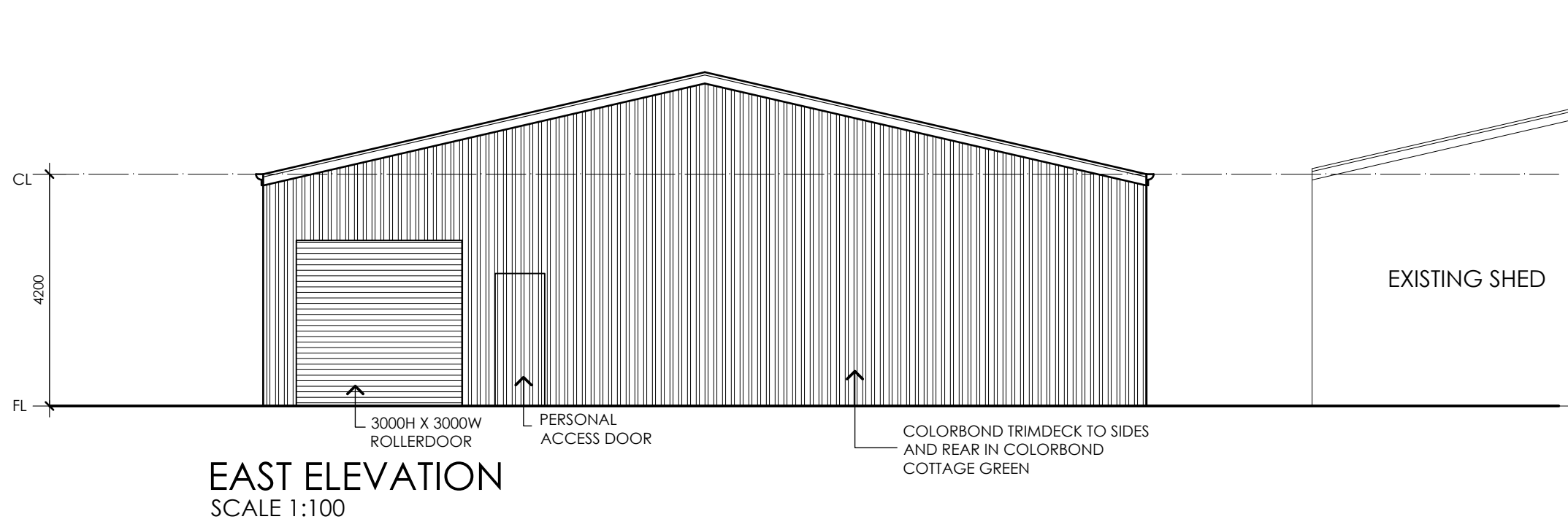
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Date:

-

Notes:

-





9 February 2023

Adelaide Hills Council
ATT: Marie Molinaro

By Email

Dear Marie

RE: 22015517 – 61 SPRIGG ROAD, CRAFERS

I confirm that I have been engaged to assist the applicant in relation to DA 22015517 in responding to your request for information (via email of 26 October 2022) and for the remainder of the assessment process.

Accordingly, I attach the following documents:

- Certificate of Title and Plan Image; and
- Amended planning drawings prepared by Quartz Building Design, revision dated 7-Feb-23 (4 sheets).

You will note that the planning drawings have been refined to pertain to only the proposed shed. In this regard the purpose of the shed is to provide additional capacity for storage of processed water in readiness for distribution.

I have been advised by the applicant that the additional shed storage capacity responds to a requirement to provide at least two clear days for lab testing results to be provided before batches of water can be distributed from the site. Effectively, the additional shed helps to maintain the applicant's quality assurance practices and obligations.

Returning to the planning drawings, the information provided therein includes:

- (i) both allotments, dimensioned boundaries (where relevant), access points and driveways, existing parking areas and maneuvering areas and an existing dam;¹
- (ii) landscaping plan and schedule (referencing plants from the Councils Native Habitat Landscaping and Gardening Guide);
- (iii) general referencing of the existing shed structures (i.e. to demarcate the proposed shed);
- (iv) setbacks of the proposed shed from the east and west boundaries of the allotment; and
- (v) a note confirming relocation of the existing toilet block to a position alongside the proposed shed.

¹ Location of springs/bores and water storage tanks have not been illustrated as the proposed development does not alter this longstanding arrangement

In relation to item (iii) above, I recall that Council sought an overall site plan which labelled each building and their associated activities/functions. Additionally, Council queried whether the existing buildings have altered in their activities/functions. I confirm that this item will be addressed proactively by way of a separate development application. At that time the fully labelled site plan will be provided.

With respect to item (iv) above, and as mentioned in your email, the distances accurately illustrated exceed 50 m and accordingly I understand that no public notification will be required in relation to the application. On behalf of the applicant, can you please arrange for a refund of the notification fees already paid.

Per dot point 7 of Council's email, you sought the nomination of staff/visitor parking areas and areas for truck parking. You also sought details regarding the total number and type of trucks. On behalf of the applicant I confirm that the proposed shed will not alter current employee numbers. Additionally, the proposed shed will not alter the movement or frequency of vehicles used to distribute packaged water.

In this regard, the vehicle movements continue to comply with condition of 3 associated with DA 473/958/02 (provided below):

3. That the number of articulated tanker or semi-trailer deliveries to and/or from the site shall be limited to a maximum of 40 vehicles per week (with an average of no more than 8 vehicles per working day).

Turning to the loading of vehicles used to distribute the packaged water, this will continue to occur on the northern side of the existing sheds. So as to allow the stored water in the proposed shed to be moved by fork lift (i.e. on pallets) the elevations and site plan illustrate opposing sliding doors to be installed on the northern elevation of the proposed shed and the southern elevation of the existing shed.

Effectively, packaged water will pass from the proposed shed, through the existing shed to the awaiting delivery vehicle.

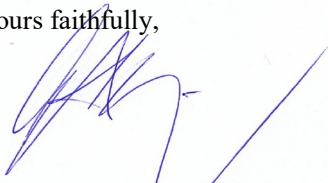
I also recall that Council sought more detail in relation to the southern car parking area (including dimensions, surface treatment, siteworks and drainage plan). The applicant acknowledges that this information has been requested and this information will be proactively prepared and provided to Council in the form of a separate development application.

Finally, in relation to the location and technical details of the on site waste control system the applicant has not been able to provide me with this information. I have been advised that Council has issued a permit for the system. Could you please provide me with a copy of the approved system or alternatively provide me with the contact details of the relevant Council officer?

At this point in time, I am not able to upload the documents to the Portal (I am awaiting the access code from the applicant). However, in the interests of "keeping the application moving" I would appreciate it if Council uploaded this resubmission bundle to the PlanSA Portal and removed the "hold".

Should you have any queries, please contact me at your convenience.

Yours faithfully,



Garth Heynen, MPIA

BA Planning, Grad Dip Regional & Urban Planning, Grad Dip Property

cc. Crystal Springs, by email
Wegener Constructions, by email

NOTES

STORM WATER PIPES SHALL BE 90mm Ø uPVC WITH 100mm MINIMUM COVER FOR NON-TRAFFICABLE AND 400mm FOR TRAFFICABLE AREAS. GRADE MINIMUM 1:200 IN DIRECTION OF THE FLOW.

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INSTALLATION OF ALL SERVICES SHALL COMPLY WITH THE RESPECTIVE SUPPLY AUTHORITY REQUIREMENTS

IN ACCORDANCE WITH AS3500.3 NEW STORM WATER LINE SHALL BE CONNECTED TO EXISTING SYSTEM AND DRAINED TO STREET WATER TABLE.

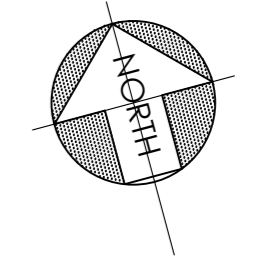
CONNECT NEW SEWER DRAIN TO EXISTING NOTE - SEWER DRAIN LAYOUT MAY BE MODIFIED ON SITE AT BUILDERS DISCRETION

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	<p>Client: I BAILEY</p>	<p>Date: 7-Feb-23</p>	<p>Reason: A</p>
<p>Project: NEW SHED</p>	<p>Project Address: 61 SPRIGG RD, CRAFRERS</p>	<p>Figured dimensions are taken from the site plan. Contractors shall verify all dimensions. Builders/contractors responsibility to check and confirm all details prior to ordering of materials and/or starting of the project and/or construction. Quartz Building Design will not be responsible for errors or omissions.</p>	

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WEST BEACH SA 5004
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ABN: 22 141 732 860



SITE PLAN
SCALE 1:1000 @ A1

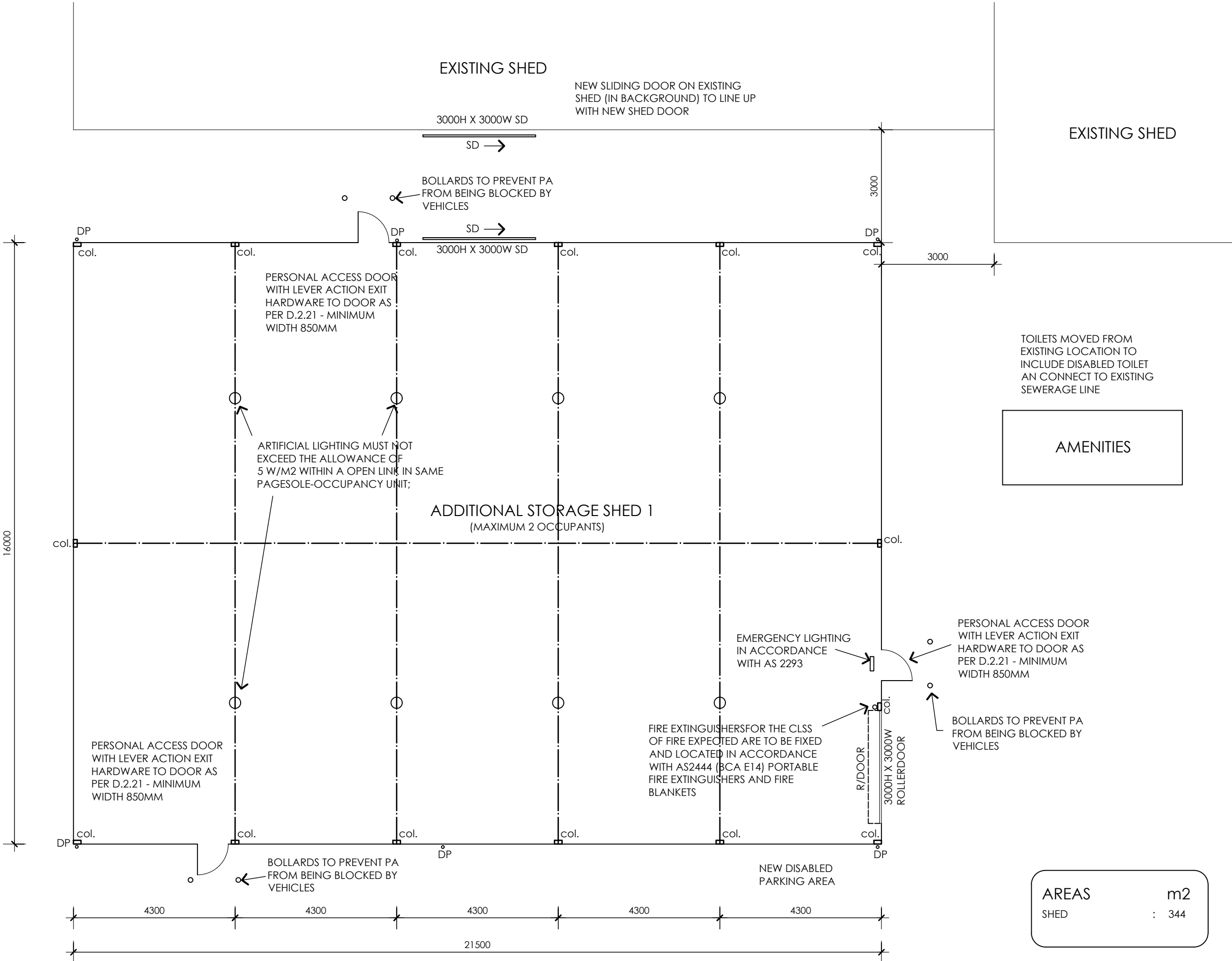


EXTERIOR ARTIFICIAL LIGHTING ATTACHED TO OR DIRECTED AT THE FACADE OF A BUILDING, MUST BE CONTROLLED BY: A DAYLIGHT SENSOR; OR A TIME SWITCH THAT IS CAPABLE OF SWITCHING ON AND OFF ELECTRIC POWER TO THE SYSTEM AT VARIABLE PRE-PROGRAMMED TIMES AND ON VARIABLE PRE-PROGRAMMED DAYS; IN ACCORDANCE WITH NCC J6.5

ALL ARTIFICIAL LIGHTING MUST BE INDIVIDUALLY OPERATED BY A SWITCH; OR OTHER CONTROL DEVICE; OR A COMBINATION OF BOTH IN ACCORDANCE WITH NCC J6.3

BUILDING MATERIALS SHALL COMPLY WITH NCC C1.10 FIRE HAZARD PROPERTIES

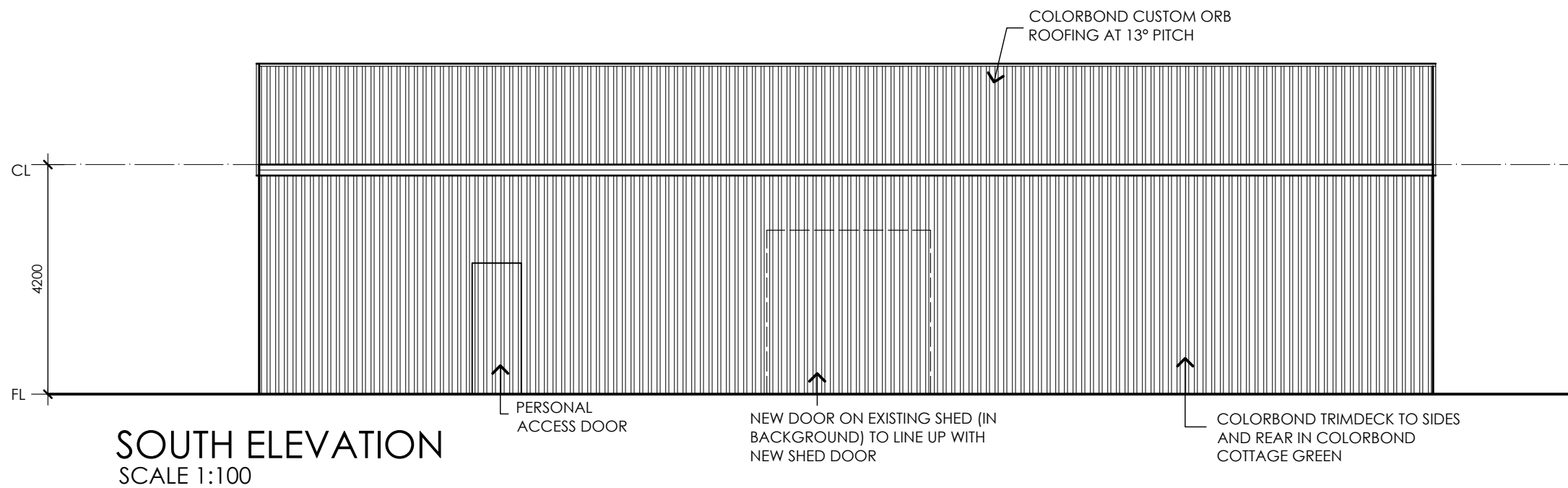
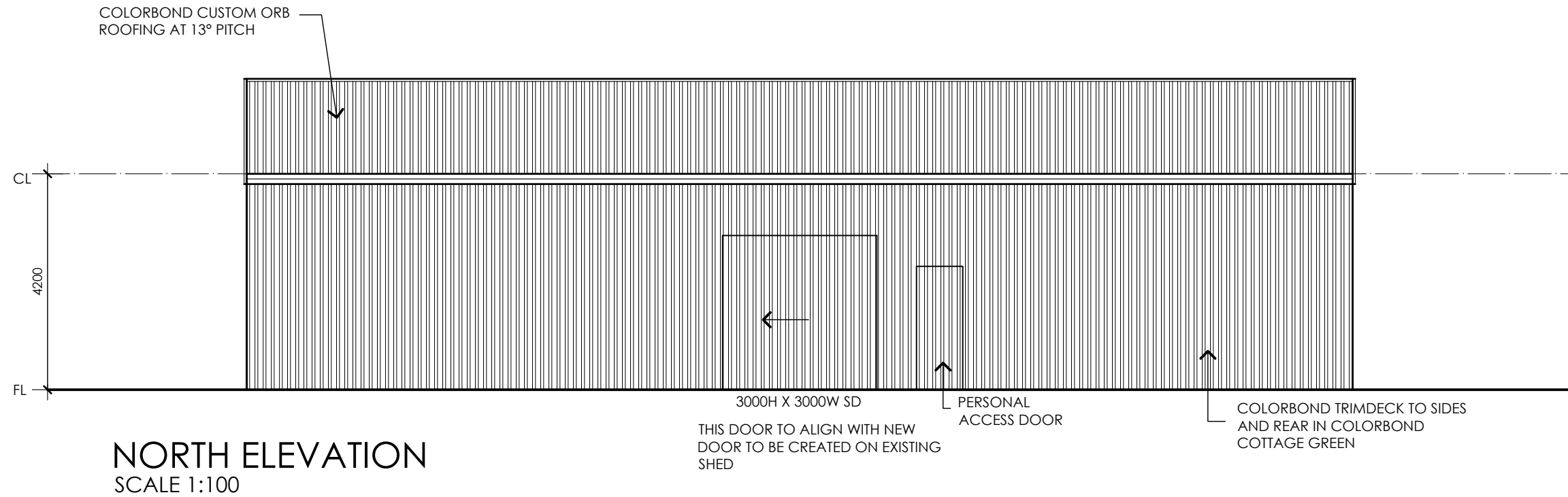
EXIT DOOR HARDWARE IS REQUIRED TO COMPLY WITH PART D2.21 OF THE NCC - LEVER ACTION HARDWARE ALWAYS OPERABLE IN THE DIRECTION OF EGRESS.



PROPOSED PLAN
SCALE 1:100 @ A2

AREAS	m2
SHED	: 344

<p>28 GIBSON STREET, WEST BEACH SA 5024</p> <p>Phone: 0412 022 948 Email: paul@quartzbd.com.au Web: www.quartzbd.com.au</p> <p>ABN: 22 141 732 660</p>	<p>© COPYRIGHT</p> <p>These drawings are copyright and remain the exclusive property of Quartz Building Design. Reproduction of the whole or any part of these drawings without written permission is prohibited.</p>	<p>Drawing Title: FLOOR PLAN</p>		<p>Scale @ A3: 1:100</p>		<p>Figured dimensions shall take preference over scaled drawings. Contractors shall verify all dimensions prior to commencement. It is the builders/contractors responsibility to check and confirm all drawing & details prior to ordering of materials and or quoting of the project and or commencement of construction. Quartz Building Design will not be responsible for errors or omissions.</p>	<table border="1"> <thead> <tr> <th>Rev:</th> <th>Date:</th> <th>Notes:</th> </tr> </thead> <tbody> <tr> <td>-</td> <td>-</td> <td>-</td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	Rev:	Date:	Notes:	-	-	-									
		Rev:	Date:	Notes:																		
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<p>Drawing Issue: PLANNING ISSUE</p>	<p>Client: I BAILEY</p>	<p>Date: 7-Feb-23</p>																				
<p>Project: NEW SHED</p>	<p>Project Address: 61 SPRIGG RD, CRAFERS</p>	<p>Revision: A Page: 2</p>																				



28 GIBSON STREET,
WEST BEACH SA 5024

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ABN: 22 141 732 660

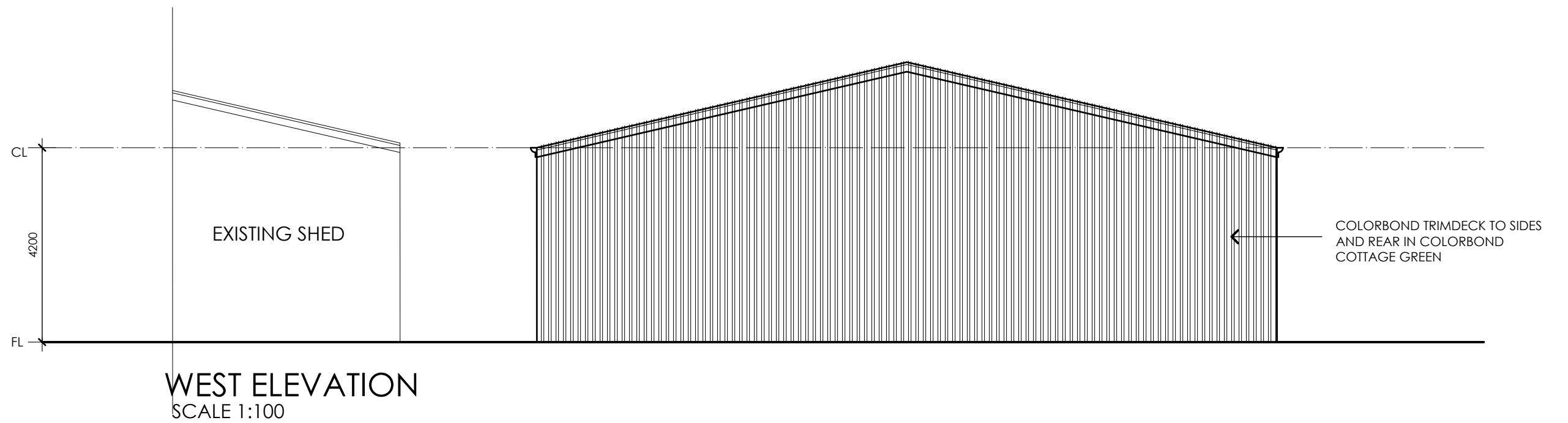
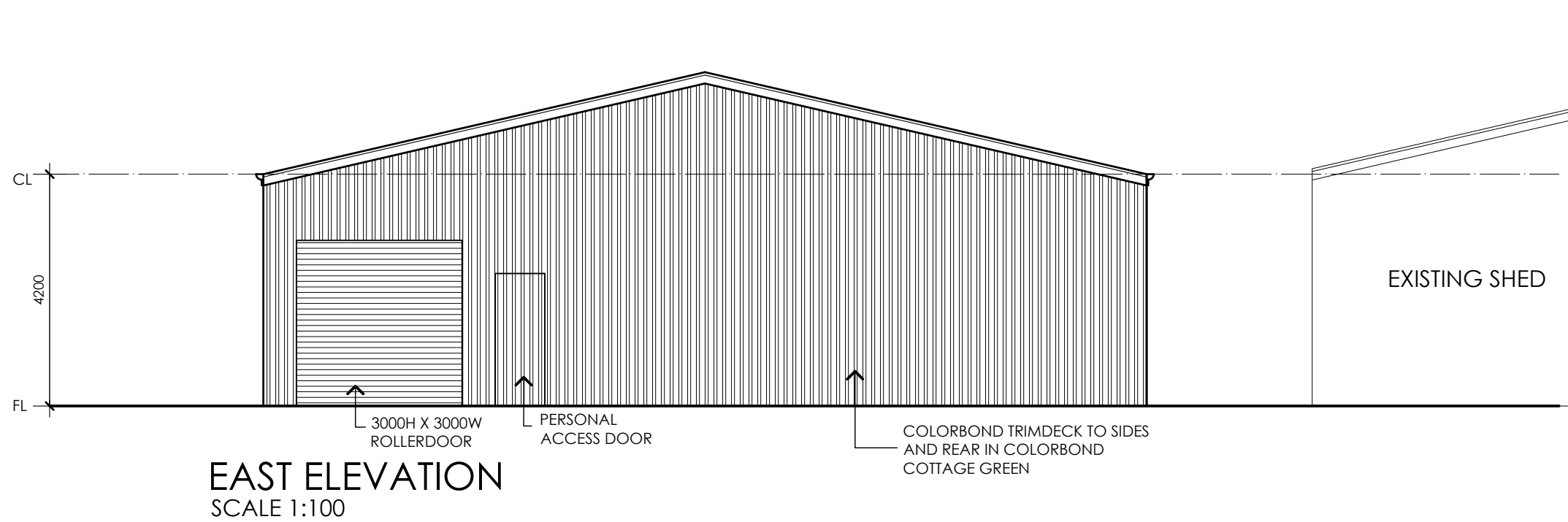
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Drawing Title: ELEVATIONS	
Drawing Issue: PLANNING ISSUE	Client: I BAILEY
Project: NEW SHED	Project Address: 61 SPRIGG RD, CRAFERS

Scale @ A3: 1:100	
Date: 7-Feb-23	
Revision: A	Page: 3

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Rev:	Date:	Notes:
-	-	-



STORMWATER DESIGN REPORT

61 SPRIGG ROAD

Preliminary
69112-1

Prepared for	Garth Heynen	Contact	Liam Blight
Prepared by	Fyfe Pty Ltd		Civil Section Manager SA
ABN	57 008 116 130	Telephone	+61 8 8201 9714
Address	L2, 124 South Terrace Adelaide SA 5000	Email	Liam.Blight@fyfe.com.au
Date	17/08/2023	Reference	69112-1



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Document Information

Prepared by: Li Li	Senior Stormwater Engineer, Fyfe Pty Ltd	Date: 3 July 2023
Reviewed by: Liam Blight	Civil Section Manager SA, Fyfe Pty Ltd	Date: 3 July 2023
Approved by: Liam Blight	Civil Section Manager SA, Fyfe Pty Ltd	Date: 17 August 2023
Client acceptance by:		Date:

Revision History

Revision	Revision Status	Date	Prepared	Reviewed	Approved
A	Preliminary	17.08.2023	LL	LDB	LDB

CONTENTS

	Page
1. INTRODUCTION	2
2. HYDROLOGY OF THE SITE	3
2.1 Stormwater requirements	3
2.2 Predevelopment conditions	3
2.3 Post development DRAINS configuration	4
3. SUMMARY	6

LIST OF TABLES

Table 2-1 Pre-development catchments	3
Table 2-2 Post development catchments	4

LIST OF FIGURES

Figure 1-1 Location of the site	2
Figure 2-1 Pre-development DRAINS result for the 1% AEP events	4
Figure 2-2 Post development DRAINS result for the 1% AEP events	5
Figure 2-3 Hydrograph for critical storm event	5

APPENDICES

Appendix A PROPOSED SITE WORKS AND SURVEY
Appendix B DRAINS Model LAYOUT
Appendix C DRAINS INPUT DATA AND RESULTS

1. INTRODUCTION

The present report has been prepared to elaborate on the stormwater management plan for the recently constructed car park and proposed shed at 61 Sprigg Road, Crafers. This site slopes in an easterly direction and contains several buildings, sheds, internal driveways, vineyard, and trees (see Figure 1-1). The area proposed for the new shed is currently an existing carpark with a gravel surface. The recently constructed carpark which consists of gravel is previously a grassed area. The closest drainage grated inlet pit is located at the properties entrance off Sprigg Road.

The proposed works comprise a new shed with an area of 344 m² and recently constructed car park with an area of 974 m², as seen from Figure 1-1.



Figure 1-1 Location of the site

2. HYDROLOGY OF THE SITE

2.1 Stormwater requirements

The objectives of the stormwater management are based on the comments from Council as cited below:

- *Siteworks and drainage plan by a suitably qualified person detailing the surface treatment of the newly created car park area and internal driveway and methods of surface water treatment and run-off. Stormwater management detail for the proposed building is also required.*

To address the comments from Council, detention volumes are calculated as an initial approximation to allow for the conceptualisation of the network. Once the stormwater layout is defined, the system is modelled in DRAINS to simulate the sub catchments' behaviour.

2.2 Predevelopment conditions

The pre-development flows are established using the ILSAX hydrological model via the DRAINS program.

The modelling within DRAINS is undertaken in accordance with the procedures recommended in Australian Rainfall and Runoff (ARR) 2019. Rainfall intensity data and temporal patterns are obtained from the Bureau of Meteorology (BoM) website and the ARR Data Hub and based on the 2016 Intensity Frequency Duration (IFD) rainfalls.

The model parameters are outlined below:

- **ILSAX parameters:** depression storages of 1 mm for paved and supplementary areas and 5 mm for grassed areas. Soil type 3 according to the Horton classification that simulates a soil with slow infiltration rates typical of silty clays.
- **Rainfall data:** IFD tables and rainfall patterns utilised in the model correspond to the ARR 2019 ensembles found in the Bureau of Meteorology (BoM) website.
- **Sub-catchment characteristics:** There are 2 sub-catchments: existing gravel area (Pre-Shed) and grassed area (Pre-carpark).
- The percentage impervious of each sub-catchment is input as shown in Table 2-1.

Table 2-1 Pre-development catchments

Catchment Name	Area (ha)	Paved (%)	Supplementary (%)	Grassed (%)
Pre-Shed	0.0344	0.5	99	0.5
Pre-Carpark	0.0947	0	25	75

DRAINS model is run for the 1% AEP design events, results show there is 22 L/s flow generating from both shed and carpark areas under predevelopment condition, as shown in Figure 2-1.

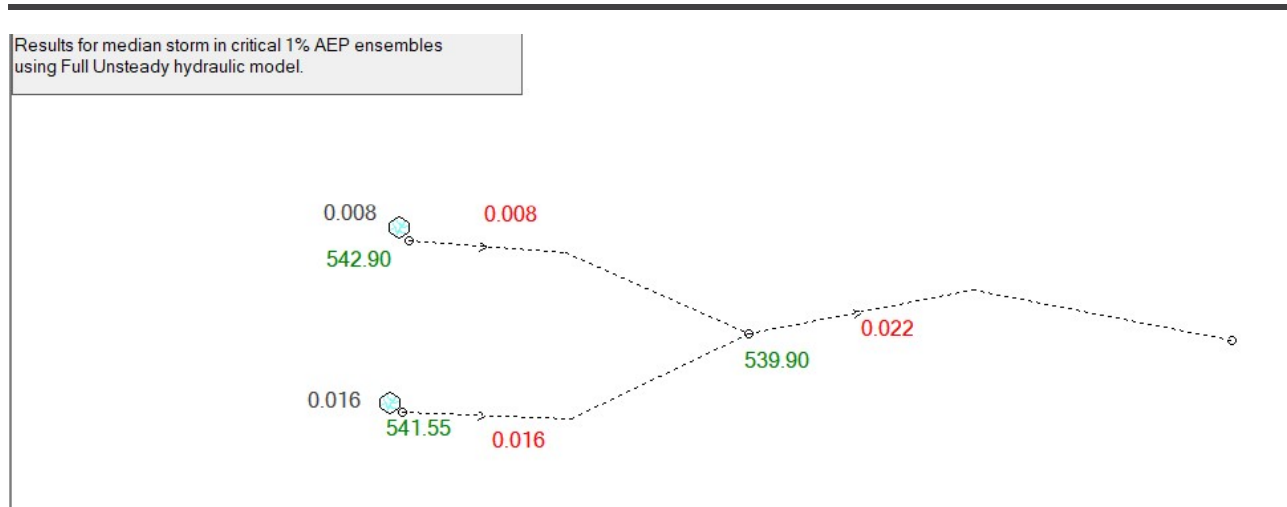


Figure 2-1 Pre-development DRAINS result for the 1% AEP events

2.3 Post development DRAINS configuration

The post development scenario is also modelled in DRAINS with the model parameters outlined below:

- The percentage impervious of each sub-catchment is input as shown in Table 2-2.

Table 2-2 Post development catchments

Catchment Name	Area (ha)	Paved (%)	Supplementary (%)	Grassed (%)
Shed	0.0344	100	0	0
Carpark	0.0974	0.1	99	0.9

- **Rainwater tank:** The roof area runoff is proposed to discharge into a 20 KL rainwater tank with the following characteristics:
 - Orifice: 20 mm
 - Overflow pipe: 90 mm PVC pipe
 - Height: 2250 mm
 - Diameter: 3400 mm

The strategies of this stormwater management plan propose a rainwater tank to detain the shed roof runoff. The orifice outflow from the rainwater tank discharges on the surface and into the existing grate inlet pit via a spoon drain. Runoff generated from the gravel area of the car park is proposed to discharge through grassed pervious vineyard downhill as overland sheet flow into the existing grate inlet pit.

DRAINS model is run for the 1% AEP design events under post development condition. Results show that 1 L/s outflow coming out from the rainwater tank and the total runoff generated from the two areas is 23 L/s, as shown in Figure 2-2.

Results for median storm in critical 1% AEP ensembles using Full Unsteady hydraulic model.

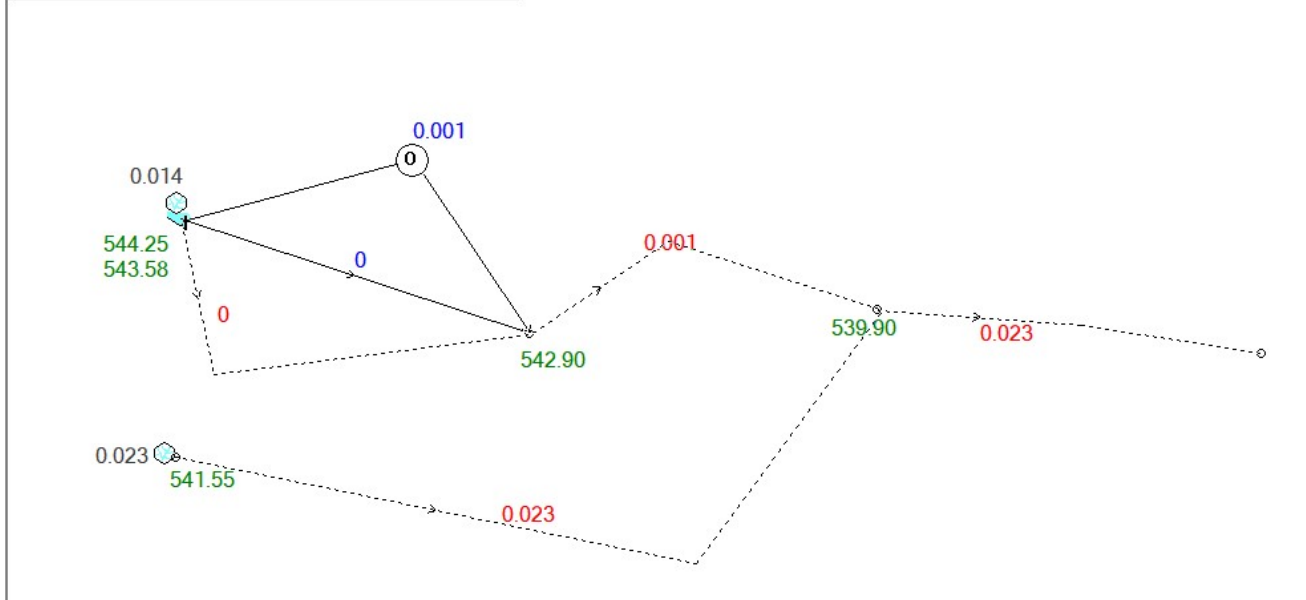


Figure 2-2 Post development DRAINS result for the 1% AEP events

The maximum detention volume in the rainwater tank is 13.05 m³, as shown in Figure 2-3.

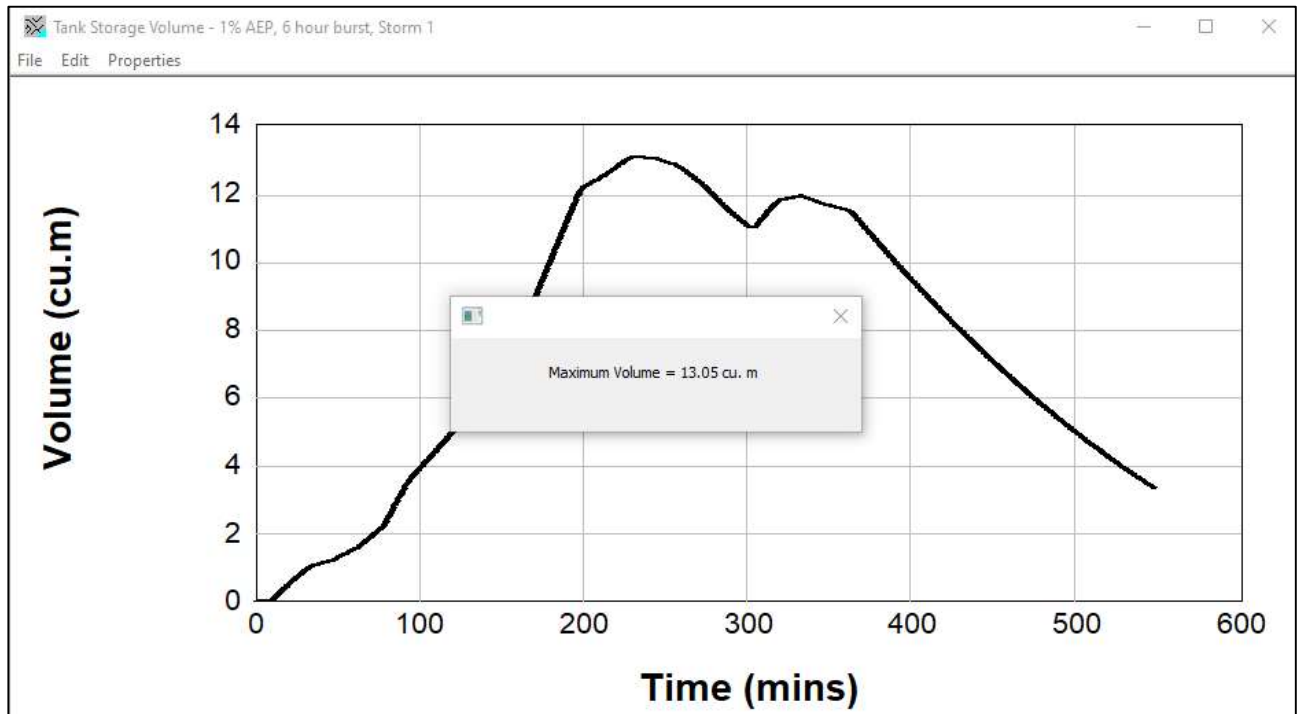


Figure 2-3 Hydrograph for critical storm event

3. SUMMARY

A stormwater management report has been prepared for the proposed shed and newly built carpark at 61 Sprigg Road, Crafers.

The discharge point is proposed at the existing grate inlet pit. To manage runoff from the proposed shed, a 20 KL rainwater tank is applied to detain the shed roof runoff. Outflow from the rainwater tank discharges through a 90mm PVC pipe on the surface and into the grate inlet pit via a spoon drain. Runoff generated from the newly built carpark is proposed to discharge through downhill vineyard as overland sheet flow into the existing grate inlet pit.

This stormwater management design is modelled using DRAINS for both pre- and post-development conditions under the 1% AEP design events. Results show that 22 L/s and 23 L/s runoff generated from both areas under pre- and post-development conditions, respectively. The maximum detention volume in the rainwater tank is 13.05 m³.

APPENDIX A
PROPOSED SITE WORKS AND SURVEY



NOTES

STORM WATER PIPES SHALL BE 90mm Ø uPVC WITH 100mm MINIMUM COVER FOR NON-TRAFFICABLE AND 400mm FOR TRAFFICABLE AREAS. GRADE MINIMUM 1:200 IN DIRECTION OF THE FLOW.

GUTTERS AND DOWNPIPE TO AS3500.3.2-NATIONAL PLUMBING & DRAINAGE PART 3.2

INSTALLATION OF ALL SERVICES SHALL COMPLY WITH THE RESPECTIVE SUPPLY AUTHORITY REQUIREMENTS

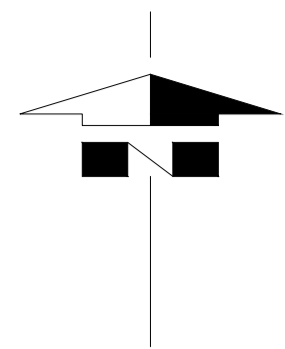
IN ACCORDANCE WITH AS3500.3 NEW STORM WATER LINE SHALL BE CONNECTED TO EXISTING SYSTEM AND DRAINED TO STREET WATER TABLE.

CONNECT NEW SEWER DRAIN TO EXISTING NOTE - SEWER DRAIN LAYOUT MAY BE MODIFIED ON SITE AT BUILDERS DISCRETION

<p>QUARTZ BUILDING DESIGN</p> <p>28 GIBSON STREET, WEST BEACH SA 5004 Phone: 0412 022 848 Email: paul@quartzbd.com.au Web: www.quartzbd.com.au ABN: 22 141 732 860</p>		<p>© COPYRIGHT These drawings are the exclusive property of Quartz Building Design. Reproduction or use of any part of these drawings without permission is prohibited.</p>		<p>Drawing Title: PLANNING ISSUE Project: NEW SHED</p>		<p>Client: I BAILEY Project Address: 61 SPRIGG RD, CRAFRERS</p>		<p>Scale @ A1: 1:1000 Date: 3-Apr-23 Reason: A</p>		<p>Figured dimensions are the responsibility of the designer. Contractors shall verify all dimensions before construction. Responsibility for building construction is the responsibility of the contractor. The designer is not responsible for any errors or omissions in the design or for any loss or damage to property or persons arising from the use of these drawings. Quartz Building Design will not be responsible for errors or omissions.</p>		<p>Rev: Date: Note:</p>	
<p>Page: 1</p>													

SITE PLAN
SCALE 1:1000 @ A1





LEGEND

- 530.941NV - DRAIN INVERT
- 531.49EB - EDGE OF BITUMEN
- 543.07EC - EDGE OF CONCRETE
- GATE
- SURVEY MARK
- TREE
- TWO TRUNK TREE
- DRAIN PIPE
- PVC VENT
- HOSE BOX REEL
- BUILDING
- FENCE
- GUTTER
- BANK TOP
- BANK BOTTOM
- MINOR CONTOUR LINE
- MAJOR CONTOUR LINE
- NATURAL SURFACE
- VERANDAH

PLAN DETAILS

COUNCIL : ADELAIDE HILLS COUNCIL
 MAP SHEET :
 CT REFS : CT 6151/231



LEVEL DATUM :	AHD	DATA FILE/S :	69112-1
LEVEL AUTHORITY :	PSM 66282382	SURVEYOR :	BEH
CO-ORD DATUM :	MGA 2020 GDA 54		

NO.	REVISION	STAFF	CHECK	DATE
0	PREPARED FOR REVIEW	ZIB	BEH	23/05/23

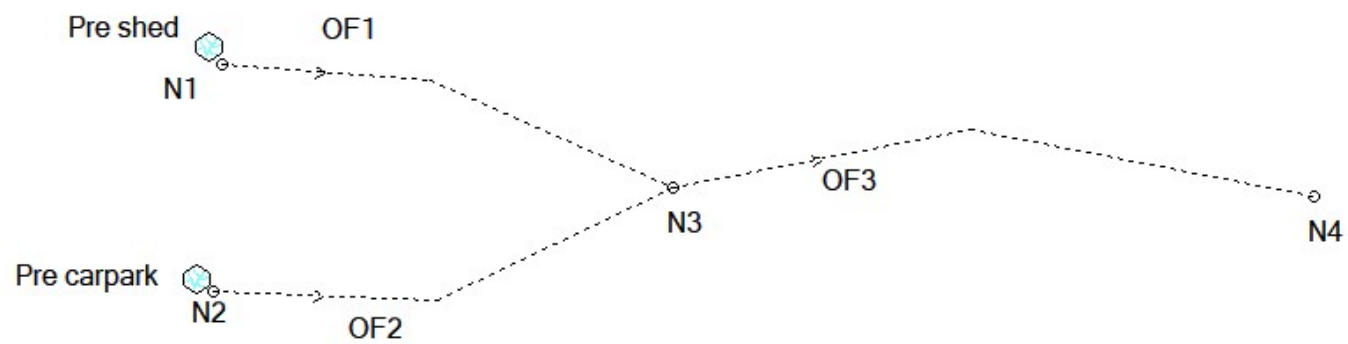
WEGENER CONSTRUCTIONS				INSTRUCTION :	69112-1
DETAIL AND LEVEL SURVEY				DATE	23/05/2023
61 SPRIGG ROAD PICCADILLY				SHEET	1 OF 1
HUNDRED OF ONKAPARINGA				REV.	0
CRAFERS SOUTH AUSTRALIA				DRAWING 69112-1-SV-T01-r0	

ORIGINAL SIZE A1

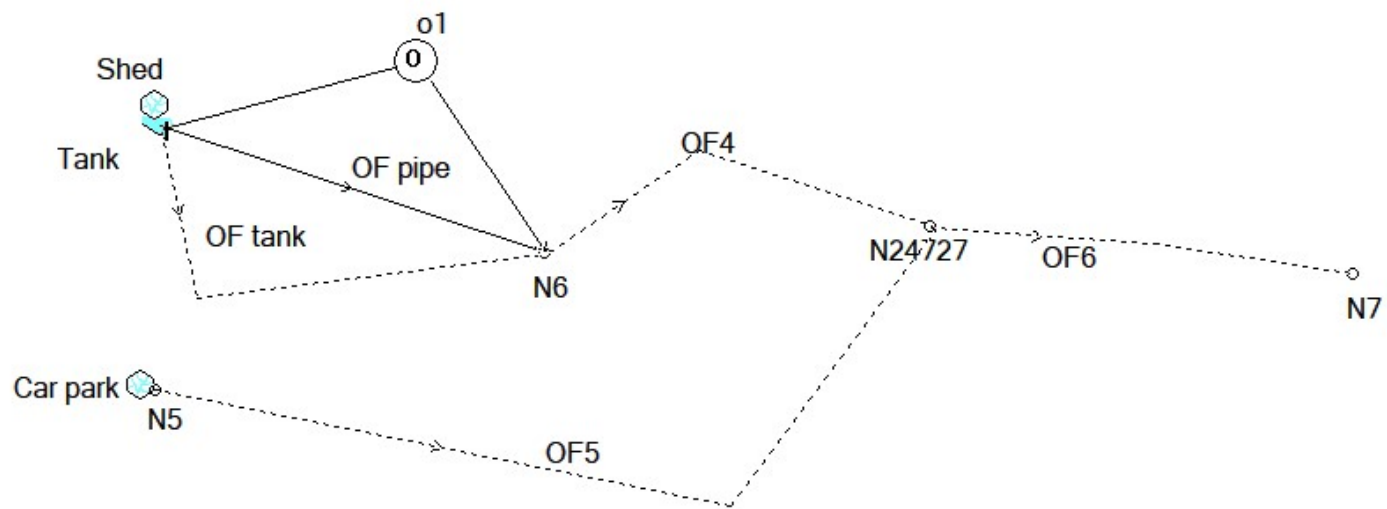
FYFC
 ADELAIDE
 12, 124 South Terrace
 Adelaide SA 5000
 GPO Box 2450
 Adelaide SA 5001
 T 61 8 8201 9600
 www.fyfc.com.au

APPENDIX B
DRAINS MODEL LAYOUT





Pre-development Scenario



Post development Scenario

APPENDIX C
DRAINS INPUT DATA AND RESULTS



PIT / NODE DETAILS

Version 15

Name	Type	Family	Size	Ponding Volume (cu.m)	Pressure Change Coeff. Ku	Surface Elev (m)	Max Pond Depth (m)	Base Inflow (cu.m/s)	Blocking Factor	x	y	Bolt-down lid	Part Full Shock Loss	Inflow Hydrograph	Pit is	Internal Width (mm)	Inflow is Misaligned	Minor Safe Pond Depth (m)	Major Safe Pond Depth (m)
N1	Node							0		299958.3	6068056		5	No					
N2	Node							0		299958	6068049		928	No					
N5	Node							0		299948.4	6068027		1482	No					
N3	Node					539.86		0		299973.9	6068052		5241	No					
N4	Node					539.86		0		299995.9	6068052		6258	No					
N6	Node					542.9		0		299961.9	6068032		8723	No					
N7	Node					539.86		0		299989.7	6068031		8740	No					
N24727	Node							0		299975.1	6068033		55420	No					

DETENTION BASIN DETAILS

Name	Elev	Surf. Area	Not Used	Outlet Type	K	Dia (mm)	Centre RL	Pit Family	Pit Type	x	y	HED	Crest RL	Crest Leng	id
Tank	542.9	9.079		Culvert		0.5				299948.6	6068036	No			8719
	545.15	9.079													

SUB-CATCHMENT DETAILS

Name	Pit or Node	Total Area (ha)	Paved Area %	Grass Area %	Supp Area %	Paved Time (min)	Grass Time (min)	Supp Time (min)	Paved Length (m)	Grass Length (m)	Supp Length (m)	Paved Slope (%)	Grass Slope %	Supp Slope %	Paved Rough	Grass Rough	Supp Rough	Lag Time or Factor	Gutter Length (m)	Gutter Slope %	Gutter FlowFactor	Rainfall Multiplier
Pre shed	N1	0.0344	0.5	0.5	99	5	15	5														1
Pre carpark	N2	0.0974	0	75	25	5	15	2														1
Car park	N5	0.0974	0.1	0.9	99	5	15	2														1
Shed	Tank	0.0344	100	0	0	5	15	2														1

PIPE DETAILS

Name	From	To	Length (m)	U/S IL (m)	D/S IL (m)	Slope (%)	Type	Dia (mm)	I.D. (mm)	Rough	Pipe Is	No. Pipes	Chg From	At Chg	Chg (m)	RI (m)	Chg (m)	RL (m)	etc (m)
OF pipe	Tank	N6	2.25	544.75	542.9	82.22	SEWER CL	90	86	0.012	NewFixed	1	Tank		0				

DETAILS OF SERVICES CROSSING PIPES

Pipe	Chg (m)	Bottom Elev (m)	Height of S Chg (m)	Bottom Elev (m)	Height of S Chg (m)	Bottom Elev (m)	Height of S etc (m)
------	---------	-----------------	---------------------	-----------------	---------------------	-----------------	---------------------

CHANNEL DETAILS

Name	From	To	Type	Length (m)	U/S IL (m)	D/S IL (m)	Slope (%)	Base Width (m)	L.B. Slope (1:?)	R.B. Slope (1:?)	Manning n	Depth (m)	Roofed
------	------	----	------	------------	------------	------------	-----------	----------------	------------------	------------------	-----------	-----------	--------

OVERFLOW ROUTE DETAILS

Name	From	To	Travel Time (min)	Spill Level (m)	Crest Length (m)	Weir Coeff. C	Cross Section	Safe Depth Major (m)	SafeDepth Minor (m)	Safe Stor DvV (sq.m/sec)	Bed Slope (%)	D/S Area Contributing %	id	U/S IL	D/S IL	Length (m)	
OF1	N1	N3		0.1			4 m wide p	0.3	0.15	0.4	12.37	0		5246	542.9	539.86	24.58
OF2	N2	N3		0.1			4 m wide p	0.3	0.15	0.4	13.78	0		5243	541.54	539.86	12.19
OF5	N5	N24727		0.1			4 m wide p	0.3	0.15	0.4	13.78	0		8724	541.54	539.86	12.19
OF3	N3	N4		0.1			Swale with	0.15	0.1	1	20.71	0		6257	539.86	538.41	7
OF tank	Tank	N6		0.1	545.15	1	Swale with	0.45	0.3	1	45	0		8722	545.15	542.9	5
OF4	N6	N24727		0.1			4 m wide p	0.3	0.15	0.4	12.37	0		55428	542.9	539.86	24.58
OF6	N24727	N7		0.1			Swale with	0.15	0.1	1	20.71	0		8738	539.86	538.41	7

PIPE COVER DETAILS

Name	Type	Dia (mm)	Safe Cover	Cover (m)
OF pipe	SEWER CL	86	0.6	-1.94 Unsafe

This model has no pipes with non-return valves

DRAINS results prepared from Version 2021.031

PIT / NODE DETAILS

Name	Max HGL	Max Pond HGL	Version 8			Overflow (cu.m/s)	Constraint
			Max Surfac Flow (cu.m/s)	Max Pond Volume (cu.m)	Min Freeboard (m)		
N1	542.90		0.008				
N2	541.55		0.018				
N5	541.55		0.023				
N3	539.90		0.025				
N6	542.90		0.000				
N24727	539.90		0.024				

SUB-CATCHMENT DETAILS

Name	Max Flow Q (cu.m/s)	Paved Max Q (cu.m/s)	Grassed Max Q (cu.m/s)	Paved Tc (min)	Grassed Tc (min)	Supp. Tc (min)	Due to Storm
Pre shed	0.008	0.000	0.008	5.00	15.00	5.00	1% AEP, 15 min burst, Storm 5
Pre carpark	0.016	0.000	0.016	5.00	15.00	2.00	1% AEP, 20 min burst, Storm 8
Car park	0.023	0.000	0.023	5.00	15.00	2.00	1% AEP, 15 min burst, Storm 4
Shed	0.014	0.014	0.000	5.00	15.00	2.00	1% AEP, 5 min burst, Storm 1

PIPE DETAILS

Name	Max Q (cu.m/s)	Max V (m/s)	Max U/S HGL (m)	Max D/S HGL (m)	Due to Storm
OF pipe	0.000	0.00	544.337	542.901	1% AEP, 5 min burst, Storm 1

CHANNEL DETAILS

Name	Max Q (cu.m/s)	Max V (m/s)	Due to Storm

OVERFLOW ROUTE DETAILS

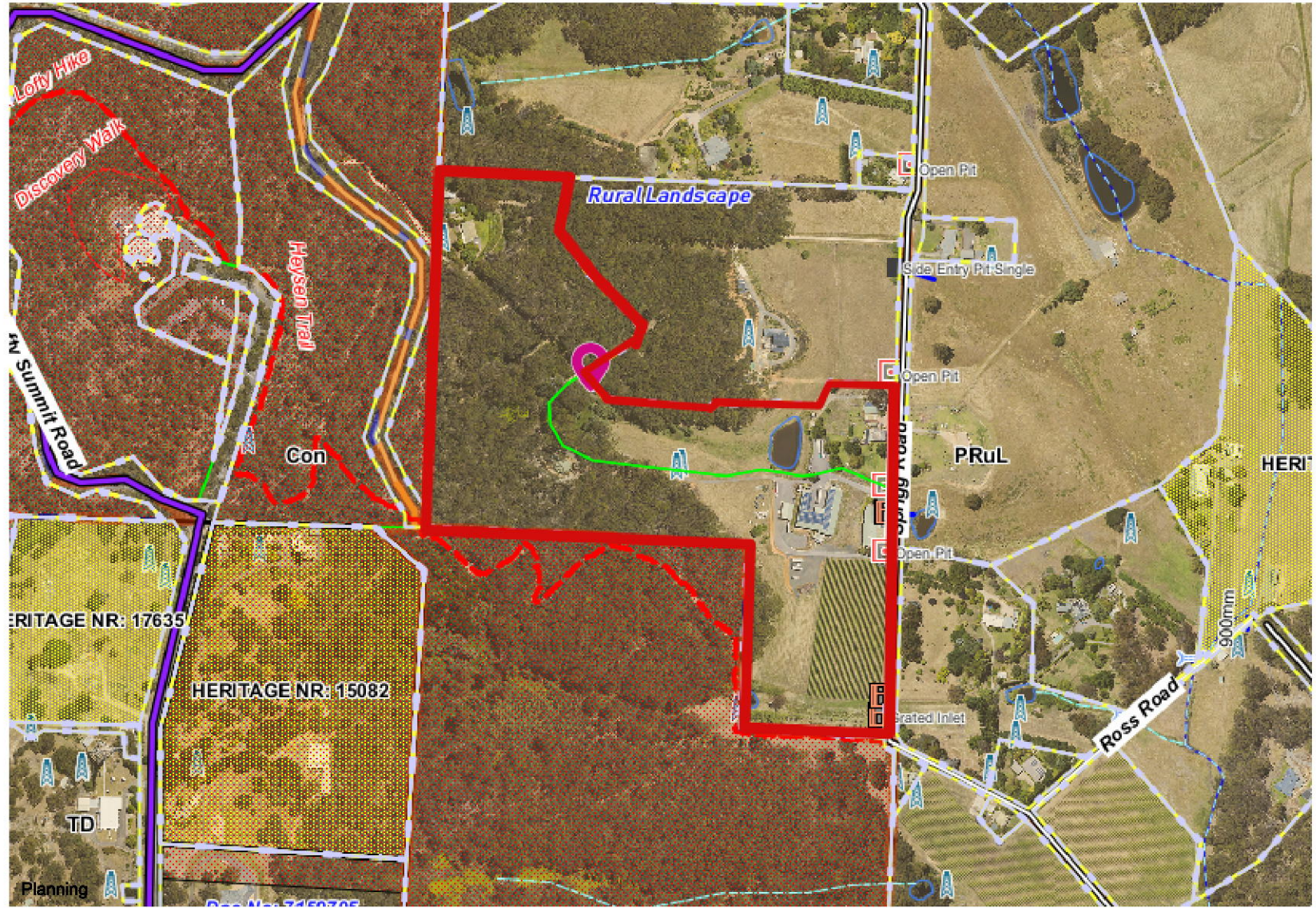
Name	Max Q U/S	Max Q D/S	Safe Q	Max D	Max DxV	Max Width	Max V	Due to Storm
OF1	0.008	0.008	1.340	0.039	0.03	4.00	6.41	1% AEP, 15 min burst, Storm 5
OF2	0.016	0.016	1.347	0.041	0.04	4.00	6.07	1% AEP, 20 min burst, Storm 10
OF5	0.023	0.023	1.347	0.041	0.05	4.00	5.68	1% AEP, 15 min burst, Storm 3
OF3	0.022	0.022	0.725	0.041	0.05	0.99	1.13	1% AEP, 20 min burst, Storm 3
o1	0.001	0.001						1% AEP, 6 hour burst, Storm 1
OF tank	0	0	0.823	0	0	0	0	
OF4	0.001	0.001	1.340	0.029	0.01	4.00	9.54	1% AEP, 6 hour burst, Storm 1
OF6	0.023	0.023	0.725	0.041	0.05	0.99	1.13	1% AEP, 15 min burst, Storm 2

DETENTION BASIN DETAILS

Name	Max WL	MaxVol	Max Q Total	Max Q Low Level	Max Q High Level
Tank	544.34	13.0	0.001	0.000	0.001

Run Log for 69112 run at 16:06:56 on 3/7/2023 using version 2021.031

Flows were safe in all overflow routes.



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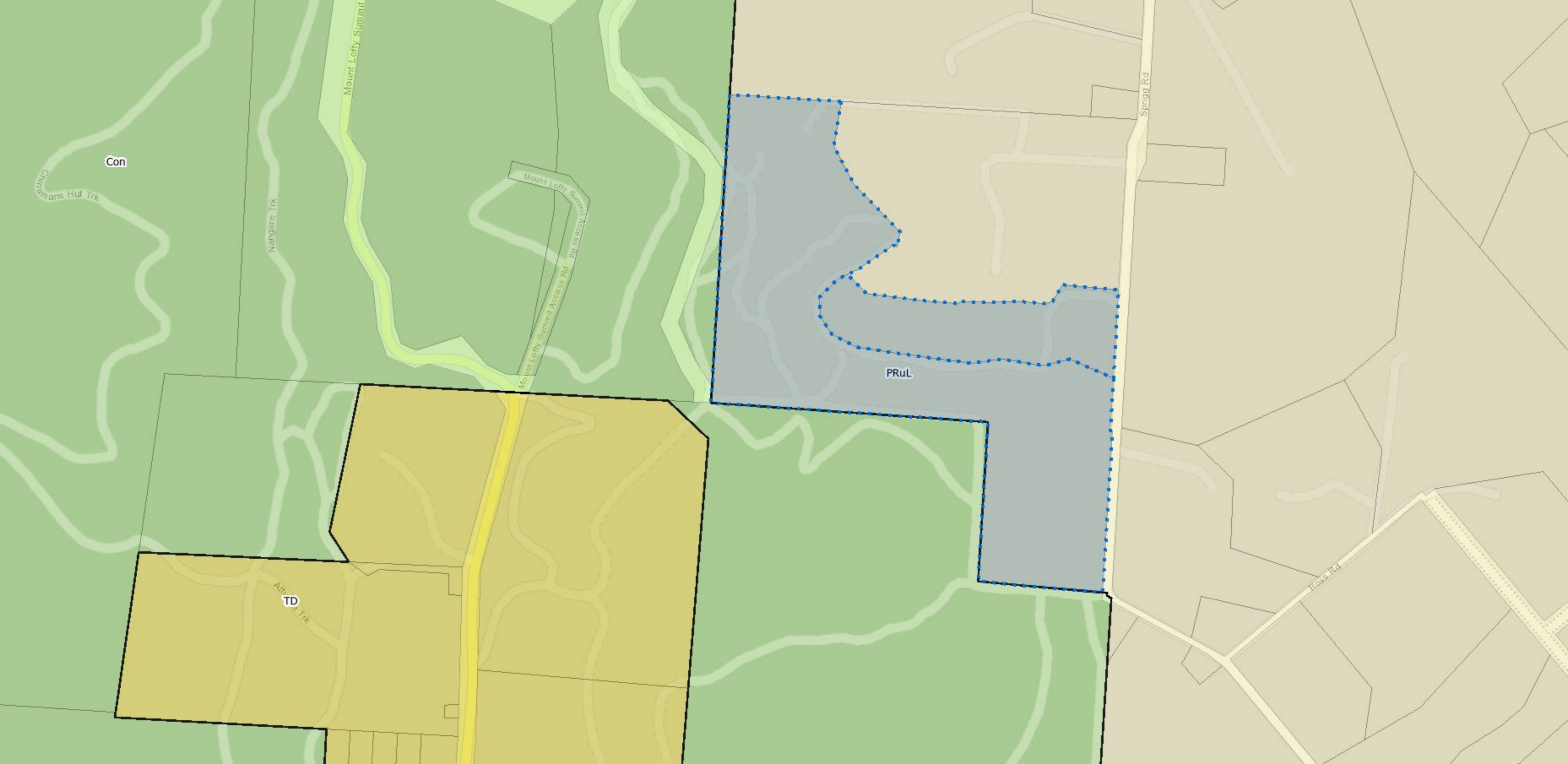
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Scale = 1:6032.880

200 m





Con

Chinmans Hut Trk

Nangare Trk

Mount Lofty Summit

Mount Lofty Summit Access Rd

PRuL

TD

Albion Trk

Sprigg Rd

Koss Rd

Representations

Representor 2 - Stuart Bailey

Name	Stuart Bailey
Address	69 Sprigg Road CRAFERS SA, 5152 Australia
Submission Date	14/09/2023 02:20 AM
Submission Source	Online
Late Submission	No
Would you like to talk to your representation at the decision-making hearing for this development?	No
My position is	I support the development

Reasons

Should be GRANTED; As a long standing primary producer of spring water products and major supplier to Australia's food/ beverage industry and employer of many local South Australian Adelaide Hills residents. I support this application to ensure products are supplied to world best practices and the quality control testing demanded by the major Australian supermarkets and export markets are maintained by this South Australian business. In order to achieve and maintain this additional shed for products and carpark for employees needs to be established.

Attached Documents

Representations

Representor 3 - Phillip Brunning

Name	Phillip Brunning
Address	27 Halifax Street ADELAIDE SA, 5000 Australia
Submission Date	26/09/2023 03:09 PM
Submission Source	Online
Late Submission	No
Would you like to talk to your representation at the decision-making hearing for this development?	Yes
My position is	I oppose the development
Reasons	
Please refer to PBA letter of 26 September 2023	

Attached Documents

Representation-by-Richard-Sprod-and-others-re-DA-22015517-1280386.pdf

26 September 2023

Mr Geoff Parsons
Presiding Member
Council Assessment Panel
Adelaide Hills Council
developmentadmin@ahc.sa.gov.au



Town Planning
Development Advice
Strategic Management

Dear Mr Parsons & Members,

Development Application 22015517 – Expansion of an Existing Industrial Activity – 61 Sprigg Road, Crafers – Representation (Objection)

I refer to the abovementioned Development Application by Wegener Construction, presumably on behalf of Springwater Beverages for the construction of a new storage building together with other works to an existing spring water extraction, bottling and distribution facility located at 61 Sprigg Road, Crafers.

I am engaged by the following residents of Sprigg Road to make the following representation on their behalf objecting to the proposed development for reasons that I outline below for your consideration. As provided for, I seek the opportunity to appear before the Panel to speak further to these matters.

- Richard Sprod of 17 Sprigg Road, Crafers
- Ryan Walker of 19 Sprigg Road, Crafers
- Christine & Ray Underdown of 2 Sprigg Road, Piccadilly
- John & Jan Thronton of 24 Sprigg Road, Piccadilly
- Joyce Reid & Douglas Alexander of 41 Sprigg Road, Crafers

Can I first say that residents of Sprigg Road are long suffering with respect to the operations of this business, more particularly the number and frequency of heavy vehicle movements along this modest local road. There is genuine concern with respect to safety and impact on the amenity which may otherwise be enjoyed.

I understand that more recently, Council granted consent to a development application (ID: 23003710) to vary previously applied condition/s of planning consent (473/958/02) in relation to hours of operation and heavy vehicle movements. It is understood that public notification of this application was not undertaken.

I first pose the question as to why public notification was not undertaken in relation to this application? This industrial activity has been the subject of long standing concern to the residents of Sprigg Road, particularly with respect to hours of operation, heavy vehicle movements and visual impact.

I fail to see how it could be said that changes to conditions of planning consent, consciously and prudently applied by the planning authority at the time of making its decision to limit impact arising from this activity, may be considered minor and unlikely to unreasonably impact on the owners or occupiers of land in this locality.

Phillip Brunning & Associates

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In any event, I think it appropriate that prior to considering this current development application, the manner in which this existing activity is conducted should be closely scrutinised against approved plans and conditions of approval. If you like, a base line assessment prior to entertaining any proposal for expansion.

I am instructed that conditions of consent in relation to heavy movement and hours of operation are routinely breached. My clients have and will continue to collect time stamped photographic evidence to demonstrate non-compliance of these conditions, which will be furnished to council officers in due course.

Acknowledging that the Panel is not responsible for the enforcement of planning conditions, it does go to the bona fides of the operator of this business. I would encourage the Panel to proceed with some caution with respect to the assessment of this application which seeks to expand and intensify operations on site.

The first matter I would like the Panel to turn its mind to is the incremental approach taken with respect to the intensification of this industrial activity such that exacerbates externalities arising, more particularly in relation to heavy vehicle movement, noise and visual impact.

On the issue of land use, I note that Council planning staff sought from the Applicant details with respect to activities conducted within and the function of buildings on site, number of employees, provision for staff and visitor parking, truck movements and wastewater treatment. The Applicant declined this request in each respect.

I respectfully submit that the Panel ought not proceed with its determination of this development application until such time as this necessary and relevant information has been provided. If not, I fail to see how a proper assessment may be conducted and would expect that the application is refused consent.

If additional information is provided by the Applicant, I would appreciate the opportunity to review it and amend or supplement this representation. Indeed, it may be necessary to renotify this development application to ensure procedural fairness and that the views of nearby residents are appropriately considered.

On this issue of incremental intensification, I note that the Applicant's Planning Consultant has foreshadowed a series of future development applications dealing with various matters. It is my submission that the Panel should request the Applicant to be more forthcoming in this regard.

As you will be aware, this land is located within the Productive Rural Landscape Zone of the Planning & Design Code. The land is also subject to a number of policy overlays (outlined below) together with a range of general development policies with respect to relevant planning issues.

- Environment and Food Production Area
- Hazards (Bushfire - High Risk)
- Heritage Adjacency
- Hazards (Flooding - Evidence Required)
- Limited Land Division
- Mount Lofty Ranges Water Supply Catchment (Area 2)
- Native Vegetation
- Prescribed Water Resources Area
- State Significant Native Vegetation
- Scenic Quality
- Traffic Generating Development
- Water Resources

Prior to dealing with detailed provisions, is informative to consider and reflect on the Desired Outcomes for the Productive Rural Landscape Zone (my emphasis).

- DO 1 A diverse range of land uses at an appropriate scale and intensity that capitalise on the region's proximity to the metropolitan area and the tourist and lifestyle opportunities this presents while also conserving the natural and rural character, identity, biodiversity and sensitive environmental areas and scenic qualities of the landscape.
- DO 2 A zone that promotes agriculture, horticulture, value adding opportunities, farm gate businesses, the sale and consumption of agricultural based products, tourist development and accommodation that expands the economic base and promotes its regional identity.
- DO 3 Create local conditions that support new and continuing investment while seeking to promote co-existence with adjoining activities and mitigate land use conflicts.

Themes of scale, intensity, and the need to have suitable regard to nearby sensitive uses are expanded on by the following Performance Outcomes.

- PO 1.1 The productive value of rural land for a range of primary production and horticultural activities and associated value adding of primary produce (such as beverage production), retailing and tourism is supported, protected and maintained. The proliferation of land uses that may be sensitive to those activities is avoided.
- PO 4.1 Small-scale industry (including beverage production and washing, processing, bottling and packaging activities), storage, warehousing, produce grading and packing, transport distribution or similar activities provide opportunities for diversification and value adding to locally sourced primary production activities.
 - DPF 4.1 Industries, storage, warehousing, produce grading and packing and transport distribution activities and similar activities (or any combination thereof):
 - a) are directly related and ancillary to a primary production use on the same or adjoining allotment
 - b) are located on an allotment not less than 2ha in area
 - c) have a total floor area not exceeding 350m².
- PO 4.2 Expansion of established small-scale or new large scale industry (including beverage production and washing, processing, bottling and packaging activities), storage, warehousing, produce grading and packing, transport distribution or similar activities:
 - a) are commensurate with the allotment on which it is situated to mitigate adverse impacts on the amenity of land in other ownership and the character of locality
 - b) realise efficiencies in primary production related storage, sorting, packaging, manufacturing and the like
 - c) primarily involve primary production commodities sourced from the same allotment and/or surrounding rural areas.
- PO 4.3 Industry, storage, warehousing, transport distribution or similar activities are sited, designed and of a scale that maintains rural function and character in a manner that respects landscape amenity.
- PO 11.1 Large buildings designed and sited to reduce impacts on scenic and rural vistas by:
 - a) having substantial setbacks from boundaries and adjacent public roads
 - b) using low reflective materials and finishes that blend with the surrounding landscape
 - c) being located below ridgelines.

Of particular relevance is Designated Performance Feature 4.1 which provides an important measure as to the size of buildings used in conjunction with rural industry. I note more specifically that this DPF seeks that buildings do not have a total floor area exceeding 350 m² which is clearly exceeded in this case.

The proposed building is not afforded a substantial set back from the adjacent public road as called for by Performance Outcome 11.1 and while below the ridgeline, will be visually prominent as a consequence. The scale, siting and design of this building does not respect landscape character and amenity of this locality.

General Development provisions of relevance include:

Interface between Land Uses

- DO 1 Development is located and designed to mitigate adverse effects on or from neighbouring and proximate land uses.
- PO 1.2 Development adjacent to a site containing a sensitive receiver (or lawfully approved sensitive receiver) or zone primarily intended to accommodate sensitive receivers is designed to minimise adverse impacts.
- PO 2.1 Non-residential development does not unreasonably impact the amenity of sensitive receivers (or lawfully approved sensitive receivers) or an adjacent zone primarily for sensitive receivers through its hours of operation having regard to:
 - a) the nature of the development
 - b) measures to mitigate off-site impacts
 - c) the extent to which the development is desired in the zone
 - d) measures that might be taken in an adjacent zone primarily for sensitive receivers that mitigate adverse impacts without unreasonably compromising the intended use of that land.
- PO 6.1 External lighting is positioned and designed to not cause unreasonable light spill impact on adjacent sensitive receivers (or lawfully approved sensitive receivers)

Avoiding, minimising and/or mitigating impacts is a fundamental town planning consideration and ought to be the focus of the Panel's deliberations. We say that the assessment of this expansion of an industrial activity should be informed by complete and proper information which has not been provided.

It should not be overlooked that this land is adjacent to the Conservation Zone and is subject to a number of policy overlays including that in relation to heritage adjacency, native vegetation, scenic quality. General development policies in relation to design are also applicable in the assessment of this proposal.

The following provisions are of particular relevance in this regard.

Heritage Adjacency Overlay

- PO 1.1 Development adjacent to a State or Local Heritage Place does not dominate, encroach on or unduly impact on the setting of the Place.

Scenic Quality Overlay

- DO 1 Development complements natural and rural character, and areas of scenic value.
- PO 1.1 Land uses that complement and enhance the natural and rural character.
- PO 2.1 Development is carefully sited and designed to:
 - a) complement rural or natural character
 - b) minimise disruption to natural landform
 - c) integrate existing natural environmental features
 - d) minimise impacts on scenic features
 - e) be low-scale
 - f) be visually unobtrusive and blend in with the surrounding area

PO 3.1 Landscaping comprises locally indigenous species to enhance landscape quality and habitat restoration.

Design

DO 1 Development is:

- (a) contextual - by considering, recognising and carefully responding to its natural surroundings or built environment and positively contributes to the character of the immediate area
- (b) durable - fit for purpose, adaptable and long lasting
- (c) inclusive - by integrating landscape design to optimise pedestrian and cyclist usability, privacy and equitable access, and promoting the provision of quality spaces integrated with the public realm that can be used for access and recreation and help optimise security and safety both internally and within the public realm, for occupants and visitors
- (d) sustainable - by integrating sustainable techniques into the design and siting of development and landscaping to improve community health, urban heat, water management, environmental performance, biodiversity and local amenity and to minimise energy consumption.

PO 1.5 The negative visual impact of outdoor storage, waste management, loading and service areas is minimised by integrating them into the building design and screening them from public view (such as fencing, landscaping and built form) taking into account the form of development contemplated in the relevant zone

PO 7.2 Vehicle parking areas are appropriately located, designed and constructed to minimise impacts on adjacent sensitive receivers through measures such as ensuring they are attractively developed and landscaped, screen fenced and the like.

PO 7.6 Vehicle parking areas and associated driveways are landscaped to provide shade and positively contribute to amenity.

PO 8.1 Development, including any associated driveways and access tracks, minimises the need for earthworks to limit disturbance to natural topography.

As you will be aware, the site of the proposed development is adjacent Clealand National Park, a State Heritage Place and forms part of an area of State Significant Native Vegetation. This facility is hardly conducive to the values and setting of this heritage place and area of native vegetation.

This Development Application proposes a 344 m² building with a ridge height approaching 6 m (not dimensioned) which is in addition to existing buildings on the site which total some 2420 m², considerably more than the abovementioned measure of 350 m² provided by DPF 4.2above.

The visual impact of this additional building in combination with existing structures on the land is exacerbated by extensive excavation and the removal of vegetation (understood to be native species) undertaken some time in 2021 (see overpage). It is not known whether approval was granted for the removal of this vegetation.

The combination of removal of this vegetation, the size of the building proposed (together with the existing structures on the land) and the absence of a landscape proposal would result in an outcome which is visually obtrusive that would detract from the scenic landscape character of this locality.

It is also evident from the above aerial photographs that an additional parking area has been formed to the south of the building complex, presumably without approval. This unapproved parking area now appears on the current proposal plans, presumably seeking retrospective approval – this should be clarified.



10 JANUARY 2021



31 AUGUST 2021



JANUARY 2021



JULY 2021

Once again, the incremental intensification of development on this land has progressively eroded the landscape character of this locality. This is most regrettably and suggest that an investigation be undertaken by Council officers and the necessary enforcement action be taken.

I also question whether the application has been referred to the Minister responsible for Heritage given the inevitable visual impact that such a large building and associated excavation will have on the foreground as one looks up from Sprigg Road to Clealand National Park on the higher ground.

The proposed development enlarges an existing large industrial scale facility in a rural landscape, adjacent a Conservation Park, by a further 17%. The proposal is of basic design that is reliant upon the creation of a large flat excavated footprint, that is not sufficiently screened from the adjacent Conservation Park and Heysen Trail.

The documentation submitted provides little if any confidence that increased visual impact on this rural landscape may be suitably mitigated through the use of landscape plantings, as sought by the above mentioned provisions of the Code. The absence of a proper landscaping plan is of particular concern.

The proposed car parking and outdoor storage, including that for large vehicles, has not been carefully considered. Large and visually dominant vehicles are parked for long periods of time which in themselves detract from the rural landscape setting of this locality which forms the foreground to Clealand National Park.

With respect to traffic, access and parking, the following provisions are relevant.

Traffic, Access & Parking

- DO 1 Safe and efficient operation of Urban Transport Routes and Major Urban Transport Routes for all road users.
- DO 2 Provision of safe and efficient access to and from urban transport routes and major urban transport routes
- PO1.2 Development is designed to discourage commercial and industrial vehicle movements through residential streets and adjacent other sensitive receivers.
- PO 1.3 Industrial, commercial and service vehicle movements, loading areas and designated parking spaces are separated from passenger vehicle car parking areas to ensure efficient and safe movement and minimise potential conflict.
- PO 3.1 Safe and convenient access minimises impact or interruption on the operation of public roads.
- PO 3.3 Access points are sited and designed to accommodate the type and volume of traffic likely to be generated by the development or land use.
- PO 5.1 Sufficient on-site vehicle parking and specifically marked accessible car parking places are provided to meet the needs of the development or land use having regard to factors that may support a reduced on-site rate such as
 - a) availability of on-street car parking
 - b) shared use of other parking areas
 - c) in relation to a mixed-use development, where the hours of operation of commercial activities complement the residential use of the site, the provision of vehicle parking may be shared
 - d) the adaptive reuse of a State or Local Heritage Place.
- PO 6.2 Vehicle parking areas are appropriately located, designed and constructed to minimise impacts on adjacent sensitive receivers through measures such as ensuring they are attractively developed and landscaped, screen fenced, and the like.

While I am not an expert in traffic engineering, my opinion as a town planner is that the arrangement of driveways and parking areas associated with this industrial use is far from ideal requiring heavy vehicles (semi-trailers) to swing wide on the narrow carriageway of this public road potentially into the path of oncoming traffic.

The movement of heavy vehicles along Sprigg Road which has a very narrow carriageway without a formed verge area or space for pedestrian or cyclists to take refuge as these vehicles pass at speed. As an aide, I note that Sprigg Road forms part of the popular Heysen Trail.

My clients are also concerned with the noise arising from these heavy vehicles (revving engines, air brakes, tyre noise) as they pass in front of their properties during the early hours of the morning, sometimes as early as 5 AM which contributes, as I am instructed, to sleep disturbance, anxiety and other mental health conditions.

I note that the condition of road pavement to the front of this industrial complex has deteriorated over time and notwithstanding some remedial work and is in a less than satisfactory state of repair. This presents not only a road safety risk but an ongoing cost liability to council's road asset.

Once again, I question why did Council not publicly notify the recent development application to change conditions of the previous approval relating to operating hours and the use of heavy vehicles, notwithstanding the longstanding concern held by residents of this locality? This is most concerning to my clients.

As noted above, the Applicant has not addressed on site car parking provision.

In conclusion, I say that the proposal is incomplete and lacks sufficient information necessary for the Panel to make an informed decision. The Applicant should be requested to address these deficiencies and also respond to the apparent breaches with respect to truck movement and vegetation removal.

While this is an existing use, the extent and manner in which it is proposed to be incrementally expanded is considered inappropriate and at odds with the relevant provisions of the Code, including those in relation to scale and intensity, interface and land use conflict, design, heritage adjacency, traffic and access.

For these reasons, I say that this development application should be refused.

Yours faithfully

PHILLIP BRUNNING & ASSOCIATES PTY LTD



PHILLIP BRUNNING RPIA

Registered Planner
Accredited Professional – Planning Level 1

Representations

Representor 4 - Abbie Southam

Name	Abbie Southam
Address	26 Sprigg Rd PICCADILLY SA, 5151 Australia
Submission Date	26/09/2023 10:24 PM
Submission Source	Online
Late Submission	No
Would you like to talk to your representation at the decision-making hearing for this development?	Yes
My position is	I oppose the development

Reasons

Contradicts the Adelaide Hills Councils Development Plans Sound and noise implications for our property. The close proximity is already having a negative impact on our enjoyment of our home and property. Big Mac Trucks are already running and moving around before 6am every day. We are woken constantly by the noise that is created. Our home is impacted by the dust created from this site already. Further development contributes to the problem again. We are concerned that the ever decreasing proximity to our home impacts our enjoyment of our property, especially considering we are able to hear from within our home. Sprigg Road is ill equipped to deal with the traffic generated by the plant. The number and frequency of trucks create safety concerns with road use, as the road is too small to safely accommodate both a truck and a car. On numerous occasions I have had to leave the road as the drivers have absolutely no consideration in regards to their speed or their crossing into the other lane in order to navigate corners. The appearance of the site already goes against development plans. There is no screening, the site is clearly impacting on the native vegetation and the perspective from the Heysen Trail. There has been ongoing removal of vegetation citing 'safety concerns' of trees, however no attempts then made to compensate for this. This increasing development has a huge effect on the residents of Piccadilly, as well as to the residents of the hills who enjoy the area for its natural beauty and idyllic setting. We often engage with walkers and visitors who lament as to the disappointment of seeing such an obtrusive eyesore in what is otherwise a beautiful pocket of the valley. The development does not benefit the hills. It detracts from what draws residents and visitors to the area, and comes down to \$\$ for Mr Bailey as opposed to the wellbeing of the community and the preservation of Piccadilly. It has an adverse affect on the character of the area. The applicant benefits financially, and yet is situated on the other side of the development. There is no increase to traffic past his home, yet this negatively impacts many many other residents on Sprigg, Lampert and Piccadilly Roads. The spring water plant generates traffic beyond the capacity of roads necessary to service the development, due to the nature of traffic it requires (big mac trucks are NOT suitable for our street!!!). These also adversely affect the character of the area, and result in unsafe roads that cannot be navigated by locals and children. The proposed shed is 6 metres high - an absolute eyesore which will be visible from every line of sight, does NOT blend into the landscape no matter what colour you paint it and does not enhance the area. It is my understanding that water extraction and processing plants are NOT to be closer than 300metres to a dwelling that is not in the ownership of the applicant. Can anyone clarify the distance from this development to my dwelling? The hours of permissible operation run from 5am - 8pm. These cause unreasonable interference to residents of Sprigg Road due to the noise caused by the trucks than run to and from the site, often well before sunrise during certain times of the year.

Attached Documents



HEYNEN
PLANNING CONSULTANTS

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Suite 15, 198 Greenhill Road
EASTWOOD SA 5063

ABN 54 159 265 022
ACN 159 265 022

30 October 2023

Adelaide Hills Council
ATT: Marie Molinaro

By Email

Dear Marie

RE: 22015517 – 61 SPRIGG ROAD, CRAFTERS

I understand that Council has undertaken public notification in relation to the “store and parking area” at 61 Sprigg Road, Crafters and as a consequence 4 representations were received¹. At this point, I note that Representor 1 and Representor 2 were in support of the proposed development.

I confirm that the applicant has requested my opinion on the items raised by Representor 3 and Representor 4. Prior to considering these two representations, and to assist Councils consideration of some matters raised therein, I attach “Diagrammatic Section A” and will refer to this in due course.

POINTS OF CLARIFICATION

Before considering the two representations, I note that Representor 3 has raised some items that are not relevant to the proposed development. In this regard I refer to the *Planning, Development and Infrastructure (General) Regulations 2017* Act which states (my underlining added):

50—Representations

(1) For the purposes of sections 107(3)(b) and 110(2)(b) of the Act—...

(c) a representation must set out, with reasonable particularity, the reasons for the representation; and...

In this regard, “reasonable particularity” must mean that items of relevance to the assessment of the application must only relate to the proposed development. This approach is consistent with the *Planning, Development and Infrastructure Act 2016* which prescribes (my underlining added):

107—Performance assessed development

(4) The subject matter of—...

(b) any representation under subsection (3)(b),

must be limited to what should be the decision of the relevant authority as to planning consent in relation to the performance based elements of the development as assessed on its merits (and a relevant authority should limit the matters that it will take into account in the same way).

¹ Noting that Representor 3 was made upon behalf of 5 land owners.

On review of Representation 3, the following items do not relate to the proposed development and do not display reasonable particularity:

- A. References to DA ID 23003710.
- B. Procedural decisions made by the Adelaide Hills Council in relation to DA ID 23003710.
- C. Comments regarding scrutiny and enforcement of conditions of consent.
- D. References to the “bona fides of the operator of this business”.
- E. Additionally, with respect to point D above the suggestion by Representor 3 is at odds with the clear guidance provided by the Court in the matter of *Whittington & Ors v City of Burnside and Domain Project Development Pty Ltd* [2003] SAERDC 13 as follows (my underlining added):

21. It was argued on behalf of the appellants that the proposed development was too heavily reliant upon the skills of Mr Salleh as the manager of student accommodation, and that less expert management than Mr Salleh could offer may well bring about a situation where the student accommodation had an adverse effect on its neighbours. *Beer v South Australian Planning Commission & Others* (1988) 142 LSJS 20 was referred to. We agree that it is inappropriate to tie provisional development plan consent to a particular individual. A land use is either acceptable, or it is not - the skills of an individual should not be relied upon to make it so. However, particularly in complex land uses, such as hospitals, supermarkets and many other forms of enterprise, a degree of competent management is assumed, as any complex land use (and many simple ones) can become a nuisance to its neighbours if people behave badly.

F. I also note that Representor 3 refers to five residents of Sprigg Road as “long suffering”. Again, whilst not a planning matter, I note that the owner and operator of the springwater company at 61 Sprigg Road first commenced operations on site in 1980. I understand that none of the owners or occupiers referred to by Representor 3 have been resident for more than 43 years.

G. Representor 3 implies that removal of native vegetation has occurred “some time in 2021”. Again, this is incorrect. Prior to the vegetation being removed advice from an arborist was sought (and a copy of the subsequent report² provided to Council). This report confirmed that the vegetation was not “native” and not protected.

That said, the owner of the land (and the applicant) is willing to accede to a condition of planning consent or a reserved matter seeking a landscaping plan to provide a visual screen of the eastern elevation of the existing building on the “middle level” of the site.

H. Representor 3 has raised concern also with a future separate application pertaining to the function of existing buildings on site. My previous response to the Councils Assessment Manager on this request (i.e. that a subsequent application would be lodged) was simply a reflection on this being a separate matter and one that is unrelated to the proposed store and parking area.

I. In relation to requests for employee numbers, separation of visitor parking and staff parking, wastewater treatment and truck movements, again, I confirm that the application does not alter any of these longstanding characteristics. Put another way, the store and parking area is not a reflection of increased productivity but rather changing circumstances in relation to the springwater industry. I will discuss this in more detail to follow.

² Tree Assessment Report prepared by Comphort Technical Services, dated 2021-03-18

J. Comment was raised in relation to the car parking area. I confirm that this has been included in the current application on a retrospective basis.

H. Discussion regarding the movement of semi-trailers having to “swing wide on the narrow carriageway” of the public road and heavy vehicle movements on Sprigg Road are existing circumstances and no changes are proposed as a consequence of the development application.

K. Comments regarding the noise associated with and timing of vehicle movements are unrelated to the proposed development. In this regard the operator of the springwater company will continue to comply with DA ID 23003710 and earlier DA 473/958/02, which include conditions of consent that limit the number of vehicle movements and various operational aspects (including times for ingress and egress of vehicles).

RESPONSE TO THE REPRESENTATIONS

For brevity, various remaining items have been summarised (noting repetition in the remaining two representations) and paraphrased in *Italics*, with my opinion following each topic.

- *The development represents and incremental approach to the intensification of an industrial activity*
- *Such intensification results in externalities associated with heavy vehicle movement, noise and visual impact*

As previously noted the number of heavy vehicle movements occurring to and from the site will not exceed those “captured” by way of the following conditions of consent:

DA 473/958/02

Condition 3

That the number of articulated tanker and semi-trailer delivers to and/or from the site shall be limited to a maximum of 40 vehicles per week (with an average of no more than 8 vehicles per working day).

DA ID 23003710

Condition 2

No vehicles associated with the commercial distribution of spring water shall:

- a) Enter the subject land after 8:00pm or prior to 7:00am Monday to Friday; and/or
- b) Exit the subject land prior to 5:00am Monday to Friday.

Condition 3

A maximum of five (5) vehicles per week associated with the commercial distribution of spring water shall exit the subject land between the hours of 5:00am and 7:00am excluding Saturday, Sunday & public holidays.

Condition 4

Before 7:00am vehicles associated with the commercial distribution of spring water shall only depart the land in a forward motion between the hours of 5:00am and 7:00am and only from the nominated truck departure location as shown on page 7 of the Noise Assessment Report by Echo, dated 23 May 2023.

Furthermore, the store building will not alter the hours of operation more generally associated with the business conducted on the land and the operations associated with packing and unloading of vehicles associated with commercial distribution. In this regard, the additional storage area will continue to be conducted in accordance with the existing condition of consent, namely:

DA ID 23003710

Condition 6

The packing and loading of any vehicle associated with the commercial distribution of spring water shall occur only between 7:00am and 6:00pm Monday to Friday (excluding public holidays) during standard time and between 7:00am and 8:00pm Monday to Friday (excluding public holidays) during daylight saving time.

At this stage, it is important to highlight that the proposed store building will simply be used to enable the springwater company to:

- (a) store a greater amount of packaged springwater over a prescribed to two day period while each batch is being tested to ensure that industry standards (quality control) are achieved; and
- (b) store the packaging associated with the various products (i.e. different cask boxes are used for different brands, and some springwater is bottled and not delivered as a cask box).

In this respect, Figures 1 and 2 illustrate existing storage occurring within the existing sheds on the site.



Figure 1: Boxes and Springwater Bottles Stored on Palettes (Upper Level Shed)



Figure 2: Springwater in Waiting (2 Day Cycle) for Delivery (Middle Level Shed)

Given that the business operations will be conducted within the existing “limits” set by conditions of consent the development does not represent an intensification.

Furthermore, I have been advised by the springwater operator that the benefit of the additional storage is likely to be that “fuller loads” will be added to each “delivery run” and theoretically less vehicle movements may occur from time to time. Regardless, the operations will remain consistent with the conditions of consent.

- *DPF 4.1 refers to a total floor area not exceeding 350 m², which is exceeded in this case*
- *This Development Application proposes a 344 m² building with a ridge height approaching 6 m (not dimensioned) which is in addition to existing buildings on the site which total some 2420 m², considerably more than the abovementioned measure of 350 m²*

In relation to Productive Rural Landscape Zone DPF 4.1 it is not clear, in my opinion, whether the 350 m² guideline refers to each individual building or for the totality of buildings on a site. It is also relevant to note that the springwater operations are undertaken on a site that comprises 12.9 ha when the totality of the landholdings associated with the springwater source is included.

Regardless of the interpretation of Zone DPF 4.1 it is the case that the quantitative figure is simply a guide, as recently expressed in the matter of *Geber Super Pty Ltd v The Barossa Assessment Panel* [2023] SASC 154, see for example (my underlining added):

88. The designated performance features also assist in the interpretation of the performance outcomes. They identify a standard outcome that will generally meet the corresponding performance outcome. However, they are not policies in their own right. On the one hand, merely because the designated performance features for a corresponding performance outcome are met does not entail that the performance outcome is met because the Code states that the features are only a standard outcome that will generally meet the performance outcome. On the other hand, merely because the designated performance features are not met does not entail that the performance outcome is not met.

More relevantly than the Zone seeks:

Productive Rural Landscape Zone

PO 4.1 Small-scale industry (including beverage production and washing, processing, bottling and packaging activities), storage, warehousing, produce grading and packing, transport distribution or similar activities provide opportunities for diversification and value adding to locally sourced primary production activities.

In my opinion, the proposed 344 m² store building will maintain the existing use as a “small-scale industry” and will not generate impacts beyond the site.

- *The building is not afforded a substantial setback from the adjacent public road per PO 11.1*
- *The building will be visually prominent as a consequence*
- *The building will not respect the landscape character and amenity of this locality*

Returning to Diagrammatic Section A as attached, it is clear that the proposed store building will not sit prominently within the landscape. The minimal visibility of the proposed building and car parking area is aided by:

- the proposed setback to Sprigg Road (i.e. approximately 80 m);
- the use of Colorbond “Cottage Green” for all cladding to match the existing structures;
- the position of the building on an excavated “pad” that matches the middle she and is comparatively low relative to the upper level shed;
- the upper level shed will continue to be the tallest building evident on the site; and
- the continual rise in the land to rear of the building, along with the presence of the vegetation in the background as viewing the proposed development from Sprigg Road.

Furthermore, Figures 3 and 4 highlight that the proposed development will not be prominent when viewing from the northern and southern aspects of Sprigg Road.



Figure 3: View of the Site and Proposed Development from South along Sprigg Road



Figure 4: View of the Site and Proposed Development from South along Sprigg Road

In my opinion the proposed development respects the landscape character and amenity of the locality.

- *It should not be overlooked that this land is adjacent to the Conservation Zone and is subject to a number of policy overlays including that in relation to heritage adjacency, native vegetation, scenic quality*

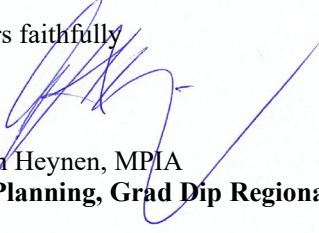
Respectfully, I consider that the concerns raised in relation to these Overlays is an over-embellishment of the Planning and Design Code (Code).

SUMMARY

Having considered the representations I am of the view that the proposed development displays substantial planning merit. Furthermore, considering the additional section details provided I am of the opinion that the development is worthy of planning consent.

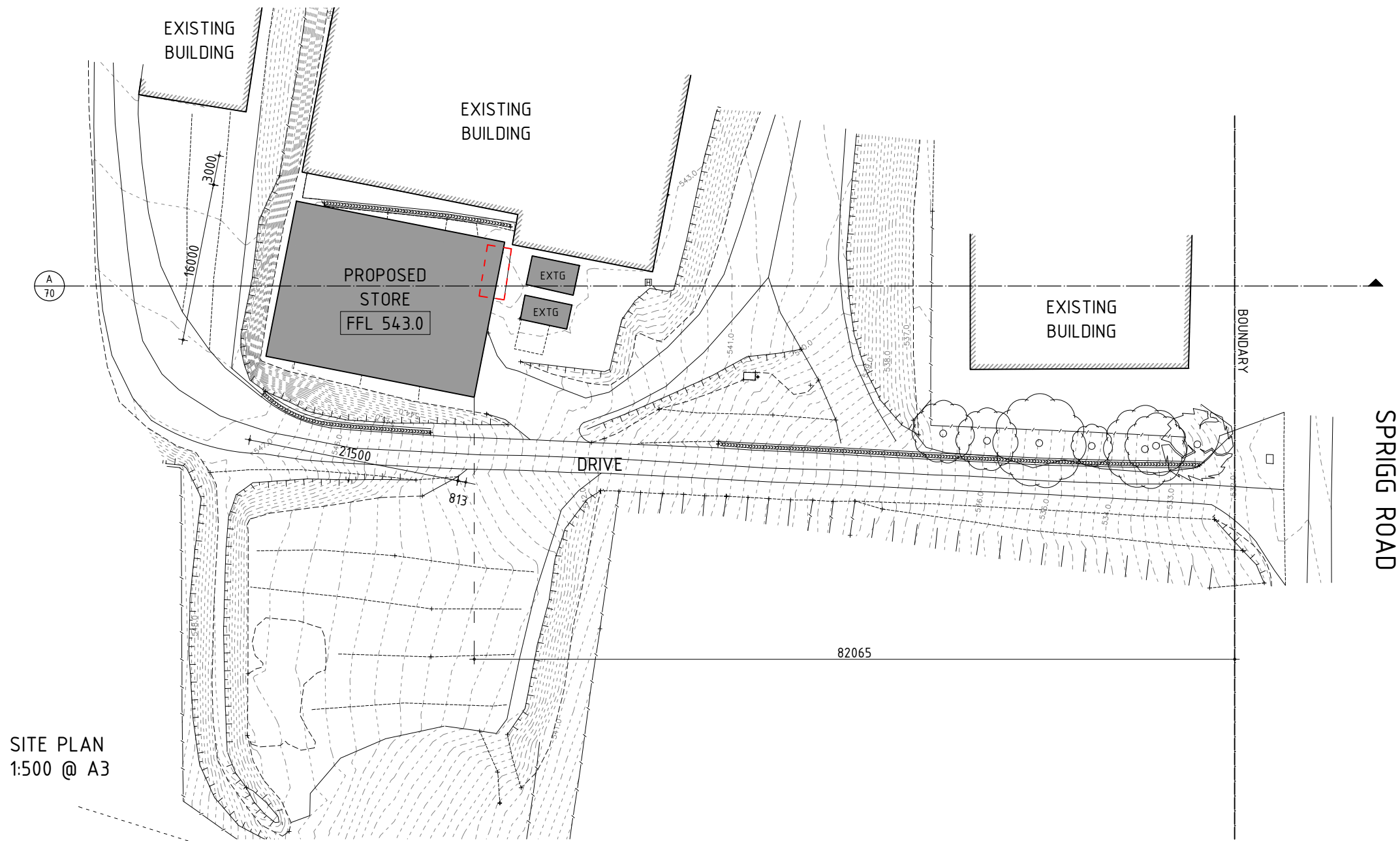
I understand that this application will be considered by the Council Assessment Panel. Should the opportunity arise to speak before the CAP, the applicant has requested that I do so on their behalf.

Yours faithfully

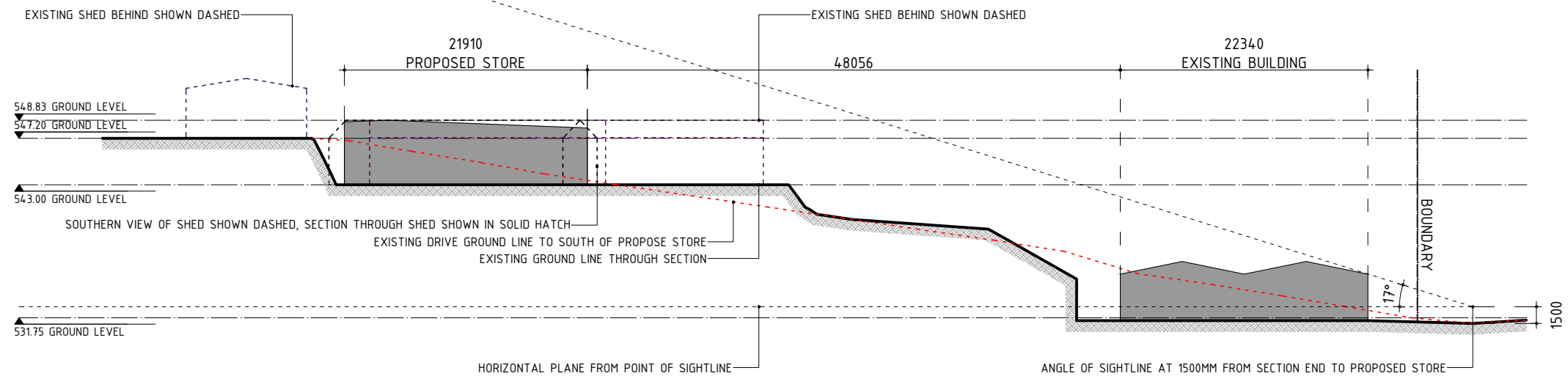


Garth Heynen, MP/IA
BA Planning, Grad Dip Regional & Urban Planning, Grad Dip Property

cc. Wegener Constructions, by email
Mr I Bailey, by email



SITE PLAN
1:500 @ A3



DIAGRAMMATIC SECTION A
1:500 @ A3



PRELIMINARY

1:500

5M 25M

LOCATION
61 SPRIGG ROAD
CRAFERS SA 5172
PROJECT
STORE & PARKING AREA

CLIENT
I BAILEY

REVISION AMENDMENTS

DESCRIPTION	DATE	BY	REV.
PRELIMINARY - CLIENT ISSUE	16.10.23	IM	P2
PRELIMINARY - CLIENT ISSUE	09.10.23	IM	P1
issue	checked	date	rev.

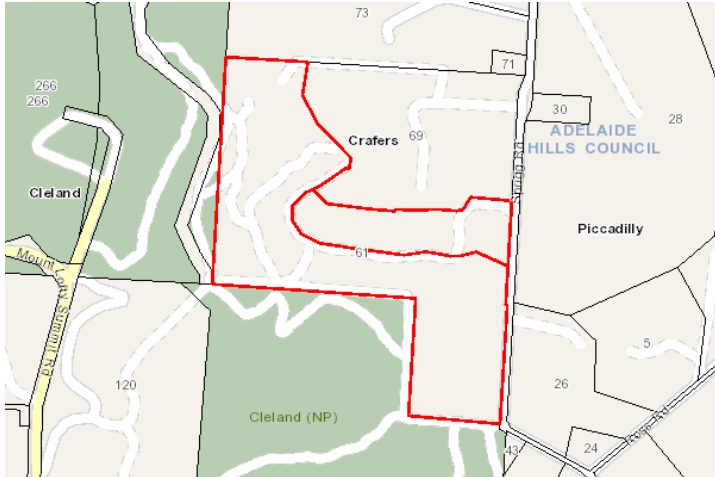
SCALE	1:500
ORIGINAL SIZE	A3
DATE	16/10/2023
DRAWN	IM
JOB NUMBER	23-004
DRAWING NUMBER	23-004.P2.10.01

61 SPRIGG RD CRAFERS SA 5152

Address:

Click to view a detailed interactive [SAILIS](#) in SAILIS

To view a detailed interactive property map in SAPPA click on the map below



Property Zoning Details

- Zone** Productive Rural Landscape
- Overlay**
 - Environment and Food Production Area
 - Hazards (Bushfire - High Risk)
 - Heritage Adjacency
 - Hazards (Flooding - Evidence Required)
 - Limited Land Division
 - Mount Lofty Ranges Water Supply Catchment (Area 2)
 - Native Vegetation
 - Prescribed Water Resources Area
 - State Significant Native Vegetation
 - Scenic Quality
 - Traffic Generating Development
 - Water Resources

Development Pathways

- Productive Rural Landscape
 1. Accepted Development
Means that the development type does not require planning consent (planning approval). Please ensure compliance with relevant land use and development controls in the Code.
 - None
 2. Code Assessed - Deemed to Satisfy
Means that the development type requires consent (planning approval). Please ensure compliance with relevant land use and development controls in the Code.
 - Deck
 3. Code Assessed - Performance Assessed
Performance Assessed development types listed below are those for which the Code identifies relevant policies. Additional development types that are not listed as Accepted, Deemed to Satisfy or Restricted default to a Performance assessed Pathway. Please contact your local council for more information.
 - Deck
 - Verandah
 4. Impact Assessed - Restricted
Means that the development type requires approval. Classes of development that are classified as Restricted are listed in Table 4 of the relevant Zones.

Part 2 - Zones and Sub Zones

Productive Rural Landscape Zone

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	A diverse range of land uses at an appropriate scale and intensity that capitalise on the region's proximity to the metropolitan area and the tourist and

	lifestyle opportunities this presents while also conserving the natural and rural character, identity, biodiversity and sensitive environmental areas and scenic qualities of the landscape.
DO 2	A zone that promotes agriculture, horticulture, value adding opportunities, farm gate businesses, the sale and consumption of agricultural based products, tourist development and accommodation that expands the economic base and promotes its regional identity.
DO 3	Create local conditions that support new and continuing investment while seeking to promote co-existence with adjoining activities and mitigate land use conflicts.

Performance Outcomes (PO) and Deemed to Satisfy (DTS) / Designated Performance Feature (DPF) Criteria

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Land Use and Intensity	
<p>PO 1.1</p> <p>The productive value of rural land for a range of primary production and horticultural activities and associated value adding of primary produce (such as beverage production), retailing and tourism is supported, protected and maintained. The proliferation of land uses that may be sensitive to those activities is avoided.</p>	<p>DTS/DPF 1.1</p> <p>Development comprises one or more of the following:</p> <ul style="list-style-type: none"> (a) Advertisement (b) Agricultural building (c) Brewery (d) Carport (e) Cidery (f) Commercial forestry (g) Distillery (h) Dwelling (i) Dwelling addition (j) Farming (k) Function venue (l) Horse keeping (m) Horticulture (n) Industry (o) Low intensity animal husbandry (p) Outbuilding (q) Shop (r) Small-scale ground mounted solar power facility (s) Tourist accommodation (t) Transport distribution (u) Verandah (v) Warehouse (w) Winery (x) Workers' accommodation
Siting and Design	
<p>PO 2.1</p> <p>Development is provided with suitable vehicle access.</p>	<p>DTS/DPF 2.1</p> <p>Development is serviced by an all-weather trafficable public road.</p>
<p>PO 2.2</p> <p>Buildings are generally located on flat land to minimise cut and fill and the associated visual impacts.</p>	<p>DTS/DPF 2.2</p> <p>Buildings:</p> <ul style="list-style-type: none"> (a) are located on a site with a slope not greater than 10% (1-in-10) (b) do not result excavation and/or filling of land that is greater than 1.5m from natural ground level.
Horticulture	
<p>PO 3.1</p> <p>Horticulture is located and conducted on land that has the physical capability of supporting the activity and in a manner that:</p> <ul style="list-style-type: none"> (a) enhances the productivity of the land for the growing of food and produce in a sustainable manner (b) avoids adverse interface conflicts with other land uses 	<p>DTS/DPF 3.1</p> <p>Horticultural activities:</p> <ul style="list-style-type: none"> (a) are conducted on an allotment with an area of at least 1ha (b) are sited on land with a slope not greater than 10% (1-in-10) (c) are not conducted within 50m of a watercourse or native vegetation (d) are not conducted within 100m of a sensitive receiver in other ownership

<p>(c) utilises sound environmental practices to mitigate negative impacts on natural resources and water quality</p> <p>(d) is sympathetic to surrounding rural landscape character and amenity, where horticulture is proposed to be carried out in an enclosed building such as such as a greenhouse.</p>	<p>(e) provide for a headland area between plantings and property boundaries of at least 10m in width</p> <p>(f) where carried out in an enclosed building such as a greenhouse, the building has a total floor area not greater than 250m²</p> <p>(g) in the form of olive growing, is not located within 500m of a conservation or national park.</p>
<p>Rural Industry</p>	
<p>PO 4.1</p> <p>Small-scale industry (including beverage production and washing, processing, bottling and packaging activities), storage, warehousing, produce grading and packing, transport distribution or similar activities provide opportunities for diversification and value adding to locally sourced primary production activities.</p>	<p>DTS/DPF 4.1</p> <p>Industries, storage, warehousing, produce grading and packing and transport distribution activities and similar activities (or any combination thereof):</p> <p>(a) are directly related and ancillary to a primary production use on the same or adjoining allotment</p> <p>(b) are located on an allotment not less than 2ha in area</p> <p>(c) have a total floor area not exceeding 350m².</p>
<p>PO 4.2</p> <p>Expansion of established small-scale or new large scale industry (including beverage production and washing, processing, bottling and packaging activities), storage, warehousing, produce grading and packing, transport distribution or similar activities:</p> <p>(a) are commensurate with the allotment on which it is situated to mitigate adverse impacts on the amenity of land in other ownership and the character of locality</p> <p>(b) realise efficiencies in primary production related storage, sorting, packaging, manufacturing and the like</p> <p>(c) primarily involve primary production commodities sourced from the same allotment and/or surrounding rural areas.</p>	<p>DTS/DPF 4.2</p> <p>None are applicable.</p>
<p>PO 4.3</p> <p>Industry, storage, warehousing, transport distribution or similar activities are sited, designed and of a scale that maintains rural function and character in a manner that respects landscape amenity.</p>	<p>DTS/DPF 4.3</p> <p>Buildings and associated activities:</p> <p>(a) are setback at least 50m from all road and allotment boundaries</p> <p>(b) are not sited within 100m of a sensitive receiver in other ownership</p> <p>(c) have a building height not greater than 10m above natural ground level</p> <p>(d) incorporate the loading and unloading of vehicles within the confines of the allotment.</p>
<p>Dwellings</p>	
<p>PO 5.1</p> <p>Dwellings provide a convenient base for landowners to conduct and manage commercial scale primary production and related value adding activities without compromising the use of the allotment, adjacent land or long term purpose of the zone for primary production or related tourism values due to a proliferation of dwellings.</p>	<p>DTS/DPF 5.1</p> <p>Dwellings:</p> <p>(a) are located on an allotment with an area not less than:</p> <p>(b) are located on an allotment used for and is ancillary to primary production and/or primary production related value-adding activities</p> <p>(c) will not result in more than one dwelling on an allotment.</p> <p>In relation to DTS/DPF 5.1, in instances where:</p> <p>(d) more than one value is returned, refer to the <i>Minimum Dwelling Allotment Size Technical and Numeric Variation</i> layer in the SA planning database to determine the applicable value relevant to the site of the proposed development</p> <p>(e) no value is returned for DTS/DPF 5.1(a) (ie there is a blank field), then there is no minimum dwelling allotment size applicable and DTS/DPF 5.1(a) is met.</p>
<p>PO 5.2</p> <p>Dwelling are sited, designed and of a scale that maintains a pleasant natural and rural character and amenity.</p>	<p>DTS/DPF 5.2</p> <p>Dwellings:</p> <p>(a) are setback from all allotment boundaries by at least 40m</p> <p>(b) do not exceed 2 building levels and 9m measured from the top of the footings</p> <p>(c) have a wall height no greater than 6m.</p>
<p>PO 5.3</p> <p>Development resulting in more than one dwelling on an allotment supports ageing in place for the owner of the allotment or multi-generational management of farms in a manner that minimises the potential loss of land available for primary production.</p>	<p>DTS/DPF 5.3</p> <p>Dwelling that will result in more than one dwelling on an allotment where all the following are satisfied:</p> <p>(a) it is located within 20m of an existing dwelling</p> <p>(b) share the same utilities of the existing dwelling</p> <p>(c) will use the same access point from a public road as the existing dwelling</p>

	<p>(d) it is located on an allotment not less than 40ha in area</p> <p>(e) will not result in more than two dwellings on an allotment.</p>
<p>PO 5.4</p> <p>Dwelling additions are sited, designed and of a scale that maintains a pleasant rural character and amenity.</p>	<p>DTS/DPF 5.4</p> <p>Additions or alterations to an existing dwelling:</p> <p>(a) are setback behind the main façade of the existing dwelling</p> <p>(b) do not exceed 2 building levels and 9m measured from the top of the footings</p> <p>(c) have a wall height that is no greater than 6m from the top of the footings.</p>
Shops, Tourism and Function Venues	
<p>PO 6.1</p> <p>Shops are associated with an existing primary production or primary production related value adding industry to support diversification of employment, provide services to visitors and showcase local and regional products.</p>	<p>DTS/DPF 6.1</p> <p>Shops, other than where located in The Cedars Subzone:</p> <p>(a) are ancillary to and located on the same allotment or adjoining allotment used for primary production or primary production related value adding industries</p> <p>(b) offer for sale or consumption produce or goods that are primarily sourced, produced or manufactured on the same allotment or adjoining allotments</p> <p>(c) have a gross leasable floor area not exceeding 100m² or 250m² in the case of a cellar door</p> <p>(d) have an area for the display of produce or goods external to a building not exceeding 25m²</p> <p>(e) do not result in more than 75 seats for customer dining purposes in a restaurant.</p>
<p>PO 6.2</p> <p>Shops that are proposed in new buildings are sited, designed and of a scale that maintains a pleasant rural character and amenity.</p>	<p>DTS/DPF 6.2</p> <p>Shops in new buildings:</p> <p>(a) are setback from all property boundaries by at least 20m</p> <p>(b) are not sited within 100m of a sensitive receiver in other ownership</p> <p>(c) have a building height that does not exceed 9m above natural ground level.</p>
<p>PO 6.3</p> <p>Tourist accommodation is associated with the primary use of the land for primary production or primary production related value adding industry to enhance and provide authentic visitor experiences.</p>	<p>DTS/DPF 6.3</p> <p>Tourist accommodation, other than where located in The Cedars Subzone:</p> <p>(a) is ancillary to and located on the same allotment or an adjoining allotment used for primary production or primary production related value adding industry</p> <p>(b) in relation to the area used for accommodation:</p> <p>(i) where in a new building, or buildings, does not exceed a cumulative total floor area of 100m²</p> <p>or</p> <p>(ii) where in an existing building, does not exceed 150m²</p> <p>and</p> <p>(c) does not result in more than one tourist accommodation facility being located on the same allotment.</p>
<p>PO 6.4</p> <p>Tourist accommodation proposed in a new building or buildings are sited, designed and of a scale that maintains a pleasant rural character and amenity.</p>	<p>DTS/DPF 6.4</p> <p>Tourist accommodation in new buildings:</p> <p>(a) is setback from all property boundaries by at least 40m</p> <p>(b) has a building height that does not exceed 7m above natural ground level.</p>
<p>PO 6.5</p> <p>Function venues are associated with the primary use of the land for primary production or primary production related value adding industry.</p>	<p>DTS/DPF 6.5</p> <p>Function venues, other than where located in The Cedars Subzone:</p> <p>(a) are ancillary to and located on the same allotment or an adjoining allotment used for primary production or primary production related value adding industry</p> <p>(b) do not exceed a capacity of 75 persons for customer dining purposes.</p>
<p>PO 6.6</p> <p>Function venues are sited, designed and of a scale that maintains a pleasant natural and rural character and amenity.</p>	<p>DTS/DPF 6.6</p> <p>Function venues:</p> <p>(a) are located on an allotment having an area of at least 5ha</p>

	<ul style="list-style-type: none"> (b) are setback from all property boundaries by at least 40m (c) are not sited within 100m of a sensitive receiver in other ownership (d) have a building height that does not exceed 9m above natural ground level.
Offices	
<p>PO 7.1</p> <p>Offices are directly related to and associated with the primary use of the land for primary production or primary production related value adding industry.</p>	<p>DTS/DPF 7.1</p> <p>Offices, other than where located in The Cedars Subzone:</p> <ul style="list-style-type: none"> (a) are ancillary to and located on the same allotment or an adjoining allotment used for primary production or primary production related value adding industry (b) have a gross leasable floor area not exceeding 100m².
Adaptive Reuse of Existing Buildings	
<p>PO 8.1</p> <p>Adaptive reuse of existing buildings for small-scale shops, offices, tourist accommodation or ancillary rural activities.</p>	<p>DTS/DPF 8.1</p> <p>Development within an existing building is for any of the following:</p> <ul style="list-style-type: none"> (a) a shop (b) office (c) tourist accommodation.
Workers' accommodation	
<p>PO 9.1</p> <p>Workers' accommodation provides short-term accommodation for persons temporarily engaged in the production, management or processing of primary produce.</p>	<p>DTS/DPF 9.1</p> <p>Workers' accommodation:</p> <ul style="list-style-type: none"> (a) is developed on a site at least 2ha in area (b) has a total floor area not exceeding 250m² (c) is in the form of a single building or part of a cluster of buildings that are physically connected (d) amenities accommodate not more than 20 persons at any one time (e) is setback at least 50m from a road boundary (f) is setback at least 40m from a side or rear allotment boundary (g) is located within 20m of an existing dwelling on the same allotment (h) does not result in more than one facility being located on the same allotment.
Renewable Energy Facilities	
<p>PO 10.1</p> <p>Renewable energy facilities and ancillary development minimises significant fragmentation or displacement of existing primary production.</p>	<p>DTS/DPF 10.1</p> <p>None are applicable.</p>
<p>PO 10.2</p> <p>Small-scale ground mounted solar power facilities support rural production or value-adding industries.</p>	<p>DTS/DPF 10.2</p> <p>None are applicable.</p>
Built Form and Character	
<p>PO 11.1</p> <p>Large buildings designed and sited to reduce impacts on scenic and rural vistas by:</p> <ul style="list-style-type: none"> (a) having substantial setbacks from boundaries and adjacent public roads (b) using low reflective materials and finishes that blend with the surrounding landscape (c) being located below ridgelines. 	<p>DTS/DPF 11.1</p> <p>None are applicable.</p>
Land Division	
<p>PO 12.1</p> <p>Land division creating additional allotments is not supported other than where located in The Cedars Subzone to support tourist development.</p>	<p>DTS/DPF 12.1</p> <p>Except where the land division is proposed in The Cedars Subzone, no additional allotments are created.</p>
<p>PO 12.2</p>	<p>DTS/DPF 12.2</p>

<p>Allotment boundaries, including by realignment, are positioned to incorporate sufficient space around existing residential, tourist accommodation and other habitable buildings (including boarding houses, hostels, dormitory style accommodation, student accommodation and workers' accommodation) to:</p> <p>(a) maintain a pleasant rural character and amenity for occupants (b) manage vegetation within the same allotment to mitigate bushfire hazard.</p>	<p>Allotment boundaries are located no closer to an existing residential, tourist accommodation or other habitable building than the greater of the following:</p> <p>(a) 40m (b) the distance required to accommodate an asset protection zone wholly within the relevant allotment.</p>
<p>Agricultural Buildings</p>	
<p>PO 13.1</p> <p>Agricultural buildings and associated activities are sited, designed and of a scale that maintains a pleasant rural character and function.</p>	<p>DTS/DPF 13.1</p> <p>Agricultural buildings:</p> <p>(a) are located on an allotment having an area of at least 2ha (b) are setback at least 40m from an allotment boundary (c) have a building height not exceeding 10m above natural ground level (d) do not exceed 350m² in total floor area (e) incorporate the loading and unloading of vehicles within the confines of the allotment.</p>
<p>Outbuildings, Carports and Verandahs</p>	
<p>PO 14.1</p> <p>Outbuildings are sited, designed and of a scale that maintain a pleasant natural and rural character and amenity.</p>	<p>DTS/DPF 14.1</p> <p>Outbuildings:</p> <p>(a) have a primary street setback that is at least as far back as the building to which it is ancillary (b) have a combined total floor area that does not exceed 100m² (c) do not exceed 5m in wall height measured from natural ground level (not including a gable end) (d) have a total roof height that does not exceed 6m measured from natural ground level if clad in sheet metal, it is pre-colour treated or painted in a non-reflective colour (f) will not result in more than 2 outbuildings on the same allotment.</p>
<p>PO 14.2</p> <p>Carports and verandahs are sited, designed and of a scale to maintain a pleasant natural and rural character and amenity.</p>	<p>DTS/DPF 14.2</p> <p>Carports and verandahs:</p> <p>(a) are set back from the primary street at least as far back as the building to which it is ancillary (b) have a total floor area that does not exceed 80m² (c) have a post height that does not exceed 3m measured from natural ground level (not including a gable end) (d) have a total roof height that does not exceed 5m measured from natural ground level (e) if clad in sheet metal, the cladding is pre-colour treated or painted in a non-reflective colour.</p>
<p>Concept Plans</p>	
<p>PO 15.1</p> <p>Development is compatible with the outcomes sought by any relevant Concept Plan contained within Part 12 - Concept Plans of the Planning and Design Code to support the orderly development of land through staging of development and provision of infrastructure.</p>	<p>DTS/DPF 15.1</p> <p>The site of the development is wholly located outside any relevant Concept Plan boundary. The following Concept Plans are relevant:</p> <p>In relation to DTS/DPF 15.1, in instances where:</p> <p>(a) one or more Concept Plan is returned, refer to Part 12 - Concept Plans in the Planning and Design Code to determine if a Concept Plan is relevant to the site of the proposed development. Note: multiple concept plans may be relevant. (b) in instances where 'no value' is returned, there is no relevant concept plan and DTS/DPF 15.1 is met.</p>
<p>Advertisements</p>	
<p>PO 16.1</p> <p>Freestanding advertisements that identify the associated business without creating a visually dominant element within the locality.</p>	<p>DTS/DPF 16.1</p> <p>Freestanding advertisements:</p> <p>(a) do not exceed 2m in height (b) do not have a sign face that exceeds 2m² per side.</p>

Table 5 - Procedural Matters (PM) - Notification

The following table identifies, pursuant to section 107(6) of the *Planning, Development and Infrastructure Act 2016*, classes of performance assessed development that are excluded from notification. The table also identifies any exemptions to the placement of notices when notification is required.

Interpretation

Notification tables exclude the classes of development listed in Column A from notification provided that they do not fall within a corresponding exclusion prescribed in Column B.

Where a development or an element of a development falls within more than one class of development listed in Column A, it will be excluded from notification if it is excluded (in its entirety) under any of those classes of development. It need not be excluded under all applicable classes of development.

Where a development involves multiple performance assessed elements, all performance assessed elements will require notification (regardless of whether one or more elements are excluded in the applicable notification table) unless every performance assessed element of the application is excluded in the applicable notification table, in which case the application will not require notification.

A relevant authority may determine that a variation to 1 or more corresponding exclusions prescribed in Column B is minor in nature and does not require notification.

Class of Development (Column A)	Exceptions (Column B)
1. Development which, in the opinion of the relevant authority, is of a minor nature only and will not unreasonably impact on the owners or occupiers of land in the locality of the site of the development.	None specified.
2. Any development involving any of the following (or of any combination of any of the following): <ul style="list-style-type: none"> (a) advertisement (b) agricultural building (c) air handling unit, air conditioning system or exhaust fan (d) ancillary accommodation (e) carport (f) deck (g) fence (h) dwelling (i) dwelling addition (j) farming (k) horse keeping (l) internal building work (m) land division (n) outbuilding (o) pergola (p) private bushfire shelter (q) protective tree netting structure (r) replacement building (s) retaining wall (t) solar photovoltaic panels (roof mounted) (u) shade sail (v) swimming pool or spa pool and associated swimming pool safety features (w) temporary accommodation in an area affected by bushfire (x) tree damaging activity (y) verandah (z) water tank. 	None specified.
3. Any development involving any of the following (or of any combination of any of the following): <ul style="list-style-type: none"> (a) industry (b) store (c) warehouse. 	Except development that does not satisfy any of the following: <ul style="list-style-type: none"> 1. Productive Rural Landscape Zone DTS/DPF 4.1 2. Productive Rural Landscape Zone DTS/DPF 4.3.
4. Demolition.	Except any of the following: <ul style="list-style-type: none"> 1. the demolition (or partial demolition) of a State or Local Heritage Place (other than an excluded building) 2. the demolition (or partial demolition) of a building in a Historic Area Overlay (other than an excluded building).
5. Function venue within The Cedars Subzone.	None specified.
6. Function venue.	Except function venue that does not satisfy Productive Rural Landscape Zone DTS/DPF 6.6.
7. Horticulture.	Except horticulture that does not satisfy any of the following: <ul style="list-style-type: none"> 1. Productive Rural Landscape Zone DTS/DPF 3.1(d) 2. Productive Rural Landscape Zone DTS/DPF 3.1(e).

8. Railway line.	Except where located outside of a rail corridor or rail reserve.
9. Shop within The Cedars Subzone.	None specified.
10. Shop.	Except shop that does not satisfy any of the following: <ol style="list-style-type: none"> 1. Productive Rural Landscape Zone DTS/DPF 6.1 2. Productive Rural Landscape Zone DTS/DPF 6.2.
11. Tourist accommodation within The Cedars Subzone.	None specified.
12. Tourist accommodation.	Except tourist accommodation that does not to satisfy any of the following: <ol style="list-style-type: none"> 1. Productive Rural Landscape Zone DTS/DPF 6.3 2. Productive Rural Landscape Zone DTS/DPF 6.4.

Placement of Notices - Exemptions for Performance Assessed Development

Pursuant to regulation 47(6)(c) of the Planning, Development and Infrastructure (General) Regulations 2017, the requirement to place a notice on the relevant land under section 107(3)(a)(ii) of the *Planning, Development and Infrastructure Act 2016* does not apply in the Productive Rural Landscape Zone.

Placement of Notices - Exemptions for Restricted Development

Pursuant to regulation 47(6)(c) of the Planning, Development and Infrastructure (General) Regulations 2017, the requirement to place a notice on the relevant land under section 110(2)(a)(iv) of the *Planning, Development and Infrastructure Act 2016* does not apply in the Productive Rural Landscape Zone.

Part 3 - Overlays

Environment and Food Production Areas Overlay

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Protection of valuable rural, landscape, environmental and food production areas from urban encroachment.

Performance Outcomes (PO) and Deemed to Satisfy (DTS) / Designated Performance Feature (DPF) Criteria

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
PO 1.1 Land division undertaken in accordance with Section 7 of the <i>Planning, Development and Infrastructure Act 2016</i> .	DTS/DPF 1.1 None are applicable.

Procedural Matters (PM)

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

Hazards (Bushfire - High Risk) Overlay

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	<p>Development, including land division is sited and designed to minimise the threat and impact of bushfires on life and property with regard to the following risks:</p> <ul style="list-style-type: none"> (a) potential for uncontrolled bushfire events taking into account the increased frequency and intensity of bushfires as a result of climate change (b) high levels and exposure to ember attack (c) impact from burning debris (d) radiant heat (e) likelihood and direct exposure to flames from a fire front.
DO 2	<p>Activities that increase the number of people living and working in the area or where evacuation would be difficult is sited away from areas of unacceptable bushfire risk.</p>
DO 3	<p>To facilitate access for emergency service vehicles to aid the protection of lives and assets from bushfire danger.</p>

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Land Use	
<p>PO 1.1</p> <p>Development that significantly increases the potential for fire outbreak as a result of the spontaneous combustion of materials, spark generation or through the magnification and reflection of light is not located in areas of unacceptable bushfire risk.</p>	<p>DTS/DPF 1.1</p> <p>None are applicable.</p>
<p>PO 1.2</p> <p>Child care facilities, educational facilities, hospitals, retirement and supported accommodation are sited away from areas of unacceptable bushfire risk and locations that:</p> <ul style="list-style-type: none"> (a) are remote from or require extended periods of travel to reach safer locations (b) don't have a safe path of travel to safer locations. 	<p>DTS/DPF 1.2</p> <p>None are applicable.</p>
Siting	
<p>PO 2.1</p> <p>Buildings and structures are located away from areas that pose an unacceptable bushfire risk as a result of vegetation cover and type, and terrain.</p>	<p>DTS/DPF 2.1</p> <p>None are applicable.</p>
Built Form	
<p>PO 3.1</p> <p>Buildings and structures are designed and configured to reduce the impact of bushfire through using designs that reduce the potential for trapping burning debris</p>	<p>DTS/DPF 3.1</p> <p>None are applicable.</p>

<p>against or underneath the building or structure, or between the ground and building floor level in the case of transportable buildings and buildings on stilts.</p>	
<p>PO 3.2</p> <p>Extensions to buildings, outbuildings and other ancillary structures are sited and constructed using materials to minimise the threat of fire spread to residential and tourist accommodation (including boarding houses, hostels, dormitory style accommodation, student accommodation and Workers' accommodation) in the event of bushfire.</p>	<p>DTS/DPF 3.2</p> <p>Outbuildings and other ancillary structures are sited no closer than 6m from the habitable building.</p>
<p>Habitable Buildings</p>	
<p>PO 4.1</p> <p>To minimise the threat, impact and potential exposure to bushfires on life and property, residential and tourist accommodation and habitable buildings for vulnerable communities (including boarding houses, hostels, dormitory style accommodation, student accommodation and workers' accommodation) is sited on the flatter portion of allotments away from steep slopes.</p>	<p>DTS/DPF 4.1</p> <p>None are applicable.</p>
<p>PO 4.2</p> <p>Residential and tourist accommodation and habitable buildings for vulnerable communities (including boarding houses, hostels, dormitory style accommodation, student accommodation and workers' accommodation) is sited away from vegetated areas that pose an unacceptable bushfire risk.</p>	<p>DTS/DPF 4.2</p> <p>Residential and tourist accommodation and habitable buildings for vulnerable communities are provided with asset protection zone(s) in accordance with (a) and (b):</p> <p>(a) the asset protection zone has a minimum width of at least:</p> <p>(i) 50 metres to unmanaged grasslands</p> <p>(ii) 100 metres to hazardous bushland vegetation</p> <p>(b) the asset protection zone is contained wholly within the allotment of the development.</p>
<p>PO 4.3</p> <p>Residential and tourist accommodation and habitable buildings for vulnerable communities (including boarding houses, hostels, dormitory style accommodation, student accommodation and workers' accommodation) has a dedicated area available that:</p> <p>(a) is capable of accommodating a bushfire protection system comprising firefighting equipment and water supply in accordance with <i>Ministerial Building Standard MBS 008 - Designated bushfire prone areas - additional requirements</i></p> <p>(b) includes the provision of an all-weather hardstand area in a location that:</p> <p>(i) allows fire-fighting vehicles to safely access the dedicated water supply and exit the site in a forward direction</p> <p>(ii) is no further than 6 metres from the dedicated water supply outlet(s) where required.</p>	<p>DTS/DPF 4.3</p> <p>None are applicable.</p>
<p>Land Division</p>	
<p>PO 5.1</p> <p>Land division for residential and tourist accommodation and habitable buildings for vulnerable communities (including boarding houses, hostels, dormitory style accommodation, student accommodation and workers' accommodation) is limited to those areas specifically set aside for these uses.</p>	<p>DTS/DPF 5.1</p> <p>None are applicable.</p>
<p>PO 5.2</p> <p>Land division is designed and incorporates measures to minimise the danger of fire hazard to residents and occupants of buildings, and to protect buildings and property from physical damage in the event of a bushfire.</p>	<p>DTS/DPF 5.2</p> <p>None are applicable.</p>
<p>PO 5.3</p> <p>Land division is designed to provide a continuous street pattern (avoiding the use of dead end roads/cul-de-sac road design) to facilitate the safe movement and evacuation of emergency vehicles, residents, occupants and visitors. Where cul-de-sac / dead end roads are proposed, an alternative emergency evacuation route is</p>	<p>DTS/DPF 5.3</p> <p>None are applicable.</p>

<p>provided.</p>	
<p>PO 5.4</p> <p>Where 10 or more new allotments are proposed, land division includes at least two separate and safe exit points to enable multiple avenues of evacuation in the event of a bushfire.</p>	<p>DTS/DPF 5.4</p> <p>None are applicable.</p>
<p>PO 5.5</p> <p>Land division provides sufficient space for future asset protection zones and incorporates perimeter roads of adequate design in conjunction with bushfire buffer zones to achieve adequate separation between residential allotments and areas of unacceptable bushfire risk and to support safe access for the purposes of fire-fighting.</p>	<p>DTS/DPF 5.5</p> <p>None are applicable.</p>
<p>Vehicle Access –Roads, Driveways and Fire Tracks</p>	
<p>PO 6.1</p> <p>Roads are designed and constructed to facilitate the safe and effective:</p> <p>(a) access, operation and evacuation of fire-fighting vehicles and emergency personnel (b) evacuation of residents, occupants and visitors.</p>	<p>DTS/DPF 6.1</p> <p>Roads:</p> <p>(a) are constructed with a formed, all-weather surface (b) have a gradient of not more than 16 degrees (1-in-3.5) at any point along the road (c) have a cross fall of not more than 6 degrees (1-in-9.5) at any point along the road (d) have a minimum formed road width of 6m (e) provide overhead clearance of not less than 4.0m between the road surface and overhanging branches or other obstructions including buildings and/or structures (Figure 1) (f) allow fire-fighting services (personnel and vehicles) to travel in a continuous forward movement around road curves by constructing the curves with a minimum external radius of 12.5m (Figure 2) (g) incorporating cul-de-sac endings or dead end roads are provided within an alternative evacuation route and do not exceed 200m in length and the end of the road has either: (i) a turning area with a minimum formed surface radius of 12.5m (Figure 3) or (ii) a 'T' or 'Y' shaped turning area with a minimum formed surface length of 11m and minimum internal radii of 9.5m (Figure 4) (h) incorporate solid, all-weather crossings over any watercourse that support fire-fighting vehicles with a gross vehicle mass (GVM) of 21 tonnes.</p>
<p>PO 6.2</p> <p>Access to habitable buildings is designed and constructed to facilitate the safe and effective:</p> <p>(a) use, operation and evacuation of fire-fighting and emergency personnel (b) evacuation of residents, occupants and visitors.</p>	<p>DTS/DPF 6.2</p> <p>Access is in accordance with (a) or (b):</p> <p>(a) a clear and unobstructed vehicle or pedestrian pathway of not greater than 60 metres in length is available between the most distant part of the habitable building and the nearest part of a formed public access road (b) driveways: (i) do not exceed 600m in length (ii) are constructed with a formed, all-weather surface (iii) are connected to a formed, all-weather public road with the transition area between the road and driveway having a gradient of not more than 7 degrees (1-in-8) (iv) have a gradient of not more than 16 degrees (1-in-3.5) at any point along the driveway (v) have a crossfall of not more than 6 degrees (1-in-9.5) at any point along the driveway (vi) have a minimum formed width of 3m (4m where the gradient of the driveway is steeper than 12 degrees (1-in-4.5)) plus 0.5 metres clearance either side of the driveway from overhanging branches or other obstructions, including buildings and/or structures (Figure 1) (vii) incorporate passing bays with a minimum width of 6m and length of 17m every 200m (Figure 5) (viii) provide overhead clearance of not less than 4.0m between the driveway surface and overhanging branches or other obstructions, including buildings and/or structures (Figure 1) (ix) allow fire-fighting services (personnel and vehicles) to travel in a continuous forward movement around driveway curves by constructing the curves with a minimum external radius of 12.5m (Figure 2) (x) allow fire-fighting vehicles to safely enter and exit an allotment in a forward direction by using a 'U' shaped drive through design or by incorporating at the end of the driveway either: A. a loop road around the building or B. a turning area with a minimum radius of 12.5m (Figure 3) or C. a 'T' or 'Y' shaped turning area with a minimum formed length of 11m and minimum internal radii of 9.5m (Figure 4) (xi) incorporate solid, all-weather crossings over any watercourse that support fire-fighting vehicles with a gross vehicle mass (GVM) of 21 tonnes.</p>

<p>PO 6.3</p> <p>Development does not rely on fire tracks as means of evacuation or access for fire-fighting purposes unless there are no safe alternatives available.</p>	<p>DTS/DPF 6.3</p> <p>None are applicable.</p>
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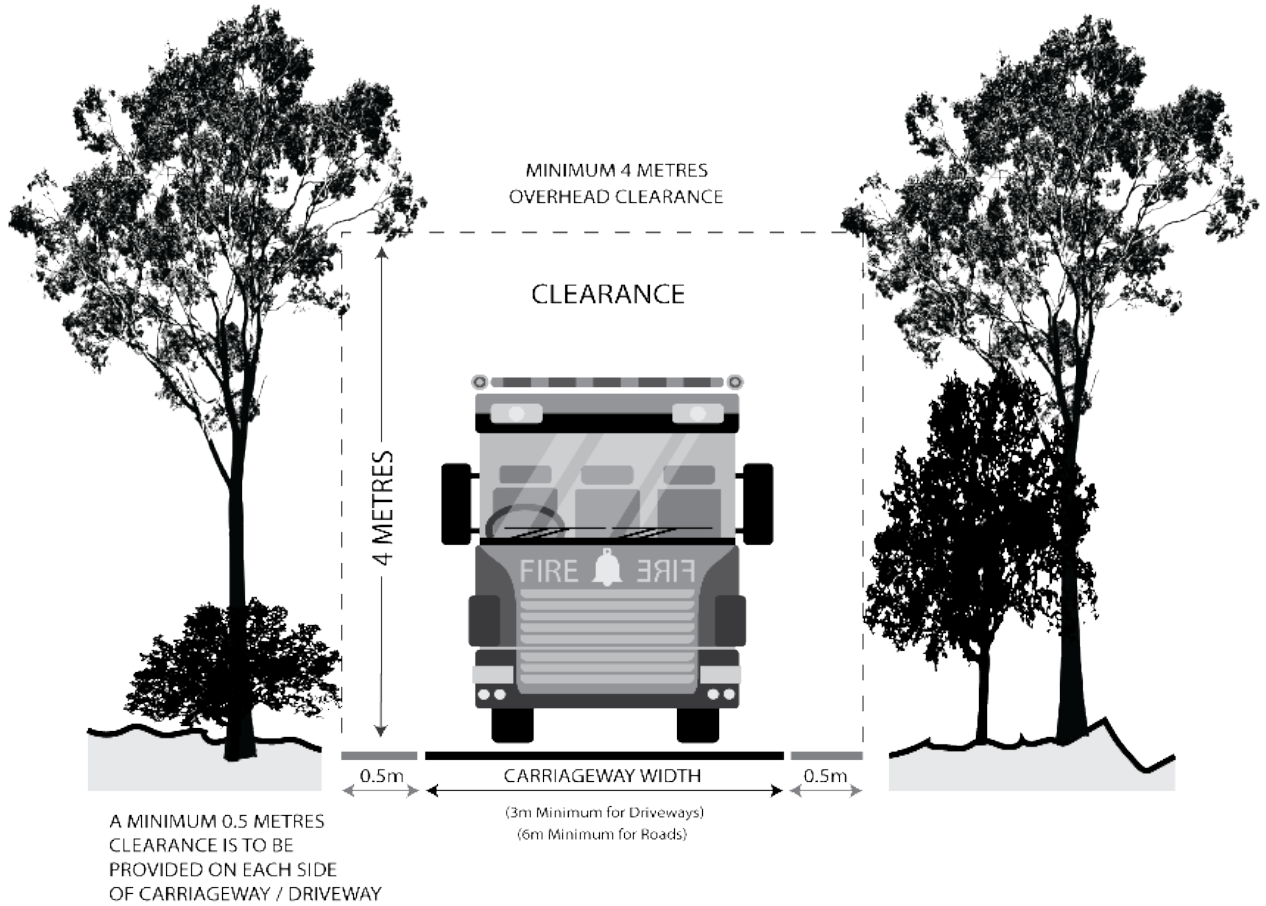
Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
<p>Except if a relevant certificate accompanies the application for planning consent in respect of the development, any of the following classes of development (including alterations and additions which increase the floor area of such buildings by 10% or more):</p> <ul style="list-style-type: none"> (a) land division creating one or more additional allotments (b) dwelling (c) ancillary accommodation (d) residential flat building (e) tourist accommodation (f) boarding home (g) dormitory style accommodation (h) workers' accommodation (i) student accommodation (j) child care facility (k) educational facility (l) retirement village (m) supported accommodation (n) residential park (o) hospital (p) camp ground. 	<p>South Australian Country Fire Service.</p>	<p>To provide expert assessment and direction to the relevant authority on the potential impacts of bushfire on the development.</p>	<p>Development of a class to which Schedule 9 clause 3 item 2 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.</p>

Figures and Diagrams

<p>Fire Appliance Clearances</p>
<p>Figure 1 - Overhead and Side Clearances</p>



Roads and Driveway Design

Figure 2 - Road and Driveway Curves

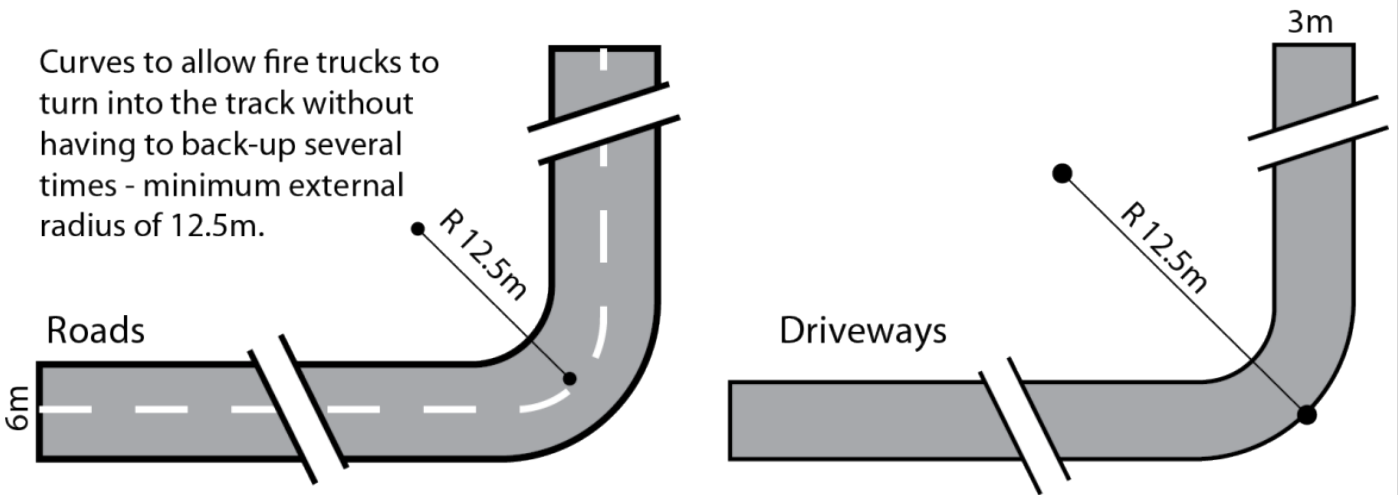


Figure 3 - Full Circle Turning Area

Fire truck turning area -
minimum radius 12.5m

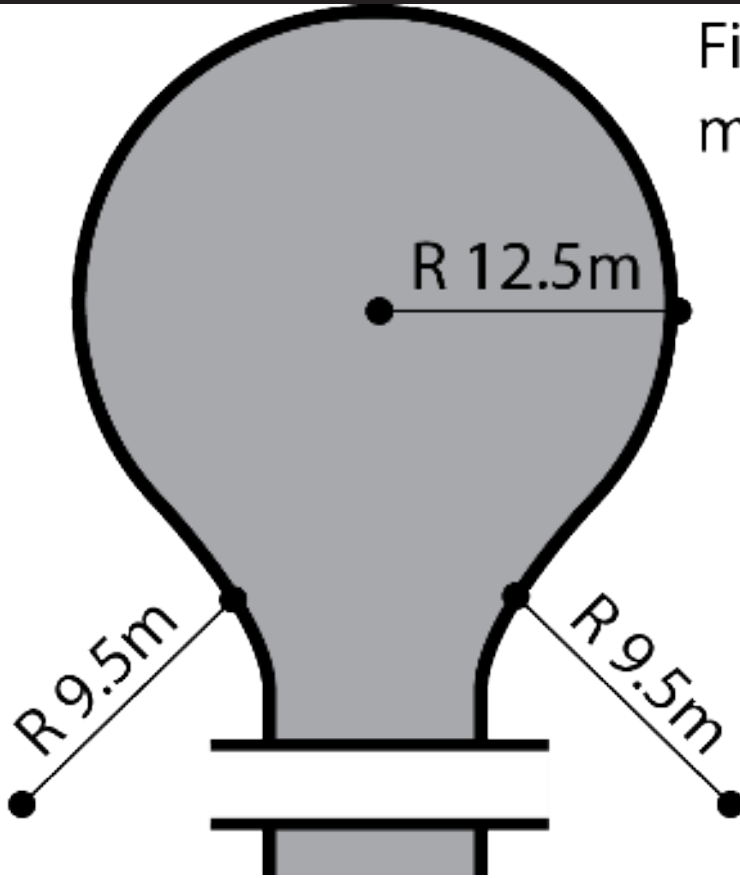
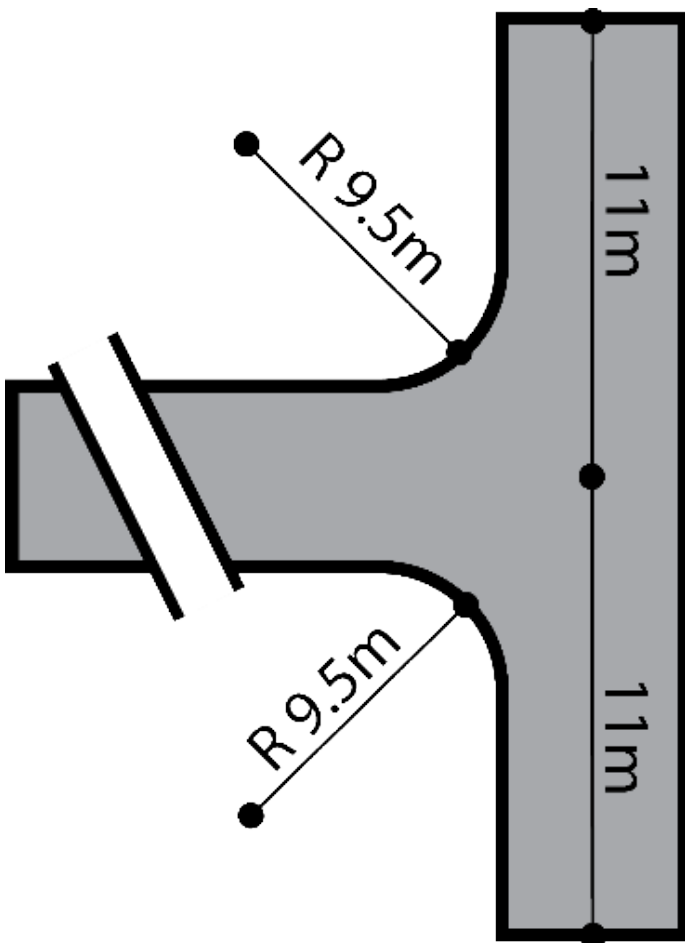


Figure 4 - 'T' or 'Y' Shaped Turning Head



"T" shaped turning area
for fire trucks to reverse
into so they can turn
around
- minimum length 11m.

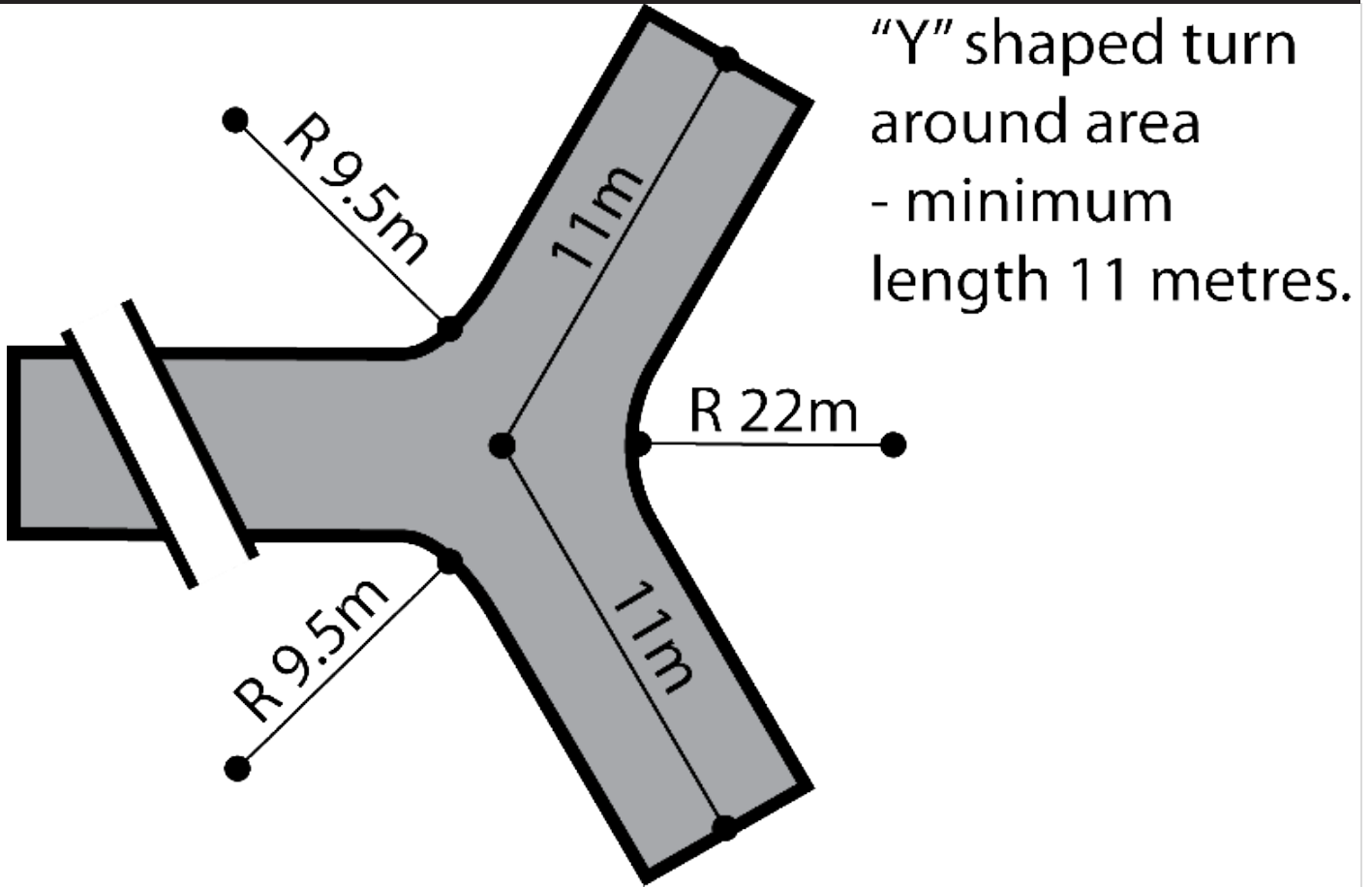
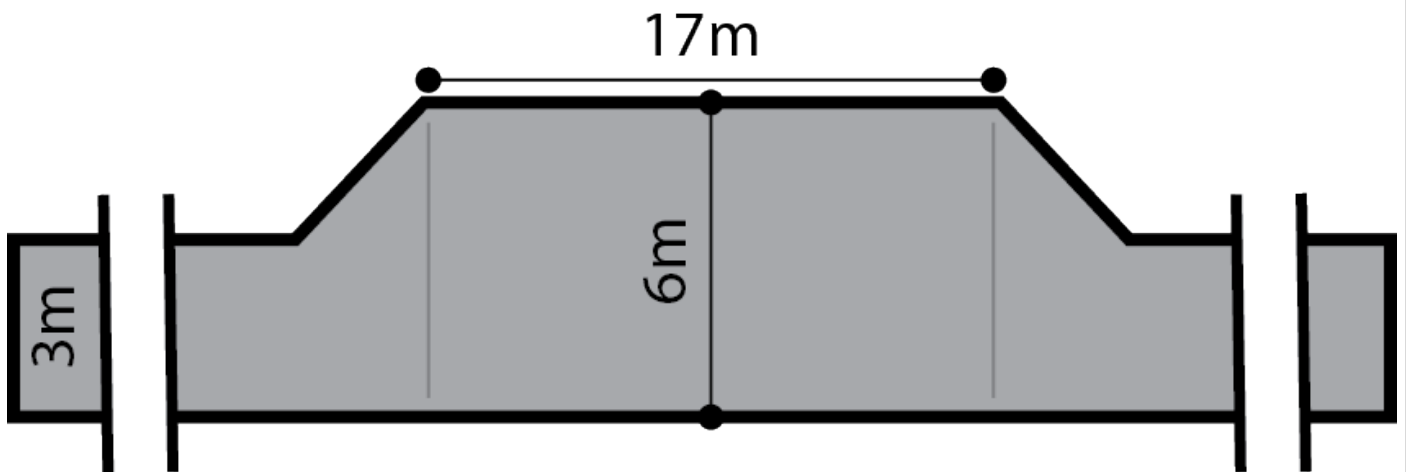


Figure 5 - Driveway Passing Bays

Passing bay for fire trucks - minimum width 6 metres, minimum length 17 metres.



Hazards (Flooding - Evidence Required) Overlay

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Development adopts a precautionary approach to mitigate potential impacts on people, property, infrastructure and the environment from potential flood risk through the appropriate siting and design of development.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
<small>Flood Resilience</small>	
<p>PO 1.1</p> <p>Development is sited, designed and constructed to minimise the risk of entry of potential floodwaters where the entry of flood waters is likely to result in undue damage to or compromise ongoing activities within buildings.</p>	<p>DTS/DPF 1.1</p> <p>Habitable buildings, commercial and industrial buildings, and buildings used for animal keeping incorporate a finished floor level at least 300mm above:</p> <p>(a) the highest point of top of kerb of the primary street or (b) the highest point of natural ground level at the primary street boundary where there is no kerb</p>
<small>Environmental Protection</small>	
<p>PO 2.1</p> <p>Buildings and structures used either partly or wholly to contain or store hazardous materials are designed to prevent spills or leaks leaving the confines of the building.</p>	<p>DTS/DPF 2.1</p> <p>Development does not involve the storage of hazardous materials.</p>

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

Heritage Adjacency Overlay

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Development adjacent to State and Local Heritage Places maintains the heritage and cultural values of those Places.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
<small>Built Form</small>	
<p>PO 1.1</p> <p>Development adjacent to a State or Local Heritage Place does not dominate, encroach on or unduly impact on the setting of the Place.</p>	<p>DTS/DPF 1.1</p> <p>None are applicable.</p>
<small>Land Division</small>	

<p>PO 2.1</p> <p>Land division adjacent to a State or Local Heritage Place creates allotments that are of a size and dimension that enables the siting and setbacks of new buildings from allotment boundaries so that they do not dominate, encroach or unduly impact on the setting of the Place.</p>	<p>DTS/DPF 2.1</p> <p>None are applicable.</p>
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Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
Development which in the opinion of the relevant authority materially affects the context within which the State Heritage Place is situated.	Minister responsible for the administration of the <i>Heritage Places Act 1993</i> .	To provide expert assessment and direction to the relevant authority on the potential impacts of development adjacent State Heritage Places.	Development of a class to which Schedule 9 clause 3 item 17 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.

Limited Land Division Overlay

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	The long term use of land for primary production is maintained by minimising fragmentation through division of land.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
General	
<p>PO 1.1</p> <p>Land division does not result in the creation of an additional allotment.</p>	<p>DTS/DPF 1.1</p> <p>No additional allotments are created.</p>
<p>PO 1.2</p> <p>Land division involving boundary realignments occurs only where the number of resulting allotments with a site area less than that specified in the relevant Zone is not greater than the number that existed prior to the realignment.</p>	<p>DTS/DPF 1.2</p> <p>None are applicable.</p>

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

Mount Lofty Ranges Water Supply Catchment (Area 1) Overlay

Assessment Provisions (AP)

Performance Outcomes (PO) and Deemed to Satisfy (DTS) / Designated Performance Feature (DPF) Criteria

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
<p>Wastewater</p> <p>DTS/DPF 2.4</p> <p>All components of an effluent disposal area are:</p> <ul style="list-style-type: none"> (a) set back 50 metres or more from a watercourse (b) set back 100 metres or more from a public water supply reservoir (c) located on land with a slope no greater than 1-in-5 (20%) (d) located on land with 1.2m or more depth to bedrock or a seasonal or permanent water table above the 10% AEP flood level. (e) 	<p>Stormwater</p>
<p>DTS/DPF 3.4</p> <p>Development includes:</p> <ul style="list-style-type: none"> (a) rainwater tanks with a minimum capacity of 1,000L connected to carports, verandahs and outbuildings or (b) rainwater tanks with a minimum capacity of 4,500L connected to agricultural buildings exceeding 100m². 	<p>DTS/DPF 3.5</p> <p>Dwelling additions are connected to a rainwater tank with a minimum capacity of 1,000L.</p>
<p>DTS/DPF 3.6</p> <p>Shops and tourist accommodation satisfy all the following:</p> <ul style="list-style-type: none"> (a) are located 50m or more from watercourses, wetlands, land prone to waterlogging and bores (b) are located 100m or more from public water supply reservoirs and diversion weirs (c) are located on land with a slope not exceeding 20% (d) includes buildings connected to rainwater tanks with a minimum capacity of 1,000L (e) includes swales that divert clean stormwater away from areas where it could be polluted. 	<p>DTS/DPF 3.9</p> <p>Excavation and/or filling satisfy all the following:</p> <ul style="list-style-type: none"> (a) is located 50m or more from watercourses (b) is located 100m or more from public water supply reservoirs and diversion weirs (c) does not involve excavation exceeding a vertical height of 0.75m (d) does not involve filling exceeding a vertical height of 0.75m (e) does not involve a total combined excavation and filling vertical height of 1.5m.

Mount Lofty Ranges Water Supply Catchment (Area 2) Overlay

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Safeguard Greater Adelaide's public water supply by ensuring development has a neutral or beneficial effect on the quality of water harvested from secondary reservoirs or diversion weir catchments from the Mount Lofty Ranges.

Performance Outcomes (PO) and Deemed to Satisfy (DTS) / Designated Performance Feature (DPF) Criteria

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Water Quality	
<p>PO 1.1</p> <p>Development results in a neutral or beneficial effect on the quality of water draining from the site to maintain and enhance the role of the catchment as a water supply.</p>	<p>DTS/DPF 1.1</p> <p>None are applicable.</p>
<p>PO 1.2</p> <p>Development does not include land uses that have the potential to cause adverse impacts on the quality of water draining into secondary public water supply reservoirs and weirs.</p>	<p>DTS/DPF 1.2</p> <p>Development does not involve any one or combination of the following:</p> <ul style="list-style-type: none"> (a) landfill (b) special industry.
Wastewater	
<p>PO 2.1</p> <p>Development that generates human wastewater, including alterations and additions, are established at an intensity and in a manner to minimise potential adverse impact on water quality within secondary reservoir and weir catchment areas.</p>	<p>DTS/DPF 2.1</p> <p>Development including alterations and additions, in combination with existing built form and activities within an allotment:</p> <ul style="list-style-type: none"> (a) do not generate a combined total of more than 1500 litres of wastewater per day and (b) will be connected to the same on-site wastewater system that is compliant with relevant South Australian standards <p>or is otherwise connected to a sewer or community wastewater management system.</p>
<p>PO 2.2</p> <p>Dairy development is of a scale and design that will avoid adverse water quality impacts.</p>	<p>DTS/DPF 2.2</p> <p>Dairy development satisfies all of the following:</p> <ul style="list-style-type: none"> (a) is located at least 100 metres from any watercourse, dam, bore or well (b) is connected to a wastewater management system that is located 200 metres from any watercourse, dam, bore or well and is designed and constructed to avoid leakage to groundwater or overflow under extreme rainfall conditions (c) treated wastewater irrigation areas: <ul style="list-style-type: none"> (i) have a slope of less than 1-in-5 (20 percent) (ii) are greater than 100 metres from any watercourse, dam, bore or well <p>are suitable to provide for seasonal wastewater irrigation without causing pollution of surface or groundwater.</p>
<p>PO 2.3</p> <p>Development that generates trade or industrial wastewater is designed to ensure wastewater disposal avoids adverse impacts on the quality of water draining into secondary public water supply reservoirs and weirs.</p>	<p>DTS/DPF 2.3</p> <p>Development that generates trade or industrial wastewater is connected to:</p> <ul style="list-style-type: none"> (a) a sewer or community wastewater management system with sufficient hydraulic and treatment capacity to accept the inflow or (b) an on-site wastewater holding tank which has storage capacity of more than four days total flow during peak operations and is contained within an impervious, bunded area with a total liquid holding capacity of more than 120 percent of the total holding tank capacity, prior to transporting for off-site disposal.
<p>PO 2.4</p> <p>Wastewater management systems result in a neutral or beneficial effect on the quality of water draining from the site.</p>	<p>DTS/DPF 2.4</p> <p>Development results in:</p> <ul style="list-style-type: none"> (a) a building or land use that is currently connected to an existing on-site wastewater system that is non-compliant with relevant South Australian standards being connected to a new or upgraded system that complies with such standards or (b) an existing on-site wastewater system being decommissioned and wastewater being disposed of to a sewer or community wastewater management system that complies with relevant South Australian standards.
<p>PO 2.5</p> <p>Surface and groundwater protected from wastewater discharge pollution.</p>	<p>DTS/DPF 2.5</p> <p>All components of an effluent disposal area are:</p>

	<ul style="list-style-type: none"> (a) setback 50 metres or more from a watercourse (b) setback 100 metres or more from a public water supply reservoir (c) located on land with a slope no greater than 1-in-5 (20%) (d) located on land with 1.2m or more depth to bedrock or a seasonal or permanent water table above the 10% AEP flood level. (e)
Stormwater	
<p>PO 3.1</p> <p>Post-development peak stormwater discharge quantities and rates do not exceed pre-development quantities and rates to maintain water quality leaving the site.</p>	<p>DTS/DPF 3.1</p> <p>None are applicable.</p>
<p>PO 3.2</p> <p>Stormwater run-off from areas not likely to be subject to pollution diverted away from areas that could cause pollution.</p>	<p>DTS/DPF 3.2</p> <p>None are applicable.</p>
<p>PO 3.3</p> <p>Polluted stormwater is treated prior to discharge from the site.</p>	<p>DTS/DPF 3.3</p> <p>None are applicable.</p>
<p>PO 3.4</p> <p>Stormwater from carports, verandahs, outbuildings and agricultural buildings captured to protect water quality.</p>	<p>DTS/DPF 3.4</p> <p>Development includes:</p> <ul style="list-style-type: none"> (a) rainwater tanks with a minimum capacity of 1,000L connected to carports, verandahs and outbuildings or (b) rainwater tanks with a minimum capacity of 4,500L connected to agricultural buildings exceeding 100m².
<p>PO 3.5</p> <p>Stormwater from dwelling additions captured to protect water quality.</p>	<p>DTS/DPF 3.5</p> <p>Dwelling additions are connected to a rainwater tank with a minimum capacity of 1,000L.</p>
<p>PO 3.6</p> <p>Stormwater from shops and tourist accommodation is managed to protect water quality.</p>	<p>DTS/DPF 3.6</p> <p>Shops and tourist accommodation satisfy all the following:</p> <ul style="list-style-type: none"> (a) are located 50m or more from watercourses, wetlands, land prone to waterlogging and bores (b) are located 100m or more from public water supply reservoirs and diversion weirs (c) are located on land with a slope not exceeding 20% (d) includes buildings connected to rainwater tanks with a minimum capacity of 1,000L (e) includes swales that divert clean stormwater away from areas where it could be polluted.
<p>PO 3.7</p> <p>Stormwater from horse keeping and low intensity animal husbandry is managed to protect water quality.</p>	<p>DTS/DPF 3.7</p> <p>Horse keeping and low intensity animal husbandry satisfy all the following:</p> <ul style="list-style-type: none"> (a) is located 50m or more from watercourses, wetlands, land prone to waterlogging and bores (b) is located on land with a slope not exceeding 10% (c) includes stables, shelters or other roofed structures connected to rainwater tanks with a minimum capacity of 1,000L (d) includes swales that divert clean stormwater away from areas (including yards, manure storage areas, and watering points) within which it could be polluted.
<p>PO 3.8</p> <p>Stormwater from horticulture is managed to protect water quality.</p>	<p>DTS/DPF 3.8</p> <p>Horticulture satisfies all the following:</p> <ul style="list-style-type: none"> (a) is located 50m or more from watercourses, wetlands, land prone to waterlogging and bores (b) is located 100m or more from public water supply reservoirs and diversion weirs (c) is located on land with a slope not exceeding 10% (d) includes swales or other structures that divert clean stormwater away from areas (including plant growing areas, chemical storage areas and plant waste storage areas) within which it could be polluted.
<p>PO 3.9</p>	<p>DTS/DPF 3.9</p>

Stormwater from excavated and filled areas is managed to protect water quality.	Excavation and/or filling satisfy all the following: (a) is located 50m or more from watercourses (b) is located 100m or more from public water supply reservoirs and diversion weirs (c) does not involve excavation exceeding a vertical height of 0.75m (d) does not involve filling exceeding a vertical height of 0.75m (e) does not involve a total combined excavation and filling vertical height of 1.5m.
Landscapes and Natural Features	
PO 4.1 Development minimises the need to modify landscapes and natural features.	DTS/DPF 4.1 None are applicable.
Land Division	
PO 5.1 Land division does not result in an increased risk of pollution to surface or underground water.	DTS/DPF 5.1 Land division does not create additional allotments and satisfies (a) and/or (b): (a) is for realignment of allotment boundaries to correct an anomaly in the placement of those boundaries with respect to the location of existing buildings or structures or (b) is for realignment of allotment boundaries in order to improve management of the land for primary production and/or conservation of natural features.
PO 5.2 Realignment of allotment boundaries does not create development potential for a dwelling and associated onsite wastewater management system where no such potential currently exists.	DTS/DPF 5.2 None are applicable.

Procedural Matters (PM)

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
Any of the following classes of development that are not connected (or not proposed to be connected) to a community wastewater management system or sewerage infrastructure: (a) land division creating one or more additional allotments, either partly or wholly within the area of the overlay (b) function venue with more than 75 seats for customer dining purposes (c) restaurant with more than 40 seats for customer dining purposes (d) restaurant with more than 30 seats for customer dining purposes in association with a cellar door (e) dwelling where a habitable dwelling or tourist accommodation or workers' accommodation already exists on the same allotment (including where a valid planning authorisation exists to erect a dwelling or tourist accommodation or workers' accommodation on the same allotment), except where the existing habitable dwelling or tourist accommodation or workers' accommodation on the same allotment is proposed to be demolished and the existing on-site wastewater system is proposed to be decommissioned (f) tourist accommodation where a habitable dwelling or tourist accommodation or workers' accommodation already exists on the same allotment (including where a valid planning authorisation exists to erect a habitable dwelling or tourist accommodation or workers' accommodation on the same allotment), except where the existing habitable dwelling or tourist accommodation or workers' accommodation on the same allotment is proposed to be demolished and the existing on-site wastewater system is proposed to be decommissioned (g) workers' accommodation where a habitable dwelling or tourist accommodation or workers' accommodation already exists on the same allotment (including where a valid planning authorisation exists to erect a habitable dwelling or tourist accommodation or workers' accommodation on the same allotment), except where the existing habitable dwelling or tourist accommodation or workers' accommodation on the same allotment is proposed to be demolished and the existing on-site wastewater system is proposed to be decommissioned (h) any other development that generates human wastewater from a peak loading capacity of more than 40 persons (or more than 6,000 litres/day)	Environment Protection Authority.	To provide expert technical assessment and direction to the relevant authority on whether a proposed development will have a neutral or beneficial impact on water quality.	Development of a class to which Schedule 9 clause 3 item 9 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.
Composting works (excluding a prescribed approved activity) - being a depot, facility or works with the capacity to treat, during a 12 month period more than 200 tonnes of organic waste or			

matter (EPA Licence)			
Wastewater treatment works - being sewage treatment works, a community wastewater management system, winery wastewater treatment works or any other wastewater treatment works with the capacity to treat, during a 12 month period more than 2.5 ML of wastewater (EPA Licence required at more than 5ML)			
Feedlots - being carrying on an operation for holding in confined yard or area and feeding principally by mechanical means or by hand not less than an average of 200 cattle (EPA Licence) or 1,600 sheep or goats per day over any period of 12 months, but excluding any such operation carried on at an abattoir, slaughterhouse or saleyard or for the purpose only of drought or other emergency feeding			
Piggeries - being the conduct of a piggery (being premises having confined or roofed structures for keeping pigs) with a capacity of 130 or more standard pig units (EPA Licence required at 650 or more standard pig units)			
Dairies - carrying on of a dairy with a total processing capacity exceeding 100 milking animals at any one time.			

Native Vegetation Overlay

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Areas of native vegetation are protected, retained and restored in order to sustain biodiversity, threatened species and vegetation communities, fauna habitat, ecosystem services, carbon storage and amenity values.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Environmental Protection	
<p>PO 1.1</p> <p>Development avoids, or where it cannot be practically avoided, minimises the clearance of native vegetation taking into account the siting of buildings, access points, bushfire protection measures and building maintenance.</p>	<p>DTS/DPF 1.1</p> <p>An application is accompanied by:</p> <ul style="list-style-type: none"> (a) a declaration stating that the proposal will not, or would not, involve clearance of native vegetation under the Native Vegetation Act 1991, including any clearance that may occur: <ul style="list-style-type: none"> (i) in connection with a relevant access point and / or driveway (ii) within 10m of a building (other than a residential building or tourist accommodation) (iii) within 20m of a dwelling or addition to an existing dwelling for fire prevention and control (iv) within 50m of residential or tourist accommodation in connection with a requirement under a relevant overlay to establish an asset protection zone in a bushfire prone area or (b) a report prepared in accordance with Regulation 18(2)(a) of the Native Vegetation Regulations 2017 that establishes that the clearance is categorised as 'Level 1 clearance'.

<p>PO 1.2</p> <p>Native vegetation clearance in association with development avoids the following:</p> <ul style="list-style-type: none"> (a) significant wildlife habitat and movement corridors (b) rare, vulnerable or endangered plants species (c) native vegetation that is significant because it is located in an area which has been extensively cleared (d) native vegetation that is growing in, or in association with, a wetland environment. 	<p>DTS/DPF 1.2</p> <p>None are applicable.</p>
<p>PO 1.3</p> <p>Intensive animal husbandry, commercial forestry and agricultural activities are sited, set back and designed to minimise impacts on native vegetation, including impacts on native vegetation in an adjacent State Significant Native Vegetation Area, from:</p> <ul style="list-style-type: none"> (a) in the case of commercial forestry, the spread of fires from a plantation (b) the spread of pest plants and phytophthora (c) the spread of non-indigenous plants species (d) excessive nutrient loading of the soil or loading arising from surface water runoff (e) soil compaction (f) chemical spray drift. 	<p>DTS/DPF 1.3</p> <p>Development within 500 metres of a boundary of a State Significant Native Vegetation Area does not involve any of the following:</p> <ul style="list-style-type: none"> (a) horticulture (b) intensive animal husbandry (c) dairy (d) commercial forestry (e) aquaculture.
<p>PO 1.4</p> <p>Development restores and enhances biodiversity and habitat values through revegetation using locally indigenous plant species.</p>	<p>DTS/DPF 1.4</p> <p>None are applicable.</p>
<p>Land division</p>	
<p>PO 2.1</p> <p>Land division does not result in the fragmentation of land containing native vegetation, or necessitate the clearance of native vegetation, unless such clearance is considered minor, taking into account the location of allotment boundaries, access ways, fire breaks, boundary fencing and potential building siting or the like.</p>	<p>DTS/DPF 2.1</p> <p>Land division where:</p> <ul style="list-style-type: none"> (a) an application is accompanied by one of the following: <ul style="list-style-type: none"> (i) a declaration stating that none of the allotments in the proposed plan of division contain native vegetation under the <i>Native Vegetation Act 1991</i> (ii) a declaration stating that no native vegetation clearance under the <i>Native Vegetation Act 1991</i> will be required as a result of the division of land (iii) a report prepared in accordance with Regulation 18(2)(a) of the Native Vegetation Regulations 2017 that establishes that the vegetation to be cleared is categorised as 'Level 1 clearance' or (b) an application for land division which is being considered concurrently with a proposal to develop each allotment which will satisfy, or would satisfy, the requirements of DTS/DPF 1.1, including any clearance that may occur or (c) the division is to support a Heritage Agreement under the <i>Native Vegetation Act 1991</i> or the <i>Heritage Places Act 1993</i>.

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
<p>Development that is the subject of a report prepared in accordance with Regulation 18(2)(a) of the <i>Native Vegetation Regulations 2017</i> that categorises the clearance, or potential clearance, as 'Level 3 clearance' or 'Level 4 clearance'.</p>	<p>Native Vegetation Council</p>	<p>To provide expert assessment and direction to the relevant authority on the potential impacts of development on native vegetation.</p>	<p>Development of a class to which Schedule 9 clause 3 item 11 of the Planning, Development and Infrastructure (General) Regulations 2017</p>

applies.

Prescribed Water Resources Area Overlay

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Sustainable water use in prescribed water resources areas maintains the health and natural flow paths of surface water, watercourses and wells.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
<p>PO 1.1</p> <p>All development, but in particular development involving any of the following:</p> <p>(a) horticulture (b) activities requiring irrigation (c) aquaculture (d) industry (e) intensive animal husbandry (f) commercial forestry</p> <p>has a lawful, sustainable and reliable water supply that does not place undue strain on water resources in prescribed water resource areas.</p>	<p>DTS/DPF 1.1</p> <p>Development satisfies either of the following:</p> <p>(a) the applicant has a current water licence in which sufficient spare capacity exists to accommodate the water needs of the proposed use or (b) the proposal does not involve the taking of water for which a licence would be required under the <i>Landscape South Australia Act 2019</i>.</p>
<p>PO 1.2</p> <p>Development comprising the erection, construction, modification, enlargement or removal of a dam, wall or other structure that will collect or divert surface water flowing over land is undertaken in a manner that maintains the quality and quantity of flows required to meet the needs of the environment as well as downstream users.</p>	<p>DTS/DPF 1.2</p> <p>None are applicable.</p>

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
Development that comprises the erection, construction, modification, enlargement or removal of a dam, wall or other structure that will collect or divert, or collects or diverts surface water flowing over land.	Relevant authority under the <i>Landscape South Australia Act 2019</i> that would, if it were not for the operation of section 106(1)(e) of that Act, have the authority under that Act to grant or refuse a permit to undertake the subject development.	To provide expert assessment and direction to the relevant authority on potential impacts from development on the health, sustainability and/or natural flow paths of water resources in accordance with the provisions of the relevant water allocation plan or regional landscape plan or equivalent.	Development of a class to which Schedule 9 clause 3 item 12 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.

<p>Any of the following classes of development that require or may require water to be taken in addition to any allocation that has already been granted under the <i>Landscape South Australia Act 2019</i>:</p> <ul style="list-style-type: none"> (a) horticulture (b) activities requiring irrigation (c) aquaculture (d) industry (e) intensive animal husbandry (f) commercial forestry 	<p>The Chief Executive of the Department of the Minister responsible for the administration of the <i>Landscape South Australia Act 2019</i>.</p>	<p>To provide expert technical assessment and direction to the relevant authority on the taking of water to ensure development is undertaken sustainably and maintains the health and natural flow paths of water resources.</p>	<p>Development of a class to which Schedule 9 clause 3 item 13 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.</p>
<p>Commercial forestry that requires a forest water licence under Part 8 Division 6 of the <i>Landscape South Australia Act 2019</i>.</p>			

Scenic Quality Overlay

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Development complements natural and rural character, and areas of scenic value.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
<small>Land Use and Intensity</small>	
<p>PO 1.1</p> <p>Land uses that complement and enhance the natural and rural character.</p>	<p>DTS/DPF 1.1</p> <p>None are applicable.</p>
<small>Built Form and Character</small>	
<p>PO 2.1</p> <p>Development is carefully sited and designed to:</p> <ul style="list-style-type: none"> (a) complement rural or natural character (b) minimise disruption to natural landform (c) integrate existing natural environmental features (d) minimise impacts on scenic features (e) be low-scale (f) be visually unobtrusive and blend in with the surrounding area 	<p>DTS/DPF 2.1</p> <p>None are applicable.</p>
<small>Landscaping</small>	
<p>PO 3.1</p> <p>Landscaping comprises locally indigenous species to enhance landscape quality and habitat restoration.</p>	<p>DTS/DPF 3.1</p> <p>Landscaping plantings exclusively constitute locally indigenous plant species.</p>
<small>Earthworks</small>	
<p>PO 4.1</p> <p>Excavation and filling of land is limited to that required to reduce the visual prominence of buildings and make provision for water storage facilities to maintain natural landforms and landscapes.</p>	<p>DTS/DPF 4.1</p> <p>Excavation and/or filling is associated with a building or water storage facility and satisfies all of the following:</p> <ul style="list-style-type: none"> (a) does not involve excavation exceeding a vertical height of 750mm (b) does not involve filling exceeding a vertical height of 750mm (c) does not involve a total combined excavation and filling vertical height of 1.5m

(d) any scree slope is covered in topsoil and landscaped.

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

State Significant Native Vegetation Areas Overlay

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Protect, retain and restore significant areas of native vegetation.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Environmental Protection	
<p>PO 1.1</p> <p>Development enhances biodiversity and habitat values through revegetation and avoiding native vegetation clearance except to promote an appreciation and awareness of wildlife areas, including visitor parking and amenities, or for the administration and management of a reserve or park established for the protection and conservation of wildlife.</p>	<p>DTS/DPF 1.1</p> <p>An application is accompanied by either (a) or (b):</p> <p>(a) a declaration stating that the proposal will not, or would not, involve clearance of native vegetation under the <i>Native Vegetation Act 1991</i>, including any clearance that may occur:</p> <ul style="list-style-type: none"> (i) in connection with a relevant access point and / or driveway (ii) within 10m of a building (other than a residential building or tourist accommodation) (iii) within 20m of a dwelling or addition to an existing dwelling for fire prevention and control (iv) within 50m of residential or tourist accommodation in connection with a requirement under a relevant overlay to establish an asset protection zone in a bushfire prone area <p>(b) a report prepared in accordance with Regulation 18(2)(a) of the <i>Native Vegetation Regulations 2017</i> that confirms that the clearance is categorised as 'Level 1 clearance'.</p>
Land division	
<p>PO 2.1</p> <p>Land division that contributes to the conservation, protection and enhancement of native vegetation.</p>	<p>DTS/DPF 2.1</p> <p>Land division satisfies one of the following:</p> <p>(a) to create a public road or a public reserve where the application is accompanied by a report prepared in accordance with Regulation 18(2)(a) of the <i>Native Vegetation Regulations 2017</i> in which the extent of native vegetation clearance proposed to be undertaken in connection with the division is categorised as 'Level 1 clearance'</p> <p>(b) to realign allotment boundaries to incorporate land into a park or reserve established under the <i>National Parks and Wildlife Act 1972</i>.</p>

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from

Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
<p>The following classes of development:</p> <p>(a) land division where a report prepared in accordance with Regulation 18(2) (a) of the <i>Native Vegetation Regulations 2017</i> in connection with a development application categorises the clearance, or potential clearance, as 'Level 2 clearance', 'Level 3 clearance' or 'Level 4 clearance'</p> <p>(b) all other classes of development other than where DTS/DPF 1.1(a) or DTS/DPF 1.1(b) is achieved.</p>	Native Vegetation Council	To provide expert assessment and direction to the relevant authority on the potential impacts of development on native vegetation.	Development of a class to which Schedule 9 clause 3 item 11 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.

Traffic Generating Development Overlay

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Safe and efficient operation of Urban Transport Routes and Major Urban Transport Routes for all road users.
DO 2	Provision of safe and efficient access to and from urban transport routes and major urban transport routes.

Performance Outcomes (PO) and Deemed to Satisfy (DTS) / Designated Performance Feature (DPF) Criteria

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Traffic Generating Development	
<p>PO 1.1</p> <p>Development designed to minimise its potential impact on the safety, efficiency and functional performance of the State Maintained Road network.</p>	<p>DTS/DPF 1.1</p> <p>Access is obtained directly from a State Maintained Road where it involves any of the following types of development:</p> <ul style="list-style-type: none"> (a) building, or buildings, containing in excess of 50 dwellings (b) land division creating 50 or more additional allotments (c) commercial development with a gross floor area of 10,000m² or more (d) retail development with a gross floor area of 2,000m² or more (e) a warehouse or transport depot with a gross leasable floor area of 8,000m² or more (f) industry with a gross floor area of 20,000m² or more (g) educational facilities with a capacity of 250 students or more.
<p>PO 1.2</p> <p>Access points sited and designed to accommodate the type and volume of traffic likely to be generated by development.</p>	<p>DTS/DPF 1.2</p> <p>Access is obtained directly from a State Maintained Road where it involves any of the following types of development:</p> <ul style="list-style-type: none"> (a) building, or buildings, containing in excess of 50 dwellings (b) land division creating 50 or more additional allotments (c) commercial development with a gross floor area of 10,000m² or more (d) retail development with a gross floor area of 2,000m² or more

	<ul style="list-style-type: none"> (e) a warehouse or transport depot with a gross leasable floor area of 8,000m² or more (f) industry with a gross floor area of 20,000m² or more (g) educational facilities with a capacity of 250 students or more.
<p>PO 1.3</p> <p>Sufficient accessible on-site queuing provided to meet the needs of the development so that queues do not impact on the State Maintained Road network.</p>	<p>DTS/DPF 1.3</p> <p>Access is obtained directly from a State Maintained Road where it involves any of the following types of development:</p> <ul style="list-style-type: none"> (a) building, or buildings, containing in excess of 50 dwellings (b) land division creating 50 or more additional allotments (c) commercial development with a gross floor area of 10,000m² or more (d) retail development with a gross floor area of 2,000m² or more (e) a warehouse or transport depot with a gross leasable floor area of 8,000m² or more (f) industry with a gross floor area of 20,000m² or more (g) educational facilities with a capacity of 250 students or more.

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
<p>Except where all of the relevant deemed-to-satisfy criteria are met, any of the following classes of development that are proposed within 250m of a State Maintained Road:</p> <ul style="list-style-type: none"> (a) except where a proposed development has previously been referred under clause (b) - a building, or buildings, containing in excess of 50 dwellings (b) except where a proposed development has previously been referred under clause (a) - land division creating 50 or more additional allotments (c) commercial development with a gross floor area of 10,000m² or more (d) retail development with a gross floor area of 2,000m² or more (e) a warehouse or transport depot with a gross leasable floor area of 8,000m² or more (f) industry with a gross floor area of 20,000m² or more (g) educational facilities with a capacity of 250 students or more. 	Commissioner of Highways.	To provide expert technical assessment and direction to the Relevant Authority on the safe and efficient operation and management of all roads relevant to the Commissioner of Highways as described in the Planning and Design Code.	Development of a class to which Schedule 9 clause 3 item 7 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.

Water Resources Overlay

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Protection of the quality of surface waters considering adverse water quality impacts associated with projected reductions in rainfall and warmer air temperatures as a result of climate change.
DO 2	Maintain the conveyance function and natural flow paths of watercourses to assist in the management of flood waters and stormwater runoff.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Water Catchment	

<p>PO 1.1</p> <p>Watercourses and their beds, banks, wetlands and floodplains (1% AEP flood extent) are not damaged or modified and are retained in their natural state, except where modification is required for essential access or maintenance purposes.</p>	<p>DTS/DPF 1.1</p> <p>None are applicable.</p>
<p>PO 1.2</p> <p>Development avoids interfering with the existing hydrology or water regime of swamps and wetlands other than to improve the existing conditions to enhance environmental values.</p>	<p>DTS/DPF 1.2</p> <p>None are applicable.</p>
<p>PO 1.3</p> <p>Wetlands and low-lying areas providing habitat for native flora and fauna are not drained, except temporarily for essential management purposes to enhance environmental values.</p>	<p>DTS/DPF 1.3</p> <p>None are applicable.</p>
<p>PO 1.4</p> <p>Watercourses, areas of remnant native vegetation, or areas prone to erosion that are capable of natural regeneration are fenced off to limit stock access.</p>	<p>DTS/DPF 1.4</p> <p>None are applicable.</p>
<p>PO 1.5</p> <p>Development that increases surface water run-off includes a suitably sized strip of vegetated land on each side of a watercourse to filter runoff to:</p> <p>(a) reduce the impacts on native aquatic ecosystems (b) minimise soil loss eroding into the watercourse.</p>	<p>DTS/DPF 1.5</p> <p>A strip of land 20m or more wide measured from the top of existing banks on each side of the watercourse is free from development, livestock use and revegetated with locally indigenous vegetation.</p>
<p>PO 1.6</p> <p>Development resulting in the depositing or placing of an object or solid material in a watercourse or lake occurs only where it involves any of the following:</p> <p>(a) the construction of an erosion control structure (b) devices or structures used to extract or regulate water flowing in a watercourse (c) devices used for scientific purposes (d) the rehabilitation of watercourses.</p>	<p>DTS/DPF 1.6</p> <p>None are applicable.</p>
<p>PO 1.7</p> <p>Watercourses, floodplains (1% AEP flood extent) and wetlands protected and enhanced by retaining and protecting existing native vegetation.</p>	<p>DTS/DPF 1.7</p> <p>None are applicable.</p>
<p>PO 1.8</p> <p>Watercourses, floodplains (1% AEP flood extent) and wetlands are protected and enhanced by stabilising watercourse banks and reducing sediments and nutrients entering the watercourse.</p>	<p>DTS/DPF 1.8</p> <p>None are applicable.</p>
<p>PO 1.9</p> <p>Dams, water tanks and diversion drains are located and constructed to maintain the quality and quantity of flows required to meet environmental and downstream needs.</p>	<p>DTS/DPF 1.9</p> <p>None are applicable.</p>

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

Part 4 - General Development Policies

Advertisements

Assessment Provisions (AP)

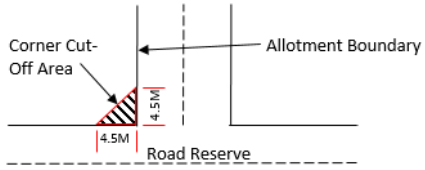
Desired Outcome (DO)

Desired Outcome	
DO 1	Advertisements and advertising hoardings are appropriate to context, efficient and effective in communicating with the public, limited in number to avoid clutter, and do not create hazard.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Appearance	
<p>PO 1.1</p> <p>Advertisements are compatible and integrated with the design of the building and/or land they are located on.</p>	<p>DTS/DPF 1.1</p> <p>Advertisements attached to a building satisfy all of the following:</p> <ul style="list-style-type: none"> (a) are not located in a Neighbourhood-type zone (b) where they are flush with a wall: <ul style="list-style-type: none"> (i) if located at canopy level, are in the form of a fascia sign (ii) if located above canopy level: <ul style="list-style-type: none"> A. do not have any part rising above parapet height B. are not attached to the roof of the building (c) where they are not flush with a wall: <ul style="list-style-type: none"> (i) if attached to a verandah, no part of the advertisement protrudes beyond the outer limits of the verandah structure (ii) if attached to a two-storey building: <ul style="list-style-type: none"> A. has no part located above the finished floor level of the second storey of the building B. does not protrude beyond the outer limits of any verandah structure below C. does not have a sign face that exceeds 1m² per side. (d) if located below canopy level, are flush with a wall (e) if located at canopy level, are in the form of a fascia sign (f) if located above a canopy: <ul style="list-style-type: none"> (i) are flush with a wall (ii) do not have any part rising above parapet height (iii) are not attached to the roof of the building. (g) if attached to a verandah, no part of the advertisement protrudes beyond the outer limits of the verandah structure (h) if attached to a two-storey building, have no part located above the finished floor level of the second storey of the building (i) where they are flush with a wall, do not, in combination with any other existing sign, cover more than 15% of the building facade to which they are attached.
<p>PO 1.2</p> <p>Advertising hoardings do not disfigure the appearance of the land upon which they are situated or the character of the locality.</p>	<p>DTS/DPF 1.2</p> <p>Where development comprises an advertising hoarding, the supporting structure is:</p> <ul style="list-style-type: none"> (a) concealed by the associated advertisement and decorative detailing or

	(b) not visible from an adjacent public street or thoroughfare, other than a support structure in the form of a single or dual post design.
PO 1.3 Advertising does not encroach on public land or the land of an adjacent allotment.	DTS/DPF 1.3 Advertisements and/or advertising hoardings are contained within the boundaries of the site.
PO 1.4 Where possible, advertisements on public land are integrated with existing structures and infrastructure.	DTS/DPF 1.4 Advertisements on public land that meet at least one of the following: (a) achieves Advertisements DTS/DPF 1.1 (b) are integrated with a bus shelter.
PO 1.5 Advertisements and/or advertising hoardings are of a scale and size appropriate to the character of the locality.	DTS/DPF 1.5 None are applicable.
Proliferation of Advertisements	
PO 2.1 Proliferation of advertisements is minimised to avoid visual clutter and untidiness.	DTS/DPF 2.1 No more than one freestanding advertisement is displayed per occupancy.
PO 2.2 Multiple business or activity advertisements are co-located and coordinated to avoid visual clutter and untidiness.	DTS/DPF 2.2 Advertising of a multiple business or activity complex is located on a single advertisement fixture or structure.
PO 2.3 Proliferation of advertisements attached to buildings is minimised to avoid visual clutter and untidiness.	DTS/DPF 2.3 Advertisements satisfy all of the following: (a) are attached to a building (b) other than in a Neighbourhood-type zone, where they are flush with a wall, cover no more than 15% of the building facade to which they are attached (c) do not result in more than one sign per occupancy that is not flush with a wall.
Advertising Content	
PO 3.1 Advertisements are limited to information relating to the lawful use of land they are located on to assist in the ready identification of the activity or activities on the land and avoid unrelated content that contributes to visual clutter and untidiness.	DTS/DPF 3.1 Advertisements contain information limited to a lawful existing or proposed activity or activities on the same site as the advertisement.
Amenity Impacts	
PO 4.1 Light spill from advertisement illumination does not unreasonably compromise the amenity of sensitive receivers.	DTS/DPF 4.1 Advertisements do not incorporate any illumination.
Safety	
PO 5.1 Advertisements and/or advertising hoardings erected on a verandah or projecting from a building wall are designed and located to allow for safe and convenient pedestrian access.	DTS/DPF 5.1 Advertisements have a minimum clearance of 2.5m between the top of the footpath and base of the underside of the sign.
PO 5.2 Advertisements and/or advertising hoardings do not distract or create a hazard to drivers through excessive illumination.	DTS/DPF 5.2 No advertisement illumination is proposed.

<p>PO 5.3</p> <p>Advertisements and/or advertising hoardings do not create a hazard to drivers by:</p> <ul style="list-style-type: none"> (a) being liable to interpretation by drivers as an official traffic sign or signal (b) obscuring or impairing drivers' view of official traffic signs or signals (c) obscuring or impairing drivers' view of features of a road that are potentially hazardous (such as junctions, bends, changes in width and traffic control devices) or other road or rail vehicles at/or approaching level crossings. 	<p>DTS/DPF 5.3</p> <p>Advertisements satisfy all of the following:</p> <ul style="list-style-type: none"> (a) are not located in a public road or rail reserve (b) are located wholly outside the land shown as 'Corner Cut-Off Area' in the following diagram 
<p>PO 5.4</p> <p>Advertisements and/or advertising hoardings do not create a hazard by distracting drivers from the primary driving task at a location where the demands on driver concentration are high.</p>	<p>DTS/DPF 5.4</p> <p>Advertisements and/or advertising hoardings are not located along or adjacent to a road having a speed limit of 80km/h or more.</p>
<p>PO 5.5</p> <p>Advertisements and/or advertising hoardings provide sufficient clearance from the road carriageway to allow for safe and convenient movement by all road users.</p>	<p>DTS/DPF 5.5</p> <p>Where the advertisement or advertising hoarding is:</p> <ul style="list-style-type: none"> (a) on a kerbed road with a speed zone of 60km/h or less, the advertisement or advertising hoarding is located at least 0.6m from the roadside edge of the kerb (b) on an unkerbed road with a speed zone of 60km/h or less, the advertisement or advertising hoarding is located at least 5.5m from the edge of the seal (c) on any other kerbed or unkerbed road, the advertisement or advertising hoarding is located a minimum of the following distance from the roadside edge of the kerb or the seal: <ul style="list-style-type: none"> (a) 110 km/h road - 14m (b) 100 km/h road - 13m (c) 90 km/h road - 10m (d) 70 or 80 km/h road - 8.5m.
<p>PO 5.6</p> <p>Advertising near signalised intersections does not cause unreasonable distraction to road users through illumination, flashing lights, or moving or changing displays or messages.</p>	<p>DTS/DPF 5.6</p> <p>Advertising:</p> <ul style="list-style-type: none"> (a) is not illuminated (b) does not incorporate a moving or changing display or message (c) does not incorporate a flashing light(s).

Animal Keeping and Horse Keeping

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Animals are kept at a density that is not beyond the carrying capacity of the land and in a manner that minimises their adverse effects on the environment, local amenity and surrounding development.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature

Siting and Design	
<p>PO 1.1</p> <p>Animal keeping, horse keeping and associated activities do not create adverse impacts on the environment or the amenity of the locality.</p>	<p>DTS/DPF 1.1</p> <p>None are applicable.</p>
<p>PO 1.2</p> <p>Animal keeping and horse keeping is located and managed to minimise the potential transmission of disease to other operations where animals are kept.</p>	<p>DTS/DPF 1.2</p> <p>None are applicable.</p>
Horse Keeping	
<p>PO 2.1</p> <p>Water from stable wash-down areas is directed to appropriate absorption areas and/or drainage pits to minimise pollution of land and water.</p>	<p>DTS/DPF 2.1</p> <p>None are applicable.</p>
<p>PO 2.2</p> <p>Stables, horse shelters or associated yards are sited appropriate distances away from sensitive receivers and/or allotments in other ownership to avoid adverse impacts from dust, erosion and odour.</p>	<p>DTS/DPF 2.2</p> <p>Stables, horse shelters and associated yards are sited in accordance with all of the following:</p> <p>(a) 30m or more from any sensitive receivers (existing or approved) on land in other ownership</p> <p>(b) where an adjacent allotment is vacant and in other ownership, 30m or more from the boundary of that allotment.</p>
<p>PO 2.3</p> <p>All areas accessible to horses are separated from septic tank effluent disposal areas to protect the integrity of that system. Stable flooring is constructed with an impervious material to facilitate regular cleaning.</p>	<p>DTS/DPF 2.3</p> <p>Septic tank effluent disposal areas are enclosed with a horse-proof barrier such as a fence to exclude horses from this area.</p>
<p>PO 2.4</p> <p>To minimise environmental harm and adverse impacts on water resources, stables, horse shelters and associated yards are appropriately set back from a watercourse.</p>	<p>DTS/DPF 2.4</p> <p>Stables, horse shelters and associated yards are set back 50m or more from a watercourse.</p>
<p>PO 2.5</p> <p>Stables, horse shelters and associated yards are located on slopes that are stable to minimise the risk of soil erosion and water runoff.</p>	<p>DTS/DPF 2.5</p> <p>Stables, horse shelters and associated yards are not located on land with a slope greater than 10% (1-in-10).</p>
Kennels	
<p>PO 3.1</p> <p>Kennel flooring is constructed with an impervious material to facilitate regular cleaning.</p>	<p>DTS/DPF 3.1</p> <p>The floors of kennels satisfy all of the following:</p> <p>(a) are constructed of impervious concrete</p> <p>(b) are designed to be self-draining when washed down.</p>
<p>PO 3.2</p> <p>Kennels and exercise yards are designed and sited to minimise noise nuisance to neighbours through measures such as:</p> <p>(a) adopting appropriate separation distances</p> <p>(b) orientating openings away from sensitive receivers.</p>	<p>DTS/DPF 3.2</p> <p>Kennels are sited 500m or more from the nearest sensitive receiver on land in other ownership.</p>
<p>PO 3.3</p> <p>Dogs are regularly observed and managed to minimise nuisance impact on adjoining sensitive receivers from animal behaviour.</p>	<p>DTS/DPF 3.3</p> <p>Kennels are sited in association with a permanent dwelling on the land.</p>
Wastes	

<p>PO 4.1</p> <p>Storage of manure, used litter and other wastes (other than wastewater lagoons) is designed, constructed and managed to minimise attracting and harbouring vermin.</p>	<p>DTS/DPF 4.1</p> <p>None are applicable.</p>
<p>PO 4.2</p> <p>Facilities for the storage of manure, used litter and other wastes (other than wastewater lagoons) are located to minimise the potential for polluting water resources.</p>	<p>DTS/DPF 4.2</p> <p>Waste storage facilities (other than wastewater lagoons) are located outside the 1% AEP flood event areas.</p>

Aquaculture

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
<p>DO 1</p>	<p>Aquaculture facilities are developed in an ecologically, economically and socially sustainable manner to support an equitable sharing of marine, coastal and inland resources and mitigate conflict with other water-based and land-based uses.</p>

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
<p>Land-based Aquaculture</p>	
<p>PO 1.1</p> <p>Land-based aquaculture and associated components are sited and designed to mitigate adverse impacts on nearby sensitive receivers.</p>	<p>DTS/DPF 1.1</p> <p>Land-based aquaculture and associated components are located to satisfy all of the following:</p> <ul style="list-style-type: none"> (a) 200m or more from a sensitive receiver in other ownership (b) 500m or more from the boundary of a zone primarily intended to accommodate sensitive receivers <p>or</p> <p>The development is the subject of an aquaculture lease and/or licence (as applicable) granted under the <i>Aquaculture Act 2001</i>.</p>
<p>PO 1.2</p> <p>Land-based aquaculture and associated components are sited and designed to prevent surface flows from entering ponds in a 1% AEP sea flood level event.</p>	<p>DTS/DPF 1.2</p> <p>None are applicable.</p>
<p>PO 1.3</p> <p>Land-based aquaculture and associated components are sited and designed to prevent pond leakage that would pollute groundwater.</p>	<p>DTS/DPF 1.3</p> <p>The development is the subject of an aquaculture lease and/or licence (as applicable) granted under the <i>Aquaculture Act 2001</i>.</p>
<p>PO 1.4</p> <p>Land-based aquaculture and associated components are sited and designed to prevent farmed species escaping and entering into any waters.</p>	<p>DTS/DPF 1.4</p> <p>The development is the subject of an aquaculture lease and/or licence (as applicable) granted under the <i>Aquaculture Act 2001</i>.</p>
<p>PO 1.5</p>	<p>DTS/DPF 1.5</p>

<p>Land-based aquaculture and associated components, including intake and discharge pipes, are designed to minimise the need to traverse sensitive areas to minimise impact on the natural environment.</p>	<p>None are applicable.</p>
<p>PO 1.6</p> <p>Pipe inlets and outlets associated with land-based aquaculture are sited and designed to minimise the risk of disease transmission.</p>	<p>DTS/DPF 1.6</p> <p>The development is the subject of an aquaculture lease and/or licence (as applicable) granted under the <i>Aquaculture Act 2001</i>.</p>
<p>PO 1.7</p> <p>Storage areas associated with aquaculture activity are integrated with the use of the land and sited and designed to minimise their visual impact on the surrounding environment.</p>	<p>DTS/DPF 1.7</p> <p>None are applicable.</p>
<p>Marine Based Aquaculture</p>	
<p>PO 2.1</p> <p>Marine aquaculture is sited and designed to minimise its adverse impacts on sensitive ecological areas including:</p> <ul style="list-style-type: none"> (a) creeks and estuaries (b) wetlands (c) significant seagrass and mangrove communities (d) marine habitats and ecosystems. 	<p>DTS/DPF 2.1</p> <p>None are applicable.</p>
<p>PO 2.2</p> <p>Marine aquaculture is sited in areas with adequate water current to disperse sediments and dissolve particulate wastes to prevent the build-up of waste that may cause environmental harm.</p>	<p>DTS/DPF 2.2</p> <p>The development is the subject of an aquaculture lease and/or licence (as applicable) granted under the <i>Aquaculture Act 2001</i>.</p>
<p>PO 2.3</p> <p>Marine aquaculture is designed to not involve discharge of human waste on the site, on any adjacent land or into nearby waters.</p>	<p>DTS/DPF 2.3</p> <p>The development does not include toilet facilities located over water.</p>
<p>PO 2.4</p> <p>Marine aquaculture (other than inter-tidal aquaculture) is located an appropriate distance seaward of the high water mark.</p>	<p>DTS/DPF 2.4</p> <p>Marine aquaculture development is located 100m or more seaward of the high water mark</p> <p>or</p> <p>The development is the subject of an aquaculture lease and/or licence (as applicable) granted under the <i>Aquaculture Act 2001</i>.</p>
<p>PO 2.5</p> <p>Marine aquaculture is sited and designed to not obstruct or interfere with:</p> <ul style="list-style-type: none"> (a) areas of high public use (b) areas, including beaches, used for recreational activities such as swimming, fishing, skiing, sailing and other water sports (c) areas of outstanding visual or environmental value (d) areas of high tourism value (e) areas of important regional or state economic activity, including commercial ports, wharfs and jetties (f) the operation of infrastructure facilities including inlet and outlet pipes associated with the desalination of sea water. 	<p>DTS/DPF 2.5</p> <p>None are applicable.</p>
<p>PO 2.6</p> <p>Marine aquaculture is sited and designed to minimise interference and obstruction to the natural processes of the coastal and marine environment.</p>	<p>DTS/DPF 2.6</p> <p>None are applicable.</p>
<p>PO 2.7</p>	<p>DTS/DPF 2.7</p>

<p>Marine aquaculture is designed to be as unobtrusive as practicable by incorporating measures such as:</p> <ul style="list-style-type: none"> (a) using feed hoppers painted in subdued colours and suspending them as close as possible to the surface of the water (b) positioning structures to protrude the minimum distance practicable above the surface of the water (c) avoiding the use of shelters and structures above cages and platforms unless necessary to exclude predators and protected species from interacting with the farming structures and/or stock inside the cages, or for safety reasons (d) positioning racks, floats and other farm structures in unobtrusive locations landward from the shoreline. 	None are applicable.
<p>PO 2.8</p> <p>Access, launching and maintenance facilities utilise existing established roads, tracks, ramps and paths to or from the sea where possible to minimise environmental and amenity impacts.</p>	<p>DTS/DPF 2.8</p> <p>The development utilises existing established roads, tracks, ramps and/or paths (as applicable) to access the sea.</p>
<p>PO 2.9</p> <p>Access, launching and maintenance facilities are developed as common user facilities and are co-located where practicable to mitigate adverse impacts on coastal areas.</p>	<p>DTS/DPF 2.9</p> <p>The development utilises existing established roads, tracks, ramps and/or paths (as applicable) to access the sea.</p>
<p>PO 2.10</p> <p>Marine aquaculture is sited to minimise potential impacts on, and to protect the integrity of, reserves under the <i>National Parks and Wildlife Act 1972</i>.</p>	<p>DTS/DPF 2.10</p> <p>Marine aquaculture is located 1000m or more seaward of the boundary of any reserve under the <i>National Parks and Wildlife Act 1972</i>.</p>
<p>PO 2.11</p> <p>Onshore storage, cooling and processing facilities do not impair the coastline and its visual amenity by:</p> <ul style="list-style-type: none"> (a) being sited, designed, landscaped and of a scale to reduce the overall bulk and appearance of buildings and complement the coastal landscape (b) making provision for appropriately sited and designed vehicular access arrangements, including using existing vehicular access arrangements as far as practicable (c) incorporating appropriate waste treatment and disposal. 	<p>DTS/DPF 2.11</p> <p>The development does not include any onshore facilities in conjunction with a proposal for marine aquaculture.</p>
Navigation and Safety	
<p>PO 3.1</p> <p>Marine aquaculture sites are suitably marked to maintain navigational safety.</p>	<p>DTS/DPF 3.1</p> <p>The development is the subject of an aquaculture lease and/or licence (as applicable) granted under the <i>Aquaculture Act 2001</i>.</p>
<p>PO 3.2</p> <p>Marine aquaculture is sited to provide adequate separation between farms for safe navigation.</p>	<p>DTS/DPF 3.2</p> <p>The development is the subject of an aquaculture lease and/or licence (as applicable) granted under the <i>Aquaculture Act 2001</i>.</p>
Environmental Management	
<p>PO 4.1</p> <p>Marine aquaculture is maintained to prevent hazards to people and wildlife, including breeding grounds and habitats of native marine mammals and terrestrial fauna, especially migratory species.</p>	<p>DTS/DPF 4.1</p> <p>None are applicable.</p>
<p>PO 4.2</p> <p>Marine aquaculture is designed to facilitate the relocation or removal of structures in the case of emergency such as oil spills, algal blooms and altered water flows.</p>	<p>DTS/DPF 4.2</p> <p>None are applicable.</p>
<p>PO 4.3</p> <p>Marine aquaculture provides for progressive or future reclamation of disturbed areas ahead of, or upon, decommissioning.</p>	<p>DTS/DPF 4.3</p> <p>None are applicable.</p>

<p>PO 4.4</p> <p>Aquaculture operations incorporate measures for the removal and disposal of litter, disused material, shells, debris, detritus, dead animals and animal waste to prevent pollution of waters, wetlands, or the nearby coastline.</p>	<p>DTS/DPF 4.4</p> <p>The development is the subject of an aquaculture lease and/or licence (as applicable) granted under the <i>Aquaculture Act 2001</i>.</p>
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Beverage Production in Rural Areas

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
<p>DO 1</p>	<p>Mitigation of potential amenity and environmental impacts of value-adding beverage production facilities such as wineries, distilleries, cideries and breweries.</p>

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
<p><small>Odour and Noise</small></p>	
<p>PO 1.1</p> <p>Beverage production activities are designed and sited to minimise odour impacts on rural amenity.</p>	<p>DTS/DPF 1.1</p> <p>None are applicable.</p>
<p>PO 1.2</p> <p>Beverage production activities are designed and sited to minimise noise impacts on sensitive receivers.</p>	<p>DTS/DPF 1.2</p> <p>None are applicable.</p>
<p>PO 1.3</p> <p>Fermentation, distillation, manufacturing, storage, packaging and bottling activities occur within enclosed buildings to improve the visual appearance within a locality and manage noise associated with these activities.</p>	<p>DTS/DPF 1.3</p> <p>None are applicable.</p>
<p>PO 1.4</p> <p>Breweries are designed to minimise odours emitted during boiling and fermentation stages of production.</p>	<p>DTS/DPF 1.4</p> <p>Brew kettles are fitted with a vapour condenser.</p>
<p>PO 1.5</p> <p>Beverage production solid wastes are stored in a manner that minimises odour impacts on sensitive receivers in other ownership.</p>	<p>DTS/DPF 1.5</p> <p>Solid waste from beverage production is collected and stored in sealed containers and removed from the site within 48 hours.</p>
<p><small>Water Quality</small></p>	
<p>PO 2.1</p> <p>Beverage production wastewater management systems (including wastewater irrigation) are set back from watercourses to minimise adverse impacts on water</p>	<p>DTS/DPF 2.1</p> <p>Wastewater management systems are set back 50m or more from the banks of watercourses and bores.</p>

resources.	
<p>PO 2.2</p> <p>The storage or disposal of chemicals or hazardous substances is undertaken in a manner to prevent pollution of water resources.</p>	<p>DTS/DPF 2.2</p> <p>None are applicable.</p>
<p>PO 2.3</p> <p>Stormwater runoff from areas that may cause contamination due to beverage production activities (including vehicle movements and machinery operations) is drained to an onsite stormwater treatment system to manage potential environmental impacts.</p>	<p>DTS/DPF 2.3</p> <p>None are applicable.</p>
<p>PO 2.4</p> <p>Stormwater runoff from areas unlikely to cause contamination by beverage production and associated activities (such as roof catchments and clean hard-paved surfaces) is diverted away from beverage production areas and wastewater management systems.</p>	<p>DTS/DPF 2.4</p> <p>None are applicable.</p>
Wastewater Irrigation	
<p>PO 3.1</p> <p>Beverage production wastewater irrigation systems are designed and located to not contaminate soil and surface and ground water resources or damage crops.</p>	<p>DTS/DPF 3.1</p> <p>None are applicable.</p>
<p>PO 3.2</p> <p>Beverage production wastewater irrigation systems are designed and located to minimise impact on amenity and avoid spray drift onto adjoining land.</p>	<p>DTS/DPF 3.2</p> <p>Beverage production wastewater is not irrigated within 50m of any dwelling in other ownership.</p>
<p>PO 3.3</p> <p>Beverage production wastewater is not irrigated onto areas that pose an undue risk to the environment or amenity such as:</p> <ul style="list-style-type: none"> (a) waterlogged areas (b) land within 50m of a creek, swamp or domestic or stock water bore (c) land subject to flooding (d) steeply sloping land (e) rocky or highly permeable soil overlaying an unconfined aquifer. 	<p>DTS/DPF 3.3</p> <p>None are applicable.</p>

Bulk Handling and Storage Facilities

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Facilities for the bulk handling and storage of agricultural, mineral, petroleum, rock, ore or other similar commodities are designed to minimise adverse impacts on transport networks, the landscape and surrounding land uses.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated
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		Performance Feature	
Siting and Design			
PO 1.1	Bulk handling and storage facilities are sited and designed to minimise risks of adverse air quality and noise impacts on sensitive receivers.	DTS/DPF 1.1	Facilities for the handling, storage and dispatch of commodities in bulk (excluding processing) meet the following minimum separation distances from sensitive receivers: <ul style="list-style-type: none"> (a) bulk handling of agricultural crop products, rock, ores, minerals, petroleum products or chemicals at a wharf or wharf side facility (including sea-port grain terminals), where the handling of these materials into or from vessels does not exceed 100 tonnes per day: 300m or more from residential premises not associated with the facility (b) bulk handling of agricultural crop products, rock, ores, minerals, petroleum products or chemicals to or from any commercial storage facility: 300m or more from residential premises not associated with the facility (c) bulk petroleum storage involving individual containers with a capacity up to 200 litres and a total on-site storage capacity not exceeding 1,000 cubic metres: 500m or more (d) coal handling with: <ul style="list-style-type: none"> a. capacity up to 1 tonne per day or a storage capacity up to 50 tonnes: 500m or more b. capacity exceeding 1 tonne per day but not exceeding 100 tonnes per day or a storage capacity exceeding 50 tonnes but not exceeding 5000 tonnes: 1000m or more.
Buffers and Landscaping			
PO 2.1	Bulk handling and storage facilities incorporate a buffer area for the establishment of dense landscaping adjacent road frontages to enhance the appearance of land and buildings from public thoroughfares.	DTS/DPF 2.1	None are applicable.
PO 2.2	Bulk handling and storage facilities incorporate landscaping to assist with screening and dust filtration.	DTS/DPF 2.2	None are applicable.
Access and Parking			
PO 3.1	Roadways and vehicle parking areas associated with bulk handling and storage facilities are designed and surfaced to control dust emissions and prevent drag out of material from the site.	DTS/DPF 3.1	Roadways and vehicle parking areas are sealed with an all-weather surface.
Slipways, Wharves and Pontoons			
PO 4.1	Slipways, wharves and pontoons used for the handling of bulk materials (such as fuel, oil, catch, bait and the like) incorporate catchment devices to avoid the release of materials into adjacent waters.	DTS/DPF 4.1	None are applicable.

Clearance from Overhead Powerlines

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Protection of human health and safety when undertaking development in the vicinity of overhead transmission powerlines.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
<p>PO 1.1</p> <p>Buildings are adequately separated from aboveground powerlines to minimise potential hazard to people and property.</p>	<p>DTS/DPF 1.1</p> <p>One of the following is satisfied:</p> <p>(a) a declaration is provided by or on behalf of the applicant to the effect that the proposal would not be contrary to the regulations prescribed for the purposes of section 86 of the <i>Electricity Act 1996</i></p> <p>(b) there are no aboveground powerlines adjoining the site that are the subject of the proposed development.</p>

Design

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	<p>Development is:</p> <p>(a) contextual - by considering, recognising and carefully responding to its natural surroundings or built environment and positively contributes to the character of the immediate area</p> <p>(b) durable - fit for purpose, adaptable and long lasting</p> <p>(c) inclusive - by integrating landscape design to optimise pedestrian and cyclist usability, privacy and equitable access, and promoting the provision of quality spaces integrated with the public realm that can be used for access and recreation and help optimise security and safety both internally and within the public realm, for occupants and visitors</p> <p>(d) sustainable - by integrating sustainable techniques into the design and siting of development and landscaping to improve community health, urban heat, water management, environmental performance, biodiversity and local amenity and to minimise energy consumption.</p>

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
All development	
External Appearance	
<p>PO 1.1</p> <p>Buildings reinforce corners through changes in setback, articulation, materials, colour and massing (including height, width, bulk, roof form and slope).</p>	<p>DTS/DPF 1.1</p> <p>None are applicable.</p>
<p>PO 1.2</p> <p>Where zero or minor setbacks are desirable, development provides shelter over footpaths (in the form of verandahs, awnings, canopies and the like, with adequate lighting) to positively contribute to the walkability, comfort and safety of the public realm.</p>	<p>DTS/DPF 1.2</p> <p>None are applicable.</p>
<p>PO 1.3</p> <p>Building elevations facing the primary street (other than ancillary buildings) are designed and detailed to convey purpose, identify main access points and complement the streetscape.</p>	<p>DTS/DPF 1.3</p> <p>None are applicable.</p>
<p>PO 1.4</p> <p>Plant, exhaust and intake vents and other technical equipment is integrated into the building design to minimise visibility from the public realm and negative impacts on residential amenity by:</p>	<p>DTS/DPF 1.4</p> <p>Development does not incorporate any structures that protrude beyond the roofline.</p>

<p>(a) positioning plant and equipment in unobtrusive locations viewed from public roads and spaces (b) screening rooftop plant and equipment from view (c) when located on the roof of non-residential development, locating the plant and equipment as far as practicable from adjacent sensitive land uses.</p>	
<p>PO 1.5 The negative visual impact of outdoor storage, waste management, loading and service areas is minimised by integrating them into the building design and screening them from public view (such as fencing, landscaping and built form) taking into account the form of development contemplated in the relevant zone.</p>	<p>DTS/DPF 1.5 None are applicable.</p>
<p>Safety</p>	
<p>PO 2.1 Development maximises opportunities for passive surveillance of the public realm by providing clear lines of sight, appropriate lighting and the use of visually permeable screening wherever practicable.</p>	<p>DTS/DPF 2.1 None are applicable.</p>
<p>PO 2.2 Development is designed to differentiate public, communal and private areas.</p>	<p>DTS/DPF 2.2 None are applicable.</p>
<p>PO 2.3 Buildings are designed with safe, perceptible and direct access from public street frontages and vehicle parking areas.</p>	<p>DTS/DPF 2.3 None are applicable.</p>
<p>PO 2.4 Development at street level is designed to maximise opportunities for passive surveillance of the adjacent public realm.</p>	<p>DTS/DPF 2.4 None are applicable.</p>
<p>PO 2.5 Common areas and entry points of buildings (such as the foyer areas of residential buildings), and non-residential land uses at street level, maximise passive surveillance from the public realm to the inside of the building at night.</p>	<p>DTS/DPF 2.5 None are applicable.</p>
<p>Landscaping</p>	
<p>PO 3.1 Soft landscaping and tree planting is incorporated to:</p> <ul style="list-style-type: none"> (a) minimise heat absorption and reflection (b) maximise shade and shelter (c) maximise stormwater infiltration (d) enhance the appearance of land and streetscapes (e) contribute to biodiversity. 	<p>DTS/DPF 3.1 None are applicable.</p>
<p>PO 3.2 Soft landscaping and tree planting maximises the use of locally indigenous plant species, incorporates plant species best suited to current and future climate conditions and avoids pest plant and weed species.</p>	<p>DTS/DPF 3.2 None are applicable.</p>
<p>Environmental Performance</p>	
<p>PO 4.1 Buildings are sited, oriented and designed to maximise natural sunlight access and ventilation to main activity areas, habitable rooms, common areas and open spaces.</p>	<p>DTS/DPF 4.1 None are applicable.</p>

<p>PO 4.2</p> <p>Buildings are sited and designed to maximise passive environmental performance and minimise energy consumption and reliance on mechanical systems, such as heating and cooling.</p>	<p>DTS/DPF 4.2</p> <p>None are applicable.</p>
<p>PO 4.3</p> <p>Buildings incorporate climate-responsive techniques and features such as building and window orientation, use of eaves, verandahs and shading structures, water harvesting, at ground landscaping, green walls, green roofs and photovoltaic cells.</p>	<p>DTS/DPF 4.3</p> <p>None are applicable.</p>
<p>Water Sensitive Design</p>	
<p>PO 5.1</p> <p>Development is sited and designed to maintain natural hydrological systems without negatively impacting:</p> <p>(a) the quantity and quality of surface water and groundwater (b) the depth and directional flow of surface water and groundwater (c) the quality and function of natural springs.</p>	<p>DTS/DPF 5.1</p> <p>None are applicable.</p>
<p>On-site Waste Treatment Systems</p>	
<p>PO 6.1</p> <p>Dedicated on-site effluent disposal areas do not include any areas to be used for, or could be reasonably foreseen to be used for, private open space, driveways or car parking.</p>	<p>DTS/DPF 6.1</p> <p>Effluent disposal drainage areas do not:</p> <p>(a) encroach within an area used as private open space or result in less private open space than that specified in Design Table 1 - Private Open Space (b) use an area also used as a driveway (c) encroach within an area used for on-site car parking or result in less on-site car parking than that specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas.</p>
<p>Carparking Appearance</p>	
<p>PO 7.1</p> <p>Development facing the street is designed to minimise the negative impacts of any semi-basement and undercroft car parking on the streetscapes through techniques such as:</p> <p>(a) limiting protrusion above finished ground level (b) screening through appropriate planting, fencing and mounding (c) limiting the width of openings and integrating them into the building structure.</p>	<p>DTS/DPF 7.1</p> <p>None are applicable.</p>
<p>PO 7.2</p> <p>Vehicle parking areas are appropriately located, designed and constructed to minimise impacts on adjacent sensitive receivers through measures such as ensuring they are attractively developed and landscaped, screen fenced and the like.</p>	<p>DTS/DPF 7.2</p> <p>None are applicable.</p>
<p>PO 7.3</p> <p>Safe, legible, direct and accessible pedestrian connections are provided between parking areas and the development.</p>	<p>DTS/DPF 7.3</p> <p>None are applicable.</p>
<p>PO 7.4</p> <p>Street level vehicle parking areas incorporate tree planting to provide shade and reduce solar heat absorption and reflection.</p>	<p>DTS/DPF 7.4</p> <p>None are applicable.</p>
<p>PO 7.5</p> <p>Street level parking areas incorporate soft landscaping to improve visual appearance when viewed from within the site and from public places.</p>	<p>DTS/DPF 7.5</p> <p>None are applicable.</p>

<p>PO 7.6</p> <p>Vehicle parking areas and associated driveways are landscaped to provide shade and positively contribute to amenity.</p>	<p>DTS/DPF 7.6</p> <p>None are applicable.</p>
<p>PO 7.7</p> <p>Vehicle parking areas and access ways incorporate integrated stormwater management techniques such as permeable or porous surfaces, infiltration systems, drainage swales or rain gardens that integrate with soft landscaping.</p>	<p>DTS/DPF 7.7</p> <p>None are applicable.</p>
<p>Earthworks and sloping land</p>	
<p>PO 8.1</p> <p>Development, including any associated driveways and access tracks, minimises the need for earthworks to limit disturbance to natural topography.</p>	<p>DTS/DPF 8.1</p> <p>Development does not involve any of the following:</p> <ul style="list-style-type: none"> (a) excavation exceeding a vertical height of 1m (b) filling exceeding a vertical height of 1m (c) a total combined excavation and filling vertical height of 2m or more.
<p>PO 8.2</p> <p>Driveways and access tracks are designed and constructed to allow safe and convenient access on sloping land (with a gradient exceeding 1 in 8).</p>	<p>DTS/DPF 8.2</p> <p>Driveways and access tracks on sloping land (with a gradient exceeding 1 in 8) satisfy (a) and (b):</p> <ul style="list-style-type: none"> (a) do not have a gradient exceeding 25% (1-in-4) at any point along the driveway (b) are constructed with an all-weather trafficable surface.
<p>PO 8.3</p> <p>Driveways and access tracks on sloping land (with a gradient exceeding 1 in 8):</p> <ul style="list-style-type: none"> (a) do not contribute to the instability of embankments and cuttings (b) provide level transition areas for the safe movement of people and goods to and from the development (c) are designed to integrate with the natural topography of the land. 	<p>DTS/DPF 8.3</p> <p>None are applicable.</p>
<p>PO 8.4</p> <p>Development on sloping land (with a gradient exceeding 1 in 8) avoids the alteration of natural drainage lines and includes on-site drainage systems to minimise erosion.</p>	<p>DTS/DPF 8.4</p> <p>None are applicable.</p>
<p>PO 8.5</p> <p>Development does not occur on land at risk of landslip nor increases the potential for landslip or land surface instability.</p>	<p>DTS/DPF 8.5</p> <p>None are applicable.</p>
<p>Fences and Walls</p>	
<p>PO 9.1</p> <p>Fences, walls and retaining walls are of sufficient height to maintain privacy and security without unreasonably impacting the visual amenity and adjoining land's access to sunlight or the amenity of public places.</p>	<p>DTS/DPF 9.1</p> <p>None are applicable.</p>
<p>PO 9.2</p> <p>Landscaping incorporated on the low side of retaining walls is visible from public roads and public open space to minimise visual impacts.</p>	<p>DTS/DPF 9.2</p> <p>A vegetated landscaped strip 1m wide or more is provided against the low side of a retaining wall.</p>
<p>Overlooking / Visual Privacy (in building 3 storeys or less)</p>	
<p>PO 10.1</p>	<p>DTS/DPF 10.1</p>

<p>Development mitigates direct overlooking from upper level windows to habitable rooms and private open spaces of adjoining residential uses.</p>	<p>Upper level windows facing side or rear boundaries shared with a residential allotment/site satisfy one of the following:</p> <ul style="list-style-type: none"> (a) are permanently obscured to a height of 1.5m above finished floor level and are fixed or not capable of being opened more than 200mm (b) have sill heights greater than or equal to 1.5m above finished floor level (c) incorporate screening with a maximum of 25% openings, permanently fixed no more than 500mm from the window surface and sited adjacent to any part of the window less than 1.5 m above the finished floor level.
<p>PO 10.2</p> <p>Development mitigates direct overlooking from balconies, terraces and decks to habitable rooms and private open space of adjoining residential uses.</p>	<p>DTS/DPF 10.2</p> <p>One of the following is satisfied:</p> <ul style="list-style-type: none"> (a) the longest side of the balcony or terrace will face a public road, public road reserve or public reserve that is at least 15m wide in all places faced by the balcony or terrace or (b) all sides of balconies or terraces on upper building levels are permanently obscured by screening with a maximum 25% transparency/openings fixed to a minimum height of: <ul style="list-style-type: none"> (i) 1.5m above finished floor level where the balcony is located at least 15 metres from the nearest habitable window of a dwelling on adjacent land or (ii) 1.7m above finished floor level in all other cases
<p>All Residential development</p>	
<p>Front elevations and passive surveillance</p>	
<p>PO 11.1</p> <p>Dwellings incorporate windows along primary street frontages to encourage passive surveillance and make a positive contribution to the streetscape.</p>	<p>DTS/DPF 11.1</p> <p>Each dwelling with a frontage to a public street:</p> <ul style="list-style-type: none"> (a) includes at least one window facing the primary street from a habitable room that has a minimum internal room dimension of 2.4m (b) has an aggregate window area of at least 2m² facing the primary street.
<p>PO 11.2</p> <p>Dwellings incorporate entry doors within street frontages to address the street and provide a legible entry point for visitors.</p>	<p>DTS/DPF 11.2</p> <p>Dwellings with a frontage to a public street have an entry door visible from the primary street boundary.</p>
<p>Outlook and amenity</p>	
<p>PO 12.1</p> <p>Living rooms have an external outlook to provide a high standard of amenity for occupants.</p>	<p>DTS/DPF 12.1</p> <p>A living room of a dwelling incorporates a window with an outlook towards the street frontage or private open space, public open space, or waterfront areas.</p>
<p>PO 12.2</p> <p>Bedrooms are separated or shielded from active communal recreation areas, common access areas and vehicle parking areas and access ways to mitigate noise and artificial light intrusion.</p>	<p>DTS/DPF 12.2</p> <p>None are applicable.</p>
<p>Ancillary Development</p>	
<p>PO 13.1</p> <p>Residential ancillary buildings and structures are sited and designed to not detract from the streetscape or appearance of buildings on the site or neighbouring properties.</p>	<p>DTS/DPF 13.1</p> <p>Ancillary buildings:</p> <ul style="list-style-type: none"> (a) are ancillary to a dwelling erected on the same site (b) have a floor area not exceeding 60m² (c) are not constructed, added to or altered so that any part is situated: <ul style="list-style-type: none"> (i) in front of any part of the building line of the dwelling to which it is ancillary or (ii) within 900mm of a boundary of the allotment with a secondary street (if the land has boundaries on two or more roads) (d) in the case of a garage or carport, the garage or carport: <ul style="list-style-type: none"> (i) is set back at least 5.5m from the boundary of the primary street (ii) when facing a primary street or secondary street, has a total door / opening not exceeding: <ul style="list-style-type: none"> A. for dwellings of single building level - 7m in width or 50% of the site frontage, whichever is the lesser

B. for dwellings comprising two or more building levels at the building line fronting the same public street - 7m in width

(e) if situated on a boundary (not being a boundary with a primary street or secondary street), do not exceed a length of 11.5m unless:

(i) a longer wall or structure exists on the adjacent site and is situated on the same allotment boundary and

(ii) the proposed wall or structure will be built along the same length of boundary as the existing adjacent wall or structure to the same or lesser extent

(f) if situated on a boundary of the allotment (not being a boundary with a primary street or secondary street), all walls or structures on the boundary will not exceed 45% of the length of that boundary

(g) will not be located within 3m of any other wall along the same boundary unless on an adjacent site on that boundary there is an existing wall of a building that would be adjacent to or about the proposed wall or structure

(h) have a wall height or post height not exceeding 3m above natural ground level (and not including a gable end)

(i) have a roof height where no part of the roof is more than 5m above the natural ground level

(j) if clad in sheet metal, is pre-colour treated or painted in a non-reflective colour

(k) retains a total area of soft landscaping in accordance with (i) or (ii), whichever is less:

(i) a total area as determined by the following table:

Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m ²)	Minimum percentage of site
<150	10%
150-200	15%
201-450	20%
>450	25%

(ii) the amount of existing soft landscaping prior to the development occurring.

PO 13.2
Ancillary buildings and structures do not impede on-site functional requirements such as private open space provision or car parking requirements and do not result in over-development of the site.

DTS/DPF 13.2
Ancillary buildings and structures do not result in:

(a) less private open space than specified in Design in Urban Areas Table 1 - Private Open Space

(b) less on-site car parking than specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas.

PO 13.3
Fixed plant and equipment in the form of pumps and/or filtration systems for a swimming pool or spa is positioned and/or housed to not cause unreasonable noise nuisance to adjacent sensitive receivers.

DTS/DPF 13.3
The pump and/or filtration system is ancillary to a dwelling erected on the same site and is:

(a) enclosed in a solid acoustic structure that is located at least 5m from the nearest habitable room located on an adjoining allotment or

(b) located at least 12m from the nearest habitable room located on an adjoining allotment.

PO 13.4
Buildings and structures that are ancillary to an existing non-residential use do not detract from the streetscape character, appearance of buildings on the site of the development, or the amenity of neighbouring properties.

DTS/DPF 13.4
Non-residential ancillary buildings and structures:

(a) are ancillary and subordinate to an existing non-residential use on the same site

	<p>(b) have a floor area not exceeding the following:</p> <table border="1" style="margin-left: 20px;"> <thead> <tr> <th>Allotment size</th> <th>Floor area</th> </tr> </thead> <tbody> <tr> <td>≤500m²</td> <td>60m²</td> </tr> <tr> <td>>500m²</td> <td>80m²</td> </tr> </tbody> </table> <p>(c) are not constructed, added to or altered so that any part is situated:</p> <ul style="list-style-type: none"> (i) in front of any part of the building line of the main building to which it is ancillary or (ii) within 900mm of a boundary of the allotment with a secondary street (if the land has boundaries on two or more roads) <p>(d) in the case of a garage or carport, the garage or carport:</p> <ul style="list-style-type: none"> (i) is set back at least 5.5m from the boundary of the primary street <p>(e) if situated on a boundary (not being a boundary with a primary street or secondary street), do not exceed a length of 11.5m unless:</p> <ul style="list-style-type: none"> (i) a longer wall or structure exists on the adjacent site and is situated on the same allotment boundary (ii) the proposed wall or structure will be built along the same length of boundary as the existing adjacent wall or structure to the same or lesser extent <p>(f) if situated on a boundary of the allotment (not being a boundary with a primary street or secondary street), all walls or structures on the boundary will not exceed 45% of the length of that boundary</p> <p>(g) will not be located within 3m of any other wall along the same boundary unless on an adjacent site on that boundary there is an existing wall of a building that would be adjacent to or about the proposed wall or structure</p> <p>(h) have a wall height (or post height) not exceeding 3m (and not including a gable end)</p> <p>(i) have a roof height where no part of the roof is more than 5m above the natural ground level</p> <p>(j) if clad in sheet metal, is pre-colour treated or painted in a non-reflective colour.</p>	Allotment size	Floor area	≤500m ²	60m ²	>500m ²	80m ²
Allotment size	Floor area						
≤500m ²	60m ²						
>500m ²	80m ²						

Garage appearance

<p>PO 14.1</p> <p>Garaging is designed to not detract from the streetscape or appearance of a dwelling.</p>	<p>DTS/DPF 14.1</p> <p>Garages and carports facing a street:</p> <ul style="list-style-type: none"> (a) are situated so that no part of the garage or carport is in front of any part of the building line of the dwelling (b) are set back at least 5.5m from the boundary of the primary street (c) have a garage door / opening not exceeding 7m in width (d) have a garage door /opening width not exceeding 50% of the site frontage unless the dwelling has two or more building levels at the building line fronting the same public street.
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Massing

<p>PO 15.1</p> <p>The visual mass of larger buildings is reduced when viewed from adjoining allotments or public streets.</p>	<p>DTS/DPF 15.1</p> <p>None are applicable</p>
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Dwelling additions

<p>PO 16.1</p> <p>Dwelling additions are sited and designed to not detract from the streetscape or amenity of adjoining properties and do not impede on-site functional requirements.</p>	<p>DTS / DPF 16.1</p> <p>Dwelling additions:</p> <ul style="list-style-type: none"> (a) are not constructed, added to or altered so that any part is situated closer to a public street (b) do not result in: <ul style="list-style-type: none"> (i) excavation exceeding a vertical height of 1m (ii) filling exceeding a vertical height of 1m (iii) a total combined excavation and filling vertical height of 2m or more (iv) less Private Open Space than specified in Design Table 1 - Private Open Space (v) less on-site parking than specified in Transport Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas (vi) upper level windows facing side or rear boundaries unless: <ul style="list-style-type: none"> A. they are permanently obscured to a height of 1.5m above finished floor level that is fixed or not capable of being opened more than 200mm or B. have sill heights greater than or equal to 1.5m above finished floor level or C. incorporate screening to a height of 1.5m above finished floor level (vii) all sides of balconies or terraces on upper building levels are permanently obscured by screening with a maximum 25% transparency/openings fixed to a minimum height of: <ul style="list-style-type: none"> A. 1.5m above finished floor level where the balcony is located at least 15 metres from the nearest habitable window of a dwelling on adjacent land B. 1.7m above finished floor level in all other cases.
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Private Open Space	
<p>PO 17.1</p> <p>Dwellings are provided with suitable sized areas of usable private open space to meet the needs of occupants.</p>	<p>DTS/DPF 17.1</p> <p>Private open space is provided in accordance with Design Table 1 - Private Open Space.</p>
Water Sensitive Design	
<p>PO 18.1</p> <p>Residential development creating a common driveway / access includes stormwater management systems that minimise the discharge of sediment, suspended solids, organic matter, nutrients, bacteria, litter and other contaminants to the stormwater system, watercourses or other water bodies.</p>	<p>DTS/DPF 18.1</p> <p>Residential development creating a common driveway / access that services 5 or more dwellings achieves the following stormwater runoff outcomes:</p> <ul style="list-style-type: none"> (a) 80 per cent reduction in average annual total suspended solids (b) 60 per cent reduction in average annual total phosphorus (c) 45 per cent reduction in average annual total nitrogen.
<p>PO 18.2</p> <p>Residential development creating a common driveway / access includes a stormwater management system designed to mitigate peak flows and manage the rate and duration of stormwater discharges from the site to ensure that the development does not increase the peak flows in downstream systems.</p>	<p>DTS/DPF 18.2</p> <p>Development creating a common driveway / access that services 5 or more dwellings:</p> <ul style="list-style-type: none"> (a) maintains the pre-development peak flow rate from the site based upon a 0.35 runoff coefficient for the 18.1% AEP 30-minute storm and the stormwater runoff time to peak is not increased or captures and retains the difference in pre-development runoff volume (based upon a 0.35 runoff coefficient) vs post development runoff volume from the site for an 18.1% AEP 30-minute storm; and (b) manages site generated stormwater runoff up to and including the 1% AEP flood event to avoid flooding of buildings.
Car parking, access and manoeuvrability	
<p>PO 19.1</p> <p>Enclosed parking spaces are of a size and dimensions to be functional, accessible and convenient.</p>	<p>DTS/DPF 19.1</p> <p>Residential car parking spaces enclosed by fencing, walls or other structures have the following internal dimensions (separate from any waste storage area):</p> <ul style="list-style-type: none"> (a) single width car parking spaces: <ul style="list-style-type: none"> (i) a minimum length of 5.4m per space (ii) a minimum width of 3.0m (iii) a minimum garage door width of 2.4m (b) double width car parking spaces (side by side): <ul style="list-style-type: none"> (i) a minimum length of 5.4m (ii) a minimum width of 5.4m (iii) minimum garage door width of 2.4m per space.
<p>PO 19.2</p> <p>Uncovered parking spaces are of a size and dimensions to be functional, accessible and convenient.</p>	<p>DTS/DPF 19.2</p> <p>Uncovered car parking spaces have:</p> <ul style="list-style-type: none"> (a) a minimum length of 5.4m (b) a minimum width of 2.4m (c) a minimum width between the centre line of the space and any fence, wall or other obstruction of 1.5m
<p>PO 19.3</p> <p>Driveways and access points are located and designed to facilitate safe access and egress while maximising land available for street tree planting, pedestrian movement, domestic waste collection, landscaped street frontages and on-street parking.</p>	<p>DTS/DPF 19.3</p> <p>Driveways and access points on sites with a frontage to a public road of 10m or less have a width between 3.0 and 3.2 metres measured at the property boundary and are the only access point provided on the site.</p>
<p>PO 19.4</p> <p>Vehicle access is safe, convenient, minimises interruption to the operation of public roads and does not interfere with street infrastructure or street trees.</p>	<p>DTS/DPF 19.4</p> <p>Vehicle access to designated car parking spaces satisfy (a) or (b):</p> <ul style="list-style-type: none"> (a) is provided via a lawfully existing or authorised access point or an access point for which consent has been granted as part of an application for the division of land (b) where newly proposed: <ul style="list-style-type: none"> (i) is set back 6m or more from the tangent point of an intersection of 2 or more roads

	(ii) is set back outside of the marked lines or infrastructure dedicating a pedestrian crossing (iii) does not involve the removal, relocation or damage to of mature street trees, street furniture or utility infrastructure services.
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PO 19.5 Driveways are designed to enable safe and convenient vehicle movements from the public road to on-site parking spaces.	DTS/DPF 19.5 Driveways are designed and sited so that: (a) the gradient of the driveway does not exceed a grade of 1 in 4 and includes transitions to ensure a maximum grade change of 12.5% (1 in 8) for summit changes, and 15% (1 in 6.7) for sag changes, in accordance with AS 2890.1:2004 to prevent vehicles bottoming or scraping (b) the centreline of the driveway has an angle of no less than 70 degrees and no more than 110 degrees from the street boundary to which it takes its access as shown in the following diagram: (c) if located to provide access from an alley, lane or right of way - the alley, land or right or way is at least 6.2m wide along the boundary of the allotment / site
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PO 19.6 Driveways and access points are designed and distributed to optimise the provision of on-street visitor parking.	DTS/DPF 19.6 Where on-street parking is available abutting the site's street frontage, on-street parking is retained in accordance with the following requirements: (a) minimum 0.33 on-street spaces per dwelling on the site (rounded up to the nearest whole number) (b) minimum car park length of 5.4m where a vehicle can enter or exit a space directly (c) minimum carpark length of 6m for an intermediate space located between two other parking spaces or to an end obstruction where the parking is indented.
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Waste storage

PO 20.1 Provision is made for the adequate and convenient storage of waste bins in a location screened from public view.	DTS/DPF 20.1 None are applicable.
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Design of Transportable Dwellings

PO 21.1 The sub-floor space beneath transportable buildings is enclosed to give the appearance of a permanent structure.	DTS/DPF 21.1 Buildings satisfy (a) or (b): (a) are not transportable or (b) the sub-floor space between the building and ground level is clad in a material and finish consistent with the building.
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Group dwelling, residential flat buildings and battle-axe development											
Amenity											
<p>PO 22.1</p> <p>Dwellings are of a suitable size to accommodate a layout that is well organised and provides a high standard of amenity for occupants.</p>	<p>DTS/DPF 22.1</p> <p>Dwellings have a minimum internal floor area in accordance with the following table:</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr style="background-color: #1a3d54; color: white;"> <th style="padding: 5px;">Number of bedrooms</th> <th style="padding: 5px;">Minimum internal floor area</th> </tr> </thead> <tbody> <tr> <td style="padding: 5px;">Studio</td> <td style="padding: 5px;">35m²</td> </tr> <tr> <td style="padding: 5px;">1 bedroom</td> <td style="padding: 5px;">50m²</td> </tr> <tr> <td style="padding: 5px;">2 bedroom</td> <td style="padding: 5px;">65m²</td> </tr> <tr> <td style="padding: 5px;">3+ bedrooms</td> <td style="padding: 5px;">80m² and any dwelling over 3 bedrooms provides an additional 15m² for every additional bedroom</td> </tr> </tbody> </table>	Number of bedrooms	Minimum internal floor area	Studio	35m ²	1 bedroom	50m ²	2 bedroom	65m ²	3+ bedrooms	80m ² and any dwelling over 3 bedrooms provides an additional 15m ² for every additional bedroom
Number of bedrooms	Minimum internal floor area										
Studio	35m ²										
1 bedroom	50m ²										
2 bedroom	65m ²										
3+ bedrooms	80m ² and any dwelling over 3 bedrooms provides an additional 15m ² for every additional bedroom										
<p>PO 22.2</p> <p>The orientation and siting of buildings minimises impacts on the amenity, outlook and privacy of occupants and neighbours.</p>	<p>DTS/DPF 22.2</p> <p>None are applicable.</p>										
<p>PO 22.3</p> <p>Development maximises the number of dwellings that face public open space and public streets and limits dwellings oriented towards adjoining properties.</p>	<p>DTS/DPF 22.3</p> <p>None are applicable.</p>										
<p>PO 22.4</p> <p>Battle-axe development is appropriately sited and designed to respond to the existing neighbourhood context.</p>	<p>DTS/DPF 22.4</p> <p>Dwelling sites/allotments are not in the form of a battle-axe arrangement.</p>										
Communal Open Space											
<p>PO 23.1</p> <p>Private open space provision may be substituted for communal open space which is designed and sited to meet the recreation and amenity needs of residents.</p>	<p>DTS/DPF 23.1</p> <p>None are applicable.</p>										
<p>PO 23.2</p> <p>Communal open space is of sufficient size and dimensions to cater for group recreation.</p>	<p>DTS/DPF 23.2</p> <p>Communal open space incorporates a minimum dimension of 5 metres.</p>										
<p>PO 23.3</p> <p>Communal open space is designed and sited to:</p> <ul style="list-style-type: none"> (a) be conveniently accessed by the dwellings which it services (b) have regard to acoustic, safety, security and wind effects. 	<p>DTS/DPF 23.3</p> <p>None are applicable.</p>										
<p>PO 23.4</p>	<p>DTS/DPF 23.4</p>										

Communal open space contains landscaping and facilities that are functional, attractive and encourage recreational use.	None are applicable.
<p>PO 23.5</p> <p>Communal open space is designed and sited to:</p> <p>(a) in relation to rooftop or elevated gardens, minimise overlooking into habitable room windows or onto the useable private open space of other dwellings</p> <p>(b) in relation to ground floor communal space, be overlooked by habitable rooms to facilitate passive surveillance.</p>	<p>DTS/DPF 23.5</p> <p>None are applicable.</p>
Carparking, access and manoeuvrability	
<p>PO 24.1</p> <p>Driveways and access points are designed and distributed to optimise the provision of on-street visitor parking.</p>	<p>DTS/DPF 24.1</p> <p>Where on-street parking is available directly adjacent the site, on-street parking is retained adjacent the subject site in accordance with the following requirements:</p> <p>(a) minimum 0.33 on-street car parks per proposed dwellings (rounded up to the nearest whole number)</p> <p>(b) minimum car park length of 5.4m where a vehicle can enter or exit a space directly</p> <p>(c) minimum carpark length of 6m for an intermediate space located between two other parking spaces or to an end obstruction where the parking is indented.</p>
<p>PO 24.2</p> <p>The number of vehicular access points onto public roads is minimised to reduce interruption of the footpath and positively contribute to public safety and walkability.</p>	<p>DTS/DPF 24.2</p> <p>Access to group dwellings or dwellings within a residential flat building is provided via a single common driveway.</p>
<p>PO 24.3</p> <p>Residential driveways that service more than one dwelling are designed to allow safe and convenient movement.</p>	<p>DTS/DPF 24.3</p> <p>Driveways that service more than 1 dwelling or a dwelling on a battle-axe site:</p> <p>(a) have a minimum width of 3m</p> <p>(b) for driveways servicing more than 3 dwellings:</p> <p>(i) have a width of 5.5m or more and a length of 6m or more at the kerb of the primary street</p> <p>(ii) where the driveway length exceeds 30m, incorporate a passing point at least every 30 metres with a minimum width of 5.5m and a minimum length of 6m.</p>
<p>PO 24.4</p> <p>Residential driveways in a battle-axe configuration are designed to allow safe and convenient movement.</p>	<p>DTS/DPF 24.4</p> <p>Where in a battle-axe configuration, a driveway servicing one dwelling has a minimum width of 3m.</p>
<p>PO 24.5</p> <p>Residential driveways that service more than one dwelling are designed to allow passenger vehicles to enter and exit the site and manoeuvre within the site in a safe and convenient manner.</p>	<p>DTS/DPF 24.5</p> <p>Driveways providing access to more than one dwelling, or a dwelling on a battle-axe site, allow a B85 passenger vehicle to enter and exit the garages or parking spaces in no more than a three-point turn manoeuvre.</p>
<p>PO 24.6</p> <p>Dwellings are adequately separated from common driveways and manoeuvring areas.</p>	<p>DTS/DPF 24.6</p> <p>Dwelling walls with entry doors or ground level habitable room windows are set back at least 1.5m from any driveway or area designated for the movement and manoeuvring of vehicles.</p>
Soft Landscaping	
<p>PO 25.1</p> <p>Soft landscaping is provided between dwellings and common driveways to improve the outlook for occupants and appearance of common areas.</p>	<p>DTS/DPF 25.1</p> <p>Other than where located directly in front of a garage or a building entry, soft landscaping with a minimum dimension of 1m is provided between a dwelling and common driveway.</p>
<p>PO 25.2</p> <p>Soft landscaping is provided that improves the appearance of common driveways.</p>	<p>DTS/DPF 25.2</p> <p>Where a common driveway is located directly adjacent the side or rear boundary of</p>

	the site, soft landscaping with a minimum dimension of 1m is provided between the driveway and site boundary (excluding along the perimeter of a passing point).
Site Facilities / Waste Storage	
<p>PO 26.1</p> <p>Provision is made for suitable mailbox facilities close to the major pedestrian entry to the site or conveniently located considering the nature of accommodation and mobility of occupants.</p>	<p>DTS/DPF 26.1</p> <p>None are applicable.</p>
<p>PO 26.2</p> <p>Provision is made for suitable external clothes drying facilities.</p>	<p>DTS/DPF 26.2</p> <p>None are applicable.</p>
<p>PO 26.3</p> <p>Provision is made for suitable household waste and recyclable material storage facilities which are:</p> <p>(a) located away, or screened, from public view, and (b) conveniently located in proximity to dwellings and the waste collection point.</p>	<p>DTS/DPF 26.3</p> <p>None are applicable.</p>
<p>PO 26.4</p> <p>Waste and recyclable material storage areas are located away from dwellings.</p>	<p>DTS/DPF 26.4</p> <p>Dedicated waste and recyclable material storage areas are located at least 3m from any habitable room window.</p>
<p>PO 26.5</p> <p>Where waste bins cannot be conveniently collected from the street, provision is made for on-site waste collection, designed to accommodate the safe and convenient access, egress and movement of waste collection vehicles.</p>	<p>DTS/DPF 26.5</p> <p>None are applicable.</p>
<p>PO 26.6</p> <p>Services including gas and water meters are conveniently located and screened from public view.</p>	<p>DTS/DPF 26.6</p> <p>None are applicable.</p>
Supported accommodation and retirement facilities	
Siting and Configuration	
<p>PO 27.1</p> <p>Supported accommodation and housing for aged persons and people with disabilities is located where on-site movement of residents is not unduly restricted by the slope of the land.</p>	<p>DTS/DPF 27.1</p> <p>None are applicable.</p>
Movement and Access	
<p>PO 28.1</p> <p>Development is designed to support safe and convenient access and movement for residents by providing:</p> <p>(a) ground-level access or lifted access to all units (b) level entry porches, ramps, paths, driveways, passenger loading areas and areas adjacent to footpaths that allow for the passing of wheelchairs and resting places (c) car parks with gradients no steeper than 1-in-40 and of sufficient area to provide for wheelchair manoeuvrability (d) kerb ramps at pedestrian crossing points.</p>	<p>DTS/DPF 28.1</p> <p>None are applicable.</p>
Communal Open Space	
<p>PO 29.1</p>	<p>DTS/DPF 29.1</p>

Development is designed to provide attractive, convenient and comfortable indoor and outdoor communal areas to be used by residents and visitors.	None are applicable.
PO 29.2 Private open space provision may be substituted for communal open space which is designed and sited to meet the recreation and amenity needs of residents.	DTS/DPF 29.2 None are applicable.
PO 29.3 Communal open space is of sufficient size and dimensions to cater for group recreation.	DTS/DPF 29.3 Communal open space incorporates a minimum dimension of 5 metres.
PO 29.4 Communal open space is designed and sited to: (a) be conveniently accessed by the dwellings which it services (b) have regard to acoustic, safety, security and wind effects.	DTS/DPF 29.4 None are applicable.
PO 29.5 Communal open space contains landscaping and facilities that are functional, attractive and encourage recreational use.	DTS/DPF 29.5 None are applicable.
PO 29.6 Communal open space is designed and sited to: (a) in relation to rooftop or elevated gardens, minimise overlooking into habitable room windows or onto the useable private open space of other dwellings (b) in relation to ground floor communal space, be overlooked by habitable rooms to facilitate passive surveillance.	DTS/DPF 29.6 None are applicable.
Site Facilities / Waste Storage	
PO 30.1 Development is designed to provide storage areas for personal items and specialised equipment such as small electric powered vehicles, including facilities for the recharging of small electric powered vehicles.	DTS/DPF 30.1 None are applicable.
PO 30.2 Provision is made for suitable mailbox facilities close to the major pedestrian entry to the site or conveniently located considering the nature of accommodation and mobility of occupants.	DTS/DPF 30.2 None are applicable.
PO 30.3 Provision is made for suitable external clothes drying facilities.	DTS/DPF 30.3 None are applicable.
PO 30.4 Provision is made for suitable household waste and recyclable material storage facilities conveniently located and screened from public view.	DTS/DPF 30.4 None are applicable.
PO 30.5 Waste and recyclable material storage areas are located away from dwellings.	DTS/DPF 30.5 Dedicated waste and recyclable material storage areas are located at least 3m from any habitable room window.
PO 30.6 Provision is made for on-site waste collection where 10 or more bins are to be collected at any one time.	DTS/DPF 30.6 None are applicable.

<p>PO 30.7</p> <p>Services including gas and water meters are conveniently located and screened from public view.</p>	<p>DTS/DPF 30.7</p> <p>None are applicable.</p>
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All non-residential development

Water Sensitive Design

<p>PO 31.1</p> <p>Development likely to result in significant risk of export of litter, oil or grease includes stormwater management systems designed to minimise pollutants entering stormwater.</p>	<p>DTS/DPF 31.1</p> <p>None are applicable.</p>
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<p>PO 31.2</p> <p>Water discharged from a development site is of a physical, chemical and biological condition equivalent to or better than its pre-developed state.</p>	<p>DTS/DPF 31.2</p> <p>None are applicable.</p>
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Wash-down and Waste Loading and Unloading

<p>PO 32.1</p> <p>Areas for activities including loading and unloading, storage of waste refuse bins in commercial and industrial development or wash-down areas used for the cleaning of vehicles, vessels, plant or equipment are:</p> <ul style="list-style-type: none"> (a) designed to contain all wastewater likely to pollute stormwater within a bunded and roofed area to exclude the entry of external surface stormwater run-off (b) paved with an impervious material to facilitate wastewater collection (c) of sufficient size to prevent 'splash-out' or 'over-spray' of wastewater from the wash-down area designed to drain wastewater to either: (d) <ul style="list-style-type: none"> (i) a treatment device such as a sediment trap and coalescing plate oil separator with subsequent disposal to a sewer, private or Community Wastewater Management Scheme or (ii) a holding tank and its subsequent removal off-site on a regular basis. 	<p>DTS/DPF 32.1</p> <p>None are applicable.</p>
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Decks

Design and Siting

<p>PO 33.1</p> <p>Decks are designed and sited to:</p> <ul style="list-style-type: none"> (a) complement the associated building form (b) minimise impacts on the streetscape through siting behind the building line of the principal building (unless on a significant allotment or open space) (c) minimise cut and fill and overall massing when viewed from adjacent land. 	<p>DTS/DPF 33.1</p> <p>Decks:</p> <ul style="list-style-type: none"> (a) where ancillary to a dwelling: <ul style="list-style-type: none"> (i) are not constructed, added to or altered so that any part is situated: <ul style="list-style-type: none"> A. in front of any part of the building line of the dwelling to which it is ancillary or B. within 900mm of a boundary of the allotment with a secondary street (if the land has boundaries on two or more roads) (ii) are set back at least 900mm from side or rear allotment boundaries (iii) when attached to the dwelling, has a finished floor level consistent with the finished ground floor level of the dwelling (iv) where associated with a residential use, retains a total area of soft landscaping for the entire development site, including any common property, with a minimum dimension of 700mm in accordance with (A) or (B), whichever is less: <ul style="list-style-type: none"> A. a total area is determined by the following table: <table border="1" data-bbox="1002 1798 1522 2107"> <tr> <td style="background-color: #003366; color: white; text-align: center; padding: 10px;"> Site area (or in the case of residential flat building) </td> <td style="background-color: #003366; color: white; text-align: center; padding: 10px;"> Minimum percentage of site </td> </tr> </table>	Site area (or in the case of residential flat building)	Minimum percentage of site
Site area (or in the case of residential flat building)	Minimum percentage of site		

	<table border="1" data-bbox="1002 100 1520 638"> <tr> <th colspan="2" data-bbox="1002 100 1520 403">or group dwelling(s), average site area (m²)</th> </tr> <tr> <td data-bbox="1002 403 1270 427"><150</td> <td data-bbox="1270 403 1520 427">10%</td> </tr> <tr> <td data-bbox="1002 427 1270 492">150-200</td> <td data-bbox="1270 427 1520 492">15%</td> </tr> <tr> <td data-bbox="1002 492 1270 564">>200-450</td> <td data-bbox="1270 492 1520 564">20%</td> </tr> <tr> <td data-bbox="1002 564 1270 638">>450</td> <td data-bbox="1270 564 1520 638">25%</td> </tr> </table> <p data-bbox="821 645 1492 907"> B. the amount of existing soft landscaping prior to the development occurring. (b) where in association with a non-residential use: (i) are set back at least 2 metres from the boundary of an allotment used for residential purposes. (ii) are set back at least 2 metres from a public road. (iii) have a floor area not exceeding 25m² (c) in all cases, has a finished floor level not exceeding 1 metre above natural ground level at any point. </p>	or group dwelling(s), average site area (m²)		<150	10%	150-200	15%	>200-450	20%	>450	25%
or group dwelling(s), average site area (m²)											
<150	10%										
150-200	15%										
>200-450	20%										
>450	25%										
<p>PO 33.2</p> <p>Decks are designed and sited to minimise direct overlooking of habitable rooms and private open spaces of adjoining residential uses in neighbourhood-type zones through suitable floor levels, screening and siting taking into account the slope of the subject land, existing vegetation on the subject land, and fencing.</p>	<p>DTS/DPF 33.2</p> <p>Decks with a finished floor level/s 500mm or more above natural ground level facing side or rear boundaries shared with a residential use in a neighbourhood-type zone incorporate screening with a maximum of 25% transparency/openings, permanently fixed to the outer edge of the deck not less than 1.5 m above the finished floor level/s.</p>										
<p>PO 33.3</p> <p>Decks used for outdoor dining, entertainment or other commercial uses provide carparking in accordance with the primary use of the deck.</p>	<p>DTS/DPF 33.3</p> <p>Decks used for commercial purposes do not result in less on-site car parking for the primary use of the subject land than specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas.</p>										

Table 1 - Private Open Space

Dwelling Type	Minimum Rate
Dwelling (at ground level)	Total private open space area: (a) Site area <301m ² : 24m ² located behind the building line. (b) Site area ≥ 301m ² : 60m ² located behind the building line. Minimum directly accessible from a living room: 16m ² / with a minimum dimension 3m.
Dwelling (above ground level)	Studio (no separate bedroom): 4m ² with a minimum dimension 1.8m One bedroom: 8m ² with a minimum dimension 2.1m Two bedroom dwelling: 11m ² with a minimum dimension 2.4m Three + bedroom dwelling: 15m ² with a minimum dimension 2.6m
Cabin or caravan (permanently fixed to the ground) in a residential park or a caravan and tourist park	Total area: 16m ² , which may be used as second car parking space, provided on each site intended for residential occupation.

Design in Urban Areas

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	<p>Development is:</p> <ul style="list-style-type: none"> (a) contextual - by considering, recognising and carefully responding to its natural surroundings or built environment and positively contributing to the character of the locality (b) durable - fit for purpose, adaptable and long lasting (c) inclusive - by integrating landscape design to optimise pedestrian and cyclist usability, privacy and equitable access and promoting the provision of quality spaces integrated with the public realm that can be used for access and recreation and help optimise security and safety both internally and within the public realm, for occupants and visitors (d) sustainable - by integrating sustainable techniques into the design and siting of development and landscaping to improve community health, urban heat, water management, environmental performance, biodiversity and local amenity and to minimise energy consumption.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
All Development	
External Appearance	
<p>PO 1.1</p> <p>Buildings reinforce corners through changes in setback, articulation, materials, colour and massing (including height, width, bulk, roof form and slope).</p>	<p>DTS/DPF 1.1</p> <p>None are applicable.</p>
<p>PO 1.2</p> <p>Where zero or minor setbacks are desirable, development provides shelter over footpaths (in the form of verandahs, awnings, canopies and the like, with adequate lighting) to positively contribute to the walkability, comfort and safety of the public realm.</p>	<p>DTS/DPF 1.2</p> <p>None are applicable.</p>
<p>PO 1.3</p> <p>Building elevations facing the primary street (other than ancillary buildings) are designed and detailed to convey purpose, identify main access points and complement the streetscape.</p>	<p>DTS/DPF 1.3</p> <p>None are applicable.</p>
<p>PO 1.4</p> <p>Plant, exhaust and intake vents and other technical equipment are integrated into the building design to minimise visibility from the public realm and negative impacts on residential amenity by:</p> <ul style="list-style-type: none"> (a) positioning plant and equipment discretely, in unobtrusive locations as viewed from public roads and spaces (b) screening rooftop plant and equipment from view (c) when located on the roof of non-residential development, locating the plant and equipment as far as practicable from adjacent sensitive land uses. 	<p>DTS/DPF 1.4</p> <p>Development does not incorporate any structures that protrude beyond the roofline.</p>
<p>PO 1.5</p> <p>The negative visual impact of outdoor storage, waste management, loading and service areas is minimised by integrating them into the building design and screening them from public view (such as fencing, landscaping and built form), taking into account the form of development contemplated in the relevant zone.</p>	<p>DTS/DPF 1.5</p> <p>None are applicable.</p>

Safety	
<p>PO 2.1</p> <p>Development maximises opportunities for passive surveillance of the public realm by providing clear lines of sight, appropriate lighting and the use of visually permeable screening wherever practicable.</p>	<p>DTS/DPF 2.1</p> <p>None are applicable.</p>
<p>PO 2.2</p> <p>Development is designed to differentiate public, communal and private areas.</p>	<p>DTS/DPF 2.2</p> <p>None are applicable.</p>
<p>PO 2.3</p> <p>Buildings are designed with safe, perceptible and direct access from public street frontages and vehicle parking areas.</p>	<p>DTS/DPF 2.3</p> <p>None are applicable.</p>
<p>PO 2.4</p> <p>Development at street level is designed to maximise opportunities for passive surveillance of the adjacent public realm.</p>	<p>DTS/DPF 2.4</p> <p>None are applicable.</p>
<p>PO 2.5</p> <p>Common areas and entry points of buildings (such as the foyer areas of residential buildings) and non-residential land uses at street level, maximise passive surveillance from the public realm to the inside of the building at night.</p>	<p>DTS/DPF 2.5</p> <p>None are applicable.</p>
Landscaping	
<p>PO 3.1</p> <p>Soft landscaping and tree planting are incorporated to:</p> <ul style="list-style-type: none"> (a) minimise heat absorption and reflection (b) maximise shade and shelter (c) maximise stormwater infiltration (d) enhance the appearance of land and streetscapes. 	<p>DTS/DPF 3.1</p> <p>None are applicable.</p>
Environmental Performance	
<p>PO 4.1</p> <p>Buildings are sited, oriented and designed to maximise natural sunlight access and ventilation to main activity areas, habitable rooms, common areas and open spaces.</p>	<p>DTS/DPF 4.1</p> <p>None are applicable.</p>
<p>PO 4.2</p> <p>Buildings are sited and designed to maximise passive environmental performance and minimise energy consumption and reliance on mechanical systems, such as heating and cooling.</p>	<p>DTS/DPF 4.2</p> <p>None are applicable.</p>
<p>PO 4.3</p> <p>Buildings incorporate climate responsive techniques and features such as building and window orientation, use of eaves, verandahs and shading structures, water harvesting, at ground landscaping, green walls, green roofs and photovoltaic cells.</p>	<p>DTS/DPF 4.3</p> <p>None are applicable.</p>
Water Sensitive Design	
<p>PO 5.1</p> <p>Development is sited and designed to maintain natural hydrological systems without negatively impacting:</p>	<p>DTS/DPF 5.1</p> <p>None are applicable.</p>

<p>(a) the quantity and quality of surface water and groundwater (b) the depth and directional flow of surface water and groundwater (c) the quality and function of natural springs.</p>	
<p>On-site Waste Treatment Systems</p>	
<p>PO 6.1</p> <p>Dedicated on-site effluent disposal areas do not include any areas to be used for, or could be reasonably foreseen to be used for, private open space, driveways or car parking.</p>	<p>DTS/DPF 6.1</p> <p>Effluent disposal drainage areas do not:</p> <p>(a) encroach within an area used as private open space or result in less private open space than that specified in Design in Urban Areas Table 1 - Private Open Space (b) use an area also used as a driveway (c) encroach within an area used for on-site car parking or result in less on-site car parking than that specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas.</p>
<p>Car parking appearance</p>	
<p>PO 7.1</p> <p>Development facing the street is designed to minimise the negative impacts of any semi-basement and undercroft car parking on streetscapes through techniques such as:</p> <p>(a) limiting protrusion above finished ground level (b) screening through appropriate planting, fencing and mounding (c) limiting the width of openings and integrating them into the building structure.</p>	<p>DTS/DPF 7.1</p> <p>None are applicable.</p>
<p>PO 7.2</p> <p>Vehicle parking areas appropriately located, designed and constructed to minimise impacts on adjacent sensitive receivers through measures such as ensuring they are attractively developed and landscaped, screen fenced and the like.</p>	<p>DTS/DPF 7.2</p> <p>None are applicable.</p>
<p>PO 7.3</p> <p>Safe, legible, direct and accessible pedestrian connections are provided between parking areas and the development.</p>	<p>DTS/DPF 7.3</p> <p>None are applicable.</p>
<p>PO 7.4</p> <p>Street-level vehicle parking areas incorporate tree planting to provide shade, reduce solar heat absorption and reflection.</p>	<p>DTS/DPF 7.4</p> <p>Vehicle parking areas that are open to the sky and comprise 10 or more car parking spaces include a shade tree with a mature canopy of 4m diameter spaced for each 10 car parking spaces provided and a landscaped strip on any road frontage of a minimum dimension of 1m.</p>
<p>PO 7.5</p> <p>Street level parking areas incorporate soft landscaping to improve visual appearance when viewed from within the site and from public places.</p>	<p>DTS/DPF 7.5</p> <p>Vehicle parking areas comprising 10 or more car parking spaces include soft landscaping with a minimum dimension of:</p> <p>(a) 1m along all public road frontages and allotment boundaries (b) 1m between double rows of car parking spaces.</p>
<p>PO 7.6</p> <p>Vehicle parking areas and associated driveways are landscaped to provide shade and positively contribute to amenity.</p>	<p>DTS/DPF 7.6</p> <p>None are applicable.</p>
<p>PO 7.7</p> <p>Vehicle parking areas and access ways incorporate integrated stormwater management techniques such as permeable or porous surfaces, infiltration systems, drainage swales or rain gardens that integrate with soft landscaping.</p>	<p>DTS/DPF 7.7</p> <p>None are applicable.</p>
<p>Earthworks and sloping land</p>	
<p>PO 8.1</p> <p>Development, including any associated driveways and access tracks, minimises</p>	<p>DTS/DPF 8.1</p> <p>Development does not involve any of the following:</p>

<p>the need for earthworks to limit disturbance to natural topography.</p>	<ul style="list-style-type: none"> (a) excavation exceeding a vertical height of 1m (b) filling exceeding a vertical height of 1m (c) a total combined excavation and filling vertical height of 2m or more.
<p>PO 8.2 Driveways and access tracks designed and constructed to allow safe and convenient access on sloping land.</p>	<p>DTS/DPF 8.2 Driveways and access tracks on sloping land (with a gradient exceeding 1 in 8) satisfy (a) and (b):</p> <ul style="list-style-type: none"> (a) do not have a gradient exceeding 25% (1-in-4) at any point along the driveway (b) are constructed with an all-weather trafficable surface.
<p>PO 8.3 Driveways and access tracks on sloping land (with a gradient exceeding 1 in 8):</p> <ul style="list-style-type: none"> (a) do not contribute to the instability of embankments and cuttings (b) provide level transition areas for the safe movement of people and goods to and from the development (c) are designed to integrate with the natural topography of the land. 	<p>DTS/DPF 8.3 None are applicable.</p>
<p>PO 8.4 Development on sloping land (with a gradient exceeding 1 in 8) avoids the alteration of natural drainage lines and includes on site drainage systems to minimise erosion.</p>	<p>DTS/DPF 8.4 None are applicable.</p>
<p>PO 8.5 Development does not occur on land at risk of landslip or increase the potential for landslip or land surface instability.</p>	<p>DTS/DPF 8.5 None are applicable.</p>
<p>Fences and walls</p>	
<p>PO 9.1 Fences, walls and retaining walls of sufficient height maintain privacy and security without unreasonably impacting visual amenity and adjoining land's access to sunlight or the amenity of public places.</p>	<p>DTS/DPF 9.1 None are applicable.</p>
<p>PO 9.2 Landscaping is incorporated on the low side of retaining walls that are visible from public roads and public open space to minimise visual impacts.</p>	<p>DTS/DPF 9.2 A vegetated landscaped strip 1m wide or more is provided against the low side of a retaining wall.</p>
<p>Overlooking / Visual Privacy (low rise buildings)</p>	
<p>PO 10.1 Development mitigates direct overlooking from upper level windows to habitable rooms and private open spaces of adjoining residential uses in neighbourhood-type zones.</p>	<p>DTS/DPF 10.1 Upper level windows facing side or rear boundaries shared with a residential use in a neighbourhood-type zone:</p> <ul style="list-style-type: none"> (a) are permanently obscured to a height of 1.5m above finished floor level and are fixed or not capable of being opened more than 125mm (b) have sill heights greater than or equal to 1.5m above finished floor level (c) incorporate screening with a maximum of 25% openings, permanently fixed no more than 500mm from the window surface and sited adjacent to any part of the window less than 1.5 m above the finished floor level.
<p>PO 10.2 Development mitigates direct overlooking from balconies to habitable rooms and private open space of adjoining residential uses in neighbourhood type zones.</p>	<p>DTS/DPF 10.2 One of the following is satisfied:</p> <ul style="list-style-type: none"> (a) the longest side of the balcony or terrace will face a public road, public road reserve or public reserve that is at least 15m wide in all places faced by the balcony or terrace or (b) all sides of balconies or terraces on upper building levels are permanently obscured by screening with a maximum 25% transparency/openings fixed to a minimum height of: <ul style="list-style-type: none"> (i) 1.5m above finished floor level where the balcony is located at least 15 metres from the nearest habitable window of a dwelling on adjacent land or (ii) 1.7m above finished floor level in all other cases

Site Facilities / Waste Storage (excluding low rise residential development)	
<p>PO 11.1</p> <p>Development provides a dedicated area for on-site collection and sorting of recyclable materials and refuse, green organic waste and wash bay facilities for the ongoing maintenance of bins that is adequate in size considering the number and nature of the activities they will serve and the frequency of collection.</p>	<p>DTS/DPF 11.1</p> <p>None are applicable.</p>
<p>PO 11.2</p> <p>Communal waste storage and collection areas are located, enclosed and designed to be screened from view from the public domain, open space and dwellings.</p>	<p>DTS/DPF 11.2</p> <p>None are applicable.</p>
<p>PO 11.3</p> <p>Communal waste storage and collection areas are designed to be well ventilated and located away from habitable rooms.</p>	<p>DTS/DPF 11.3</p> <p>None are applicable.</p>
<p>PO 11.4</p> <p>Communal waste storage and collection areas are designed to allow waste and recycling collection vehicles to enter and leave the site without reversing.</p>	<p>DTS/DPF 11.4</p> <p>None are applicable.</p>
<p>PO 11.5</p> <p>For mixed use developments, non-residential waste and recycling storage areas and access provide opportunities for on-site management of food waste through composting or other waste recovery as appropriate.</p>	<p>DTS/DPF 11.5</p> <p>None are applicable.</p>
All Development - Medium and High Rise	
External Appearance	
<p>PO 12.1</p> <p>Buildings positively contribute to the character of the local area by responding to local context.</p>	<p>DTS/DPF 12.1</p> <p>None are applicable.</p>
<p>PO 12.2</p> <p>Architectural detail at street level and a mixture of materials at lower building levels near the public interface are provided to reinforce a human scale.</p>	<p>DTS/DPF 12.2</p> <p>None are applicable.</p>
<p>PO 12.3</p> <p>Buildings are designed to reduce visual mass by breaking up building elevations into distinct elements.</p>	<p>DTS/DPF 12.3</p> <p>None are applicable.</p>
<p>PO 12.4</p> <p>Boundary walls visible from public land include visually interesting treatments to break up large blank elevations.</p>	<p>DTS/DPF 12.4</p> <p>None are applicable.</p>
<p>PO 12.5</p> <p>External materials and finishes are durable and age well to minimise ongoing maintenance requirements.</p>	<p>DTS/DPF 12.5</p> <p>Buildings utilise a combination of the following external materials and finishes:</p> <ul style="list-style-type: none"> (a) masonry (b) natural stone (c) pre-finished materials that minimise staining, discolouring or deterioration.
<p>PO 12.6</p> <p>Street-facing building elevations are designed to provide attractive, high quality and pedestrian-friendly street frontages.</p>	<p>DTS/DPF 12.6</p> <p>Building street frontages incorporate:</p> <ul style="list-style-type: none"> (a) active uses such as shops or offices (b) prominent entry areas for multi-storey buildings (where it is a common entry) (c) habitable rooms of dwellings (d) areas of communal public realm with public art or the like, where consistent with the zone and/or subzone provisions.
<p>PO 12.7</p> <p>Entrances to multi-storey buildings are safe, attractive, welcoming, functional and</p>	<p>DTS/DPF 12.7</p> <p>Entrances to multi-storey buildings are:</p>

<p>contribute to streetscape character.</p>	<ul style="list-style-type: none"> (a) oriented towards the street (b) clearly visible and easily identifiable from the street and vehicle parking areas (c) designed to be prominent, accentuated and a welcoming feature if there are no active or occupied ground floor uses (d) designed to provide shelter, a sense of personal address and transitional space around the entry (e) located as close as practicable to the lift and / or lobby access to minimise the need for long access corridors (f) designed to avoid the creation of potential areas of entrapment.
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<p>PO 12.8 Building services, plant and mechanical equipment are screened from the public realm.</p>	<p>DTS/DPF 12.8 None are applicable.</p>
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Landscaping

<p>PO 13.1 Development facing a street provides a well landscaped area that contains a deep soil space to accommodate a tree of a species and size adequate to provide shade, contribute to tree canopy targets and soften the appearance of buildings.</p>	<p>DTS/DPF 13.1 Buildings provide a 4m by 4m deep soil space in front of the building that accommodates a medium to large tree, except where no building setback from front property boundaries is desired.</p>
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<p>PO 13.2 Deep soil zones are provided to retain existing vegetation or provide areas that can accommodate new deep root vegetation, including tall trees with large canopies to provide shade and soften the appearance of multi-storey buildings.</p>	<p>DTS/DPF 13.2 Multi-storey development provides deep soil zones and incorporates trees at not less than the following rates, except in a location or zone where full site coverage is desired.</p> <table border="1" data-bbox="817 918 1524 1534"> <thead> <tr> <th style="background-color: #1a3d54; color: white;">Site area</th> <th style="background-color: #1a3d54; color: white;">Minimum deep soil area</th> <th style="background-color: #1a3d54; color: white;">Minimum dimension</th> <th style="background-color: #1a3d54; color: white;">Tree / deep soil zones</th> </tr> </thead> <tbody> <tr> <td><300 m²</td> <td>10 m²</td> <td>1.5m</td> <td>1 small tree / 10 m²</td> </tr> <tr> <td>300-1500 m²</td> <td>7% site area</td> <td>3m</td> <td>1 medium tree / 30 m²</td> </tr> <tr> <td>>1500 m²</td> <td>7% site area</td> <td>6m</td> <td>1 large or medium tree / 60 m²</td> </tr> </tbody> </table> <p style="font-size: small; margin-top: 10px;">Tree size and site area definitions</p> <table border="1" data-bbox="817 1590 1524 1870"> <tr> <td>Small tree</td> <td>4-6m mature height and 2-4m canopy spread</td> </tr> <tr> <td>Medium tree</td> <td>6-12m mature height and 4-8m canopy spread</td> </tr> <tr> <td>Large tree</td> <td>12m mature height and >8m canopy spread</td> </tr> <tr> <td>Site area</td> <td>The total area for development site, not average area per dwelling</td> </tr> </table>	Site area	Minimum deep soil area	Minimum dimension	Tree / deep soil zones	<300 m ²	10 m ²	1.5m	1 small tree / 10 m ²	300-1500 m ²	7% site area	3m	1 medium tree / 30 m ²	>1500 m ²	7% site area	6m	1 large or medium tree / 60 m ²	Small tree	4-6m mature height and 2-4m canopy spread	Medium tree	6-12m mature height and 4-8m canopy spread	Large tree	12m mature height and >8m canopy spread	Site area	The total area for development site, not average area per dwelling
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<p>PO 13.3 Deep soil zones with access to natural light are provided to assist in maintaining vegetation health.</p>	<p>DTS/DPF 13.3 None are applicable.</p>
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<p>PO 13.4</p>	<p>DTS/DPF 13.4</p>
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<p>Unless separated by a public road or reserve, development sites adjacent to any zone that has a primary purpose of accommodating low-rise residential development incorporate a deep soil zone along the common boundary to enable medium to large trees to be retained or established to assist in screening new buildings of 3 or more building levels in height.</p>	<p>Building elements of 3 or more building levels in height are set back at least 6m from a zone boundary in which a deep soil zone area is incorporated.</p>
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Environmental

<p>PO 14.1 Development minimises detrimental micro-climatic impacts on adjacent land and buildings.</p>	<p>DTS/DPF 14.1 None are applicable.</p>
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<p>PO 14.2 Development incorporates sustainable design techniques and features such as window orientation, eaves and shading structures, water harvesting and use, green walls and roof designs that enable the provision of rain water tanks (where they are not provided elsewhere on site), green roofs and photovoltaic cells.</p>	<p>DTS/DPF 14.2 None are applicable.</p>
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<p>PO 14.3 Development of 5 or more building levels, or 21m or more in height (as measured from natural ground level and excluding roof-mounted mechanical plant and equipment) is designed to minimise the impacts of wind through measures such as:</p> <ul style="list-style-type: none"> (a) a podium at the base of a tall tower and aligned with the street to deflect wind away from the street (b) substantial verandahs around a building to deflect downward travelling wind flows over pedestrian areas (c) the placement of buildings and use of setbacks to deflect the wind at ground level (d) avoiding tall shear elevations that create windy conditions at street level. 	<p>DTS/DPF 14.3 None are applicable.</p>
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Car Parking

<p>PO 15.1 Multi-level vehicle parking structures are designed to contribute to active street frontages and complement neighbouring buildings.</p>	<p>DTS/DPF 15.1 Multi-level vehicle parking structures within buildings:</p> <ul style="list-style-type: none"> (a) provide land uses such as commercial, retail or other non-car parking uses along ground floor street frontages (b) incorporate facade treatments in building elevations facing along major street frontages that are sufficiently enclosed and detailed to complement adjacent buildings.
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<p>PO 15.2 Multi-level vehicle parking structures within buildings complement the surrounding built form in terms of height, massing and scale.</p>	<p>DTS/DPF 15.2 None are applicable.</p>
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Overlooking/Visual Privacy

<p>PO 16.1 Development mitigates direct overlooking of habitable rooms and private open spaces of adjacent residential uses in neighbourhood-type zones through measures such as:</p> <ul style="list-style-type: none"> (a) appropriate site layout and building orientation (b) off-setting the location of balconies and windows of habitable rooms or areas with those of other buildings so that views are oblique rather than direct to avoid direct line of sight (c) building setbacks from boundaries (including building boundary to boundary where appropriate) that interrupt views or that provide a spatial separation between balconies or windows of habitable rooms (d) screening devices that are integrated into the building design and have minimal negative effect on residents' or neighbours' amenity. 	<p>DTS/DPF 16.1 None are applicable.</p>
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All residential development

Front elevations and passive surveillance

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<p>PO 17.1</p> <p>Dwellings incorporate windows facing primary street frontages to encourage passive surveillance and make a positive contribution to the streetscape.</p>	<p>DTS/DPF 17.1</p> <p>Each dwelling with a frontage to a public street:</p> <ul style="list-style-type: none"> (a) includes at least one window facing the primary street from a habitable room that has a minimum internal room dimension of 2.4m (b) has an aggregate window area of at least 2m² facing the primary street. 		
<p>PO 17.2</p> <p>Dwellings incorporate entry doors within street frontages to address the street and provide a legible entry point for visitors.</p>	<p>DTS/DPF 17.2</p> <p>Dwellings with a frontage to a public street have an entry door visible from the primary street boundary.</p>		
<p>Outlook and Amenity</p>			
<p>PO 18.1</p> <p>Living rooms have an external outlook to provide a high standard of amenity for occupants.</p>	<p>DTS/DPF 18.1</p> <p>A living room of a dwelling incorporates a window with an external outlook of the street frontage, private open space, public open space, or waterfront areas.</p>		
<p>PO 18.2</p> <p>Bedrooms are separated or shielded from active communal recreation areas, common access areas and vehicle parking areas and access ways to mitigate noise and artificial light intrusion.</p>	<p>DTS/DPF 18.2</p> <p>None are applicable.</p>		
<p>Ancillary Development</p>			
<p>PO 19.1</p> <p>Residential ancillary buildings are sited and designed to not detract from the streetscape or appearance of primary residential buildings on the site or neighbouring properties.</p>	<p>DTS/DPF 19.1</p> <p>Ancillary buildings:</p> <ul style="list-style-type: none"> (a) are ancillary to a dwelling erected on the same site (b) have a floor area not exceeding 60m² (c) are not constructed, added to or altered so that any part is situated: <ul style="list-style-type: none"> (i) in front of any part of the building line of the dwelling to which it is ancillary or (ii) within 900mm of a boundary of the allotment with a secondary street (if the land has boundaries on two or more roads) (d) in the case of a garage or carport, the garage or carport: <ul style="list-style-type: none"> (i) is set back at least 5.5m from the boundary of the primary street (ii) when facing a primary street or secondary street, has a total door / opening not exceeding: <ul style="list-style-type: none"> A. for dwellings of single building level - 7m in width or 50% of the site frontage, whichever is the lesser B. for dwellings comprising two or more building levels at the building line fronting the same public street - 7m in width (e) if situated on a boundary (not being a boundary with a primary street or secondary street), do not exceed a length of 11.5m unless: <ul style="list-style-type: none"> (i) a longer wall or structure exists on the adjacent site and is situated on the same allotment boundary and (ii) the proposed wall or structure will be built along the same length of boundary as the existing adjacent wall or structure to the same or lesser extent (f) if situated on a boundary of the allotment (not being a boundary with a primary street or secondary street), all walls or structures on the boundary will not exceed 45% of the length of that boundary (g) will not be located within 3m of any other wall along the same boundary unless on an adjacent site on that boundary there is an existing wall of a building that would be adjacent to or about the proposed wall or structure (h) have a wall height or post height not exceeding 3m above natural ground level (and not including a gable end) (i) have a roof height where no part of the roof is more than 5m above the natural ground level (j) if clad in sheet metal, is pre-colour treated or painted in a non-reflective colour (k) retains a total area of soft landscaping for the entire development site, including any common property, with a minimum dimension of 700mm in accordance with (i) or (ii), whichever is less: <ul style="list-style-type: none"> (i) a total area as determined by the following table: <table border="1" data-bbox="938 1832 1525 2089"> <tr> <td style="background-color: #0056b3; color: white; text-align: center; padding: 10px;"> <p>Site area (or in the case of residential flat building or</p> </td> <td style="background-color: #0056b3; color: white; text-align: center; padding: 10px;"> <p>Minimum percentage of site</p> </td> </tr> </table>	<p>Site area (or in the case of residential flat building or</p>	<p>Minimum percentage of site</p>
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	<table border="1" data-bbox="938 103 1522 584"> <tr> <th colspan="2" data-bbox="938 103 1522 349">group dwelling(s), average site area) (m²)</th> </tr> <tr> <td data-bbox="938 349 1273 383"><150</td> <td data-bbox="1273 349 1522 383">10%</td> </tr> <tr> <td data-bbox="938 383 1273 439">150-200</td> <td data-bbox="1273 383 1522 439">15%</td> </tr> <tr> <td data-bbox="938 439 1273 510">>200-450</td> <td data-bbox="1273 439 1522 510">20%</td> </tr> <tr> <td data-bbox="938 510 1273 584">>450</td> <td data-bbox="1273 510 1522 584">25%</td> </tr> </table> <p data-bbox="884 600 1430 629">(ii) the amount of existing soft landscaping prior to the development occurring.</p>	group dwelling(s), average site area) (m ²)		<150	10%	150-200	15%	>200-450	20%	>450	25%
group dwelling(s), average site area) (m ²)											
<150	10%										
150-200	15%										
>200-450	20%										
>450	25%										
<p>PO 19.2</p> <p>Ancillary buildings and structures do not impede on-site functional requirements such as private open space provision, car parking requirements or result in over-development of the site.</p>	<p>DTS/DPF 19.2</p> <p>Ancillary buildings and structures do not result in:</p> <p>(a) less private open space than specified in Design in Urban Areas Table 1 - Private Open Space</p> <p>(b) less on-site car parking than specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas.</p>										
<p>PO 19.3</p> <p>Fixed plant and equipment in the form of pumps and/or filtration systems for a swimming pool or spa positioned and/or housed to not cause unreasonable noise nuisance to adjacent sensitive receivers.</p>	<p>DTS/DPF 19.3</p> <p>The pump and/or filtration system is ancillary to a dwelling erected on the same site and is:</p> <p>(a) enclosed in a solid acoustic structure that is located at least 5m from the nearest habitable room located on an adjoining allotment</p> <p>or</p> <p>(b) located at least 12m from the nearest habitable room located on an adjoining allotment.</p>										
<p>PO 19.4</p> <p>Buildings and structures that are ancillary to an existing non-residential use do not detract from the streetscape character, appearance of buildings on the site of the development, or the amenity of neighbouring properties.</p>	<p>DTS/DPF 19.4</p> <p>Non-residential ancillary buildings and structures:</p> <p>(a) are ancillary and subordinate to an existing non-residential use on the same site</p> <p>(b) have a floor area not exceeding the following:</p> <table border="1" data-bbox="879 1361 1166 1451"> <tr> <th>Allotment size</th> <th>Floor area</th> </tr> <tr> <td>≤500m²</td> <td>60m²</td> </tr> <tr> <td>>500m²</td> <td>80m²</td> </tr> </table> <p>(c) are not constructed, added to or altered so that any part is situated:</p> <p>(i) in front of any part of the building line of the main building to which it is ancillary</p> <p>or</p> <p>(ii) within 900mm of a boundary of the allotment with a secondary street (if the land has boundaries on two or more roads)</p> <p>(d) in the case of a garage or carport, the garage or carport:</p> <p>(i) is set back at least 5.5m from the boundary of the primary street</p> <p>(e) if situated on a boundary (not being a boundary with a primary street or secondary street), do not exceed a length of 11.5m unless:</p> <p>(i) a longer wall or structure exists on the adjacent site and is situated on the same allotment boundary</p> <p>(ii) the proposed wall or structure will be built along the same length of boundary as the existing adjacent wall or structure to the same or lesser extent</p> <p>(f) if situated on a boundary of the allotment (not being a boundary with a primary street or secondary street), all walls or structures on the boundary will not exceed 45% of the length of that boundary</p> <p>(g) will not be located within 3m of any other wall along the same boundary unless on an adjacent site on that boundary there is an existing wall of a building that would be adjacent to or about the proposed wall or structure</p> <p>(h) have a wall height (or post height) not exceeding 3m (and not including a gable end)</p> <p>(i) have a roof height where no part of the roof is more than 5m above the natural ground level</p> <p>(j) if clad in sheet metal, is pre-colour treated or painted in a non-reflective colour.</p>	Allotment size	Floor area	≤500m ²	60m ²	>500m ²	80m ²				
Allotment size	Floor area										
≤500m ²	60m ²										
>500m ²	80m ²										

Residential Development - Low Rise

External appearance

<p>PO 20.1</p> <p>Garaging is designed to not detract from the streetscape or appearance of a dwelling.</p>	<p>DTS/DPF 20.1</p> <p>Garages and carports facing a street:</p> <ul style="list-style-type: none"> (a) are situated so that no part of the garage or carport will be in front of any part of the building line of the dwelling (b) are set back at least 5.5m from the boundary of the primary street (c) have a garage door / opening width not exceeding 7m (d) have a garage door / opening width not exceeding 50% of the site frontage unless the dwelling has two or more building levels at the building line fronting the same public street. 		
<p>PO 20.2</p> <p>Dwelling elevations facing public streets and common driveways make a positive contribution to the streetscape and the appearance of common driveway areas.</p>	<p>DTS/DPF 20.2</p> <p>Each dwelling includes at least 3 of the following design features within the building elevation facing a primary street, and at least 2 of the following design features within the building elevation facing any other public road (other than a laneway) or a common driveway:</p> <ul style="list-style-type: none"> (a) a minimum of 30% of the building wall is set back an additional 300mm from the building line (b) a porch or portico projects at least 1m from the building wall (c) a balcony projects from the building wall (d) a verandah projects at least 1m from the building wall (e) eaves of a minimum 400mm width extend along the width of the front elevation (f) a minimum 30% of the width of the upper level projects forward from the lower level primary building line by at least 300mm (g) a minimum of two different materials or finishes are incorporated on the walls of the front building elevation, with a maximum of 80% of the building elevation in a single material or finish. 		
<p>PO 20.3</p> <p>The visual mass of larger buildings is reduced when viewed from adjoining allotments or public streets.</p>	<p>DTS/DPF 20.3</p> <p>None are applicable</p>		
<p>Private Open Space</p>			
<p>PO 21.1</p> <p>Dwellings are provided with suitable sized areas of usable private open space to meet the needs of occupants.</p>	<p>DTS/DPF 21.1</p> <p>Private open space is provided in accordance with Design in Urban Areas Table 1 - Private Open Space.</p>		
<p>PO 21.2</p> <p>Private open space is positioned to provide convenient access from internal living areas.</p>	<p>DTS/DPF 21.2</p> <p>Private open space is directly accessible from a habitable room.</p>		
<p>Landscaping</p>			
<p>PO 22.1</p> <p>Soft landscaping is incorporated into development to:</p> <ul style="list-style-type: none"> (a) minimise heat absorption and reflection (b) contribute shade and shelter (c) provide for stormwater infiltration and biodiversity (d) enhance the appearance of land and streetscapes. 	<p>DTS/DPF 22.1</p> <p>Residential development incorporates soft landscaping with a minimum dimension of 700mm provided in accordance with (a) and (b):</p> <ul style="list-style-type: none"> (a) a total area for the entire development site, including any common property, as determined by the following table: <table border="1" data-bbox="879 1868 1525 2123"> <tr> <td style="background-color: #0056b3; color: white; text-align: center; padding: 10px;">Site area (or in the case of residential flat building or group</td> <td style="background-color: #0056b3; color: white; text-align: center; padding: 10px;">Minimum percentage of site</td> </tr> </table>	Site area (or in the case of residential flat building or group	Minimum percentage of site
Site area (or in the case of residential flat building or group	Minimum percentage of site		

	dwelling(s), average site area) (m²)	
	<150	10%
	150-200	15%
	>200-450	20%
	>450	25%

(b) at least 30% of any land between the primary street boundary and the primary building line.

Car parking, access and manoeuvrability

<p>PO 23.1</p> <p>Enclosed car parking spaces are of dimensions to be functional, accessible and convenient.</p>	<p>DTS/DPF 23.1</p> <p>Residential car parking spaces enclosed by fencing, walls or other structures have the following internal dimensions (separate from any waste storage area):</p> <p>(a) single width car parking spaces:</p> <ul style="list-style-type: none"> (i) a minimum length of 5.4m per space (ii) a minimum width of 3.0m (iii) a minimum garage door width of 2.4m <p>(b) double width car parking spaces (side by side):</p> <ul style="list-style-type: none"> (i) a minimum length of 5.4m (ii) a minimum width of 5.4m (iii) minimum garage door width of 2.4m per space.
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<p>PO 23.2</p> <p>Uncovered car parking space are of dimensions to be functional, accessible and convenient.</p>	<p>DTS/DPF 23.2</p> <p>Uncovered car parking spaces have:</p> <p>(a) a minimum length of 5.4m</p> <p>(b) a minimum width of 2.4m</p> <p>(c) a minimum width between the centre line of the space and any fence, wall or other obstruction of 1.5m.</p>
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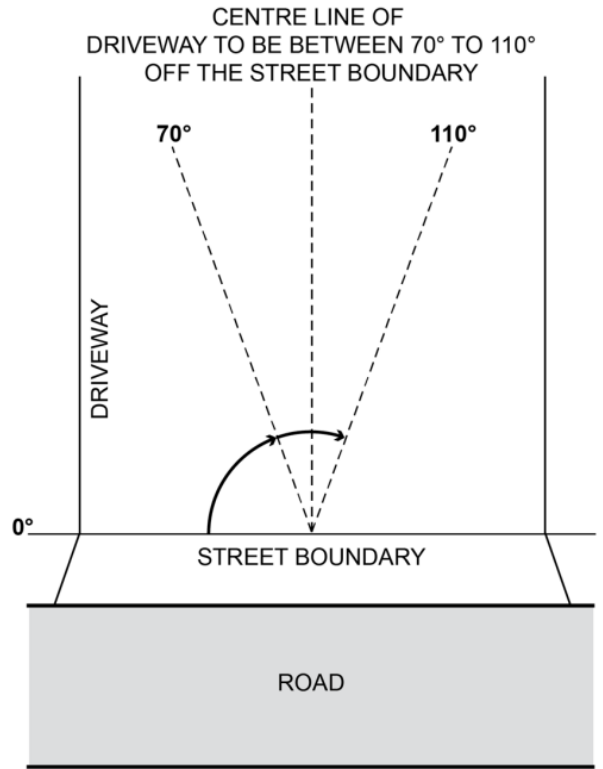
<p>PO 23.3</p> <p>Driveways and access points are located and designed to facilitate safe access and egress while maximising land available for street tree planting, pedestrian movement, domestic waste collection, landscaped street frontages and on-street parking.</p>	<p>DTS/DPF 23.3</p> <p>Driveways and access points satisfy (a) or (b):</p> <p>(a) sites with a frontage to a public road of 10m or less, have a width between 3.0 and 3.2 metres measured at the property boundary and are the only access point provided on the site</p> <p>(b) sites with a frontage to a public road greater than 10m:</p> <ul style="list-style-type: none"> (i) have a maximum width of 5m measured at the property boundary and are the only access point provided on the site; (ii) have a width between 3.0 metres and 3.2 metres measured at the property boundary and no more than two access points are provided on site, separated by no less than 1m.
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<p>PO 23.4</p> <p>Vehicle access is safe, convenient, minimises interruption to the operation of public roads and does not interfere with street infrastructure or street trees.</p>	<p>DTS/DPF 23.4</p> <p>Vehicle access to designated car parking spaces satisfy (a) or (b):</p> <p>(a) is provided via a lawfully existing or authorised access point or an access point for which consent has been granted as part of an application for the division of land</p> <p>(b) where newly proposed, is set back:</p> <ul style="list-style-type: none"> (i) 0.5m or more from any street furniture, street pole, infrastructure services pit, or other stormwater or utility infrastructure unless consent is provided from the asset owner (ii) 2m or more from the base of the trunk of a street tree unless consent is provided from the tree owner for a lesser distance (iii) 6m or more from the tangent point of an intersection of 2 or more roads (iv) outside of the marked lines or infrastructure dedicating a pedestrian crossing.
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<p>PO 23.5</p> <p>Driveways are designed to enable safe and convenient vehicle movements from</p>	<p>DTS/DPF 23.5</p> <p>Driveways are designed and sited so that:</p>
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the public road to on-site parking spaces.

- (a) the gradient of the driveway does not exceed a grade of 1 in 4 and includes transitions to ensure a maximum grade change of 12.5% (1 in 8) for summit changes, and 15% (1 in 6.7) for sag changes, in accordance with AS 2890.1:2004 to prevent vehicles bottoming or scraping
- (b) the centreline of the driveway has an angle of no less than 70 degrees and no more than 110 degrees from the street boundary to which it takes its access as shown in the following diagram:



- (c) if located to provide access from an alley, lane or right of way - the alley, land or right of way is at least 6.2m wide along the boundary of the allotment / site.

PO 23.6

Driveways and access points are designed and distributed to optimise the provision of on-street visitor parking.

DTS/DPF 23.6

Where on-street parking is available abutting the site's street frontage, on-street parking is retained in accordance with the following requirements:

- (a) minimum 0.33 on-street spaces per dwelling on the site (rounded up to the nearest whole number)
- (b) minimum car park length of 5.4m where a vehicle can enter or exit a space directly
- (c) minimum carpark length of 6m for an intermediate space located between two other parking spaces or to an end obstruction where the parking is indented.

Waste storage

PO 24.1

Provision is made for the convenient storage of waste bins in a location screened from public view.

DTS/DPF 24.1

Where dwellings abut both side boundaries a waste bin storage area is provided behind the building line of each dwelling that:

- (a) has a minimum area of 2m² with a minimum dimension of 900mm (separate from any designated car parking spaces or private open space); and
- (b) has a continuous unobstructed path of travel (excluding moveable objects like gates, vehicles and roller doors) with a minimum width of 800mm between the waste bin storage area and the street.

Design of Transportable Buildings

PO 25.1

The sub-floor space beneath transportable buildings is enclosed to give the appearance of a permanent structure.

DTS/DPF 25.1

Buildings satisfy (a) or (b):

- (a) are not transportable
- (b) the sub-floor space between the building and ground level is clad in a material and finish consistent with the building.

Residential Development - Medium and High Rise (including serviced apartments)

Outlook and Visual Privacy

<p>PO 26.1</p> <p>Ground level dwellings have a satisfactory short range visual outlook to public, communal or private open space.</p>	<p>DTS/DPF 26.1</p> <p>Buildings:</p> <p>(a) provide a habitable room at ground or first level with a window facing toward the street</p> <p>(b) limit the height / extent of solid walls or fences facing the street to 1.2m high above the footpath level or, where higher, to 50% of the site frontage.</p>
<p>PO 26.2</p> <p>The visual privacy of ground level dwellings within multi-level buildings is protected.</p>	<p>DTS/DPF 26.2</p> <p>The finished floor level of ground level dwellings in multi-storey developments is raised by up to 1.2m.</p>
<p>Private Open Space</p>	
<p>PO 27.1</p> <p>Dwellings are provided with suitable sized areas of usable private open space to meet the needs of occupants.</p>	<p>DTS/DPF 27.1</p> <p>Private open space provided in accordance with Design in Urban Areas Table 1 - Private Open Space.</p>
<p>Residential amenity in multi-level buildings</p>	
<p>PO 28.1</p> <p>Residential accommodation within multi-level buildings have habitable rooms, windows and balconies designed and positioned to be separated from those of other dwellings and accommodation to provide visual and acoustic privacy and allow for natural ventilation and the infiltration of daylight into interior and outdoor spaces.</p>	<p>DTS/DPF 28.1</p> <p>Habitable rooms and balconies of independent dwellings and accommodation are separated by at least 6m from one another where there is a direct line of sight between them and 3m or more from a side or rear property boundary.</p>
<p>PO 28.2</p> <p>Balconies are designed, positioned and integrated into the overall architectural form and detail of the development to:</p> <p>(a) respond to daylight, wind, and acoustic conditions to maximise comfort and provide visual privacy</p> <p>(b) allow views and casual surveillance of the street while providing for safety and visual privacy of nearby living spaces and private outdoor areas.</p>	<p>DTS/DPF 28.2</p> <p>Balconies utilise one or a combination of the following design elements:</p> <p>(a) sun screens</p> <p>(b) pergolas</p> <p>(c) louvres</p> <p>(d) green facades</p> <p>(e) openable walls.</p>
<p>PO 28.3</p> <p>Balconies are of sufficient size and depth to accommodate outdoor seating and promote indoor / outdoor living.</p>	<p>DTS/DPF 28.3</p> <p>Balconies open directly from a habitable room and incorporate a minimum dimension of 2m.</p>
<p>PO 28.4</p> <p>Dwellings are provided with sufficient space for storage to meet likely occupant needs.</p>	<p>DTS/DPF 28.4</p> <p>Dwellings (not including student accommodation or serviced apartments) are provided with storage at the following rates with at least 50% or more of the storage volume to be provided within the dwelling:</p> <p>(a) studio: not less than 6m³</p> <p>(b) 1 bedroom dwelling / apartment: not less than 8m³</p> <p>(c) 2 bedroom dwelling / apartment: not less than 10m³</p> <p>(d) 3+ bedroom dwelling / apartment: not less than 12m³.</p>
<p>PO 28.5</p> <p>Dwellings that use light wells for access to daylight, outlook and ventilation for habitable rooms, are designed to ensure a reasonable living amenity is provided.</p>	<p>DTS/DPF 28.5</p> <p>Light wells:</p> <p>(a) are not used as the primary source of outlook for living rooms</p> <p>(b) up to 18m in height have a minimum horizontal dimension of 3m, or 6m if overlooked by bedrooms</p> <p>(c) above 18m in height have a minimum horizontal dimension of 6m, or 9m if overlooked by bedrooms.</p>
<p>PO 28.6</p>	<p>DTS/DPF 28.6</p>

<p>Attached or abutting dwellings are designed to minimise the transmission of sound between dwellings and, in particular, to protect bedrooms from possible noise intrusions.</p>	<p>None are applicable.</p>											
<p>PO 28.7 Dwellings are designed so that internal structural columns correspond with the position of internal walls to ensure that the space within the dwelling/apartment is useable.</p>	<p>DTS/DPF 28.7 None are applicable.</p>											
<p>Dwelling Configuration</p>												
<p>PO 29.1 Buildings containing in excess of 10 dwellings provide a variety of dwelling sizes and a range in the number of bedrooms per dwelling to contribute to housing diversity.</p>	<p>DTS/DPF 29.1 Buildings containing in excess of 10 dwellings provide at least one of each of the following:</p> <ul style="list-style-type: none"> (a) studio (where there is no separate bedroom) (b) 1 bedroom dwelling / apartment with a floor area of at least 50m² (c) 2 bedroom dwelling / apartment with a floor area of at least 65m² (d) 3+ bedroom dwelling / apartment with a floor area of at least 80m², and any dwelling over 3 bedrooms provides an additional 15m² for every additional bedroom. 											
<p>PO 29.2 Dwellings located on the ground floor of multi-level buildings with 3 or more bedrooms have the windows of their habitable rooms overlooking internal courtyard space or other public space, where possible.</p>	<p>DTS/DPF 29.2 None are applicable.</p>											
<p>Common Areas</p>												
<p>PO 30.1 The size of lifts, lobbies and corridors is sufficient to accommodate movement of bicycles, strollers, mobility aids and visitor waiting areas.</p>	<p>DTS/DPF 30.1 Common corridor or circulation areas:</p> <ul style="list-style-type: none"> (a) have a minimum ceiling height of 2.7m (b) provide access to no more than 8 dwellings (c) incorporate a wider section at apartment entries where the corridors exceed 12m in length from a core. 											
<p>Group Dwellings, Residential Flat Buildings and Battle axe Development</p>												
<p>Amenity</p>												
<p>PO 31.1 Dwellings are of a suitable size to provide a high standard of amenity for occupants.</p>	<p>DTS/DPF 31.1 Dwellings have a minimum internal floor area in accordance with the following table:</p> <table border="1" data-bbox="818 1440 1528 1868"> <thead> <tr> <th>Number of bedrooms</th> <th>Minimum internal floor area</th> </tr> </thead> <tbody> <tr> <td>Studio</td> <td>35m²</td> </tr> <tr> <td>1 bedroom</td> <td>50m²</td> </tr> <tr> <td>2 bedroom</td> <td>65m²</td> </tr> <tr> <td>3+ bedrooms</td> <td>80m² and any dwelling over 3 bedrooms provides an additional 15m² for every additional bedroom</td> </tr> </tbody> </table>		Number of bedrooms	Minimum internal floor area	Studio	35m ²	1 bedroom	50m ²	2 bedroom	65m ²	3+ bedrooms	80m ² and any dwelling over 3 bedrooms provides an additional 15m ² for every additional bedroom
Number of bedrooms	Minimum internal floor area											
Studio	35m ²											
1 bedroom	50m ²											
2 bedroom	65m ²											
3+ bedrooms	80m ² and any dwelling over 3 bedrooms provides an additional 15m ² for every additional bedroom											
<p>PO 31.2 The orientation and siting of buildings minimises impacts on the amenity, outlook and privacy of occupants and neighbours.</p>	<p>DTS/DPF 31.2 None are applicable.</p>											
<p>PO 31.3 Development maximises the number of dwellings that face public open space and</p>	<p>DTS/DPF 31.3 None are applicable.</p>											

public streets and limits dwellings oriented towards adjoining properties.	
<p>PO 31.4</p> <p>Battle-axe development is appropriately sited and designed to respond to the existing neighbourhood context.</p>	<p>DTS/DPF 31.4</p> <p>Dwelling sites/allotments are not in the form of a battle-axe arrangement.</p>
Communal Open Space	
<p>PO 32.1</p> <p>Private open space provision may be substituted for communal open space which is designed and sited to meet the recreation and amenity needs of residents.</p>	<p>DTS/DPF 32.1</p> <p>None are applicable.</p>
<p>PO 32.2</p> <p>Communal open space is of sufficient size and dimensions to cater for group recreation.</p>	<p>DTS/DPF 32.2</p> <p>Communal open space incorporates a minimum dimension of 5 metres.</p>
<p>PO 32.3</p> <p>Communal open space is designed and sited to:</p> <ul style="list-style-type: none"> (a) be conveniently accessed by the dwellings which it services (b) have regard to acoustic, safety, security and wind effects. 	<p>DTS/DPF 32.3</p> <p>None are applicable.</p>
<p>PO 32.4</p> <p>Communal open space contains landscaping and facilities that are functional, attractive and encourage recreational use.</p>	<p>DTS/DPF 32.4</p> <p>None are applicable.</p>
<p>PO 32.5</p> <p>Communal open space is designed and sited to:</p> <ul style="list-style-type: none"> (a) in relation to rooftop or elevated gardens, minimise overlooking into habitable room windows or onto the useable private open space of other dwellings (b) in relation to ground floor communal space, be overlooked by habitable rooms to facilitate passive surveillance. 	<p>DTS/DPF 32.5</p> <p>None are applicable.</p>
Car parking, access and manoeuvrability	
<p>PO 33.1</p> <p>Driveways and access points are designed and distributed to optimise the provision of on-street visitor parking.</p>	<p>DTS/DPF 33.1</p> <p>Where on-street parking is available directly adjacent the site, on-street parking is retained adjacent the subject site in accordance with the following requirements:</p> <ul style="list-style-type: none"> (a) minimum 0.33 on-street car parks per proposed dwelling (rounded up to the nearest whole number) (b) minimum car park length of 5.4m where a vehicle can enter or exit a space directly (c) minimum carpark length of 6m for an intermediate space located between two other parking spaces or to an end obstruction where the parking is indented.
<p>PO 33.2</p> <p>The number of vehicular access points onto public roads is minimised to reduce interruption of the footpath and positively contribute to public safety and walkability.</p>	<p>DTS/DPF 33.2</p> <p>Access to group dwellings or dwellings within a residential flat building is provided via a single common driveway.</p>
<p>PO 33.3</p> <p>Residential driveways that service more than one dwelling are designed to allow safe and convenient movement.</p>	<p>DTS/DPF 33.3</p> <p>Driveways that service more than 1 dwelling or a dwelling on a battle-axe site:</p> <ul style="list-style-type: none"> (a) have a minimum width of 3m (b) for driveways servicing more than 3 dwellings: <ul style="list-style-type: none"> (i) have a width of 5.5m or more and a length of 6m or more at the kerb of the primary street (ii) where the driveway length exceeds 30m, incorporate a passing point at least every 30 metres with a minimum width of 5.5m and a minimum length of 6m.
<p>PO 33.4</p> <p>Residential driveways that service more than one dwelling or a dwelling on a battle-axe site are designed to allow passenger vehicles to enter and exit and manoeuvre within the site in a safe and convenient manner.</p>	<p>DTS/DPF 33.4</p> <p>Driveways providing access to more than one dwelling, or a dwelling on a battle-axe site, allow a B85 passenger vehicle to enter and exit the garages or parking spaces in no more than a three-point turn manoeuvre.</p>

<p>PO 33.5</p> <p>Dwellings are adequately separated from common driveways and manoeuvring areas.</p>	<p>DTS/DPF 33.5</p> <p>Dwelling walls with entry doors or ground level habitable room windows are set back at least 1.5m from any driveway or area designated for the movement and manoeuvring of vehicles.</p>
Soft landscaping	
<p>PO 34.1</p> <p>Soft landscaping is provided between dwellings and common driveways to improve the outlook for occupants and appearance of common areas.</p>	<p>DTS/DPF 34.1</p> <p>Other than where located directly in front of a garage or building entry, soft landscaping with a minimum dimension of 1m is provided between a dwelling and common driveway.</p>
<p>PO 34.2</p> <p>Battle-axe or common driveways incorporate landscaping and permeability to improve appearance and assist in stormwater management.</p>	<p>DTS/DPF 34.2</p> <p>Battle-axe or common driveways satisfy (a) and (b):</p> <p>(a) are constructed of a minimum of 50% permeable or porous material</p> <p>(b) where the driveway is located directly adjacent the side or rear boundary of the site, soft landscaping with a minimum dimension of 1m is provided between the driveway and site boundary (excluding along the perimeter of a passing point).</p>
Site Facilities / Waste Storage	
<p>PO 35.1</p> <p>Provision is made for suitable mailbox facilities close to the major pedestrian entry to the site or conveniently located considering the nature of accommodation and mobility of occupants.</p>	<p>DTS/DPF 35.1</p> <p>None are applicable.</p>
<p>PO 35.2</p> <p>Provision is made for suitable external clothes drying facilities.</p>	<p>DTS/DPF 35.2</p> <p>None are applicable.</p>
<p>PO 35.3</p> <p>Provision is made for suitable household waste and recyclable material storage facilities which are:</p> <p>(a) located away, or screened, from public view, and</p> <p>(b) conveniently located in proximity to dwellings and the waste collection point.</p>	<p>DTS/DPF 35.3</p> <p>None are applicable.</p>
<p>PO 35.4</p> <p>Waste and recyclable material storage areas are located away from dwellings.</p>	<p>DTS/DPF 35.4</p> <p>Dedicated waste and recyclable material storage areas are located at least 3m from any habitable room window.</p>
<p>PO 35.5</p> <p>Where waste bins cannot be conveniently collected from the street, provision is made for on-site waste collection, designed to accommodate the safe and convenient access, egress and movement of waste collection vehicles.</p>	<p>DTS/DPF 35.5</p> <p>None are applicable.</p>
<p>PO 35.6</p> <p>Services including gas and water meters are conveniently located and screened from public view.</p>	<p>DTS/DPF 35.6</p> <p>None are applicable.</p>
Water sensitive urban design	
<p>PO 36.1</p> <p>Residential development creating a common driveway / access includes stormwater management systems that minimise the discharge of sediment, suspended solids, organic matter, nutrients, bacteria, litter and other contaminants</p>	<p>DTS/DPF 36.1</p> <p>None are applicable.</p>

to the stormwater system, watercourses or other water bodies.	
<p>PO 36.2</p> <p>Residential development creating a common driveway / access includes a stormwater management system designed to mitigate peak flows and manage the rate and duration of stormwater discharges from the site to ensure that the development does not increase the peak flows in downstream systems.</p>	<p>DTS/DPF 36.2</p> <p>None are applicable.</p>
Supported Accommodation and retirement facilities	
Siting, Configuration and Design	
<p>PO 37.1</p> <p>Supported accommodation and housing for aged persons and people with disabilities is located where on-site movement of residents is not unduly restricted by the slope of the land.</p>	<p>DTS/DPF 37.1</p> <p>None are applicable.</p>
<p>PO 37.2</p> <p>Universal design features are incorporated to provide options for people living with disabilities or limited mobility and / or to facilitate ageing in place.</p>	<p>DTS/DPF 37.2</p> <p>None are applicable.</p>
Movement and Access	
<p>PO 38.1</p> <p>Development is designed to support safe and convenient access and movement for residents by providing:</p> <ul style="list-style-type: none"> (a) ground-level access or lifted access to all units (b) level entry porches, ramps, paths, driveways, passenger loading areas and areas adjacent to footpaths that allow for the passing of wheelchairs and resting places (c) car parks with gradients no steeper than 1-in-40, and of sufficient area to provide for wheelchair manoeuvrability (d) kerb ramps at pedestrian crossing points. 	<p>DTS/DPF 38.1</p> <p>None are applicable.</p>
Communal Open Space	
<p>PO 39.1</p> <p>Development is designed to provide attractive, convenient and comfortable indoor and outdoor communal areas to be used by residents and visitors.</p>	<p>DTS/DPF 39.1</p> <p>None are applicable.</p>
<p>PO 39.2</p> <p>Private open space provision may be substituted for communal open space which is designed and sited to meet the recreation and amenity needs of residents.</p>	<p>DTS/DPF 39.2</p> <p>None are applicable.</p>
<p>PO 39.3</p> <p>Communal open space is of sufficient size and dimensions to cater for group recreation.</p>	<p>DTS/DPF 39.3</p> <p>Communal open space incorporates a minimum dimension of 5 metres.</p>
<p>PO 39.4</p> <p>Communal open space is designed and sited to:</p> <ul style="list-style-type: none"> (a) be conveniently accessed by the dwellings which it services (b) have regard to acoustic, safety, security and wind effects. 	<p>DTS/DPF 39.4</p> <p>None are applicable.</p>
<p>PO 39.5</p> <p>Communal open space contains landscaping and facilities that are functional, attractive and encourage recreational use.</p>	<p>DTS/DPF 39.5</p> <p>None are applicable.</p>
<p>PO 39.6</p>	<p>DTS/DPF 39.6</p>

<p>Communal open space is designed and sited to:</p> <p>(a) in relation to rooftop or elevated gardens, minimise overlooking into habitable room windows or onto the useable private open space of other dwellings</p> <p>(b) in relation to ground floor communal space, be overlooked by habitable rooms to facilitate passive surveillance.</p>	<p>None are applicable.</p>
<p>Site Facilities / Waste Storage</p>	
<p>PO 40.1</p> <p>Development is designed to provide storage areas for personal items and specialised equipment such as small electric powered vehicles, including facilities for the recharging of small electric-powered vehicles.</p>	<p>DTS/DPF 40.1</p> <p>None are applicable.</p>
<p>PO 40.2</p> <p>Provision is made for suitable mailbox facilities close to the major pedestrian entry to the site or conveniently located considering the nature of accommodation and mobility of occupants.</p>	<p>DTS/DPF 40.2</p> <p>None are applicable.</p>
<p>PO 40.3</p> <p>Provision is made for suitable external clothes drying facilities.</p>	<p>DTS/DPF 40.3</p> <p>None are applicable.</p>
<p>PO 40.4</p> <p>Provision is made for suitable household waste and recyclable material storage facilities conveniently located away, or screened, from view.</p>	<p>DTS/DPF 40.4</p> <p>None are applicable.</p>
<p>PO 40.5</p> <p>Waste and recyclable material storage areas are located away from dwellings.</p>	<p>DTS/DPF 40.5</p> <p>Dedicated waste and recyclable material storage areas are located at least 3m from any habitable room window.</p>
<p>PO 40.6</p> <p>Provision is made for on-site waste collection where 10 or more bins are to be collected at any one time.</p>	<p>DTS/DPF 40.6</p> <p>None are applicable.</p>
<p>PO 40.7</p> <p>Services, including gas and water meters, are conveniently located and screened from public view.</p>	<p>DTS/DPF 40.7</p> <p>None are applicable.</p>
<p>Student Accommodation</p>	
<p>PO 41.1</p> <p>Student accommodation is designed to provide safe, secure, attractive, convenient and comfortable living conditions for residents, including an internal layout and facilities that are designed to provide sufficient space and amenity for the requirements of student life and promote social interaction.</p>	<p>DTS/DPF 41.1</p> <p>Student accommodation provides:</p> <p>(a) a range of living options to meet a variety of accommodation needs, such as one-bedroom, two-bedroom and disability access units</p> <p>(b) common or shared facilities to enable a more efficient use of space, including:</p> <ul style="list-style-type: none"> (i) shared cooking, laundry and external drying facilities (ii) internal and external communal and private open space provided in accordance with Design in Urban Areas Table 1 - Private Open Space (iii) common storage facilities at the rate of 8m³ for every 2 dwellings or students (iv) common on-site parking in accordance with Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas (v) bicycle parking at the rate of one space for every 2 students.
<p>PO 41.2</p> <p>Student accommodation is designed to provide easy adaptation of the building to accommodate an alternative use of the building in the event it is no longer required for student housing.</p>	<p>DTS/DPF 41.2</p> <p>None are applicable.</p>

All non-residential development	
Water Sensitive Design	
<p>PO 42.1</p> <p>Development likely to result in risk of export of sediment, suspended solids, organic matter, nutrients, oil and grease include stormwater management systems designed to minimise pollutants entering stormwater.</p>	<p>DTS/DPF 42.1</p> <p>None are applicable.</p>
<p>PO 42.2</p> <p>Water discharged from a development site is of a physical, chemical and biological condition equivalent to or better than its pre-developed state.</p>	<p>DTS/DPF 42.2</p> <p>None are applicable.</p>
<p>PO 42.3</p> <p>Development includes stormwater management systems to mitigate peak flows and manage the rate and duration of stormwater discharges from the site to ensure that development does not increase peak flows in downstream systems.</p>	<p>DTS/DPF 42.3</p> <p>None are applicable.</p>
Wash-down and Waste Loading and Unloading	
<p>PO 43.1</p> <p>Areas for activities including loading and unloading, storage of waste refuse bins in commercial and industrial development or wash-down areas used for the cleaning of vehicles, plant or equipment are:</p> <ul style="list-style-type: none"> (a) designed to contain all wastewater likely to pollute stormwater within a bunded and roofed area to exclude the entry of external surface stormwater run-off (b) paved with an impervious material to facilitate wastewater collection (c) of sufficient size to prevent 'splash-out' or 'over-spray' of wastewater from the wash-down area (d) are designed to drain wastewater to either: <ul style="list-style-type: none"> (i) a treatment device such as a sediment trap and coalescing plate oil separator with subsequent disposal to a sewer, private or Community Wastewater Management Scheme or (ii) a holding tank and its subsequent removal off-site on a regular basis. 	<p>DTS/DPF 43.1</p> <p>None are applicable.</p>
Laneway Development	
Infrastructure and Access	
<p>PO 44.1</p> <p>Development with a primary street comprising a laneway, alley, lane, right of way or similar minor thoroughfare only occurs where:</p> <ul style="list-style-type: none"> (a) existing utility infrastructure and services are capable of accommodating the development (b) the primary street can support access by emergency and regular service vehicles (such as waste collection) (c) it does not require the provision or upgrading of infrastructure on public land (such as footpaths and stormwater management systems) (d) safety of pedestrians or vehicle movement is maintained (e) any necessary grade transition is accommodated within the site of the development to support an appropriate development intensity and orderly development of land fronting minor thoroughfares. 	<p>DTS/DPF 44.1</p> <p>Development with a primary street frontage that is not an alley, lane, right of way or similar public thoroughfare.</p>
Decks	
Design and Siting	
<p>PO 45.1</p> <p>Decks are designed and sited to:</p> <ul style="list-style-type: none"> (a) complement the associated building form (b) minimise impacts on the streetscape through siting behind the building line of the principal building (unless on a significant allotment or open space) (c) minimise cut and fill and overall massing when viewed from adjacent land. 	<p>DTS/DPF 45.1</p> <p>Decks:</p> <ul style="list-style-type: none"> (a) where ancillary to a dwelling: <ul style="list-style-type: none"> (i) are not constructed, added to or altered so that any part is situated: <ul style="list-style-type: none"> A. in front of any part of the building line of the dwelling to which it is ancillary or

	<p>B. within 900mm of a boundary of the allotment with a secondary street (if the land has boundaries on two or more roads)</p> <p>(ii) are set back at least 900mm from side or rear allotment boundaries</p> <p>(iii) when attached to the dwelling, has a finished floor level consistent with the finished ground floor level of the dwelling</p> <p>(iv) where associated with a residential use, retains a total area of soft landscaping for the entire development site, including any common property, with a minimum dimension of 700mm in accordance with (A) or (B), whichever is less:</p> <p>A. a total area is determined by the following table:</p> <table border="1" data-bbox="1002 315 1520 1167"> <thead> <tr> <th>Site area (or in the case of residential flat building or group dwelling(s), average site area) (m²)</th> <th>Minimum percentage of site</th> </tr> </thead> <tbody> <tr> <td><150</td> <td>10%</td> </tr> <tr> <td>150-200</td> <td>15%</td> </tr> <tr> <td>>200-450</td> <td>20%</td> </tr> <tr> <td>>450</td> <td>25%</td> </tr> </tbody> </table> <p>B. the amount of existing soft landscaping prior to the development occurring.</p> <p>(b) where in association with a non-residential use:</p> <p>(i) are set back at least 2 metres from the boundary of an allotment used for residential purposes.</p> <p>(ii) are set back at least 2 metres from a public road.</p> <p>(iii) have a floor area not exceeding 25m²</p> <p>(c) in all cases, has a finished floor level not exceeding 1 metre above natural ground level at any point.</p>	Site area (or in the case of residential flat building or group dwelling(s), average site area) (m ²)	Minimum percentage of site	<150	10%	150-200	15%	>200-450	20%	>450	25%
Site area (or in the case of residential flat building or group dwelling(s), average site area) (m ²)	Minimum percentage of site										
<150	10%										
150-200	15%										
>200-450	20%										
>450	25%										
<p>PO 45.2</p> <p>Decks are designed and sited to minimise direct overlooking of habitable rooms and private open spaces of adjoining residential uses in neighbourhood-type zones through suitable floor levels, screening and siting taking into account the slope of the subject land, existing vegetation on the subject land, and fencing.</p>	<p>DTS/DPF 45.2</p> <p>Decks with a finished floor level/s 500mm or more above natural ground level facing side or rear boundaries shared with a residential use in a neighbourhood-type zone incorporate screening with a maximum of 25% transparency/openings, permanently fixed to the outer edge of the deck not less than 1.5 m above the finished floor level/s.</p>										
<p>PO 45.3</p> <p>Decks used for outdoor dining, entertainment or other commercial uses provide carparking in accordance with the primary use of the deck.</p>	<p>DTS/DPF 45.3</p> <p>Decks used for commercial purposes do not result in less on-site car parking for the primary use of the subject land than specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas.</p>										

Table 1 - Private Open Space

Dwelling Type	Dwelling / Site Configuration	Minimum Rate
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Dwelling (at ground level, other than a residential flat building that includes above ground dwellings)		Total private open space area: (a) Site area <301m ² : 24m ² located behind the building line. (b) Site area ≥ 301m ² : 60m ² located behind the building line. Minimum directly accessible from a living room: 16m ² / with a minimum dimension 3m.
Cabin or caravan (permanently fixed to the ground) in a residential park or caravan and tourist park		Total area: 16m ² , which may be uses as second car parking space, provided on each site intended for residential occupation.
Dwelling in a residential flat building or mixed use building which incorporate above ground level dwellings	Dwellings at ground level:	15m ² / minimum dimension 3m
	Dwellings above ground level:	
	Studio (no separate bedroom)	4m ² / minimum dimension 1.8m
	One bedroom dwelling	8m ² / minimum dimension 2.1m
	Two bedroom dwelling	11m ² / minimum dimension 2.4m
	Three + bedroom dwelling	15 m ² / minimum dimension 2.6m

Forestry

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Commercial forestry is designed and sited to maximise economic benefits whilst managing potential negative impacts on the environment, transport networks, surrounding land uses and landscapes.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Siting	
PO 1.1 Commercial forestry plantations are established where there is no detrimental effect on the physical environment or scenic quality of the rural landscape.	DTS/DPF 1.1 None are applicable.
PO 1.2 Commercial forestry plantations are established on slopes that are stable to minimise the risk of soil erosion.	DTS/DPF 1.2 Commercial forestry plantations are not located on land with a slope exceeding 20% (1-in-5).
PO 1.3 Commercial forestry plantations and operations associated with their establishment, management and harvesting are appropriately set back from any sensitive receiver to minimise fire risk and noise disturbance.	DTS/DPF 1.3 Commercial forestry plantations and operations associated with their establishment, management and harvesting are set back 50m or more from any sensitive receiver.

Water Protection																						
<p>PO 2.1</p> <p>Commercial forestry plantations incorporate artificial drainage lines (i.e. culverts, runoffs and constructed drains) integrated with natural drainage lines to minimise concentrated water flows onto or from plantation areas.</p>	<p>DTS/DPF 2.1</p> <p>None are applicable.</p>																					
<p>PO 2.2</p> <p>Appropriate siting, layout and design measures are adopted to minimise the impact of commercial forestry plantations on surface water resources.</p>	<p>DTS/DPF 2.2</p> <p>Commercial forestry plantations:</p> <ul style="list-style-type: none"> (a) do not involve cultivation (excluding spot cultivation) in drainage lines (b) are set back 20m or more from the banks of any major watercourse (a third order or higher watercourse), lake, reservoir, wetland or sinkhole (with direct connection to an aquifer) (c) are set back 10m or more from the banks of any first or second order watercourse or sinkhole (with no direct connection to an aquifer). 																					
Fire Management																						
<p>PO 3.1</p> <p>Commercial forestry plantations incorporate appropriate firebreaks and fire management design elements.</p>	<p>DTS/DPF 3.1</p> <p>Commercial forestry plantations provide:</p> <ul style="list-style-type: none"> (a) 7m or more wide external boundary firebreaks for plantations of 40ha or less (b) 10m or more wide external boundary firebreaks for plantations of between 40ha and 100ha (c) 20m or more wide external boundary firebreaks, or 10m with an additional 10m or more of fuel-reduced plantation, for plantations of 100ha or greater. <p>Note: Firebreaks prescribed above (as well as access tracks) may be included within the setback buffer distances prescribed by other policies of the Code.</p>																					
<p>PO 3.2</p> <p>Commercial forestry plantations incorporate appropriate fire management access tracks.</p>	<p>DTS/DPF 3.2</p> <p>Commercial forestry plantation fire management access tracks:</p> <ul style="list-style-type: none"> (a) are incorporated within all firebreaks (b) are 7m or more wide with a vertical clearance of 4m or more (c) are aligned to provide straight through access at junctions, or if they are a no through access track are appropriately signposted and provide suitable turnaround areas for fire-fighting vehicles (d) partition the plantation into units of 40ha or less in area. 																					
Power-line Clearances																						
<p>PO 4.1</p> <p>Commercial forestry plantations achieve and maintain appropriate clearances from aboveground powerlines.</p>	<p>DTS/DPF 4.1</p> <p>Commercial forestry plantations incorporating trees with an expected mature height of greater than 6m meet the clearance requirements listed in the following table:</p> <table border="1"> <thead> <tr> <th>Voltage of transmission line</th> <th>Tower or Pole</th> <th>Minimum horizontal clearance distance between plantings and transmission lines</th> </tr> </thead> <tbody> <tr> <td>500 kV</td> <td>Tower</td> <td>38m</td> </tr> <tr> <td>275 kV</td> <td>Tower</td> <td>25m</td> </tr> <tr> <td>132 kV</td> <td>Tower</td> <td>30m</td> </tr> <tr> <td>132 kV</td> <td>Pole</td> <td>20m</td> </tr> <tr> <td>66 kV</td> <td>Pole</td> <td>20m</td> </tr> <tr> <td>Less than 66 kV</td> <td>Pole</td> <td>20m</td> </tr> </tbody> </table>	Voltage of transmission line	Tower or Pole	Minimum horizontal clearance distance between plantings and transmission lines	500 kV	Tower	38m	275 kV	Tower	25m	132 kV	Tower	30m	132 kV	Pole	20m	66 kV	Pole	20m	Less than 66 kV	Pole	20m
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Less than 66 kV	Pole	20m																				

Assessment Provisions (AP)

The Housing Renewal General Development Policies are only applicable to dwellings or residential flat building undertaken by:

- (a) the South Australian Housing Trust either individually or jointly with other persons or bodies or
- (b) a provider registered under the Community Housing National Law participating in a program relating to the renewal of housing endorsed by the South Australian Housing Trust.

Desired Outcome (DO)

Desired Outcome	
DO 1	Renewed residential environments replace older social housing and provide new social housing infrastructure and other housing options and tenures to enhance the residential amenity of the local area.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Land Use and Intensity	
<p>PO 1.1</p> <p>Residential development provides a range of housing choices.</p>	<p>DTS/DPF 1.1</p> <p>Development comprises one or more of the following:</p> <ul style="list-style-type: none"> (a) detached dwellings (b) semi-detached dwellings (c) row dwellings (d) group dwellings (e) residential flat buildings.
<p>PO 1.2</p> <p>Medium-density housing options or higher are located in close proximity to public transit, open space and/or activity centres.</p>	<p>DTS/DPF 1.2</p> <p>None are applicable.</p>
Building Height	
<p>PO 2.1</p> <p>Buildings generally do not exceed 3 building levels unless in locations close to public transport, centres and/or open space.</p>	<p>DTS/DPF 2.1</p> <p>Building height (excluding garages, carports and outbuildings) does not exceed 3 building levels and 12m and wall height does not exceed 9m (not including a gable end).</p>
<p>PO 2.2</p> <p>Medium or high rise residential flat buildings located within or at the interface with zones which restrict heights to a maximum of 2 building levels transition down in scale and height towards the boundary of that zone, other than where it is a street boundary.</p>	<p>DTS/DPF 2.2</p> <p>None are applicable.</p>
Primary Street Setback	
<p>PO 3.1</p> <p>Buildings are set back from the primary street boundary to contribute to an attractive streetscape character.</p>	<p>DTS/DPF 3.1</p> <p>Buildings are no closer to the primary street (excluding any balcony, verandah, porch, awning or similar structure) than 3m.</p>
Secondary Street Setback	

<p>PO 4.1</p> <p>Buildings are set back from secondary street boundaries to maintain separation between building walls and public streets and contribute to a suburban streetscape character.</p>	<p>DTS/DPF 4.1</p> <p>Buildings are set back at least 900mm from the boundary of the allotment with a secondary street frontage.</p>
<p>Boundary Walls</p>	
<p>PO 5.1</p> <p>Boundary walls are limited in height and length to manage visual impacts and access to natural light and ventilation.</p>	<p>DTS/DPF 5.1</p> <p>Except where the dwelling is located on a central site within a row dwelling or terrace arrangement, dwellings with side boundary walls are sited on only one side boundary and satisfy (a) or (b):</p> <ul style="list-style-type: none"> (a) adjoin or abut a boundary wall of a building on adjoining land for the same length and height (b) do not: <ul style="list-style-type: none"> (i) exceed 3.2m in height from the lower of the natural or finished ground level (ii) exceed 11.5m in length (iii) when combined with other walls on the boundary of the subject development site, a maximum 45% of the length of the boundary (iv) encroach within 3 metres of any other existing or proposed boundary walls on the subject land.
<p>PO 5.2</p> <p>Dwellings in a semi-detached, row or terrace arrangement maintain space between buildings consistent with a suburban streetscape character.</p>	<p>DTS/DPF 5.2</p> <p>Dwellings in a semi-detached or row arrangement are set back 900mm or more from side boundaries shared with allotments outside the development site, except for a carport or garage.</p>
<p>Side Boundary Setback</p>	
<p>PO 6.1</p> <p>Buildings are set back from side boundaries to provide:</p> <ul style="list-style-type: none"> (a) separation between dwellings in a way that contributes to a suburban character (b) access to natural light and ventilation for neighbours. 	<p>DTS/DPF 6.1</p> <p>Other than walls located on a side boundary, buildings are set back from side boundaries in accordance with the following:</p> <ul style="list-style-type: none"> (a) where the wall height does not exceed 3m - at least 900mm (b) for a wall that is not south facing and the wall height exceeds 3m - at least 900mm from the boundary of the site plus a distance of 1/3 of the extent to which the height of the wall exceeds 3m from the top of the footings (c) for a wall that is south facing and the wall height exceeds 3m - at least 1.9m from the boundary of the site plus a distance of 1/3 of the extent to which the height of the wall exceeds 3m from the top of the footings.
<p>Rear Boundary Setback</p>	
<p>PO 7.1</p> <p>Buildings are set back from rear boundaries to provide:</p> <ul style="list-style-type: none"> (a) separation between dwellings in a way that contributes to a suburban character (b) access to natural light and ventilation for neighbours (c) private open space (d) space for landscaping and vegetation. 	<p>DTS/DPF 7.1</p> <p>Dwellings are set back from the rear boundary:</p> <ul style="list-style-type: none"> (a) 3m or more for the first building level (b) 5m or more for any subsequent building level.
<p>Buildings elevation design</p>	
<p>PO 8.1</p> <p>Dwelling elevations facing public streets and common driveways make a positive contribution to the streetscape and common driveway areas.</p>	<p>DTS/DPF 8.1</p> <p>Each dwelling includes at least 3 of the following design features within the building elevation facing a primary street, and at least 2 of the following design features within the building elevation facing any other public road (other than a laneway) or a common driveway:</p> <ul style="list-style-type: none"> (a) a minimum of 30% of the building elevation is set back an additional 300mm from the building line (b) a porch or portico projects at least 1m from the building elevation (c) a balcony projects from the building elevation (d) a verandah projects at least 1m from the building elevation (e) eaves of a minimum 400mm width extend along the width of the front elevation (f) a minimum 30% of the width of the upper level projects forward from the lower level primary building line by at least 300mm. (g) a minimum of two different materials or finishes are incorporated on the walls of the building elevation, with a maximum of 80% of the building elevation in a single material or finish.

<p>PO 8.2</p> <p>Dwellings incorporate windows along primary street frontages to encourage passive surveillance and make a positive contribution to the streetscape.</p>	<p>DTS/DPF 8.2</p> <p>Each dwelling with a frontage to a public street:</p> <p>(a) includes at least one window facing the primary street from a habitable room that has a minimum internal room dimension of 2.4m</p> <p>(b) has an aggregate window area of at least 2m² facing the primary street</p>													
<p>PO 8.3</p> <p>The visual mass of larger buildings is reduced when viewed from adjoining allotments or public streets.</p>	<p>DTS/DPF 8.3</p> <p>None are applicable.</p>													
<p>PO 8.4</p> <p>Built form considers local context and provides a quality design response through scale, massing, materials, colours and architectural expression.</p>	<p>DTS/DPF 8.4</p> <p>None are applicable.</p>													
<p>PO 8.5</p> <p>Entrances to multi-storey buildings are:</p> <p>(a) oriented towards the street</p> <p>(b) visible and easily identifiable from the street</p> <p>(c) designed to include a common mail box structure.</p>	<p>DTS/DPF 8.5</p> <p>None are applicable.</p>													
<p>Outlook and amenity</p>														
<p>PO 9.1</p> <p>Living rooms have an external outlook to provide a high standard of amenity for occupants.</p>	<p>DTS/DPF 9.1</p> <p>A living room of a dwelling incorporates a window with an external outlook towards the street frontage or private open space.</p>													
<p>PO 9.2</p> <p>Bedrooms are separated or shielded from active communal recreation areas, common access areas and vehicle parking areas and access ways to mitigate noise and artificial light intrusion.</p>	<p>DTS/DPF 9.2</p> <p>None are applicable.</p>													
<p>Private Open Space</p>														
<p>PO 10.1</p> <p>Dwellings are provided with suitable sized areas of usable private open space to meet the needs of occupants.</p>	<p>DTS/DPF 10.1</p> <p>Private open space is provided in accordance with the following table:</p> <table border="1" data-bbox="831 1491 1525 2121"> <thead> <tr> <th>Dwelling Type</th> <th>Dwelling / Site Configuration</th> <th>Minimum Rate</th> </tr> </thead> <tbody> <tr> <td>Dwelling (at ground level)</td> <td></td> <td>Total area: 24m² located behind the building line Minimum adjacent to a living room: 16m² with a minimum dimension 3m</td> </tr> <tr> <td rowspan="3">Dwelling (above ground level)</td> <td>Studio</td> <td>4m² / minimum dimension 1.8m</td> </tr> <tr> <td>One bedroom dwelling</td> <td>8m² / minimum dimension 2.1m</td> </tr> <tr> <td>Two bedroom dwelling</td> <td>11m² / minimum dimension 2.4m</td> </tr> </tbody> </table>	Dwelling Type	Dwelling / Site Configuration	Minimum Rate	Dwelling (at ground level)		Total area: 24m ² located behind the building line Minimum adjacent to a living room: 16m ² with a minimum dimension 3m	Dwelling (above ground level)	Studio	4m ² / minimum dimension 1.8m	One bedroom dwelling	8m ² / minimum dimension 2.1m	Two bedroom dwelling	11m ² / minimum dimension 2.4m
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	Two bedroom dwelling	11m ² / minimum dimension 2.4m												

		Three + bedroom dwelling	15 m ² / minimum dimension 2.6m
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<p>PO 10.2</p> <p>Private open space positioned to provide convenient access from internal living areas.</p>	<p>DTS/DPF 10.2</p> <p>At least 50% of the required area of private open space is accessible from a habitable room.</p>
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<p>PO 10.3</p> <p>Private open space is positioned and designed to:</p> <p>(a) provide useable outdoor space that suits the needs of occupants; (b) take advantage of desirable orientation and vistas; and (c) adequately define public and private space.</p>	<p>DTS/DPF 10.3</p> <p>None are applicable.</p>
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Visual privacy

<p>PO 11.1</p> <p>Development mitigates direct overlooking from upper level windows to habitable rooms and private open spaces of adjoining residential uses.</p>	<p>DTS/DPF 11.1</p> <p>Upper level windows facing side or rear boundaries shared with another residential allotment/site satisfy one of the following:</p> <p>(a) are permanently obscured to a height of 1.5m above finished floor level and are fixed or not capable of being opened more than 200mm (b) have sill heights greater than or equal to 1.5m above finished floor level (c) incorporate screening with a maximum of 25% openings, permanently fixed no more than 500mm from the window surface and sited adjacent to any part of the window less than 1.5m above the finished floor.</p>
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<p>PO 11.2</p> <p>Development mitigates direct overlooking from upper level balconies and terraces to habitable rooms and private open space of adjoining residential uses.</p>	<p>DTS/DPF 11.2</p> <p>One of the following is satisfied:</p> <p>(a) the longest side of the balcony or terrace will face a public road, public road reserve or public reserve that is at least 15m wide in all places faced by the balcony or terrace or (b) all sides of balconies or terraces on upper building levels are permanently obscured by screening with a maximum 25% transparency/openings fixed to a minimum height of: (i) 1.5m above finished floor level where the balcony is located at least 15 metres from the nearest habitable window of a dwelling on adjacent land or (ii) 1.7m above finished floor level in all other cases</p>
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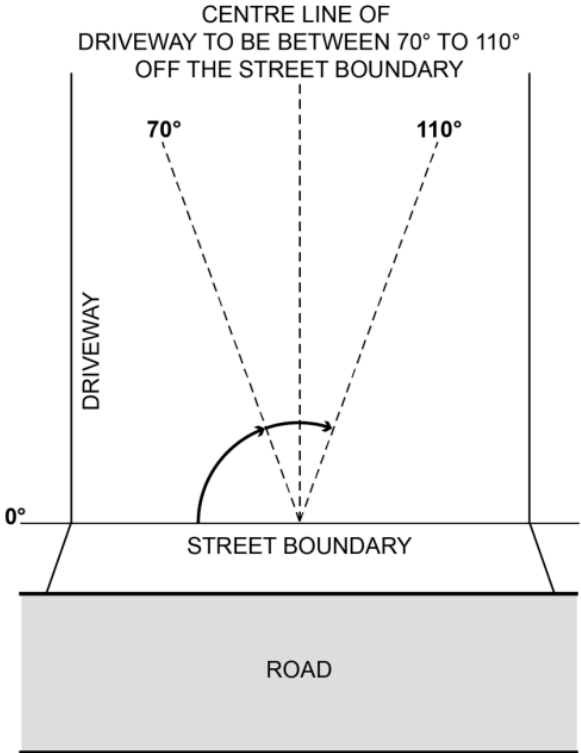
Landscaping

<p>PO 12.1</p> <p>Soft landscaping is incorporated into development to:</p> <p>(a) minimise heat absorption and reflection (b) maximise shade and shelter (c) maximise stormwater infiltration and biodiversity (d) enhance the appearance of land and streetscapes.</p>	<p>DTS/DPF 12.1</p> <p>Residential development incorporates pervious areas for soft landscaping with a minimum dimension of 700mm provided in accordance with (a) and (b):</p> <p>(a) a total area as determined by the following table:</p> <table border="1"> <thead> <tr> <th>Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m²)</th> <th>Minimum percentage of site</th> </tr> </thead> <tbody> <tr> <td><150</td> <td>10%</td> </tr> <tr> <td><200</td> <td>15%</td> </tr> <tr> <td>200-450</td> <td>20%</td> </tr> <tr> <td>>450</td> <td>25%</td> </tr> </tbody> </table> <p>(b) at least 30% of land between the road boundary and the building line.</p>	Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m ²)	Minimum percentage of site	<150	10%	<200	15%	200-450	20%	>450	25%
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Water Sensitive Design

<p>PO 13.1</p> <p>Residential development is designed to capture and use stormwater to:</p> <p>(a) maximise efficient use of water resources (b) manage peak stormwater runoff flows and volume to ensure the carrying capacities of downstream systems are not overloaded (c) manage runoff quality to maintain, as close as practical, pre-development conditions.</p>	<p>DTS/DPF 13.1</p> <p>None are applicable.</p>
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Car Parking	
<p>PO 14.1</p> <p>On-site car parking is provided to meet the anticipated demand of residents, with less on-site parking in areas in close proximity to public transport.</p>	<p>DTS/DPF 14.1</p> <p>On-site car parking is provided at the following rates per dwelling:</p> <p>(a) 2 or fewer bedrooms - 1 car parking space (b) 3 or more bedrooms - 2 car parking spaces.</p>
<p>PO 14.2</p> <p>Enclosed car parking spaces are of dimensions to be functional, accessible and convenient.</p>	<p>DTS/DPF 14.2</p> <p>Residential parking spaces enclosed by fencing, walls or other obstructions with the following internal dimensions (separate from any waste storage area):</p> <p>(a) single parking spaces: (i) a minimum length of 5.4m (ii) a minimum width of 3.0m (iii) a minimum garage door width of 2.4m</p> <p>(b) double parking spaces (side by side): (i) a minimum length of 5.4m (ii) a minimum width of 5.5m (iii) minimum garage door width of 2.4m per space.</p>
<p>PO 14.3</p> <p>Uncovered car parking spaces are of dimensions to be functional, accessible and convenient.</p>	<p>DTS/DPF 14.3</p> <p>Uncovered car parking spaces have:</p> <p>(a) a minimum length of 5.4m (b) a minimum width of 2.4m (c) a minimum width between the centre line of the space and any fence, wall or other obstruction of 1.5m.</p>
<p>PO 14.4</p> <p>Residential flat buildings and group dwelling developments provide sufficient on-site visitor car parking to cater for anticipated demand.</p>	<p>DTS/DPF 14.4</p> <p>Visitor car parking for group and residential flat buildings incorporating 4 or more dwellings is provided on-site at a minimum ratio of 0.25 car parking spaces per dwelling.</p>
<p>PO 14.5</p> <p>Residential flat buildings provide dedicated areas for bicycle parking.</p>	<p>DTS/DPF 14.5</p> <p>Residential flat buildings provide one bicycle parking space per dwelling.</p>
Overshadowing	
<p>PO 15.1</p> <p>Development minimises overshadowing of the private open spaces of adjoining land by ensuring that ground level open space associated with residential buildings receive direct sunlight for a minimum of 2 hours between 9am and 3pm on 21 June.</p>	<p>DTS/DPF 15.1</p> <p>None are applicable.</p>
Waste	
<p>PO 16.1</p> <p>Provision is made for the convenient storage of waste bins in a location screened from public view.</p>	<p>DTS/DPF 16.1</p> <p>A waste bin storage area is provided behind the primary building line that:</p> <p>(a) has a minimum area of 2m² with a minimum dimension of 900mm (separate from any designated car parking spaces or private open space).; and (b) has a continuous unobstructed path of travel (excluding moveable objects like gates, vehicles and roller doors) with a minimum width of 800mm between the waste bin storage area and the street.</p>
<p>PO 16.2</p> <p>Residential flat buildings provide a dedicated area for the on-site storage of waste which is:</p> <p>(a) easily and safely accessible for residents and for collection vehicles (b) screened from adjoining land and public roads</p>	<p>DTS/DPF 16.2</p> <p>None are applicable.</p>

<p>(c) of sufficient dimensions to be able to accommodate the waste storage needs of the development considering the intensity and nature of the development and the frequency of collection.</p>	
<p>Vehicle Access</p>	
<p>PO 17.1 Driveways are located and designed to facilitate safe access and egress while maximising land available for street tree planting, landscaped street frontages and on-street parking.</p>	<p>DTS/DPF 17.1 None are applicable.</p>
<p>PO 17.2 Vehicle access is safe, convenient, minimises interruption to the operation of public roads and does not interfere with street infrastructure or street trees.</p>	<p>DTS/DPF 17.2 Vehicle access to designated car parking spaces satisfy (a) or (b):</p> <ul style="list-style-type: none"> (a) is provided via a lawfully existing or authorised access point or an access point for which consent has been granted as part of an application for the division of land (b) where newly proposed, is set back: <ul style="list-style-type: none"> (i) 0.5m or more from any street furniture, street pole, infrastructure services pit, or other stormwater or utility infrastructure unless consent is provided from the asset owner (ii) 2m or more from the base of the trunk of a street tree unless consent is provided from the tree owner for a lesser distance (iii) 6m or more from the tangent point of an intersection of 2 or more roads (iv) outside of the marked lines or infrastructure dedicating a pedestrian crossing.
<p>PO 17.3 Driveways are designed to enable safe and convenient vehicle movements from the public road to on-site parking spaces.</p>	<p>DTS/DPF 17.3 Driveways are designed and sited so that:</p> <ul style="list-style-type: none"> (a) the gradient of the driveway does not exceed a grade of 1 in 4 and includes transitions to ensure a maximum grade change of 12.5% (1 in 8) for summit changes, and 15% (1 in 6.7) for sag changes, in accordance with AS 2890.1:2004 to prevent vehicles bottoming or scraping (b) the centreline of the driveway has an angle of no less than 70 degrees and no more than 110 degrees from the street boundary to which it takes its access as shown in the following diagram: <div style="text-align: center;">  <p style="text-align: center;">CENTRE LINE OF DRIVEWAY TO BE BETWEEN 70° TO 110° OFF THE STREET BOUNDARY</p> </div> <ul style="list-style-type: none"> (c) if located to provide access from an alley, lane or right of way - the alley, land or right or way is at least 6.2m wide along the boundary of the allotment / site.
<p>PO 17.4 Driveways and access points are designed and distributed to optimise the provision of on-street parking.</p>	<p>DTS/DPF 17.4 Where on-street parking is available abutting the site's street frontage, on-street parking is retained in accordance with the following requirements:</p> <ul style="list-style-type: none"> (a) minimum 0.33 on-street spaces per dwelling on the site (rounded up to the nearest whole number) (b) minimum car park length of 5.4m where a vehicle can enter or exit a space directly

	(c) minimum carpark length of 6m for an intermediate space located between two other parking spaces or to an end obstruction where the parking is indented.
<p>PO 17.5</p> <p>Residential driveways that service more than one dwelling of a dimension to allow safe and convenient movement.</p>	<p>DTS/DPF 17.5</p> <p>Driveways that service more than 1 dwelling or a dwelling on a battle-axe site:</p> <p>(a) have a minimum width of 3m</p> <p>(b) for driveways servicing more than 3 dwellings:</p> <p>(i) have a width of 5.5m or more and a length of 6m or more at the kerb of the primary street</p> <p>(ii) where the driveway length exceeds 30m, incorporate a passing point at least every 30 metres with a minimum width of 5.5m and a minimum length of 6m.</p>
<p>PO 17.6</p> <p>Residential driveways that service more than one dwelling are designed to allow passenger vehicles to enter and exit the site and manoeuvre within the site in a safe and convenient manner.</p>	<p>DTS/DPF 17.6</p> <p>Driveways providing access to more than one dwelling, or a dwelling on a battle-axe site, allow a B85 passenger vehicle to enter and exit the garages or parking spaces in no more than a three-point turn manoeuvre</p>
<p>PO 17.7</p> <p>Dwellings are adequately separated from common driveways and manoeuvring areas.</p>	<p>DTS/DPF 17.7</p> <p>Dwelling walls with entry doors or ground level habitable room windows are set back at least 1.5m from any driveway or area designated for the movement and manoeuvring of vehicles.</p>
<p>Storage</p>	
<p>PO 18.1</p> <p>Dwellings are provided with sufficient and accessible space for storage to meet likely occupant needs.</p>	<p>DTS/DPF 18.1</p> <p>Dwellings are provided with storage at the following rates and 50% or more of the storage volume is provided within the dwelling:</p> <p>(a) studio: not less than 6m³</p> <p>(b) 1 bedroom dwelling / apartment: not less than 8m³</p> <p>(c) 2 bedroom dwelling / apartment: not less than 10m³</p> <p>(d) 3+ bedroom dwelling / apartment: not less than 12m³.</p>
<p>Earthworks</p>	
<p>PO 19.1</p> <p>Development, including any associated driveways and access tracks, minimises the need for earthworks to limit disturbance to natural topography.</p>	<p>DTS/DPF 19.1</p> <p>The development does not involve:</p> <p>(a) excavation exceeding a vertical height of 1m or</p> <p>(b) filling exceeding a vertical height of 1m or</p> <p>(c) a total combined excavation and filling vertical height exceeding 2m.</p>
<p>Service connections and infrastructure</p>	
<p>PO 20.1</p> <p>Dwellings are provided with appropriate service connections and infrastructure.</p>	<p>DTS/DPF 20.1</p> <p>The site and building:</p> <p>(a) have the ability to be connected to a permanent potable water supply</p> <p>(b) have the ability to be connected to a sewerage system, or a wastewater system approved under the <i>South Australian Public Health Act 2011</i></p> <p>(c) have the ability to be connected to electricity supply</p> <p>(d) have the ability to be connected to an adequate water supply (and pressure) for fire-fighting purposes</p> <p>(e) would not be contrary to the Regulations prescribed for the purposes of Section 86 of the <i>Electricity Act 1996</i>.</p>
<p>Site contamination</p>	
<p>PO 21.1</p> <p>Land that is suitable for sensitive land uses to provide a safe environment.</p>	<p>DTS/DPF 21.1</p> <p>Development satisfies (a), (b), (c) or (d):</p> <p>(a) does not involve a change in the use of land</p> <p>(b) involves a change in the use of land that does not constitute a change to a <u>more sensitive use</u></p>

	<p>(c) involves a change in the use of land to a <u>more sensitive use</u> on land at which <u>site contamination</u> does not exist (as demonstrated in a <u>site contamination declaration form</u>)</p> <p>(d) involves a change in the use of land to a <u>more sensitive use</u> on land at which <u>site contamination</u> exists, or may exist (as demonstrated in a <u>site contamination declaration form</u>), and satisfies both of the following:</p> <p>(i) a <u>site contamination audit report</u> has been prepared under Part 10A of the <i>Environment Protection Act 1993</i> in relation to the land within the previous 5 years which states that</p> <ul style="list-style-type: none"> A. <u>site contamination</u> does not exist (or no longer exists) at the land or B. the land is suitable for the proposed use or range of uses (without the need for any further <u>remediation</u>) or C. where <u>remediation</u> is, or remains, necessary for the proposed use (or range of uses), <u>remediation work</u> has been carried out or will be carried out (and the applicant has provided a written undertaking that the remediation works will be implemented in association with the development) <p>and</p> <p>(ii) no other <u>class 1 activity</u> or <u>class 2 activity</u> has taken place at the land since the preparation of the <u>site contamination audit report</u> (as demonstrated in a <u>site contamination declaration form</u>).</p>
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Infrastructure and Renewable Energy Facilities

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Efficient provision of infrastructure networks and services, renewable energy facilities and ancillary development in a manner that minimises hazard, is environmentally and culturally sensitive and manages adverse visual impacts on natural and rural landscapes and residential amenity.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
<small>General</small>	
<p>PO 1.1</p> <p>Development is located and designed to minimise hazard or nuisance to adjacent development and land uses.</p>	<p>DTS/DPF 1.1</p> <p>None are applicable.</p>
<small>Visual Amenity</small>	
<p>PO 2.1</p> <p>The visual impact of above-ground infrastructure networks and services (excluding high voltage transmission lines), renewable energy facilities (excluding wind farms), energy storage facilities and ancillary development is minimised from townships, scenic routes and public roads by:</p> <ul style="list-style-type: none"> (a) utilising features of the natural landscape to obscure views where practicable (b) siting development below ridgelines where practicable (c) avoiding visually sensitive and significant landscapes (d) using materials and finishes with low-reflectivity and colours that complement the surroundings (e) using existing vegetation to screen buildings (f) incorporating landscaping or landscaped mounding around the perimeter of a site and between adjacent allotments accommodating or zoned to primarily accommodate sensitive receivers. 	<p>DTS/DPF 2.1</p> <p>None are applicable.</p>
<p>PO 2.2</p> <p>Pumping stations, battery storage facilities, maintenance sheds and other ancillary structures incorporate vegetation buffers to reduce adverse visual impacts on</p>	<p>DTS/DPF 2.2</p> <p>None are applicable.</p>

adjacent land.	
<p>PO 2.3</p> <p>Surfaces exposed by earthworks associated with the installation of storage facilities, pipework, penstock, substations and other ancillary plant are reinstated and revegetated to reduce adverse visual impacts on adjacent land.</p>	<p>DTS/DPF 2.3</p> <p>None are applicable.</p>
Rehabilitation	
<p>PO 3.1</p> <p>Progressive rehabilitation (incorporating revegetation) of disturbed areas, ahead of or upon decommissioning of areas used for renewable energy facilities and transmission corridors.</p>	<p>DTS/DPF 3.1</p> <p>None are applicable.</p>
Hazard Management	
<p>PO 4.1</p> <p>Infrastructure and renewable energy facilities and ancillary development located and operated to not adversely impact maritime or air transport safety, including the operation of ports, airfields and landing strips.</p>	<p>DTS/DPF 4.1</p> <p>None are applicable.</p>
<p>PO 4.2</p> <p>Facilities for energy generation, power storage and transmission are separated as far as practicable from dwellings, tourist accommodation and frequently visited public places (such as viewing platforms / lookouts) to reduce risks to public safety from fire or equipment malfunction.</p>	<p>DTS/DPF 4.2</p> <p>None are applicable.</p>
<p>PO 4.3</p> <p>Bushfire hazard risk is minimised for renewable energy facilities by providing appropriate access tracks, safety equipment and water tanks and establishing cleared areas around substations, battery storage and operations compounds.</p>	<p>DTS/DPF 4.3</p> <p>None are applicable.</p>
Electricity Infrastructure and Battery Storage Facilities	
<p>PO 5.1</p> <p>Electricity infrastructure is located to minimise visual impacts through techniques including:</p> <ul style="list-style-type: none"> (a) siting utilities and services: <ul style="list-style-type: none"> (i) on areas already cleared of native vegetation (ii) where there is minimal interference or disturbance to existing native vegetation or biodiversity (b) grouping utility buildings and structures with non-residential development, where practicable. 	<p>DTS/DPF 5.1</p> <p>None are applicable.</p>
<p>PO 5.2</p> <p>Electricity supply (excluding transmission lines) serving new development in urban areas and townships installed underground, excluding lines having a capacity exceeding or equal to 33kV.</p>	<p>DTS/DPF 5.2</p> <p>None are applicable.</p>
<p>PO 5.3</p> <p>Battery storage facilities are co-located with substation infrastructure where practicable to minimise the development footprint and reduce environmental impacts.</p>	<p>DTS/DPF 5.3</p> <p>None are applicable.</p>
Telecommunication Facilities	
<p>PO 6.1</p>	<p>DTS/DPF 6.1</p>

<p>The proliferation of telecommunications facilities in the form of towers/monopoles in any one locality is managed, where technically feasible, by co-locating a facility with other communications facilities to mitigate impacts from clutter on visual amenity.</p>	<p>None are applicable.</p>
<p>PO 6.2 Telecommunications antennae are located as close as practicable to support structures to manage overall bulk and mitigate impacts on visual amenity.</p>	<p>DTS/DPF 6.2 None are applicable.</p>
<p>PO 6.3 Telecommunications facilities, particularly towers/monopoles, are located and sized to mitigate visual impacts by the following methods:</p> <p>(a) where technically feasible, incorporating the facility within an existing structure that may serve another purpose</p> <p>or all of the following:</p> <p>(b) using existing buildings and landscape features to obscure or interrupt views of a facility from nearby public roads, residential areas and places of high public amenity to the extent practical without unduly hindering the effective provision of telecommunications services</p> <p>(c) using materials and finishes that complement the environment</p> <p>(d) screening using landscaping and vegetation, particularly for equipment shelters and huts.</p>	<p>DTS/DPF 6.3 None are applicable.</p>
<p>Renewable Energy Facilities</p>	
<p>PO 7.1 Renewable energy facilities are located as close as practicable to existing transmission infrastructure to facilitate connections and minimise environmental impacts as a result of extending transmission infrastructure.</p>	<p>DTS/DPF 7.1 None are applicable.</p>
<p>Renewable Energy Facilities (Wind Farm)</p>	
<p>PO 8.1 Visual impact of wind turbine generators on the amenity of residential and tourist development is reduced through appropriate separation.</p>	<p>DTS/DPF 8.1 Wind turbine generators are:</p> <p>(a) set back at least 2000m from the base of a turbine to any of the following zones:</p> <ul style="list-style-type: none"> (i) Rural Settlement Zone (ii) Township Zone (iii) Rural Living Zone (iv) Rural Neighbourhood Zone <p>with an additional 10m setback per additional metre over 150m overall turbine height (measured from the base of the turbine).</p> <p>(b) set back at least 1500m from the base of the turbine to non-associated (non-stakeholder) dwellings and tourist accommodation</p>
<p>PO 8.2 The visual impact of wind turbine generators on natural landscapes is managed by:</p> <p>(a) designing wind turbine generators to be uniform in colour, size and shape</p> <p>(b) coordinating blade rotation and direction</p> <p>(c) mounting wind turbine generators on tubular towers as opposed to lattice towers.</p>	<p>DTS/DPF 8.2 None are applicable.</p>
<p>PO 8.3 Wind turbine generators and ancillary development minimise potential for bird and bat strike.</p>	<p>DTS/DPF 8.3 None are applicable.</p>
<p>PO 8.4 Wind turbine generators incorporate recognition systems or physical markers to minimise the risk to aircraft operations.</p>	<p>DTS/DPF 8.4 No Commonwealth air safety (CASA / ASA) or Defence requirement is applicable.</p>
<p>PO 8.5</p>	<p>DTS/DPF 8.5</p>

Meteorological masts and guidewires are identifiable to aircraft through the use of colour bands, marker balls, high visibility sleeves or flashing strobes.	None are applicable.
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Renewable Energy Facilities (Solar Power)

<p>PO 9.1</p> <p>Ground mounted solar power facilities generating 5MW or more are not located on land requiring the clearance of areas of intact native vegetation or on land of high environmental, scenic or cultural value.</p>	<p>DTS/DPF 9.1</p> <p>None are applicable.</p>
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<p>PO 9.2</p> <p>Ground mounted solar power facilities allow for movement of wildlife by:</p> <p>(a) incorporating wildlife corridors and habitat refuges (b) avoiding the use of extensive security or perimeter fencing or incorporating fencing that enables the passage of small animals without unreasonably compromising the security of the facility.</p>	<p>DTS/DPF 9.2</p> <p>None are applicable.</p>
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<p>PO 9.3</p> <p>Amenity impacts of solar power facilities are minimised through separation from conservation areas and sensitive receivers in other ownership.</p>	<p>DTS/DPF 9.3</p> <p>Ground mounted solar power facilities are set back from land boundaries, conservation areas and relevant zones in accordance with the following criteria:</p> <table border="1" style="width:100%; border-collapse: collapse; margin-top: 10px;"> <thead> <tr> <th style="padding: 5px;">Generation Capacity</th> <th style="padding: 5px;">Approximate size of array</th> <th style="padding: 5px;">Setback from adjoining land boundary</th> <th style="padding: 5px;">Setback from conservation areas</th> <th style="padding: 5px;">Setback from Township, Rural Settlement, Rural Neighbourhood and Rural Living Zones¹</th> </tr> </thead> <tbody> <tr> <td style="text-align: center; padding: 5px;">50MW></td> <td style="text-align: center; padding: 5px;">80ha+</td> <td style="text-align: center; padding: 5px;">30m</td> <td style="text-align: center; padding: 5px;">500m</td> <td style="text-align: center; padding: 5px;">2km</td> </tr> <tr> <td style="text-align: center; padding: 5px;">10MW<50MW</td> <td style="text-align: center; padding: 5px;">16ha-<80ha</td> <td style="text-align: center; padding: 5px;">25m</td> <td style="text-align: center; padding: 5px;">500m</td> <td style="text-align: center; padding: 5px;">1.5km</td> </tr> <tr> <td style="text-align: center; padding: 5px;">5MW<10MW</td> <td style="text-align: center; padding: 5px;">8ha to <16ha</td> <td style="text-align: center; padding: 5px;">20m</td> <td style="text-align: center; padding: 5px;">500m</td> <td style="text-align: center; padding: 5px;">1km</td> </tr> <tr> <td style="text-align: center; padding: 5px;">1MW<5MW</td> <td style="text-align: center; padding: 5px;">1.6ha to <8ha</td> <td style="text-align: center; padding: 5px;">15m</td> <td style="text-align: center; padding: 5px;">500m</td> <td style="text-align: center; padding: 5px;">500m</td> </tr> <tr> <td style="text-align: center; padding: 5px;">100kW<1MW</td> <td style="text-align: center; padding: 5px;">0.5ha<1.6ha</td> <td style="text-align: center; padding: 5px;">10m</td> <td style="text-align: center; padding: 5px;">500m</td> <td style="text-align: center; padding: 5px;">100m</td> </tr> <tr> <td style="text-align: center; padding: 5px;"><100kW</td> <td style="text-align: center; padding: 5px;"><0.5ha</td> <td style="text-align: center; padding: 5px;">5m</td> <td style="text-align: center; padding: 5px;">500m</td> <td style="text-align: center; padding: 5px;">25m</td> </tr> </tbody> </table> <p>Notes:</p> <p>1. Does not apply when the site of the proposed ground mounted solar power facility is located within one of these zones.</p>	Generation Capacity	Approximate size of array	Setback from adjoining land boundary	Setback from conservation areas	Setback from Township, Rural Settlement, Rural Neighbourhood and Rural Living Zones ¹	50MW>	80ha+	30m	500m	2km	10MW<50MW	16ha-<80ha	25m	500m	1.5km	5MW<10MW	8ha to <16ha	20m	500m	1km	1MW<5MW	1.6ha to <8ha	15m	500m	500m	100kW<1MW	0.5ha<1.6ha	10m	500m	100m	<100kW	<0.5ha	5m	500m	25m
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<p>PO 9.4</p> <p>Ground mounted solar power facilities incorporate landscaping within setbacks from adjacent road frontages and boundaries of adjacent allotments accommodating non-host dwellings, where balanced with infrastructure access and bushfire safety considerations.</p>	<p>DTS/DPF 9.4</p> <p>None are applicable.</p>
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Hydropower / Pumped Hydropower Facilities

<p>PO 10.1</p> <p>Hydropower / pumped hydropower facility storage is designed and operated to minimise the risk of storage dam failure.</p>	<p>DTS/DPF 10.1</p> <p>None are applicable.</p>
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<p>PO 10.2</p> <p>Hydropower / pumped hydropower facility storage is designed and operated to minimise water loss through increased evaporation or system leakage, with the</p>	<p>DTS/DPF 10.2</p> <p>None are applicable.</p>
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incorporation of appropriate liners, dam covers, operational measures or detection systems.	
<p>PO 10.3</p> <p>Hydropower / pumped hydropower facilities on existing or former mine sites minimise environmental impacts from site contamination, including from mine operations or water sources subject to such processes, now or in the future.</p>	<p>DTS/DPF 10.3</p> <p>None are applicable.</p>
Water Supply	
<p>PO 11.1</p> <p>Development is connected to an appropriate water supply to meet the ongoing requirements of the intended use.</p>	<p>DTS/DPF 11.1</p> <p>Development is connected, or will be connected, to a reticulated water scheme or mains water supply with the capacity to meet the on-going requirements of the development.</p>
<p>PO 11.2</p> <p>Dwellings are connected to a reticulated water scheme or mains water supply with the capacity to meet the requirements of the intended use. Where this is not available an appropriate rainwater tank or storage system for domestic use is provided.</p>	<p>DTS/DPF 11.2</p> <p>A dwelling is connected, or will be connected, to a reticulated water scheme or mains water supply with the capacity to meet the requirements of the development. Where this is not available it is serviced by a rainwater tank or tanks capable of holding at least 50,000 litres of water which is:</p> <ul style="list-style-type: none"> (a) exclusively for domestic use (b) connected to the roof drainage system of the dwelling.
Wastewater Services	
<p>PO 12.1</p> <p>Development is connected to an approved common wastewater disposal service with the capacity to meet the requirements of the intended use. Where this is not available an appropriate on-site service is provided to meet the ongoing requirements of the intended use in accordance with the following:</p> <ul style="list-style-type: none"> (a) it is wholly located and contained within the allotment of the development it will service (b) in areas where there is a high risk of contamination of surface, ground, or marine water resources from on-site disposal of liquid wastes, disposal systems are included to minimise the risk of pollution to those water resources (c) septic tank effluent drainage fields and other wastewater disposal areas are located away from watercourses and flood prone, sloping, saline or poorly drained land to minimise environmental harm. 	<p>DTS/DPF 12.1</p> <p>Development is connected, or will be connected, to an approved common wastewater disposal service with the capacity to meet the requirements of the development. Where this is not available it is instead capable of being serviced by an on-site waste water treatment system in accordance with the following:</p> <ul style="list-style-type: none"> (a) the system is wholly located and contained within the allotment of development it will service; and (b) the system will comply with the requirements of the South Australian Public Health Act 2011.
<p>PO 12.2</p> <p>Effluent drainage fields and other wastewater disposal areas are maintained to ensure the effective operation of waste systems and minimise risks to human health and the environment.</p>	<p>DTS/DPF 12.2</p> <p>Development is not built on, or encroaches within, an area that is, or will be, required for a sewerage system or waste control system.</p>
Temporary Facilities	
<p>PO 13.1</p> <p>In rural and remote locations, development that is likely to generate significant waste material during construction, including packaging waste, makes provision for a temporary on-site waste storage enclosure to minimise the incidence of wind-blown litter.</p>	<p>DTS/DPF 13.1</p> <p>A waste collection and disposal service is used to dispose of the volume of waste at the rate it is generated.</p>
<p>PO 13.2</p> <p>Temporary facilities to support the establishment of renewable energy facilities (including borrow pits, concrete batching plants, laydown, storage, access roads and worker amenity areas) are sited and operated to minimise environmental impact.</p>	<p>DTS/DPF 13.2</p> <p>None are applicable.</p>

Intensive Animal Husbandry and Dairies

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Development of intensive animal husbandry and dairies in locations that are protected from encroachment by sensitive receivers and in a manner that minimises their adverse effects on amenity and the environment.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
<small>Siting and Design</small>	
<p>PO 1.1</p> <p>Intensive animal husbandry, dairies and associated activities are sited, designed, constructed and managed to not unreasonably impact on the environment or amenity of the locality.</p>	<p>DTS/DPF 1.1</p> <p>None are applicable.</p>
<p>PO 1.2</p> <p>Intensive animal husbandry, dairies and associated activities are sited, designed, constructed and managed to prevent the potential transmission of disease to other operations where animals are kept.</p>	<p>DTS/DPF 1.2</p> <p>None are applicable.</p>
<p>PO 1.3</p> <p>Intensive animal husbandry and associated activities such as wastewater lagoons and liquid/solid waste disposal areas are sited, designed, constructed and managed to not unreasonably impact on sensitive receivers in other ownership in terms of noise and air emissions.</p>	<p>DTS/DPF 1.3</p> <p>None are applicable.</p>
<p>PO 1.4</p> <p>Dairies and associated activities such as wastewater lagoons and liquid/solid waste disposal areas are sited, designed, constructed and managed to not unreasonably impact on sensitive receivers in other ownership in terms of noise and air emissions.</p>	<p>DTS/DPF 1.4</p> <p>Dairies, associated wastewater lagoon(s) and liquid/solid waste storage and disposal facilities are located 500m or more from the nearest sensitive receiver in other ownership.</p>
<p>PO 1.5</p> <p>Lagoons for the storage or treatment of milking shed effluent is adequately separated from roads to minimise impacts from odour on the general public.</p>	<p>DTS/DPF 1.5</p> <p>Lagoons for the storage or treatment of milking shed effluent are set back 20m or more from public roads.</p>
<small>Waste</small>	
<p>PO 2.1</p> <p>Storage of manure, used litter and other wastes (other than waste water lagoons) is sited, designed, constructed and managed to:</p> <ul style="list-style-type: none"> (a) avoid attracting and harbouring vermin (b) avoid polluting water resources (c) be located outside 1% AEP flood event areas. 	<p>DTS/DPF 2.1</p> <p>None are applicable.</p>
<small>Soil and Water Protection</small>	
<p>PO 3.1</p>	<p>DTS/DPF 3.1</p>

<p>To avoid environmental harm and adverse effects on water resources, intensive animal husbandry operations are appropriately set back from:</p> <p>(a) public water supply reservoirs (b) major watercourses (third order or higher stream) (c) any other watercourse, bore or well used for domestic or stock water supplies.</p>	<p>Intensive animal husbandry operations are set back:</p> <p>(a) 800m or more from a public water supply reservoir (b) 200m or more from a major watercourse (third order or higher stream) (c) 100m or more from any other watercourse, bore or well used for domestic or stock water supplies.</p>
<p>PO 3.2</p> <p>Intensive animal husbandry operations and dairies incorporate appropriately designed effluent and run-off facilities that:</p> <p>(a) have sufficient capacity to hold effluent and runoff from the operations on site (b) ensure effluent does not infiltrate and pollute groundwater, soil or other water resources.</p>	<p>DTS/DPF 3.2</p> <p>None are applicable.</p>

Interface between Land Uses

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Development is located and designed to mitigate adverse effects on or from neighbouring and proximate land uses.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature							
General Land Use Compatibility								
<p>PO 1.1</p> <p>Sensitive receivers are designed and sited to protect residents and occupants from adverse impacts generated by lawfully existing land uses (or lawfully approved land uses) and land uses desired in the zone.</p>	<p>DTS/DPF 1.1</p> <p>None are applicable.</p>							
<p>PO 1.2</p> <p>Development adjacent to a site containing a sensitive receiver (or lawfully approved sensitive receiver) or zone primarily intended to accommodate sensitive receivers is designed to minimise adverse impacts.</p>	<p>DTS/DPF 1.2</p> <p>None are applicable.</p>							
Hours of Operation								
<p>PO 2.1</p> <p>Non-residential development does not unreasonably impact the amenity of sensitive receivers (or lawfully approved sensitive receivers) or an adjacent zone primarily for sensitive receivers through its hours of operation having regard to:</p> <p>(a) the nature of the development (b) measures to mitigate off-site impacts (c) the extent to which the development is desired in the zone (d) measures that might be taken in an adjacent zone primarily for sensitive receivers that mitigate adverse impacts without unreasonably compromising the intended use of that land.</p>	<p>DTS/DPF 2.1</p> <p>Development operating within the following hours:</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 50%;">Class of Development</th> <th style="width: 50%;">Hours of operation</th> </tr> </thead> <tbody> <tr> <td rowspan="2">Consulting room</td> <td>7am to 9pm, Monday to Friday</td> </tr> <tr> <td>8am to 5pm, Saturday</td> </tr> <tr> <td>Office</td> <td>7am to 9pm, Monday to Friday</td> </tr> </tbody> </table>	Class of Development	Hours of operation	Consulting room	7am to 9pm, Monday to Friday	8am to 5pm, Saturday	Office	7am to 9pm, Monday to Friday
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Consulting room	7am to 9pm, Monday to Friday							
	8am to 5pm, Saturday							
Office	7am to 9pm, Monday to Friday							

		8am to 5pm, Saturday
	Shop, other than any one or combination of the following: (a) restaurant (b) cellar door in the Productive Rural Landscape Zone, Rural Zone or Rural Horticulture Zone	7am to 9pm, Monday to Friday 8am to 5pm, Saturday and Sunday

Overshadowing

<p>PO 3.1</p> <p>Overshadowing of habitable room windows of adjacent residential land uses in:</p> <p>a. a neighbourhood-type zone is minimised to maintain access to direct winter sunlight</p> <p>b. other zones is managed to enable access to direct winter sunlight.</p>	<p>DTS/DPF 3.1</p> <p>North-facing windows of habitable rooms of adjacent residential land uses in a neighbourhood-type zone receive at least 3 hours of direct sunlight between 9.00am and 3.00pm on 21 June.</p>
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<p>PO 3.2</p> <p>Overshadowing of the primary area of private open space or communal open space of adjacent residential land uses in:</p> <p>a. a neighbourhood type zone is minimised to maintain access to direct winter sunlight</p> <p>b. other zones is managed to enable access to direct winter sunlight.</p>	<p>DTS/DPF 3.2</p> <p>Development maintains 2 hours of direct sunlight between 9.00 am and 3.00 pm on 21 June to adjacent residential land uses in a neighbourhood-type zone in accordance with the following:</p> <p>a. for ground level private open space, the smaller of the following:</p> <p>i. half the existing ground level open space</p> <p>or</p> <p>ii. 35m² of the existing ground level open space (with at least one of the area's dimensions measuring 2.5m)</p> <p>b. for ground level communal open space, at least half of the existing ground level open space.</p>
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<p>PO 3.3</p> <p>Development does not unduly reduce the generating capacity of adjacent rooftop solar energy facilities taking into account:</p> <p>(a) the form of development contemplated in the zone</p> <p>(b) the orientation of the solar energy facilities</p> <p>(c) the extent to which the solar energy facilities are already overshadowed.</p>	<p>DTS/DPF 3.3</p> <p>None are applicable.</p>
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<p>PO 3.4</p> <p>Development that incorporates moving parts, including windmills and wind farms, are located and operated to not cause unreasonable nuisance to nearby dwellings and tourist accommodation caused by shadow flicker.</p>	<p>DTS/DPF 3.4</p> <p>None are applicable.</p>
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Activities Generating Noise or Vibration

<p>PO 4.1</p> <p>Development that emits noise (other than music) does not unreasonably impact the amenity of sensitive receivers (or lawfully approved sensitive receivers).</p>	<p>DTS/DPF 4.1</p> <p>Noise that affects sensitive receivers achieves the relevant Environment Protection (Noise) Policy criteria.</p>
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<p>PO 4.2</p> <p>Areas for the on-site manoeuvring of service and delivery vehicles, plant and equipment, outdoor work spaces (and the like) are designed and sited to not unreasonably impact the amenity of adjacent sensitive receivers (or lawfully approved sensitive receivers) and zones primarily intended to accommodate sensitive receivers due to noise and vibration by adopting techniques including:</p> <p>(a) locating openings of buildings and associated services away from the interface with the adjacent sensitive receivers and zones primarily intended to accommodate sensitive receivers</p>	<p>DTS/DPF 4.2</p> <p>None are applicable.</p>
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<p>(b) when sited outdoors, locating such areas as far as practicable from adjacent sensitive receivers and zones primarily intended to accommodate sensitive receivers</p> <p>(c) housing plant and equipment within an enclosed structure or acoustic enclosure</p> <p>(d) providing a suitable acoustic barrier between the plant and / or equipment and the adjacent sensitive receiver boundary or zone.</p>					
<p>PO 4.3</p> <p>Fixed plant and equipment in the form of pumps and/or filtration systems for a swimming pool or spa are positioned and/or housed to not cause unreasonable noise nuisance to adjacent sensitive receivers (or lawfully approved sensitive receivers).</p>	<p>DTS/DPF 4.3</p> <p>The pump and/or filtration system ancillary to a dwelling erected on the same site is:</p> <p>(a) enclosed in a solid acoustic structure located at least 5m from the nearest habitable room located on an adjoining allotment or</p> <p>(b) located at least 12m from the nearest habitable room located on an adjoining allotment.</p>				
<p>PO 4.4</p> <p>External noise into bedrooms is minimised by separating or shielding these rooms from service equipment areas and fixed noise sources located on the same or an adjoining allotment.</p>	<p>DTS/DPF 4.4</p> <p>Adjacent land is used for residential purposes.</p>				
<p>PO 4.5</p> <p>Outdoor areas associated with licensed premises (such as beer gardens or dining areas) are designed and/or sited to not cause unreasonable noise impact on existing adjacent sensitive receivers (or lawfully approved sensitive receivers).</p>	<p>DTS/DPF 4.5</p> <p>None are applicable.</p>				
<p>PO 4.6</p> <p>Development incorporating music achieves suitable acoustic amenity when measured at the boundary of an adjacent sensitive receiver (or lawfully approved sensitive receiver) or zone primarily intended to accommodate sensitive receivers.</p>	<p>DTS/DPF 4.6</p> <p>Development incorporating music includes noise attenuation measures that will achieve the following noise levels:</p> <table border="1" data-bbox="831 1010 1489 1245"> <thead> <tr> <th data-bbox="831 1010 1098 1081">Assessment location</th> <th data-bbox="1098 1010 1489 1081">Music noise level</th> </tr> </thead> <tbody> <tr> <td data-bbox="831 1081 1098 1245">Externally at the nearest existing or envisaged noise sensitive location</td> <td data-bbox="1098 1081 1489 1245">Less than 8dB above the level of background noise (L_{90,15min}) in any octave band of the sound spectrum (LOCT_{10,15} < LOCT_{90,15} + 8dB)</td> </tr> </tbody> </table>	Assessment location	Music noise level	Externally at the nearest existing or envisaged noise sensitive location	Less than 8dB above the level of background noise (L _{90,15min}) in any octave band of the sound spectrum (LOCT _{10,15} < LOCT _{90,15} + 8dB)
Assessment location	Music noise level				
Externally at the nearest existing or envisaged noise sensitive location	Less than 8dB above the level of background noise (L _{90,15min}) in any octave band of the sound spectrum (LOCT _{10,15} < LOCT _{90,15} + 8dB)				
<p>Air Quality</p>					
<p>PO 5.1</p> <p>Development with the potential to emit harmful or nuisance-generating air pollution incorporates air pollution control measures to prevent harm to human health or unreasonably impact the amenity of sensitive receivers (or lawfully approved sensitive receivers) within the locality and zones primarily intended to accommodate sensitive receivers.</p>	<p>DTS/DPF 5.1</p> <p>None are applicable.</p>				
<p>PO 5.2</p> <p>Development that includes chimneys or exhaust flues (including cafes, restaurants and fast food outlets) is designed to minimise nuisance or adverse health impacts to sensitive receivers (or lawfully approved sensitive receivers) by:</p> <p>(a) incorporating appropriate treatment technology before exhaust emissions are released</p> <p>(b) locating and designing chimneys or exhaust flues to maximise the dispersion of exhaust emissions, taking into account the location of sensitive receivers.</p>	<p>DTS/DPF 5.2</p> <p>None are applicable.</p>				
<p>Light Spill</p>					
<p>PO 6.1</p> <p>External lighting is positioned and designed to not cause unreasonable light spill impact on adjacent sensitive receivers (or lawfully approved sensitive receivers).</p>	<p>DTS/DPF 6.1</p> <p>None are applicable.</p>				
<p>PO 6.2</p>	<p>DTS/DPF 6.2</p>				

<p>External lighting is not hazardous to motorists and cyclists.</p>	<p>None are applicable.</p>
<p>Solar Reflectivity / Glare</p>	
<p>PO 7.1 Development is designed and comprised of materials and finishes that do not unreasonably cause a distraction to adjacent road users and pedestrian areas or unreasonably cause heat loading and micro-climatic impacts on adjacent buildings and land uses as a result of reflective solar glare.</p>	<p>DTS/DPF 7.1 None are applicable.</p>
<p>Electrical Interference</p>	
<p>PO 8.1 Development in rural and remote areas does not unreasonably diminish or result in the loss of existing communication services due to electrical interference.</p>	<p>DTS/DPF 8.1 The building or structure: (a) is no greater than 10m in height, measured from existing ground level or (b) is not within a line of sight between a fixed transmitter and fixed receiver (antenna) other than where an alternative service is available via a different fixed transmitter or cable.</p>
<p>Interface with Rural Activities</p>	
<p>PO 9.1 Sensitive receivers are located and designed to mitigate impacts from lawfully existing horticultural and farming activities (or lawfully approved horticultural and farming activities), including spray drift and noise and do not prejudice the continued operation of these activities.</p>	<p>DTS/DPF 9.1 None are applicable.</p>
<p>PO 9.2 Sensitive receivers are located and designed to mitigate potential impacts from lawfully existing intensive animal husbandry activities and do not prejudice the continued operation of these activities.</p>	<p>DTS/DPF 9.2 None are applicable.</p>
<p>PO 9.3 Sensitive receivers are located and designed to mitigate potential impacts from lawfully existing land-based aquaculture activities and do not prejudice the continued operation of these activities.</p>	<p>DTS/DPF 9.3 Sensitive receivers are located at least 200m from the boundary of a site used for land-based aquaculture and associated components in other ownership.</p>
<p>PO 9.4 Sensitive receivers are located and designed to mitigate potential impacts from lawfully existing dairies including associated wastewater lagoons and liquid/solid waste storage and disposal facilities and do not prejudice the continued operation of these activities.</p>	<p>DTS/DPF 9.4 Sensitive receivers are sited at least 500m from the boundary of a site used for a dairy and associated wastewater lagoon(s) and liquid/solid waste storage and disposal facilities in other ownership.</p>
<p>PO 9.5 Sensitive receivers are located and designed to mitigate the potential impacts from lawfully existing facilities used for the handling, transportation and storage of bulk commodities (recognising the potential for extended hours of operation) and do not prejudice the continued operation of these activities.</p>	<p>DTS/DPF 9.5 Sensitive receivers are located away from the boundary of a site used for the handling, transportation and/or storage of bulk commodities in other ownership in accordance with the following: (a) 300m or more, where it involves the handling of agricultural crop products, rock, ores, minerals, petroleum products or chemicals to or from any commercial storage facility (b) 300m or more, where it involves the handling of agricultural crop products, rock, ores, minerals, petroleum products or chemicals at a wharf or wharf side facility (including sea-port grain terminals) where the handling of these materials into or from vessels does not exceed 100 tonnes per day (c) 500m or more, where it involves the storage of bulk petroleum in individual containers with a capacity up to 200 litres and a total on-site storage capacity not exceeding 1000 cubic metres (d) 500m or more, where it involves the handling of coal with a capacity up to 1 tonne per day or a storage capacity up to 50 tonnes (e) 1000m or more, where it involves the handling of coal with a capacity exceeding 1 tonne per day but not exceeding 100 tonnes per day or a storage capacity exceeding 50 tonnes but not exceeding 5000 tonnes.</p>

<p>PO 9.6</p> <p>Setbacks and vegetation plantings along allotment boundaries should be incorporated to mitigate the potential impacts of spray drift and other impacts associated with agricultural and horticultural activities.</p>	<p>DTS/DPF 9.6</p> <p>None are applicable.</p>
<p>PO 9.7</p> <p>Urban development does not prejudice existing agricultural and horticultural activities through appropriate separation and design techniques.</p>	<p>DTS/DPF 9.7</p> <p>None are applicable.</p>
<p>Interface with Mines and Quarries (Rural and Remote Areas)</p>	
<p>PO 10.1</p> <p>Sensitive receivers are separated from existing mines to minimise the adverse impacts from noise, dust and vibration.</p>	<p>DTS/DPF 10.1</p> <p>Sensitive receivers are located no closer than 500m from the boundary of a Mining Production Tenement under the <i>Mining Act 1971</i>.</p>

Land Division

Assessment Provisions (AP)

Desired Outcome (DO)

<p style="text-align: center;">Desired Outcome</p>	
<p>DO 1</p>	<p>Land division:</p> <ul style="list-style-type: none"> (a) creates allotments with the appropriate dimensions and shape for their intended use (b) allows efficient provision of new infrastructure and the optimum use of underutilised infrastructure (c) integrates and allocates adequate and suitable land for the preservation of site features of value, including significant vegetation, watercourses, water bodies and other environmental features (d) facilitates solar access through allotment orientation (e) creates a compact urban form that supports active travel, walkability and the use of public transport (f) avoids areas of high natural hazard risk.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

<p style="text-align: center;">Performance Outcome</p>	<p style="text-align: center;">Deemed-to-Satisfy Criteria / Designated Performance Feature</p>
<p>All land division</p>	
<p>Allotment configuration</p>	
<p>PO 1.1</p> <p>Land division creates allotments suitable for their intended use.</p>	<p>DTS/DPF 1.1</p> <p>Division of land satisfies (a) or (b):</p> <ul style="list-style-type: none"> (a) reflects the site boundaries illustrated and approved in an operative or existing development authorisation for residential development under the <i>Development Act 1993</i> or <i>Planning, Development and Infrastructure Act 2016</i> where the allotments are used or are proposed to be used solely for residential purposes (b) is proposed as part of a combined land division application with deemed-to-satisfy dwellings on the proposed allotments.
<p>PO 1.2</p> <p>Land division considers the physical characteristics of the land, preservation of environmental and cultural features of value and the prevailing context of the locality.</p>	<p>DTS/DPF 1.2</p> <p>None are applicable.</p>
<p>Design and Layout</p>	

PO 2.1 Land division results in a pattern of development that minimises the likelihood of future earthworks and retaining walls.	DTS/DPF 2.1 None are applicable.
PO 2.2 Land division enables the appropriate management of interface impacts between potentially conflicting land uses and/or zones.	DTS/DPF 2.2 None are applicable.
PO 2.3 Land division maximises the number of allotments that face public open space and public streets.	DTS/DPF 2.3 None are applicable.
PO 2.4 Land division is integrated with site features, adjacent land uses, the existing transport network and available infrastructure.	DTS/DPF 2.4 None are applicable.
PO 2.5 Development and infrastructure is provided and staged in a manner that supports an orderly and economic provision of land, infrastructure and services.	DTS/DPF 2.5 None are applicable.
PO 2.6 Land division results in watercourses being retained within open space and development taking place on land not subject to flooding.	DTS/DPF 2.6 None are applicable.
PO 2.7 Land division results in legible street patterns connected to the surrounding street network.	DTS/DPF 2.7 None are applicable.
PO 2.8 Land division is designed to preserve existing vegetation of value including native vegetation and regulated and significant trees.	DTS/DPF 2.8 None are applicable.
Roads and Access	
PO 3.1 Land division provides allotments with access to an all-weather public road.	DTS/DPF 3.1 None are applicable.
PO 3.2 Street patterns and intersections are designed to enable the safe and efficient movement of pedestrian, cycle and vehicular traffic.	DTS/DPF 3.2 None are applicable.
PO 3.3 Land division does not impede access to publicly owned open space and/or recreation facilities.	DTS/DPF 3.3 None are applicable.
PO 3.4 Road reserves provide for safe and convenient movement and parking of projected volumes of vehicles and allow for the efficient movement of service and emergency vehicles.	DTS/DPF 3.4 None are applicable.
PO 3.5	DTS/DPF 3.5

Road reserves are designed to accommodate pedestrian and cycling infrastructure, street tree planting, landscaping and street furniture.	None are applicable.
PO 3.6 Road reserves accommodate stormwater drainage and public utilities.	DTS/DPF 3.6 None are applicable.
PO 3.7 Road reserves provide unobstructed vehicular access and egress to and from individual allotments and sites.	DTS/DPF 3.7 None are applicable.
PO 3.8 Roads, open space and thoroughfares provide safe and convenient linkages to the surrounding open space and transport network.	DTS/DPF 3.8 None are applicable.
PO 3.9 Public streets are designed to enable tree planting to provide shade and enhance the amenity of streetscapes.	DTS/DPF 3.9 None are applicable.
PO 3.10 Local streets are designed to create low-speed environments that are safe for cyclists and pedestrians.	DTS/DPF 3.10 None are applicable.
Infrastructure	
PO 4.1 Land division incorporates public utility services within road reserves or dedicated easements.	DTS/DPF 4.1 None are applicable.
PO 4.2 Waste water, sewage and other effluent is capable of being disposed of from each allotment without risk to public health or the environment.	DTS/DPF 4.2 Each allotment can be connected to: (a) a waste water treatment plant that has the hydraulic volume and pollutant load treatment and disposal capacity for the maximum predicted wastewater volume generated by subsequent development of the proposed allotment or (b) a form of on-site waste water treatment and disposal that meets relevant public health and environmental standards.
PO 4.3 Septic tank effluent drainage fields and other waste water disposal areas are maintained to ensure the effective operation of waste systems and minimise risks to human health and the environment.	DTS/DPF 4.3 Development is not built on, or encroaches within, an area that is or will be, required for a sewerage system or waste control system.
PO 4.4 Constructed wetland systems, including associated detention and retention basins, are sited and designed to ensure public health and safety is protected, including by minimising potential public health risks arising from the breeding of mosquitoes.	DTS/DPF 4.4 None are applicable.
PO 4.5 Constructed wetland systems, including associated detention and retention basins, are sited and designed to allow sediments to settle prior to discharge into watercourses or the marine environment.	DTS/DPF 4.5 None are applicable.
PO 4.6 Constructed wetland systems, including associated detention and retention basins,	DTS/DPF 4.6 None are applicable.

are sited and designed to function as a landscape feature.	
Minor Land Division (Under 20 Allotments)	
Open Space	
<p>PO 5.1</p> <p>Land division proposing an additional allotment under 1 hectare provides or supports the provision of open space.</p>	<p>DTS/DPF 5.1</p> <p>None are applicable.</p>
Solar Orientation	
<p>PO 6.1</p> <p>Land division for residential purposes facilitates solar access through allotment orientation.</p>	<p>DTS/DPF 6.1</p> <p>None are applicable.</p>
Water Sensitive Design	
<p>PO 7.1</p> <p>Land division creating a new road or common driveway includes stormwater management systems that minimise the discharge of sediment, suspended solids, organic matter, nutrients, bacteria, litter and other contaminants to the stormwater system, watercourses or other water bodies.</p>	<p>DTS/DPF 7.1</p> <p>None are applicable.</p>
<p>PO 7.2</p> <p>Land division designed to mitigate peak flows and manage the rate and duration of stormwater discharges from the site to ensure that the development does not increase the peak flows in downstream systems.</p>	<p>DTS/DPF 7.2</p> <p>None are applicable.</p>
Battle-Axe Development	
<p>PO 8.1</p> <p>Battle-axe development appropriately responds to the existing neighbourhood context.</p>	<p>DTS/DPF 8.1</p> <p>Allotments are not in the form of a battle-axe arrangement.</p>
<p>PO 8.2</p> <p>Battle-axe development designed to allow safe and convenient movement.</p>	<p>DTS/DPF 8.2</p> <p>The handle of a battle-axe development:</p> <ul style="list-style-type: none"> (a) has a minimum width of 4m or (b) where more than 3 allotments are proposed, a minimum width of 5.5m.
<p>PO 8.3</p> <p>Battle-axe allotments and/or common land are of a suitable size and dimension to allow passenger vehicles to enter and exit and manoeuvre within the site in a safe and convenient manner.</p>	<p>DTS/DPF 8.3</p> <p>Battle-axe development allows a B85 passenger vehicle to enter and exit parking spaces in no more than a three-point turn manoeuvre.</p>
<p>PO 8.4</p> <p>Battle-axe or common driveways incorporate landscaping and permeability to improve appearance and assist in stormwater management.</p>	<p>DTS/DPF 8.4</p> <p>Battle-axe or common driveways satisfy (a) and (b):</p> <ul style="list-style-type: none"> (a) are constructed of a minimum of 50% permeable or porous material (b) where the driveway is located directly adjacent the side or rear boundary of the site, soft landscaping with a minimum dimension of 1m is provided between the driveway and site boundary (excluding along the perimeter of a passing point).
Major Land Division (20+ Allotments)	
Open Space	
<p>PO 9.1</p> <p>Land division allocates or retains evenly distributed, high quality areas of open space to improve residential amenity and provide urban heat amelioration.</p>	<p>DTS/DPF 9.1</p> <p>None are applicable.</p>

<p>PO 9.2</p> <p>Land allocated for open space is suitable for its intended active and passive recreational use considering gradient and potential for inundation.</p>	<p>DTS/DPF 9.2</p> <p>None are applicable.</p>
<p>PO 9.3</p> <p>Land allocated for active recreation has dimensions capable of accommodating a range of active recreational activities.</p>	<p>DTS/DPF 9.3</p> <p>None are applicable.</p>
<p>Water Sensitive Design</p>	
<p>PO 10.1</p> <p>Land division creating 20 or more allotments includes a stormwater management system designed to mitigate peak flows and manage the rate and duration of stormwater discharges from the site to ensure that the development does not increase the peak flows in downstream systems.</p>	<p>DTS/DPF 10.1</p> <p>None are applicable.</p>
<p>PO 10.2</p> <p>Land division creating 20 or more allotments includes stormwater management systems that minimise the discharge of sediment, suspended solids, organic matter, nutrients, bacteria, litter and other contaminants to the stormwater system, watercourses or other water bodies.</p>	<p>DTS/DPF 10.2</p> <p>None are applicable.</p>
<p>Solar Orientation</p>	
<p>PO 11.1</p> <p>Land division creating 20 or more allotments for residential purposes facilitates solar access through allotment orientation and allotment dimensions.</p>	<p>DTS/DPF 11.1</p> <p>None are applicable.</p>

Marinas and On-Water Structures

Assessment Provisions (AP)

Desired Outcome (DO)

<p style="text-align: center;">Desired Outcome</p>	
<p>DO 1</p>	<p>Marinas and on-water structures are located and designed to minimise the impairment of commercial, recreational and navigational activities and adverse impacts on the environment.</p>

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

<p style="text-align: center;">Performance Outcome</p>	<p style="text-align: center;">Deemed-to-Satisfy Criteria / Designated Performance Feature</p>
<p>Navigation and Safety</p>	
<p>PO 1.1</p> <p>Safe public access is provided or maintained to the waterfront, public infrastructure and recreation areas.</p>	<p>DTS/DPF 1.1</p> <p>None are applicable.</p>
<p>PO 1.2</p>	<p>DTS/DPF 1.2</p>

The operation of wharves is not impaired by marinas and on-water structures.	None are applicable.
PO 1.3 Navigation and access channels are not impaired by marinas and on-water structures.	DTS/DPF 1.3 None are applicable.
PO 1.4 Commercial shipping lanes are not impaired by marinas and on-water structures.	DTS/DPF 1.4 Marinas and on-water structures are set back 250m or more from commercial shipping lanes.
PO 1.5 Marinas and on-water structures are located to avoid interfering with the operation or function of a water supply pumping station.	DTS/DPF 1.5 On-water structures are set back: (a) 3km or more from upstream water supply pumping station take-off points (b) 500m or more from downstream water supply pumping station take-off points.
PO 1.6 Maintenance of on-water infrastructure, including revetment walls, is not impaired by marinas and on-water structures.	DTS/DPF 1.6 None are applicable.
Environmental Protection	
PO 2.1 Development is sited and designed to facilitate water circulation and exchange.	DTS/DPF 2.1 None are applicable.

Open Space and Recreation

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Pleasant, functional and accessible open space and recreation facilities are provided at State, regional, district, neighbourhood and local levels for active and passive recreation, biodiversity, community health, urban cooling, tree canopy cover, visual amenity, gathering spaces, wildlife and waterway corridors, and a range of other functions and at a range of sizes that reflect the purpose of that open space.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Land Use and Intensity	
PO 1.1 Recreation facilities are compatible with surrounding land uses and activities.	DTS/DPF 1.1 None are applicable.
PO 1.2 Open space areas include natural or landscaped areas using locally indigenous plant species and large trees.	DTS/DPF 1.2 None are applicable.

Design and Sitting	
<p>PO 2.1</p> <p>Open space and recreation facilities address adjacent public roads to optimise pedestrian access and visibility.</p>	<p>DTS/DPF 2.1</p> <p>None are applicable.</p>
<p>PO 2.2</p> <p>Open space and recreation facilities incorporate park furniture, shaded areas and resting places.</p>	<p>DTS/DPF 2.2</p> <p>None are applicable.</p>
<p>PO 2.3</p> <p>Open space and recreation facilities link habitats, wildlife corridors and existing open spaces and recreation facilities.</p>	<p>DTS/DPF 2.3</p> <p>None are applicable.</p>
Pedestrians and Cyclists	
<p>PO 3.1</p> <p>Open space incorporates:</p> <p>(a) pedestrian and cycle linkages to other open spaces, centres, schools and public transport nodes;</p> <p>(b) safe crossing points where pedestrian routes intersect the road network;</p> <p>(c) easily identified access points.</p>	<p>DTS/DPF 3.1</p> <p>None are applicable.</p>
Usability	
<p>PO 4.1</p> <p>Land allocated for open space is suitable for its intended active and passive recreational use taking into consideration its gradient and potential for inundation.</p>	<p>DTS/DPF 4.1</p> <p>None are applicable.</p>
Safety and Security	
<p>PO 5.1</p> <p>Open space is overlooked by housing, commercial or other development to provide casual surveillance where possible.</p>	<p>DTS/DPF 5.1</p> <p>None are applicable.</p>
<p>PO 5.2</p> <p>Play equipment is located to maximise opportunities for passive surveillance.</p>	<p>DTS/DPF 5.2</p> <p>None are applicable.</p>
<p>PO 5.3</p> <p>Landscaping provided in open space and recreation facilities maximises opportunities for casual surveillance throughout the park.</p>	<p>DTS/DPF 5.3</p> <p>None are applicable.</p>
<p>PO 5.4</p> <p>Fenced parks and playgrounds have more than one entrance or exit to minimise potential entrapment.</p>	<p>DTS/DPF 5.4</p> <p>None are applicable.</p>
<p>PO 5.5</p> <p>Adequate lighting is provided around toilets, telephones, seating, litter bins, bicycle storage, car parks and other such facilities.</p>	<p>DTS/DPF 5.5</p> <p>None are applicable.</p>
<p>PO 5.6</p> <p>Pedestrian and bicycle movement after dark is focused along clearly defined, adequately lit routes with observable entries and exits.</p>	<p>DTS/DPF 5.6</p> <p>None are applicable.</p>

Signage	
<p>PO 6.1</p> <p>Signage is provided at entrances to and within the open space and recreation facilities to provide clear orientation to major points of interest such as the location of public toilets, telephones, safe routes, park activities and the like.</p>	<p>DTS/DPF 6.1</p> <p>None are applicable.</p>
Buildings and Structures	
<p>PO 7.1</p> <p>Buildings and car parking areas in open space areas are designed, located and of a scale to be unobtrusive.</p>	<p>DTS/DPF 7.1</p> <p>None are applicable.</p>
<p>PO 7.2</p> <p>Buildings and structures in open space areas are clustered where practical to ensure that the majority of the site remains open.</p>	<p>DTS/DPF 7.2</p> <p>None are applicable.</p>
<p>PO 7.3</p> <p>Development in open space is constructed to minimise the extent of impervious surfaces.</p>	<p>DTS/DPF 7.3</p> <p>None are applicable.</p>
<p>PO 7.4</p> <p>Development that abuts or includes a coastal reserve or Crown land used for scenic, conservation or recreational purposes is located and designed to have regard to the purpose, management and amenity of the reserve.</p>	<p>DTS/DPF 7.4</p> <p>None are applicable.</p>
Landscaping	
<p>PO 8.1</p> <p>Open space and recreation facilities provide for the planting and retention of large trees and vegetation.</p>	<p>DTS/DPF 8.1</p> <p>None are applicable.</p>
<p>PO 8.2</p> <p>Landscaping in open space and recreation facilities provides shade and windbreaks:</p> <p>(a) along cyclist and pedestrian routes; (b) around picnic and barbecue areas; (c) in car parking areas.</p>	<p>DTS/DPF 8.2</p> <p>None are applicable.</p>
<p>PO 8.3</p> <p>Landscaping in open space facilitates habitat for local fauna and facilitates biodiversity.</p>	<p>DTS/DPF 8.3</p> <p>None are applicable.</p>
<p>PO 8.4</p> <p>Landscaping including trees and other vegetation passively watered with local rainfall run-off, where practicable.</p>	<p>DTS/DPF 8.4</p> <p>None are applicable.</p>

Out of Activity Centre Development

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO1	The role of Activity Centres in contributing to the form and pattern of development and enabling equitable and convenient access to a range of shopping, administrative, cultural, entertainment and other facilities in a single trip is maintained and reinforced.

Performance Outcomes and Deemed to Satisfy / Designated Performance Outcome Criteria

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
<p>PO 1.1</p> <p>Non-residential development outside Activity Centres of a scale and type that does not diminish the role of Activity Centres:</p> <ul style="list-style-type: none"> (a) as primary locations for shopping, administrative, cultural, entertainment and community services (b) as a focus for regular social and business gatherings (c) in contributing to or maintaining a pattern of development that supports equitable community access to services and facilities. 	<p>DTS/DPF 1.1</p> <p>None are applicable.</p>
<p>PO 1.2</p> <p>Out-of-activity centre non-residential development complements Activity Centres through the provision of services and facilities:</p> <ul style="list-style-type: none"> (a) that support the needs of local residents and workers, particularly in underserved locations at the edge of Activities Centres where they cannot readily be accommodated within an existing Activity Centre to expand the range of services on offer and support the role of the Activity Centre. (b) 	<p>DTS/DPF 1.2</p> <p>None are applicable.</p>

Resource Extraction

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Resource extraction activities are developed in a manner that minimises human and environmental impacts.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Land Use and Intensity	
<p>PO 1.1</p> <p>Resource extraction activities minimise landscape damage outside of those areas unavoidably disturbed to access and exploit a resource and provide for the progressive reclamation and betterment of disturbed areas.</p>	<p>DTS/DPF 1.1</p> <p>None are applicable.</p>
<p>PO 1.2</p> <p>Resource extraction activities avoid damage to cultural sites or artefacts.</p>	<p>DTS/DPF 1.2</p> <p>None are applicable.</p>
Water Quality	
<p>PO 2.1</p>	<p>DTS/DPF 2.1</p>

Stormwater and/or wastewater from resource extraction activities is diverted into appropriately sized treatment and retention systems to enable reuse on site.	None are applicable.
Separation Treatments, Buffers and Landscaping	
PO 3.1 Resource extraction activities minimise adverse impacts upon sensitive receivers through incorporation of separation distances and/or mounding/vegetation.	DTS/DPF 3.1 None are applicable.
PO 3.2 Resource extraction activities are screened from view from adjacent land by perimeter landscaping and/or mounding.	DTS/DPF 3.2 None are applicable.

Site Contamination

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Ensure land is suitable for the proposed use in circumstances where it is, or may have been, subject to site contamination.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
PO 1.1 Ensure land is suitable for use when land use changes to a more sensitive use.	DTS/DPF 1.1 Development satisfies (a), (b), (c) or (d): (a) does not involve a change in the use of land (b) involves a change in the use of land that does not constitute a change to a more sensitive use (c) involves a change in the use of land to a more sensitive use on land at which site contamination is unlikely to exist (as demonstrated in a site contamination declaration form) (d) involves a change in the use of land to a more sensitive use on land at which site contamination exists, or may exist (as demonstrated in a site contamination declaration form), and satisfies both of the following: (i) a site contamination audit report has been prepared under Part 10A of the <i>Environment Protection Act 1993</i> in relation to the land within the previous 5 years which states that- A. site contamination does not exist (or no longer exists) at the land or B. the land is suitable for the proposed use or range of uses (without the need for any further remediation) or C. where remediation is, or remains, necessary for the proposed use (or range of uses), remediation work has been carried out or will be carried out (and the applicant has provided a written undertaking that the remediation works will be implemented in association with the development) and (ii) no other class 1 activity or class 2 activity has taken place at the land since the preparation of the site contamination audit report (as demonstrated in a site contamination declaration form).

Tourism Development

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Tourism development is built in locations that cater to the needs of visitors and positively contributes to South Australia's visitor economy.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
<small>General</small>	
<p>PO 1.1</p> <p>Tourism development complements and contributes to local, natural, cultural or historical context where:</p> <ul style="list-style-type: none"> (a) it supports immersive natural experiences (b) it showcases South Australia's landscapes and produce (c) its events and functions are connected to local food, wine and nature. 	<p>DTS/DPF 1.1</p> <p>None are applicable.</p>
<p>PO 1.2</p> <p>Tourism development comprising multiple accommodation units (including any facilities and activities for use by guests and visitors) is clustered to minimise environmental and contextual impact.</p>	<p>DTS/DPF 1.2</p> <p>None are applicable.</p>
<small>Caravan and Tourist Parks</small>	
<p>PO 2.1</p> <p>Potential conflicts between long-term residents and short-term tourists are minimised through suitable siting and design measures.</p>	<p>DTS/DPF 2.1</p> <p>None are applicable.</p>
<p>PO 2.2</p> <p>Occupants are provided privacy and amenity through landscaping and fencing.</p>	<p>DTS/DPF 2.2</p> <p>None are applicable.</p>
<p>PO 2.3</p> <p>Communal open space and centrally located recreation facilities are provided for guests and visitors.</p>	<p>DTS/DPF 2.3</p> <p>12.5% or more of a caravan park comprises clearly defined communal open space, landscaped areas and areas for recreation.</p>
<p>PO 2.4</p> <p>Perimeter landscaping is used to enhance the amenity of the locality.</p>	<p>DTS/DPF 2.4</p> <p>None are applicable.</p>
<p>PO 2.5</p> <p>Amenity blocks (showers, toilets, laundry and kitchen facilities) are sufficient to serve the full occupancy of the development.</p>	<p>DTS/DPF 2.5</p> <p>None are applicable.</p>
<p>PO 2.6</p> <p>Long-term occupation does not displace tourist accommodation, particularly in important tourist destinations such as coastal and riverine locations.</p>	<p>DTS/DPF 2.6</p> <p>None are applicable.</p>
<small>Tourist accommodation in areas constituted under the National Parks and Wildlife Act 1972</small>	
<p>PO 3.1</p>	<p>DTS/DPF 3.1</p>

Tourist accommodation avoids delicate or environmentally sensitive areas such as sand dunes, cliff tops, estuaries, wetlands or substantially intact strata of native vegetation (including regenerated areas of native vegetation lost through bushfire).	None are applicable.
PO 3.2 Tourist accommodation is sited and designed in a manner that is subservient to the natural environment and where adverse impacts on natural features, landscapes, habitats and cultural assets are avoided.	DTS/DPF 3.2 None are applicable.
PO 3.3 Tourist accommodation and recreational facilities, including associated access ways and ancillary structures, are located on cleared (other than where cleared as a result of bushfire) or degraded areas or where environmental improvements can be achieved.	DTS/DPF 3.3 None are applicable.
PO 3.4 Tourist accommodation is designed to prevent conversion to private dwellings through: (a) comprising a minimum of 10 accommodation units (b) clustering separated individual accommodation units (c) being of a size unsuitable for a private dwelling (d) ensuring functional areas that are generally associated with a private dwelling such as kitchens and laundries are excluded from, or physically separated from individual accommodation units, or are of a size unsuitable for a private dwelling.	DTS/DPF 3.4 None are applicable.

Transport, Access and Parking

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	A comprehensive, integrated and connected transport system that is safe, sustainable, efficient, convenient and accessible to all users.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Movement Systems	
PO 1.1 Development is integrated with the existing transport system and designed to minimise its potential impact on the functional performance of the transport system.	DTS/DPF 1.1 None are applicable.
PO 1.2 Development is designed to discourage commercial and industrial vehicle movements through residential streets and adjacent other sensitive receivers.	DTS/DPF 1.2 None are applicable.
PO 1.3 Industrial, commercial and service vehicle movements, loading areas and	DTS/DPF 1.3 None are applicable.

<p>designated parking spaces are separated from passenger vehicle car parking areas to ensure efficient and safe movement and minimise potential conflict.</p>	
<p>PO 1.4</p> <p>Development is sited and designed so that loading, unloading and turning of all traffic avoids interrupting the operation of and queuing on public roads and pedestrian paths.</p>	<p>DTS/DPF 1.4</p> <p>All vehicle manoeuvring occurs onsite.</p>
<p>Sightlines</p>	
<p>PO 2.1</p> <p>Sightlines at intersections, pedestrian and cycle crossings, and crossovers to allotments for motorists, cyclists and pedestrians are maintained or enhanced to ensure safety for all road users and pedestrians.</p>	<p>DTS/DPF 2.1</p> <p>None are applicable.</p>
<p>PO 2.2</p> <p>Walls, fencing and landscaping adjacent to driveways and corner sites are designed to provide adequate sightlines between vehicles and pedestrians.</p>	<p>DTS/DPF 2.2</p> <p>None are applicable.</p>
<p>Vehicle Access</p>	
<p>PO 3.1</p> <p>Safe and convenient access minimises impact or interruption on the operation of public roads.</p>	<p>DTS/DPF 3.1</p> <p>The access is:</p> <ul style="list-style-type: none"> (a) provided via a lawfully existing or authorised driveway or access point or an access point for which consent has been granted as part of an application for the division of land or (b) not located within 6m of an intersection of 2 or more roads or a pedestrian activated crossing.
<p>PO 3.2</p> <p>Development incorporating vehicular access ramps ensures vehicles can enter and exit a site safely and without creating a hazard to pedestrians and other vehicular traffic.</p>	<p>DTS/DPF 3.2</p> <p>None are applicable.</p>
<p>PO 3.3</p> <p>Access points are sited and designed to accommodate the type and volume of traffic likely to be generated by the development or land use.</p>	<p>DTS/DPF 3.3</p> <p>None are applicable.</p>
<p>PO 3.4</p> <p>Access points are sited and designed to minimise any adverse impacts on neighbouring properties.</p>	<p>DTS/DPF 3.4</p> <p>None are applicable.</p>
<p>PO 3.5</p> <p>Access points are located so as not to interfere with street trees, existing street furniture (including directional signs, lighting, seating and weather shelters) or infrastructure services to maintain the appearance of the streetscape, preserve local amenity and minimise disruption to utility infrastructure assets.</p>	<p>DTS/DPF 3.5</p> <p>Vehicle access to designated car parking spaces satisfy (a) or (b):</p> <ul style="list-style-type: none"> (a) is provided via a lawfully existing or authorised access point or an access point for which consent has been granted as part of an application for the division of land (b) where newly proposed, is set back: <ul style="list-style-type: none"> (i) 0.5m or more from any street furniture, street pole, infrastructure services pit, or other stormwater or utility infrastructure unless consent is provided from the asset owner (ii) 2m or more from the base of the trunk of a street tree unless consent is provided from the tree owner for a lesser distance (iii) 6m or more from the tangent point of an intersection of 2 or more roads (iv) outside of the marked lines or infrastructure dedicating a pedestrian crossing.
<p>PO 3.6</p> <p>Driveways and access points are separated and minimised in number to optimise the provision of on-street visitor parking (where on-street parking is appropriate).</p>	<p>DTS/DPF 3.6</p> <p>Driveways and access points:</p> <ul style="list-style-type: none"> (a) for sites with a frontage to a public road of 20m or less, one access point no greater than 3.5m in width is provided (b) for sites with a frontage to a public road greater than 20m:

	<p>(i) a single access point no greater than 6m in width is provided or (ii) not more than two access points with a width of 3.5m each are provided.</p>
<p>PO 3.7</p> <p>Access points are appropriately separated from level crossings to avoid interference and ensure their safe ongoing operation.</p>	<p>DTS/DPF 3.7</p> <p>Development does not involve a new or modified access or cause an increase in traffic through an existing access that is located within the following distance from a railway crossing:</p> <p>(a) 80 km/h road - 110m (b) 70 km/h road - 90m (c) 60 km/h road - 70m (d) 50km/h or less road - 50m.</p>
<p>PO 3.8</p> <p>Driveways, access points, access tracks and parking areas are designed and constructed to allow adequate movement and manoeuvrability having regard to the types of vehicles that are reasonably anticipated.</p>	<p>DTS/DPF 3.8</p> <p>None are applicable.</p>
<p>PO 3.9</p> <p>Development is designed to ensure vehicle circulation between activity areas occurs within the site without the need to use public roads.</p>	<p>DTS/DPF 3.9</p> <p>None are applicable.</p>
<p>Access for People with Disabilities</p>	
<p>PO 4.1</p> <p>Development is sited and designed to provide safe, dignified and convenient access for people with a disability.</p>	<p>DTS/DPF 4.1</p> <p>None are applicable.</p>
<p>Vehicle Parking Rates</p>	
<p>PO 5.1</p> <p>Sufficient on-site vehicle parking and specifically marked accessible car parking places are provided to meet the needs of the development or land use having regard to factors that may support a reduced on-site rate such as:</p> <p>(a) availability of on-street car parking (b) shared use of other parking areas (c) in relation to a mixed-use development, where the hours of operation of commercial activities complement the residential use of the site, the provision of vehicle parking may be shared (d) the adaptive reuse of a State or Local Heritage Place.</p>	<p>DTS/DPF 5.1</p> <p>Development provides a number of car parking spaces on-site at a rate no less than the amount calculated using one of the following, whichever is relevant:</p> <p>(a) Transport, Access and Parking Table 2 - Off-Street Vehicle Parking Requirements in Designated Areas if the development is a class of development listed in Table 2 and the site is in a Designated Area (b) Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements where (a) does not apply (c) if located in an area where a lawfully established carparking fund operates, the number of spaces calculated under (a) or (b) less the number of spaces offset by contribution to the fund.</p>
<p>Vehicle Parking Areas</p>	
<p>PO 6.1</p> <p>Vehicle parking areas are sited and designed to minimise impact on the operation of public roads by avoiding the use of public roads when moving from one part of a parking area to another.</p>	<p>DTS/DPF 6.1</p> <p>Movement between vehicle parking areas within the site can occur without the need to use a public road.</p>
<p>PO 6.2</p> <p>Vehicle parking areas are appropriately located, designed and constructed to minimise impacts on adjacent sensitive receivers through measures such as ensuring they are attractively developed and landscaped, screen fenced, and the like.</p>	<p>DTS/DPF 6.2</p> <p>None are applicable.</p>
<p>PO 6.3</p> <p>Vehicle parking areas are designed to provide opportunity for integration and shared-use of adjacent car parking areas to reduce the total extent of vehicle parking areas and access points.</p>	<p>DTS/DPF 6.3</p> <p>None are applicable.</p>

<p>PO 6.4</p> <p>Pedestrian linkages between parking areas and the development are provided and are safe and convenient.</p>	<p>DTS/DPF 6.4</p> <p>None are applicable.</p>
<p>PO 6.5</p> <p>Vehicle parking areas that are likely to be used during non-daylight hours are provided with sufficient lighting to entry and exit points to ensure clear visibility to users.</p>	<p>DTS/DPF 6.5</p> <p>None are applicable.</p>
<p>PO 6.6</p> <p>Loading areas and designated parking spaces for service vehicles are provided within the boundary of the site.</p>	<p>DTS/DPF 6.6</p> <p>Loading areas and designated parking spaces are wholly located within the site.</p>
<p>PO 6.7</p> <p>On-site visitor parking spaces are sited and designed to be accessible to all visitors at all times.</p>	<p>DTS/DPF 6.7</p> <p>None are applicable.</p>
<p>Undercroft and Below Ground Garaging and Parking of Vehicles</p>	
<p>PO 7.1</p> <p>Undercroft and below ground garaging of vehicles is designed to enable safe entry and exit from the site without compromising pedestrian or cyclist safety or causing conflict with other vehicles.</p>	<p>DTS/DPF 7.1</p> <p>None are applicable.</p>
<p>Internal Roads and Parking Areas in Residential Parks and Caravan and Tourist Parks</p>	
<p>PO 8.1</p> <p>Internal road and vehicle parking areas are surfaced to prevent dust becoming a nuisance to park residents and occupants.</p>	<p>DTS/DPF 8.1</p> <p>None are applicable.</p>
<p>PO 8.2</p> <p>Traffic circulation and movement within the park is pedestrian friendly and promotes low speed vehicle movement.</p>	<p>DTS/DPF 8.2</p> <p>None are applicable.</p>
<p>Bicycle Parking in Designated Areas</p>	
<p>PO 9.1</p> <p>The provision of adequately sized on-site bicycle parking facilities encourages cycling as an active transport mode.</p>	<p>DTS/DPF 9.1</p> <p>Areas and / or fixtures are provided for the parking and storage of bicycles at a rate not less than the amount calculated using Transport, Access and Parking Table 3 - Off Street Bicycle Parking Requirements.</p>
<p>PO 9.2</p> <p>Bicycle parking facilities provide for the secure storage and tethering of bicycles in a place where casual surveillance is possible, is well lit and signed for the safety and convenience of cyclists and deters property theft.</p>	<p>DTS/DPF 9.2</p> <p>None are applicable.</p>
<p>PO 9.3</p> <p>Non-residential development incorporates end-of-journey facilities for employees such as showers, changing facilities and secure lockers, and signage indicating the location of the facilities to encourage cycling as a mode of journey-to-work transport.</p>	<p>DTS/DPF 9.3</p> <p>None are applicable.</p>
<p>Corner Cut-Offs</p>	
<p>PO 10.1</p>	<p>DTS/DPF 10.1</p>

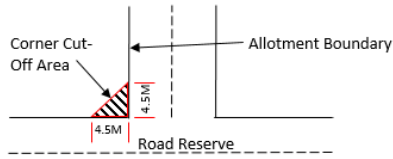
<p>Development is located and designed to ensure drivers can safely turn into and out of public road junctions.</p>	<p>Development does not involve building work, or building work is located wholly outside the land shown as Corner Cut-Off Area in the following diagram:</p> 
<p>Heavy Vehicle Parking</p>	
<p>PO 11.1</p> <p>Heavy vehicle parking and access is designed and sited so that the activity does not result in nuisance to adjoining neighbours as a result of dust, fumes, vibration, odour or potentially hazardous loads.</p>	<p>DTS/DPF 11.1</p> <p>Heavy vehicle parking occurs in accordance with the following:</p> <ul style="list-style-type: none"> (a) the site is not located within a Neighbourhood-type zone (except a Rural Living Zone) (b) the site is a minimum of 0.4 ha (c) where the site is 2 ha or more, no more than 2 vehicles exceeding 3,000 kilograms each (and trailers) are to be parked on the allotment at any time (d) where the site is between 0.4 ha and 2 ha, only one vehicle exceeding 3,000 kilograms (and one trailer) are to be parking on the allotment at any time (e) the vehicle parking area achieves the following setbacks: <ul style="list-style-type: none"> (i) behind the building line or 30m, whichever is greater (ii) 20m from the secondary street if it is a State Maintained Road (iii) 10m from the secondary street if it is a local road (iv) 10m from side and rear boundaries (f) parking and access areas (including internal driveways) should be sealed or have a surface that can be treated and maintained to minimise dust and mud nuisance (g) does not include refrigerated trailers or vehicles (h) vehicles only enter and exit the property in accordance with the following hours: <ul style="list-style-type: none"> (i) Monday to Saturday 6:00am and 9:30pm (ii) Sunday and public holidays between 9:30 am and 7:00 pm (i) the handling or trans-shipment of freight is not carried out on the property.
<p>PO 11.2</p> <p>Heavy vehicle parking ensures that vehicles can enter and exit a site safely and without creating a hazard to pedestrians and other vehicular traffic.</p>	<p>DTS/DPF 11.2</p> <p>Heavy vehicles:</p> <ul style="list-style-type: none"> (a) can enter and exit the site in a forward direction; and (b) operate within the statutory mass and dimension limited for General Access Vehicles (as prescribed by the National Heavy Vehicle Regulator).
<p>PO 11.3</p> <p>Heavy vehicle parking is screened through siting behind buildings, screening, landscaping or the like to obscure views from adjoining properties and public roads.</p>	<p>DTS/DPF 11.3</p> <p>None are applicable.</p>

Table 1 - General Off-Street Car Parking Requirements

The following parking rates apply and if located in an area where a lawfully established carparking fund operates, the number of spaces is reduced by an amount equal to the number of spaces offset by contribution to the fund.

<p>Class of Development</p>	<p>Car Parking Rate (unless varied by Table 2 onwards)</p> <p>Where a development comprises more than one development type, then the overall car parking rate will be taken to be the sum of the car parking rates for each development type.</p>
<p>Residential Development</p>	
<p>Detached Dwelling</p>	<p>Dwelling with 1 bedroom (including rooms capable of being used as a bedroom) - 1 space per dwelling.</p> <p>Dwelling with 2 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.</p>
<p>Group Dwelling</p>	<p>Dwelling with 1 or 2 bedrooms (including rooms capable of being used as a bedroom) - 1 space per</p>

	dwelling. Dwelling with 3 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered. 0.33 spaces per dwelling for visitor parking where development involves 3 or more dwellings.
Residential Flat Building	Dwelling with 1 or 2 bedrooms (including rooms capable of being used as a bedroom) - 1 space per dwelling. Dwelling with 3 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered. 0.33 spaces per dwelling for visitor parking where development involves 3 or more dwellings.
Row Dwelling where vehicle access is from the primary street	Dwelling with 1 bedroom (including rooms capable of being used as a bedroom) - 1 space per dwelling. Dwelling with 2 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.
Row Dwelling where vehicle access is not from the primary street (i.e. rear-loaded)	Dwelling with 1 or 2 bedrooms (including rooms capable of being used as a bedroom) - 1 space per dwelling. Dwelling with 3 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.
Semi-Detached Dwelling	Dwelling with 1 bedroom (including rooms capable of being used as a bedroom) - 1 space per dwelling. Dwelling with 2 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.
Aged / Supported Accommodation	
Retirement facility	Dwelling with 1 or 2 bedrooms (including rooms capable of being used as a bedroom) - 1 space per dwelling. Dwelling with 3 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling. 0.2 spaces per dwelling for visitor parking.
Supported accommodation	0.3 spaces per bed.
Residential Development (Other)	
Ancillary accommodation	No additional requirements beyond those associated with the main dwelling.
Residential park	Dwelling with 1 or 2 bedrooms (including rooms capable of being used as a bedroom) - 1 space per dwelling. Dwelling with 3 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling. 0.2 spaces per dwelling for visitor parking.
Student accommodation	0.3 spaces per bed.
Workers' accommodation	0.5 spaces per bed plus 0.2 spaces per bed for visitor parking.
Tourist	
Caravan and tourist park	Parks with 100 sites or less - a minimum of 1 space per 10 sites to be used for accommodation. Parks with more than 100 sites - a minimum of 1 space per 15 sites used for accommodation. A minimum of 1 space for every caravan (permanently fixed to the ground) or cabin.
Tourist accommodation other than a caravan and tourist park	1 car parking space per accommodation unit / guest room.
Commercial Uses	
Auction room/ depot	1 space per 100m ² of building floor area plus an additional 2 spaces.
Automotive collision repair	3 spaces per service bay.
Motor repair station	3 spaces per service bay.
Office	For a call centre, 8 spaces per 100m ² of gross leasable floor area In all other cases, 4 spaces per 100m ² of gross leasable floor area.
Retail fuel outlet	3 spaces per 100m ² gross leasable floor area.
Service trade premises	2.5 spaces per 100m ² of gross leasable floor area 1 space per 100m ² of outdoor area used for display purposes.
Shop (no commercial kitchen)	5.5 spaces per 100m ² of gross leasable floor area where not located in an integrated complex containing two or more tenancies (and which may comprise more than one building) where facilities for off-street vehicle parking, vehicle loading and unloading, and the storage and collection of refuse are shared. 5 spaces per 100m ² of gross leasable floor area where located in an integrated complex containing two or more tenancies (and which may comprise more than one building) where facilities for off-street vehicle parking, vehicle loading and unloading, and the storage and collection of refuse are shared.
Shop (in the form of a bulky goods outlet)	2.5 spaces per 100m ² of gross leasable floor area.
Shop (in the form of a restaurant or involving a commercial kitchen)	Premises with a dine-in service only (which may include a take-away component with no drive-through) - 0.4 spaces per seat. Premises with take-away service but with no seats - 12 spaces per 100m ² of total floor area plus a drive-through queue capacity of ten vehicles measured from the pick-up point. Premises with a dine-in and drive-through take-away service - 0.3 spaces per seat plus a drive through queue capacity of 10 vehicles measured from the pick-up point.
Community and Civic Uses	
Community facility	For a library, 4 spaces per 100m ² of total floor area. For a hall/meeting hall, 0.2 spaces per seat. In all other cases, 10 spaces per 100m ² of total floor area.
Educational facility	For a primary school - 1.1 space per full time equivalent employee plus 0.25 spaces per student for a pickup/set down area either on-site or on the public realm within 300m of the site.

	For a secondary school - 1.1 per full time equivalent employee plus 0.1 spaces per student for a pickup/set down area either on-site or on the public realm within 300m of the site. For a tertiary institution - 0.4 per student based on the maximum number of students on the site at any time.
Place of worship Child care facility	1 space for every 3 visitor seats. For a child care centre, 0.25 spaces per child In all other cases, 1 per employee plus 0.25 per child (drop off/pick up bays).
Health Related Uses	
Consulting room	4 spaces per consulting room excluding ancillary facilities.
Hospital	4.5 spaces per bed for a public hospital. 1.5 spaces per bed for a private hospital.
Recreational and Entertainment Uses	
Cinema complex	0.2 spaces per seat.
Concert hall / theatre	0.2 spaces per seat.
Hotel	1 space for every 2m ² of total floor area in a public bar plus 1 space for every 6m ² of total floor area available to the public in a lounge, beer garden plus 1 space per 2 gaming machines, plus 1 space per 3 seats in a restaurant.
Indoor recreation facility	6.5 spaces per 100m ² of total floor area for a Fitness Centre 4.5 spaces per 100m ² of total floor area for all other Indoor recreation facilities.
Industry/Employment Uses	
Fuel depot	1.5 spaces per 100m ² total floor area 1 spaces per 100m ² of outdoor area used for fuel depot activity purposes.
Industry	1.5 spaces per 100m ² of total floor area.
Store	0.5 spaces per 100m ² of total floor area.
Timber yard	1.5 spaces per 100m ² of total floor area 1 space per 100m ² of outdoor area used for display purposes.
Warehouse	0.5 spaces per 100m ² total floor area.
Other Uses	
Funeral Parlour	1 space per 5 seats in the chapel plus 1 space for each vehicle operated by the parlour.
Radio or Television Station	5 spaces per 100m ² of total building floor area.

Table 2 - Off-Street Car Parking Requirements in Designated Areas

The following parking rates apply in any zone, subzone or other area described in the 'Designated Areas' column.

Class of Development	Car Parking Rate		Designated Areas
	Minimum number of spaces	Maximum number of spaces	
Development generally			
All classes of development	No minimum.	No maximum except in the Primary Pedestrian Area identified in the Primary Pedestrian Area Concept Plan, where the maximum is: 1 space for each dwelling with a total floor area less than 75 square metres 2 spaces for each dwelling with a total floor area between 75 square metres and 150 square metres 3 spaces for each dwelling with a total floor area greater than 150 square metres. Residential flat building or Residential component of a multi-storey building: 1 visitor space for each 6 dwellings.	Capital City Zone City Main Street Zone City Riverbank Zone Adelaide Park Lands Zone Business Neighbourhood Zone (within the City of Adelaide) The St Andrews Hospital Precinct Subzone and Women's and Children's Hospital Precinct Subzone of the Community Facilities Zone
Non-residential development			
Non-residential development excluding tourist accommodation	3 spaces per 100m ² of gross leasable floor area.	5 spaces per 100m ² of gross leasable floor area.	City Living Zone

			<p>Urban Corridor (Boulevard) Zone</p> <p>Urban Corridor (Business) Zone</p> <p>Urban Corridor (Living) Zone</p> <p>Urban Corridor (Main Street) Zone</p> <p>Urban Neighbourhood Zone (except for Bowden)</p>
Non-residential development excluding tourist accommodation	3 spaces per 100m2 of gross leasable floor area.	6 spaces per 100m2 of gross leasable floor area.	<p>Strategic Innovation Zone in the City of Burnside, City of Marion or City of Mitcham</p> <p>Strategic Innovation Zone outside the City of Burnside, City of Marion or City of Mitcham when the site is also in a high frequency public transit area</p> <p>Suburban Activity Centre Zone when the site is also in a high frequency public transit area</p> <p>Suburban Business Zone when the site is also in a high frequency public transit area</p> <p>Business Neighbourhood Zone outside of the City of Adelaide when the site is also in a high frequency public transit area</p> <p>Suburban Main Street Zone when the site is also in a high frequency public transit area</p> <p>Urban Activity Centre Zone</p>
Non-residential development excluding tourist accommodation	<p>3 spaces per 100 square metres of gross leasable floor area</p> <p>1.5 spaces per 100 square metres of gross leasable floor area above ground floor level other than for a shop</p>	3 spaces per 100 square metres of gross leasable floor area	Urban Neighbourhood Zone in Bowden
Tourist accommodation	1 space for every 4 bedrooms up to 100 bedrooms plus 1 space for every 5 bedrooms over 100 bedrooms	1 space per 2 bedrooms up to 100 bedrooms and 1 space per 4 bedrooms over 100 bedrooms	<p>City Living Zone</p> <p>Urban Activity Centre Zone when the site is also in a high frequency public transit area</p> <p>Urban Corridor (Boulevard) Zone</p> <p>Urban Corridor (Business) Zone</p> <p>Urban Corridor (Living) Zone</p> <p>Urban Corridor (Main Street) Zone</p> <p>Urban Neighbourhood Zone (except for Bowden)</p>
Residential development			
Residential component of a multi-storey building	<p>Dwelling with no separate bedroom -0.25 spaces per dwelling</p> <p>1 bedroom dwelling - 0.75 spaces per dwelling</p> <p>2 bedroom dwelling - 1 space per dwelling</p> <p>3 or more bedroom dwelling - 1.25 spaces per dwelling</p> <p>0.25 spaces per dwelling for visitor parking.</p>	None specified.	<p>City Living Zone</p> <p>Strategic Innovation Zone in the City of Burnside, City of Marion or City of Mitcham</p> <p>Strategic Innovation Zone outside the City of Burnside, City of Marion or City of Mitcham when the site is also in a high frequency public transit area</p> <p>Urban Activity Centre Zone when the site is</p>

			also in a high frequency public transit area Urban Corridor (Boulevard) Zone Urban Corridor (Business) Zone Urban Corridor (Living) Zone Urban Corridor (Main Street) Zone Urban Neighbourhood Zone (except for Bowden)
Residential component of a multi-storey building	0.75 per dwelling	None specified	Urban Neighbourhood Zone in Bowden
Residential flat building	Dwelling with no separate bedroom -0.25 spaces per dwelling 1 bedroom dwelling - 0.75 spaces per dwelling 2 bedroom dwelling - 1 space per dwelling 3 or more bedroom dwelling - 1.25 spaces per dwelling 0.25 spaces per dwelling for visitor parking.	None specified.	City Living Zone Urban Activity Centre Zone when the site is also in a high frequency public transit area Urban Corridor (Boulevard) Zone Urban Corridor (Business) Zone Urban Corridor (Living) Zone Urban Corridor (Main Street) Zone Urban Neighbourhood Zone (except for Bowden)
Residential flat building	0.75 per dwelling	None specified	Urban Neighbourhood Zone in Bowden
Detached dwelling	0.75 per dwelling	None specified	Urban Neighbourhood Zone in Bowden
Row dwelling	0.75 per dwelling	None specified	Urban Neighbourhood Zone in Bowden
Semi-detached dwelling	0.75 per dwelling	None specified	Urban Neighbourhood Zone in Bowden

Table 3 - Off-Street Bicycle Parking Requirements

The bicycle parking rates apply within designated areas located within parts of the State identified in the Schedule to Table 3.

Class of Development	Bicycle Parking Rate	
	Where a development comprises more than one development type, then the overall bicycle parking rate will be taken to be the sum of the bicycle parking rates for each development type.	
Consulting room	1 space per 20 employees plus 1 space per 20 consulting rooms for customers.	
Educational facility	For a secondary school - 1 space per 20 full-time time employees plus 10 percent of the total number of employee spaces for visitors. For tertiary education - 1 space per 20 employees plus 1 space per 10 full time students.	
Hospital	1 space per 15 beds plus 1 space per 30 beds for visitors.	
Indoor recreation facility	1 space per 4 employees plus 1 space per 200m ² of gross leasable floor area for visitors.	
Licensed Premises	1 per 20 employees, plus 1 per 60 square metres total floor area, plus 1 per 40 square metres of bar floor area, plus 1 per 120 square metres lounge and beer garden floor area, plus 1 per 60 square metres dining floor area, plus 1 per 40 square metres gaming room floor area.	
Office	1 space for every 200m ² of gross leasable floor area plus 2 spaces plus 1 space per 1000m ² of gross leasable floor area for visitors.	
Child care facility	1 space per 20 full time employees plus 1 space per 40 full time children.	
Recreation area	1 per 1500 spectator seats for employees plus 1 per 250 visitor and customers.	
Residential flat building	Within the City of Adelaide 1 for every dwelling for residents with a total floor area less than 150 square metres, 2 for every dwelling for residents with a total floor area greater than 150 square metres, plus 1 for every 10 dwellings for visitors, and in all other cases 1 space for every 4 dwellings for residents plus 1 for every 10 dwellings for visitors.	
Residential component of a multi-storey building	Within the City of Adelaide 1 for every dwelling for residents with a total floor area less than 150 square metres, 2 for every dwelling for residents with a total floor area greater than 150 square metres, plus 1 for every 10 dwellings for visitors, and in all other cases 1 space for every 4 dwellings for residents plus 1 space for every 10 dwellings for visitors.	
Shop	1 space for every 300m ² of gross leasable floor area plus 1 space for every 600m ² of gross leasable floor area for customers.	
Tourist accommodation	1 space for every 20 employees plus 2 for the first 40 rooms and 1 for every additional 40 rooms for visitors.	
Schedule to Table 3	Designated Area	Relevant part of the State The bicycle parking rate applies to a designated area located in a relevant part of the State described below.

	All zones	City of Adelaide
	Business Neighbourhood Zone	Metropolitan Adelaide
	Strategic Innovation Zone	
	Suburban Activity Centre Zone	
	Suburban Business Zone	
	Suburban Main Street Zone	
	Urban Activity Centre Zone	
	Urban Corridor (Boulevard) Zone	
	Urban Corridor (Business) Zone	
	Urban Corridor (Living) Zone	
	Urban Corridor (Main Street) Zone	
	Urban Neighbourhood Zone	

Waste Treatment and Management Facilities

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Mitigation of the potential environmental and amenity impacts of waste treatment and management facilities.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Siting	
<p>PO 1.1</p> <p>Waste treatment and management facilities incorporate separation distances and attenuation measures within the site between waste operations areas (including all closed, operating and future cells) and sensitive receivers and sensitive environmental features to mitigate off-site impacts from noise, air and dust emissions.</p>	<p>DTS/DPF 1.1</p> <p>None are applicable.</p>
Soil and Water Protection	
<p>PO 2.1</p> <p>Soil, groundwater and surface water are protected from contamination from waste treatment and management facilities through measures such as:</p> <p>(a) containing potential groundwater and surface water contaminants within waste operations areas</p> <p>(b) diverting clean stormwater away from waste operations areas and potentially contaminated areas</p>	<p>DTS/DPF 2.1</p> <p>None are applicable.</p>

<p>(c) providing a leachate barrier between waste operations areas and underlying soil and groundwater.</p>	
<p>PO 2.2 Wastewater lagoons are set back from watercourses to minimise environmental harm and adverse effects on water resources.</p>	<p>DTS/DPF 2.2 Wastewater lagoons are set back 50m or more from watercourse banks.</p>
<p>PO 2.3 Wastewater lagoons are designed and sited to:</p> <p>(a) avoid intersecting underground waters; (b) avoid inundation by flood waters; (c) ensure lagoon contents do not overflow; (d) include a liner designed to prevent leakage.</p>	<p>DTS/DPF 2.3 None are applicable.</p>
<p>PO 2.4 Waste operations areas of landfills and organic waste processing facilities are set back from watercourses to minimise adverse impacts on water resources.</p>	<p>DTS/DPF 2.4 Waste operations areas are set back 100m or more from watercourse banks.</p>
<p>Amenity</p>	
<p>PO 3.1 Waste treatment and management facilities are screened, located and designed to minimise adverse visual impacts on amenity.</p>	<p>DTS/DPF 3.1 None are applicable.</p>
<p>PO 3.2 Access routes to waste treatment and management facilities via residential streets is avoided.</p>	<p>DTS/DPF 3.2 None are applicable.</p>
<p>PO 3.3 Litter control measures minimise the incidence of windblown litter.</p>	<p>DTS/DPF 3.3 None are applicable.</p>
<p>PO 3.4 Waste treatment and management facilities are designed to minimise adverse impacts on both the site and surrounding areas from weed and vermin infestation.</p>	<p>DTS/DPF 3.4 None are applicable.</p>
<p>Access</p>	
<p>PO 4.1 Traffic circulation movements within any waste treatment or management site are designed to enable vehicles to enter and exit the site in a forward direction.</p>	<p>DTS/DPF 4.1 None are applicable.</p>
<p>PO 4.2 Suitable access for emergency vehicles is provided to and within waste treatment or management sites.</p>	<p>DTS/DPF 4.2 None are applicable.</p>
<p>Fencing and Security</p>	
<p>PO 5.1 Security fencing provided around waste treatment and management facilities prevents unauthorised access to operations and potential hazard to the public.</p>	<p>DTS/DPF 5.1 Chain wire mesh or pre-coated painted metal fencing 2m or more in height is erected along the perimeter of the waste treatment or waste management facility site.</p>
<p>Landfill</p>	

PO 6.1 Landfill gas emissions are managed in an environmentally acceptable manner.	DTS/DPF 6.1 None are applicable.
PO 6.2 Landfill facilities are separated from areas of environmental significance and land used for public recreation and enjoyment.	DTS/DPF 6.2 Landfill facilities are set back 250m or more from a public open space reserve, forest reserve, national park or Conservation Zone.
PO 6.3 Landfill facilities are located on land that is not subject to land slip.	DTS/DPF 6.3 None are applicable.
PO 6.4 Landfill facilities are separated from areas subject to flooding.	DTS/DPF 6.4 Landfill facilities are set back 500m or more from land inundated in a 1% AEP flood event.
Organic Waste Processing Facilities	
PO 7.1 Organic waste processing facilities are separated from the coast to avoid potential environment harm.	DTS/DPF 7.1 Organic waste processing facilities are set back 500m or more from the coastal high water mark.
PO 7.2 Organic waste processing facilities are located on land where the engineered liner and underlying seasonal water table cannot intersect.	DTS/DPF 7.2 None are applicable.
PO 7.3 Organic waste processing facilities are sited away from areas of environmental significance and land used for public recreation and enjoyment.	DTS/DPF 7.3 Organic waste processing facilities are set back 250m or more from a public open space reserve, forest reserve, national park or a Conservation Zone.
PO 7.4 Organic waste processing facilities are located on land that is not subject to land slip.	DTS/DPF 7.4 None are applicable.
PO 7.5 Organic waste processing facilities separated from areas subject to flooding.	DTS/DPF 7.5 Organic waste processing facilities are set back 500m or more from land inundated in a 1% AEP flood event.
Major Wastewater Treatment Facilities	
PO 8.1 Major wastewater treatment and disposal systems, including lagoons, are designed to minimise potential adverse odour impacts on sensitive receivers, minimise public and environmental health risks and protect water quality.	DTS/DPF 8.1 None are applicable.
PO 8.2 Artificial wetland systems for the storage of treated wastewater are designed and sited to minimise potential public health risks arising from the breeding of mosquitoes.	DTS/DPF 8.2 None are applicable.

Workers' accommodation and Settlements

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Appropriately designed and located accommodation for seasonal and short-term workers in rural areas that minimises environmental and social impacts.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
<p>PO 1.1</p> <p>Workers' accommodation and settlements are obscured from scenic routes, tourist destinations and areas of conservation significance or otherwise designed to complement the surrounding landscape.</p>	<p>DTS/DPF 1.1</p> <p>None are applicable.</p>
<p>PO 1.2</p> <p>Workers' accommodation and settlements are sited and designed to minimise nuisance impacts on the amenity of adjacent users of land.</p>	<p>DTS/DPF 1.2</p> <p>None are applicable.</p>
<p>PO 1.3</p> <p>Workers' accommodation and settlements are built with materials and colours that blend with the landscape.</p>	<p>DTS/DPF 1.3</p> <p>None are applicable.</p>
<p>PO 1.4</p> <p>Workers' accommodation and settlements are supplied with service infrastructure such as power, water and effluent disposal sufficient to satisfy the living requirements of workers.</p>	<p>DTS/DPF 1.4</p> <p>None are applicable.</p>

Admin - No criteria applies to this land use

No criteria applies to this land use. Please check the definition of the land use for further detail.