

CAP MEETING – 8 MAY 2024

ITEM 8.1

DEVELOPMENT NO.:	23035583
APPLICANT:	Lianne Sordillo
ADDRESS:	23 HIGHLANDS COURT WOODFORDE SA 5072
NATURE OF DEVELOPMENT:	Variation to DA 22022718 - to increase wall height of dwelling
ZONING INFORMATION:	<p>Zones:</p> <ul style="list-style-type: none"> • Housing Diversity Neighbourhood <p>Overlays:</p> <ul style="list-style-type: none"> • Affordable Housing • Hazards (Bushfire - Urban Interface) • Hazards (Flooding - Evidence Required) • Prescribed Wells Area • Regulated and Significant Tree • Stormwater Management • Traffic Generating Development • Urban Tree Canopy • Water Resources <p>Technical Numeric Variations (TNVs):</p> <ul style="list-style-type: none"> • Maximum Building Height (Metres) (Maximum building height is 9m) • Maximum Building Height (Levels) (Maximum building height is 2 levels)
LODGEMENT DATE:	13 Dec 2023
RELEVANT AUTHORITY:	Assessment Panel at Adelaide Hills Council
PLANNING & DESIGN CODE VERSION:	P&D Code (in effect) - Version 2023.18 7/12/2023
CATEGORY OF DEVELOPMENT:	Code Assessed - Performance Assessed
NOTIFICATION:	Yes
RECOMMENDING OFFICER:	Ashleigh Gade Senior Statutory Planner
REFERRALS STATUTORY:	None
REFERRALS NON-STATUTORY:	None

CONTENTS:

ATTACHMENT 1:	Application Documents	ATTACHMENT 6:	Relevant P & D Code Policies
ATTACHMENT 2:	Subject Land Map/Representation Map		
ATTACHMENT 3:	Zoning Map		
ATTACHMENT 4:	Representation		
ATTACHMENT 5:	Response to Representation		

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DETAILED DESCRIPTION OF PROPOSAL:

The proposal seeks to vary Development Application 22022718 for a dwelling granted Planning Consent on 17 January 2023 by staff under delegated authority from the Assessment Panel.

The approved development comprised the construction of a “three storey dwelling, swimming pool and associated safety barriers, retaining walls and fencing”.

The proposed variation is seeking to increase the wall height of the dwelling by 900mm due to an increase in ceiling height on the upper and lower ground levels. It is noted that due to an adjustment to the lower ground floor level which has been reduced by 300mm, the increase to visible wall height at ground level across the rear section of the dwelling will be only 600mm.

All other aspects of the proposal are unchanged including the siting of the dwelling on the allotment, the floor size and layout, building form and appearance, and the associated retaining and fencing.

BACKGROUND:

APPROVAL DATE	APPLICATION NUMBER	DESCRIPTION OF PROPOSAL
17/01/2023	22022718	Three storey dwelling, swimming pool and associated safety barriers, retaining walls and fencing

SUBJECT LAND & LOCALITY:

Location reference: 23 HIGHLANDS CT WOODFORDE SA 5072

Title ref.: CT 6258/244 **Plan Parcel:** D127625 AL270 **Council:** ADELAIDE HILLS COUNCIL

Site Description:

The subject land comprises a single allotment located at 23 Highlands Court, Woodforde. The land is part of the Hamilton Hill master planned development in Woodforde.

The allotment is a rectangle shape with a frontage width of 20 metres, a depth of up to 35 metres and a total site area of 695m². The land comprises a single allotment that is formally described as Allotment 270 in Deposited Plan 127625, Certificate of Title Volume 6258 Folio 244. It is noted there is an encumbrance on the title that requires the consent of the Hamilton Hill Design Panel. There are no other registered interests on the Certificate of Title.

The allotment is currently vacant and naturally slopes away from Highlands Court toward the rear boundary in a south-westerly direction with a crossfall of approximately 6.5 metres.

Locality

The locality is typically residential and contains both established and new residential development interfacing with vegetated open space to the south and east of the subject land.

The immediate surroundings of the subject land comprise residential development either newly built or currently under construction as part of the Hamilton Hill estate. Newer allotments fronting Highlands Court and Kintyre Road in this section of Hamilton Hill have site areas typically between 500m² and 700m² and are being developed with modern dwellings of generous proportions. It is typical of dwellings approved or under construction in this locality to be of two to three storeys in height and involve significant earthworks and retaining walls due to the topography of the land.

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The established residential area to the north is characterised by detached dwellings at low densities. There are several large two-storey dwellings with distant views of the city and dwellings are typically set back from the street frontage with established landscaped gardens.

Land further to the east and south-east along Kintyre and Norton Summit Roads is within a different zone and is characterised by higher levels of vegetation and larger allotment sizes.

CONSENT TYPE REQUIRED:

Planning Consent

CATEGORY OF DEVELOPMENT:

- **PER ELEMENT:**
Detached dwelling: Code Assessed - Performance Assessed
New housing
- **OVERALL APPLICATION CATEGORY:**
Code Assessed - Performance Assessed
- **REASON**
P&D Code

PUBLIC NOTIFICATION

- **REASON**
The proposal exceeds the maximum building height specified in DPF 3.1 of the Housing Diversity Neighbourhood Zone and the proposed variation is not of a minor nature.

Public Notification period – 14 February to 5 March 2024

- **LIST OF REPRESENTATIONS**

One (1) representation was received during the notification period opposing the proposed development. The representation opposing the development has requested to be heard by the Panel.

Representor Name	Representor's Property Address	Wishes to be heard (Y/N)	Nominated Speaker (if relevant)
Phillip Brunning On behalf of Mr Allan Amber	17 Kintyre Road, Woodforde	Yes	Phillip Brunning

- **SUMMARY**

The issues contained in the representations can be briefly summarised as follows:

- Excessive building height
- Streetscape impact

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- Loss of outlook from building bulk
- The building design does not positively contribute to the character of the local area
- Departure from the Technical Numerical Variation

A copy of the representation is included as **Attachment 4 – Representation** and the applicant’s response is provided in **Attachment 5 – Response to Representation**.

AGENCY REFERRALS

No agency referrals were required.

INTERNAL REFERRALS

No internal referrals were required.

PLANNING ASSESSMENT

Desired outcomes

Desired outcomes are policies designed to aid the interpretation of performance outcomes by setting a general policy agenda for a zone, subzone, overlay or general development policies module. Where a relevant authority is uncertain as to whether or how a performance outcome applies to a development, the desired outcome(s) may inform its consideration of the relevance and application of a performance outcome or assist in assessing the merits of the development against the applicable performance outcomes collectively.

Performance outcomes

Performance outcomes are policies designed to facilitate assessment according to specified factors, including land use, site dimensions and land division, built form, character and hazard risk minimisation.

Designated performance features

In order to assist a relevant authority to interpret the performance outcomes, in some cases the policy includes a standard outcome which will generally meet the corresponding performance outcome (a designated performance feature or DPF). A DPF provides a guide to a relevant authority as to what is generally considered to satisfy the corresponding performance outcome but does not need to necessarily be satisfied to meet the performance outcome and does not derogate from the discretion to determine that the outcome is met in another way, or from the need to assess development on its merits against all relevant policies.

A detailed assessment of the application has taken place against the relevant provisions of the Planning and Design Code (P & D Code) and this is provided below under a series of headings. A Policy Enquiry extract containing the relevant provisions of the P & D Code is contained in **Attachment 6 – Relevant P & D Code Policies**.

Zone:

Housing Diversity Neighbourhood Zone:

Desired Outcomes	
DO1	Medium density housing supports a range of needs and lifestyles, located within easy reach of a diversity of services and facilities. Employment and community service uses contribute to making the neighbourhood a convenient place to live without compromising residential amenity.
Performance Outcomes (PO) & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria	
POs: 1.1, 3.1, 4.1, 6.1, 7.1 and 8.1	
DPFs: 1.1, 3.1, 4.1, 6.1, 7.1 and 8.1	

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The approved proposal comprises the construction of a three-level detached dwelling on a newly created allotment that is part of the Hamilton Hill master planned development in Woodforde.

As the proposed variation relates only to a change to the wall height of the dwelling and will not change the nature of the development nor alter the intensity of the approved residential use, the proposal will continue to be consistent with DO 1 and PO 1.1 for the Zone.

The proposed variation seeks to increase the wall height of the front and rear sections of the approved dwelling by 900mm. This increase will be visually evident from the front section, however from the rear section the visible increase above ground level will be 600mm as the lower ground floor level has been reduced by 300mm.

'Building height' is defined by the Code as *"the maximum vertical distance between the lower of the natural or finished ground level or a measurement point specified by the applicable policy of the Code (in which case the Code policy will prevail in the event of any inconsistency) at any point of any part of a building and the finished roof height at its highest point"*. Based on this definition, the dwelling as previously approved had a maximum building height of 9.8 metres and the proposed variation has a maximum building height of 10.7 metres. The tallest section of the dwelling is limited to a section central to the side elevations where the dwelling is three storey, utilising the slope of the land to provide vehicle access to the lower ground floor. All other sections of the dwelling are two storey in building height. It is noted that the maximum height of the building above the natural ground level at any point is approximately 9.6 metres.

Zone DPF 3.1 recommends a maximum building height of 9 metres and two building levels for dwellings. The three-storey scale of the dwelling has previously been considered and deemed consistent with the associated PO 3.1 which contemplates buildings that are "generally low-rise or complements the height of nearby buildings". The changes to the wall height proposed in this variation do not result in additional building levels but raise the overall building height at its tallest section by 900mm to 10.7 metres.

The building as viewed from Highlands Court presents as two storey and through this variation the front façade would increase in height by 900mm to 8 metres. As such, it is considered that when viewed from street level the dwelling would present no differently to a two-storey dwelling built up on fill at a height consistent with Zone DPF 3.1. The dwelling's tallest section is located centrally on the site where the visual bulk is concealed from the street.

Although not a relevant Code consideration, it is noted that the revised proposal has been approved by the Hamilton Hill Design Panel who have deemed the increased building height to be consistent with the design guidelines of the encumbrance.

The proposed building height is also consistent with other large dwellings approved within the locality. These include a three-storey dwelling under construction at 15 Kintyre Road, the rear boundary of which is along Highlands Court adjacent the subject land. That dwelling also has a building height of 10.7 metres. At 14 and 15 Highlands Court two further three storey dwellings are under construction with building heights of 10.4 metres and 14.8 metres respectively. A three storey dwelling with a building height of 12.4 metres and a four storey dwelling with a building height of 14.9 metres have been granted Planning Consent at 16 Highlands Court and 21B Kintyre Road respectively.

It is noted that the Planning and Design Code has no policies with respect to protection or maintenance of views from other land. This consideration as raised in the representation has therefore not been taken into account when considering the appropriateness of the building height.

The variation does not involve any changes to the siting of the dwelling and its setbacks to site boundaries. Notwithstanding this, the increase in wall height does impact the calculated setbacks sought by DPF 7.1. DPF 7.1 contemplates that buildings should be setback from side boundaries "where the wall height exceeds 3m – at least 900mm from the boundary of the site plus a distance of 1/3 of the extent to which the height of the wall exceeds 3m from the top of the footings". The setbacks to the north-western and south-eastern side boundaries were approved with a shortfall of 400mm along the rear section of the dwelling. The proposed increase to wall height would increase that shortfall by 200mm in both instances, to a total of 600mm.

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The applicant has provided shadow diagrams to demonstrate that the shortfall in these sections of the side setbacks will not unreasonably impact access to natural light for immediate neighbours. These are discussed in further detail in later sections of the report. The shortfall is also not considered likely to risk lack of ventilation to neighbours given that the dimension of both setbacks is 2 metres.

On balance, the revised proposal is supported from a building height and scale perspective as it presents to the street as a low-rise form of development, and it is considered to sufficiently complement the height of nearby buildings. The additional height is not considered likely to unreasonably restrict neighbours' access to light and ventilation. It is therefore considered that PO 3.1 and PO 7.1 of the Housing Diversity Neighbourhood Zone are reasonably satisfied.

There is no change to the approved design, appearance, and floor size of the dwelling. Only minor adjustments to site works to allow for the 300mm reduction to the lower ground level are proposed, which will not be noticeable as it will be absorbed within an area of previously approved fill.

Overlays

Affordable Housing Overlay

Desired Outcomes	
DO1	Affordable housing is integrated with residential and mixed use development.
Performance Outcomes (PO) & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria	
POs:	
DPFs:	

The proposal does not include any affordable housing.

Hazards (Flooding – Evidence Required) Overlay

Desired Outcomes	
DO1	Development adopts a precautionary approach to mitigate potential impacts on people, property, infrastructure and the environment from potential flood risk through the appropriate siting and design of development.
Performance Outcomes (PO) & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria	
POs: 1.1	
DPFs: 1.1	

There are no changes to the main finished floor levels of the dwelling or to the approved stormwater management system.

Stormwater Management Overlay

Desired Outcomes	
DO1	Development incorporates water sensitive urban design techniques to capture and re-use stormwater.
Performance Outcomes (PO) & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria	
POs: 1.1	
DPFs: 1.1	

There are no changes to the roof area of the dwelling or to the approved stormwater management system.

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Traffic Generating Development Overlay

Desired Outcomes	
DO1	Safe and efficient operation of Urban Transport Routes and Major Urban Transport Routes for all road users.
DO2	Provision of safe and efficient access to and from urban transport routes and major urban transport routes.
Performance Outcomes (PO) & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria	
POs: 1.1, 1.2 and 1.3	
DPFs: 1.1, 1.2 and 1.3	

There is no change to the approved access and car parking arrangements and the proposed variation will have no impact on traffic generation.

The proposal will not impact on the State Maintained Road network.

Urban Tree Canopy Overlay

Desired Outcomes	
DO1	Residential development preserves and enhances urban tree canopy through the planting of new trees and retention of existing mature trees where practicable.
Performance Outcomes (PO) & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria	
POs: 1.1	
DPFs: 1.1	

There is no change to the trees identified for planting under the Urban Tree Canopy Overlay.

Water Resources Overlay

Desired Outcomes	
DO1	Protection of the quality of surface waters considering adverse water quality impacts associated with projected reductions in rainfall and warmer air temperatures as a result of climate change.
Performance Outcomes (PO) & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria	
POs: 1.1, 1.2, 1.5 and 1.7	
DPFs: 1.5	

There are no watercourses that traverse the site and no changes to the dwelling's proximity to any watercourse on an adjacent site.

General Development Policies

Design in Urban Areas

Desired Outcomes	
DO1	Development is: <ul style="list-style-type: none">a) contextual - by considering, recognising and carefully responding to its natural surroundings or built environment and positively contributes to the character of the immediate areab) durable - fit for purpose, adaptable and long lasting inclusive - by integrating landscape design to optimise pedestrian and cyclist usability, privacy and equitable access, and promoting the provision of quality spaces integrated with the public realm that can be used for access and recreation and help optimise security and safety both internally and within the public realm, for occupants and visitors

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	c) sustainable - by integrating sustainable techniques into the design and siting of development and landscaping to improve community health, urban heat, water management, environmental performance, biodiversity and local amenity and to minimise energy consumption.
Performance Outcomes (PO) & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria	
POs: 6.1, 8.1, 8.2, 8.3, 8.4, 8.5, 10.1, 10.2, 17.1, 17.2, 18.1, 20.1, 20.2, 20.3, 21.1, 21.2 and 22.1	
DPFs: 6.1, 8.1, 8.2, 10.1, 10.2, 17.1, 17.2, 18.1, 20.1, 20.2, 21.2, 21.2 and 22.1	

The proposed variation does not significantly alter the street appearance of the dwelling, besides an increase to the overall height as viewed from Highlands Court. The garage size, fenestration and façade design remain substantially the same.

The approved privacy treatments to upper storey windows include obscure glazing and slatted screens. These privacy measures have been maintained to protect the privacy of neighbouring properties in accordance with PO 10.1 of the General Development Policies (Design in Urban Areas).

There are no changes to the areas of private open space or soft landscaping.

Interface between Land Uses

Desired Outcomes	
DO1	Development is located and designed to mitigate adverse effects on or from neighbouring and proximate land uses.
Performance Outcomes (PO) & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria	
POs: 3.1, 3.2 and 3.3	
DPFs: 3.1 and 3.2	

The approved application included shadow diagrams for 9.00am, 12.00pm and 3.00pm on the winter solstice. The diagrams illustrated that most shadow would be cast over the adjacent reserve to the south with the side and rear yards of the adjoining properties in shadow for only short periods of the day.

The revised shadow diagrams show the increased wall height resulting in a negligible increase to the level of overshadowing to the adjoining property to the south-east. The adjoining dwelling will continue to receive at least three hours of sunlight to north-facing habitable room windows and at least two hours of sunlight to more than half of the ground level private open space during the winter solstice, as sought by DPF 3.1 and DPF 3.2 of the General Development Policies (Interface between Land Uses).

Transport, Access and Parking

Desired Outcomes	
DO1	A comprehensive, integrated and connected transport system that is safe, sustainable, efficient, convenient and accessible to all users.
Performance Outcomes (PO) & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria	
POs: 1.4, 3.1, 3.5, 4.1, 5.1, 6.1 and 6.2	
DPFs: 1.4, 3.1, 3.5, 5.1 and 6.1	

There is no change to the approved access and car parking arrangements for the dwelling.

CONSIDERATION OF SERIOUSLY AT VARIANCE

Having considered the proposal against the relevant provisions of the Planning and Design Code Version 2023.18 – 7 December 2023, the proposal is not considered to be seriously at variance with the provisions of the Planning and Design Code for the following reasons:

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- The approved dwelling is an envisaged land use in the Housing Diversity Neighbourhood Zone and the proposed variation will not change the nature of the development nor alter the intensity of the approved residential use.
- The proposed height and scale of the built form is sufficiently compatible with that of nearby buildings and the local context.
- It has been reasonably demonstrated that the proposal would not adversely impact upon the amenity of nearby sensitive uses.

CONCLUSION

Having considered the proposal against the relevant provisions of the Planning and Design Code, the proposal is not seriously at variance with the Planning and Design Code.

The approved dwelling is an envisaged form of development within the Housing Diversity Neighbourhood Zone and the proposed variation will not change the nature of the development nor alter the intensity of the approved residential use.

The increased building height is not an unreasonable departure from the maximum recommended building height considering its context in the locality. The overall height and scale of the built form is considered reasonable given the sloping nature of the land, the two storey presentation of the dwelling from the street, and that the setbacks to site boundaries allow for sufficient amenity to neighbours. As there are no policies relating to protection of views from adjoining land, the potential impact of such has not been considered. The revised dwelling will remain a low-rise form of development that is complementary to the height of nearby buildings.

Accordingly, the proposal achieves the Performance Outcomes for the Housing Diversity Neighbourhood Zone and warrants the granting of Plan Consent subject to conditions.

RECOMMENDATION

It is recommended that the Council Assessment Panel resolve that:

- 1) Pursuant to Section 107(2)(c) of the Planning, Development and Infrastructure Act 2016, and having undertaken an assessment of the application against the Planning and Design Code, the application is NOT seriously at variance with the provisions of the Planning and Design Code; and**
- 2) Development Application Number 23035583 by Lianne Sordillo for variation to DA 22022718 - to increase wall height of dwelling at 23 Highlands Court, Woodforde is GRANTED Planning Consent subject to the following conditions:**

CONDITIONS

Planning Consent

- 1) The development granted shall be undertaken and completed in accordance with the stamped plans and documentation, except where varied by conditions below.**
- 2) Except where varied by this authorisation, all other conditions, plans and details relating to Development Authorisation 22022718 continue to apply to this amended authorisation.**

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ADVISORY NOTES

General Notes

- 1) No work can commence on this development unless a Development Approval has been obtained. If one or more consents have been granted on this Decision Notification Form, you must not start any site works or building work or change of use of the land until you have received notification that Development Approval has been granted.**
- 2) Appeal rights – General rights of review and appeal exist in relation to any assessment, request, direction or act of a relevant authority in relation to the determination of this application, including conditions.**
- 3) This Planning Consent is valid for a period of twenty-four (24) months commencing from the date of the decision, subject to the below or subject to an extension having been granted by the relevant authority. If applicable, Building Consent must be obtained prior to expiration of the Planning Consent.**
- 4) Where an approved development has been substantially commenced within 2 years from the operative date of approval, the approval will then lapse 3 years from the operative date of the approval (unless the development has been substantially or fully completed within those 3 years, in which case the approval will not lapse).**

OFFICER MAKING RECOMMENDATION

Name: Ashleigh Gade

Title: Senior Statutory Planner

PROPOSED NEW THREE STOREY SPLIT LEVEL DEVELOPMENT LOT 270 HIGHLANDS COURT WOODFORDE SA 5072

CIVIL

PREPARED BY



JACK ADCOCK CONSULTING PTY. LTD.
STRUCTURAL & CIVIL ENGINEERING

GENERAL NOTES:

- THESE DRAWINGS ARE NOT CADASTRAL PLANS AND MUST NOT BE USED IN DETERMINING PRECISE DETAILS WITH RESPECT TO BOUNDARIES.
- ALL DIMENSIONS ARE IN MILLIMETRES UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS SHALL BE VERIFIED ON SITE.
- ALL LEVELS ARE EXPRESSED IN METRES.
- ALL CO-ORDINATES ARE A.M.G. BASED, UNLESS NOTED OTHERWISE.
- LEVEL DATUM IS A.H.D.
- ALL SET OUT AND DIMENSIONS TO ARCHITECT'S DRAWINGS. DO NOT SCALE CIVIL DRAWINGS.
- WHERE A DISCREPANCY OCCURS, THE GREATER COST SHALL BE ALLOWED FOR IN ANY TENDERING OR QUOTING.
- REFER TO DIMENSIONED ARCHITECTURAL BUILDING DETAILS FOR ALL SET OUT DIMENSIONS OF BUILDINGS, KERBING, PAVING, ETC.
- JACK ADCOCK CONSULTING PTY LTD TAKES NO RESPONSIBILITY FOR ANY ERRORS IN DIMENSION, SETOUT OR SURVEY.
- THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH THE RELEVANT SPECIFICATIONS.
- REFER TO STRUCTURAL DRAWINGS FOR DETAILS OF CONCRETE FLOOR AND BEAMS BEFORE SETTING OUT.
- THIS DRAWING AND ANY SUBSEQUENT DRAWINGS SHALL BE READ IN CONJUNCTION WITH THE FOOTING CONSTRUCTION REPORT, SPECIFICATION AND STANDARD DETAILS.
- REFER TO HYDRAULICS DRAWINGS FOR ALL UNDERGROUND PIPEWORK AND DETAILS.
- THESE DRAWINGS ARE A SCHEMATIC REPRESENTATION OF SERVICES INFORMATION CONTAINED IN DRAWINGS ISSUED BY THE RELEVANT AUTHORITIES. THE INFORMATION CONTAINED IN THESE DRAWINGS IS INDICATIVE ONLY, AND REFERENCE SHOULD BE MADE TO THE RELEVANT AUTHORITIES DOCUMENTATION TO CONFIRM ACCURACY AND COMPLETENESS. WHERE INFORMATION IS AVAILABLE, THE SUB-SURFACE SERVICES INSTALLED BY CONTRACTORS OTHER THAN THE AUTHORITIES HAVE BEEN SHOWN, BUT ADDITIONAL UNDOCUMENTED SERVICES MAY BE PRESENT. SHOULD THE CONTRACTOR BELIEVE THAT SUB-SURFACE SERVICES ARE AT RISK OF DAMAGE DURING CONSTRUCTION, THE CONTRACTOR SHOULD NOTIFY THE RELEVANT AUTHORITIES AND ESTABLISH THE EXACT LOCATION OF THE SERVICES.
- THE FINISHED SURFACE SHALL BE EVENLY GRADED BETWEEN DESIGN SURFACE LEVELS.
- ALL REDUNDANT EXISTING STORMWATER PIPES, PITS, PUMPS AND OTHER RELATED SERVICES SHALL BE DECOMMISSIONED AND REMOVED FROM SITE.
- CONTRACTOR TO ADJUST LIDS OF EXISTING SERVICE PITS TO MATCH FINISHED SURFACE LEVEL. PROVIDE HEAVY DUTY COVER IF IN PAVED AREA TO THE REQUIREMENTS OF THE RELEVANT AUTHORITY, IF APPLICABLE. RELOCATE SERVICE AS REQUIRED.
- WORKMANSHIP AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE RELEVANT CURRENT S.A.A. CODES INCLUDING ALL AMENDMENTS, AND THE LOCAL STATUTORY AUTHORITIES, EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS.
- ANY DISCREPANCIES SHALL BE REFERRED TO THIS OFFICE FOR CLARIFICATION.
- ALL LINEMARKING SHALL BE DONE IN ACCORDANCE WITH THE ARCHITECT'S OR BUILDING DESIGNER'S SPECIFICATION.

EROSION CONTROL:

- THE CONTRACTOR MUST PROTECT THE SITE, AND OTHER SITES DOWNSTREAM, FROM EROSION DURING CONSTRUCTION.
- RETAIN AND LEAVE UNDISTURBED ALL VEGETATION WHERE POSSIBLE.
- PROVIDE SEDIMENT CONTROL IN ACCORDANCE WITH SECTION 5 OF THE STORMWATER POLLUTION PREVENTION CODE OF PRACTICE.
- SEDIMENT, SILT AND POLLUTION TRAPS SHALL BE CLEARED AND MAINTAINED FOR THE DURATION OF CONSTRUCTION.
- THE SITE SHALL BE REHABILITATED TO ITS ORIGINAL CONDITION OR IN ACCORDANCE WITH THE CONTRACT DOCUMENTS (WHICHEVER IS APPLICABLE) AT THE COMPLETION OF CONSTRUCTION INCLUDING REMOVAL OF ALL TEMPORARY CONTROL WORKS.

STORMWATER NOTES:

- INLET PIPES SET 20mm ABOVE PIT INVERT LEVEL (U.N.O.)
- OUTLET PIPE INVERT LEVELS ARE SET AT PIT INVERT LEVEL (U.N.O.)
- TOP R.L. FOR SIDE ENTRY PITS IS WATER TABLE LEVEL.
- TRENCH GRATES TO BE STAINLESS STEEL HEELPROOF AND SLIP-PROOF TYPE BY ACO OR APPROVED EQUIVALENT.
- ALL STORMWATER PIPES SHALL BE uPVC, PIPES SHALL BE SEWER CLASS (U.N.O.)
- ALL STORMWATER PITS GREATER THAN 600x600 SHALL BE PROVIDED WITH A SPLIT LID TO ENSURE MAXIMUM LID "LIFT" IS 600x600.
- ALL STORMWATER PITS ON PLAN DRAWINGS TO HAVE HEELPROOF GRATE OR PAVER INFILL LID WHERE LOCATED ON PAVEMENT OR FOOT TRAFFIC AREA.
- ALL STORMWATER PITS TO HAVE ACCESS STEP IRONS INSTALLED IN ACCORDANCE WITH AS1657 AND AS4198 WHERE DEPTH IS GREATER THAN 1200mm.
- AG DRAINS TO BE INSTALLED BEHIND ALL RETAINING WALLS AND LOCATIONS SHOWN ON DRAWINGS.
- ALL AG DRAINS TO 100Ø, WRAPPED IN 200 MICRON GEOTEXTILE (BIDIM A24 OR SIMILAR) AND MINIMUM 300mm THICKNESS OF 20mm DRAINAGE SCREENINGS (U.N.O.)
- ALL DOWNPIPE RISERS TO BE AS SHOWN ON ARCHITECTURAL DRAWINGS. CONNECT TO 150Ø UNDERGROUND CONNECTION (U.N.O.)

REUSE OF SITE WON FILLING MATERIALS:

- THE CONTRACTOR MAY PROPOSE TO REUSE SITE WON FILLING MATERIAL.
- SITE WON FILLING MATERIAL MUST BE OF LOW MOISTURE REACTIVITY, FREE OF ORGANIC MATTER AND DELETERIOUS MATERIALS, COMPLY WITH SECTION 4 OF AS 3798.
- SITE WON FILLING MATERIAL MUST BE ABLE TO ACHIEVE THE SPECIFIED COMPACTION.
- THE CONTRACTOR MUST ALLOW FOR ALL COSTS ASSOCIATED WITH REUSE OF SITE WON MATERIALS INCLUDING POTENTIAL INCREASES IN FOOTING, SLAB AND BASE MATERIAL COSTS, AND DESIGN AND DOCUMENTATION FEES.
- REUSE OF SITE-WON MATERIAL IS SOLELY AT THE CONTRACTOR'S RISK.
- JACK ADCOCK CONSULTING PTY. LTD. RESERVES THE RIGHT TO REJECT ANY REQUEST FOR REUSE OF SITE WON MATERIALS.

SURVEY NOTES:

- THIS IS AN ENGINEERING SURVEY AND SHALL NOT BE TAKEN AS A BOUNDARY IDENTIFICATION. THE BOUNDARY DATA SHOWN IS TO BE TAKEN AS A GUIDE ONLY. TO BE CONFIRMED BY BUILDER PRIOR TO CONSTRUCTION. LEVELS ARE APPROXIMATE.

PAVEMENT NOTES:

- EXISTING PAVERS THAT ARE INDICATED TO BE RE-LAID ARE TO BE NEATLY STOCKPILED ON SITE TO AVOID DAMAGE DURING CONSTRUCTION.
- AREAS OF RE-LAID PAVERS SHALL HAVE BASE MATERIAL CUT TO NEW LEVEL WITHIN EXISTING BASE MATERIAL AND NEW 25mm SAND LAYER.
- PAVER LOC OR SIMILAR PRODUCT SHALL BE USED ON ALL RE-LAID PAVERS.
- PAVERS RE-LAID SHALL BE CLEANED PRIOR TO RE-INSTALLATION. DAMAGED PAVERS ARE TO BE REPLACED.
- IN AREAS WHERE ASPHALT PAVEMENT EXISTS AND NEW PAVEMENT IS BEING LAID THE CONTRACTOR SHALL REMOVE THE EXISTING TOP COAT AND PAVEMENT DOWN 100mm FROM SURFACE LEVEL.
- RE-ASPHALTED AREAS SHALL HAVE EXISTING BASE MATERIAL EXCAVATED (GENERALLY 100mm) REPLACED WITH A DTEI SPEC PM1/20QG AND COMPACTED (98% MODIFIED) TO NEW DESIGN LEVEL AND HOTMIX PLACED TO MATCH NEW LEVELS.
- ALL PAVERS UPON COMPLETION OF INSTALLATION SHALL BE TREATED WITH A STAIN RESISTANT COATING/SEALANT TO ASSIST WITH CLEANING OF PAVERS. CONTRACTOR TO SUBMIT TREATMENT AND WORK METHOD TO SUPERINTENDENT FOR APPROVAL.

SITE PREPARATION:

- STRIP FROM THE PROPOSED PAVING AND BUILDING AREAS ALL EXISTING TOPSOIL, ORGANIC MATERIAL, PAVED SURFACES, BASE AND SUB-BASE COURSES, LOOSE RUBBLE AND ANY NON-ENGINEERED FILL.
- TOPSOIL TO BE STOCKPILED ON SITE FOR REUSE IN LANDSCAPING AND ANY REMAINDER TO BE DISPOSED OF TO A LICENSED DUMPING FACILITY.
- OTHER EXCAVATED MATERIAL TO BE STOCKPILED FOR REUSE, RECYCLED OR DISPOSED OF TO A LICENSED DUMPING FACILITY AS REQUIRED OR APPROPRIATE.
- PROOF ROLL AREAS OF NEW WORKS TO IDENTIFY ANY SOFT SPOTS OR OTHER UNSUITABLE AREAS.
- ALL SOFT SPOTS TO BE REMOVED AND FILLED WITH APPROPRIATE EXISTING OR IMPORTED MATERIAL TO A MINIMUM COMPACTION OF 98% STANDARD.
- IMPORTED FILL TO SUB-BASE LEVEL AND BELOW TO BE PM2/QG QUARRY RUBBLE COMPACTED TO 95% MODIFIED.
- FILLING AND COMPACTION TO BE UNDERTAKEN IN LAYERS UP TO 250 mm LOOSE THICKNESS.
- ALL FILLING TO BE CLEAN, FREE OF CONTAMINANTS, AND CAPABLE OF ACHIEVING THE REQUIRED COMPACTION LEVELS.
- PRIOR TO PROOF ROLLING AND COMPACTION ACTIVITIES, THE SUBJECT MATERIAL SHALL BE MOISTURE CONDITIONED TO WITHIN 2% OF ITS OPTIMUM MOISTURE CONTENT.
- ALL FILLING, COMPACTION AND TESTING SHALL BE TO LEVEL 1 AND SUPERVISED BY AN INDEPENDENT GEOTECHNICAL ENGINEER IN ACCORDANCE WITH AS 3798.
- THE INDEPENDENT GEOTECHNICAL ENGINEER SHALL ISSUE A SUPERVISION REPORT INCLUDING COMPACTION CERTIFICATES AND A PLAN SHOWING THE EXTENT OF FILL REMOVAL AND REPLACEMENT JACK ADCOCK CONSULTING PTY LTD UPON COMPLETION OF THE EARTHWORKS.

THIS DRAWING HAS BEEN PRODUCED IN COLOUR AND MUST ONLY BE VIEWED IN COLOUR

APPROVAL ISSUE
NOT FOR CONSTRUCTION

ISSUE	DATE	DETAILS	CHECKED
A	17-11-2023	ISSUED FOR APPROVAL	



JACK ADCOCK CONSULTING PTY. LTD.
STRUCTURAL & CIVIL ENGINEERING
TELEPHONE: +61 8 7226 2868
WEBSITE: jackadcock.com.au
EMAIL: admin@jackadcock.com.au

SHEET TITLE: CIVIL NOTES
PROJECT: PROPOSED NEW THREE STOREY SPLIT LEVEL DEVELOPMENT
ADDRESS: LOT 270 HIGHLANDS COURT WOODFORDE SA 5072
CLIENT: MR. & MRS SORDILLO

PROJECT No: JAC230451-DRG-C001	
DESIGNED: C.T.	DRAWN: L.L.
SHEET: 01 of 03	
SCALE: 1:200 @ A3	ISSUE: A

CONCRETE SLEEPER RETAINING WALL MAXIMUM 1620mm HIGH. HEIGHT & EXTENT TO BE DETERMINED ON SITE.

RWH: 2.58m
TOW: 98.580
BOW: 96.000

RWH: 3.60m
TOW: 99.900
BOW: 96.300

CONCRETE SLEEPER RETAINING WALL MAXIMUM 3600mm HIGH. HEIGHT & EXTENT TO BE DETERMINED ON SITE.

RWH: 0.30m
TOW: 99.900
BOW: 99.600

CONCRETE KERBING HEIGHT VARIES FROM 100mm TO 350mm. HEIGHT & EXTENT TO BE DETERMINED ON SITE.

CONNECT INTO EXISTING SITE STORMWATER DRAINAGE POINT

RWH: 1.62m
TOW: 96.100
BOW: 94.480

CONCRETE SLEEPER RETAINING WALL MAXIMUM 1620mm HIGH. HEIGHT & EXTENT TO BE DETERMINED ON SITE.

RWH: 1.30m
TOW: 96.100
BOW: 94.800

300mm FOOTING UPSTAND REFER TO FOOTING LAYOUT PLAN

RWH: 0.40m
TOW: 96.400
BOW: 96.000

CONCRETE SLEEPER RETAINING WALL MAXIMUM 950mm HIGH. HEIGHT & EXTENT TO BE DETERMINED ON SITE.

RWH: 0.80m
TOW: 97.400
BOW: 96.600

RWH: 0.95m
TOW: 98.950
BOW: 98.000

CONCRETE KERBING HEIGHT VARIES FROM 0 TO 270mm. HEIGHT & EXTENT TO BE DETERMINED ON SITE.

RWH: 0.85m
TOW: 99.450
BOW: 98.600

CONCRETE SLEEPER RETAINING WALL HEIGHT VARIES FROM 0 TO 825mm. HEIGHT & EXTENT TO BE DETERMINED ON SITE.

NEW CROSSOVER AND KERBING TO COUNCIL REQUIREMENTS. MAKE GOOD AFFECTED PAVING AND VERGE

NOTE: RETAINING WALL IS TO BE FULLY CONCEALED WITHIN THE SITE BOUNDARIES (TYP.)

NOTE: PROVIDE SLEEVES THROUGH FOOTINGS FOR THE PROVISION OF STORMWATER PIPES. (TYP.)

LEGEND

- RW1 DENOTES POST AND SLEEPER RETAINING WALL TO CONTRACTOR'S DETAIL (DESIGN AND CONSTRUCT). REFER PROJECT MANAGER
- DENOTES 300SQ GRATED SUMP (U.N.O) - INVERT LEVELS OF SUMP NOT SPECIFIED. BUILDER TO ENSURE ALL INVERTS ARE A MINIMUM OF 200mm BELOW THE COVER LEVEL, AND THAT THE PIPING SYSTEM HAS A MINIMUM 1:200 FALL THROUGHOUT TO THE S/W INLET (TYP.)
- TD DENOTES GRATED TRENCH DRAIN - CLASS AND WIDTH AS NOTED
- DENOTES DIRECTION OF SURFACE FALL
- DENOTES BATTERED SLOPE
- DP DENOTES DOWNPIPE (TO ARCHITECTS SELECTION) TO FULLY SEALED SYSTEM. ENSURE COMPATIBILITY. LOCATIONS INDICATIVE ONLY, REFER ARCHITECTS DRAWINGS
- XXØ DENOTES SEWER GRADE PVC STORMWATER PIPE SIZE AS NOTED
- O/F DENOTES OVERFLOW FROM RAINWATER TANK
- XXØ DENOTES (FULLY SEALED) SEWER GRADE PVC STORMWATER PIPE SIZE AS NOTED
- 106.07 DENOTES EXISTING SPOT LEVEL
- P XX.XX DENOTES PROPOSED DESIGN LEVELS:
FFL - FINISHED FLOOR LEVEL
PL - PLATFORM LEVEL
BL - BENCHED LEVEL
EX - EXISTING LEVEL
IL - INVERT LEVEL
RL - RAISED LEVEL
TOW - TOP OF RETAINING WALL LEVEL
TOK - TOP OF RETAINING KERB LEVEL
L - LANDSCAPING LEVEL
P - PAVING LEVEL
RWH - RETAINING WALL HEIGHT
- RWT INDICATES 5000L RETENTION/DETENTION TANK TO CAPTURE 60% AREA OF ROOF STORMWATER WITH THE 3000L RETENTION VOLUME TO BE PLUMBER TO ONE TOILET AND EITHER THE LAUNDRY COLD WATER OUTLETS OF HOT WATER SERVICE IN ACCORDANCE WITH THE DESIGNATED PERFORMANCE FEATURE WITHIN THE STORMWATER MANAGEMENT OVERLAY OF THE PDI ACT. 1000L DETENTION IS TO PROVIDED ABOVE RETENTION PORTION OUTLET AND OVERFLOW FROM THE TANK IS TO BE DIRECTED, WITH A 25mm FITTED TO OUTLET PIPE, TO THE NEAREST GRATED SUMP, AND THEN TO S/W INLET AT REAR VIA GRAVITY.
- DENOTES LIGHT DUTY CONCRETE PAVEMENT, REFER DETAILS ON C003
- DENOTES LANDSCAPING AREA, REFER ARCHITECTS DRAWINGS

EXISTING SITE NOTES:

BOUNDARY LOCATIONS:
BOUNDARIES ARE BASED ON FENCES ONLY. IT IS RECOMMENDED THAT A BOUNDARY IDENTIFICATION SURVEY IS DONE TO ESTABLISH TRUE BOUNDARIES.

EXISTING STRUCTURES:
PRIOR TO THE COMMENCEMENT OF SITE EARTHWORKS, IT IS RECOMMENDED THAT ADDITIONAL SITE LEVELS BE TAKEN TO CONFIRM REQUIRED BENCH LEVEL ONCE ALL EXISTING STRUCTURES HAVE BEEN REMOVED OVER THE DEVELOPMENT SITE AREA.

EXISTING SERVICES NOTE:
APPROVAL MAY BE NEEDED TO BE SOUGHT FROM RELEVANT AUTHORITIES IF ANY EXISTING SERVICES ON THE BLOCK ARE TO BE RELOCATED.

SITE SURVEY NOTE:
SITE SURVEY BY OTHERS. THE SURVEY DOES NOT COVER ALL GROUND LEVELS ON THE ADJACENT PROPERTY. IF EXISTING RETAINING WALLS ARE ENCOUNTERED ALONG THE BOUNDARY AND THE FLOOR LEVELS BOTH SIDES OF THE BOUNDARY DIFFER BY MORE THAN 100mm, CONTACT THIS OFFICE.

SITWORKS AND DRAINAGE PLAN

SCALE 1:200

THIS DRAWING HAS BEEN PRODUCED IN COLOUR AND MUST ONLY BE VIEWED IN COLOUR

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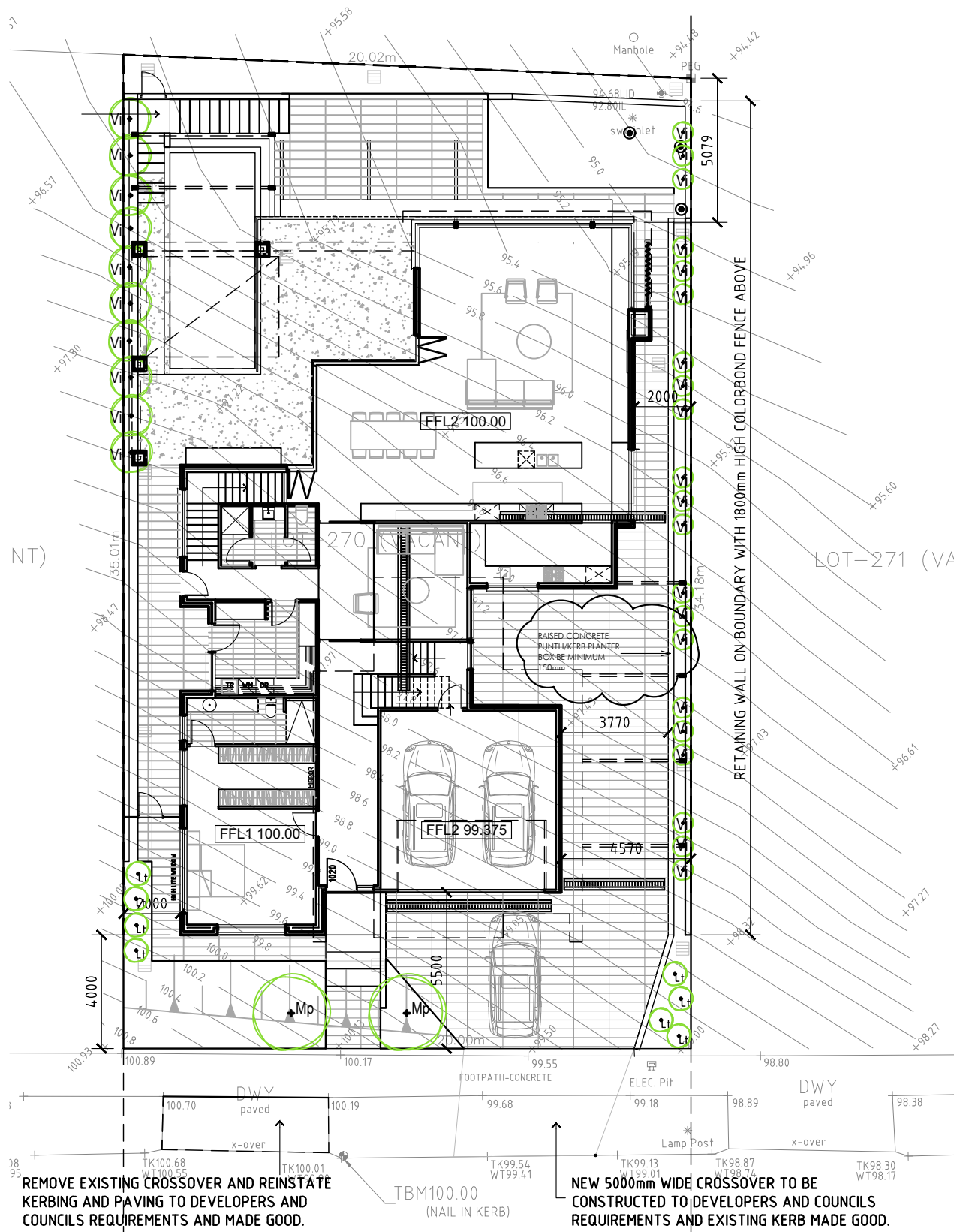
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TELEPHONE: +61 8 7226 2868
WEBSITE: jackadcock.com.au
EMAIL: admin@jackadcock.com.au

SHEET TITLE: SITWORKS AND DRAINAGE PLAN
PROJECT: PROPOSED NEW THREE STOREY SPLIT LEVEL DEVELOPMENT
ADDRESS: LOT 270 HIGHLANDS COURT WOODFORDE SA 5072
CLIENT: MR. & MRS SORDILLO

PROJECT No: JAC230451-DRG-C002	
DESIGNED: C.T.	DRAWN: L.L.
SHEET: 02 of 03	
SCALE: 1:200 @ A3	ISSUE: A



PLANT LIST

CODE	NAME
• Mp	My LAGERSTROEMIA (CREPE MYRTLE) (grows to 7000mm X 5000mm spread)
• Op	Op Pyrus calleryana 'Capital' Ornamental Pear (grows to 3000mm)
• Vi	Vi Viburnum (grows to 2100mm)
• Lt	Lt Lomandra Tanika
Ln	Ln LAWN

- LOAM TO A DEPTH OF 75mm
- COTTAGE MULCH TO A DEPTH OF 75mm TO GARDEN BEDS

AREAS :

GROUND FLOOR	242.11
GARAGE 1	41.52
PORTICO	2.90
ALFRESCO	64.76
FIRST FLOOR	98.66
LOWER GROUND FLOOR (INC. GARAGE 2)	192.94
PATIO (LOWER)	16.85
TOTAL	659.74sq.m

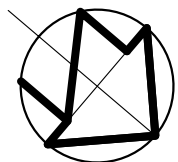
RAINWATER DETENTION AND RETENTION:

TO BE IN ACCORDANCE WITH ENGINEER'S DETAILS/STORMWATER LAYOUT AND IN COMPLIANCE WITH COUNCIL REQUIREMENTS. RAINWATER TO BE PLUMBED TO WC CISTERN WITH MAINS PRESSURE BACKUP AS PER WC MANUFACTURER'S DETAILS.

TANKS TO BE INSECT PROOF TO MANUFACTURER'S DETAILS IN COMPLIANCE WITH BCA.

REFER TO ENGINEER'S CONSTRUCTION REPORT FOR SITESWORKS, SITE LEVELS, BUILDING LEVELS, STORMWATER & RETAINING WALL DETAILS & LOCATIONS

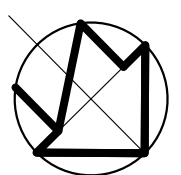
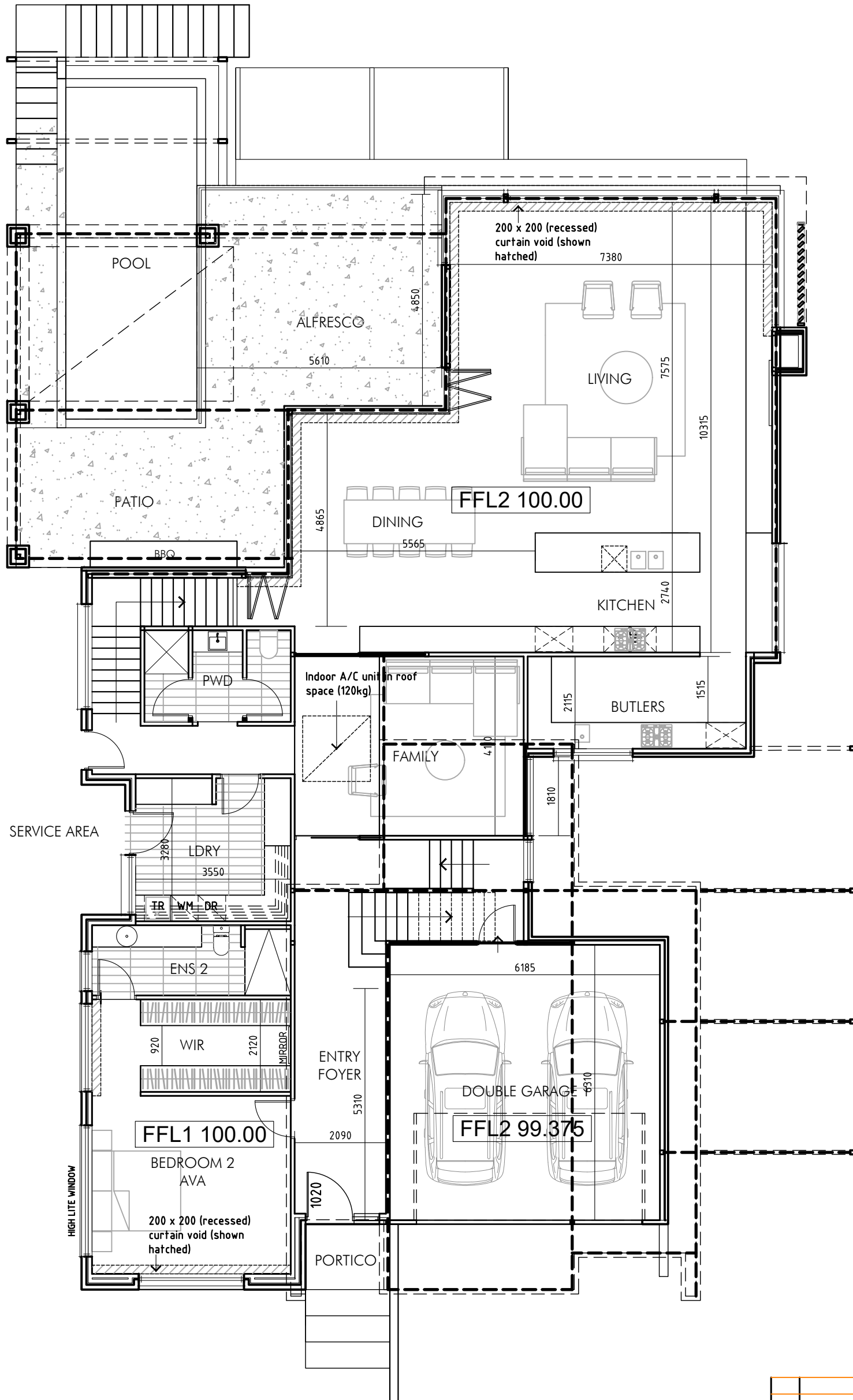
NOTE:
STORMWATER AND ROOF WATER TO BE DRAINED, MANAGED AND DISPOSED OFF IN ACCORDANCE WITH COUNCIL REQUIREMENTS, REFER TO ENGINEER'S DRAWINGS



GROUND FLOOR SITE PLAN
1:200

HIGHLANDS COURT

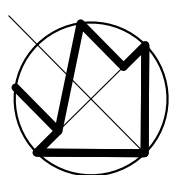
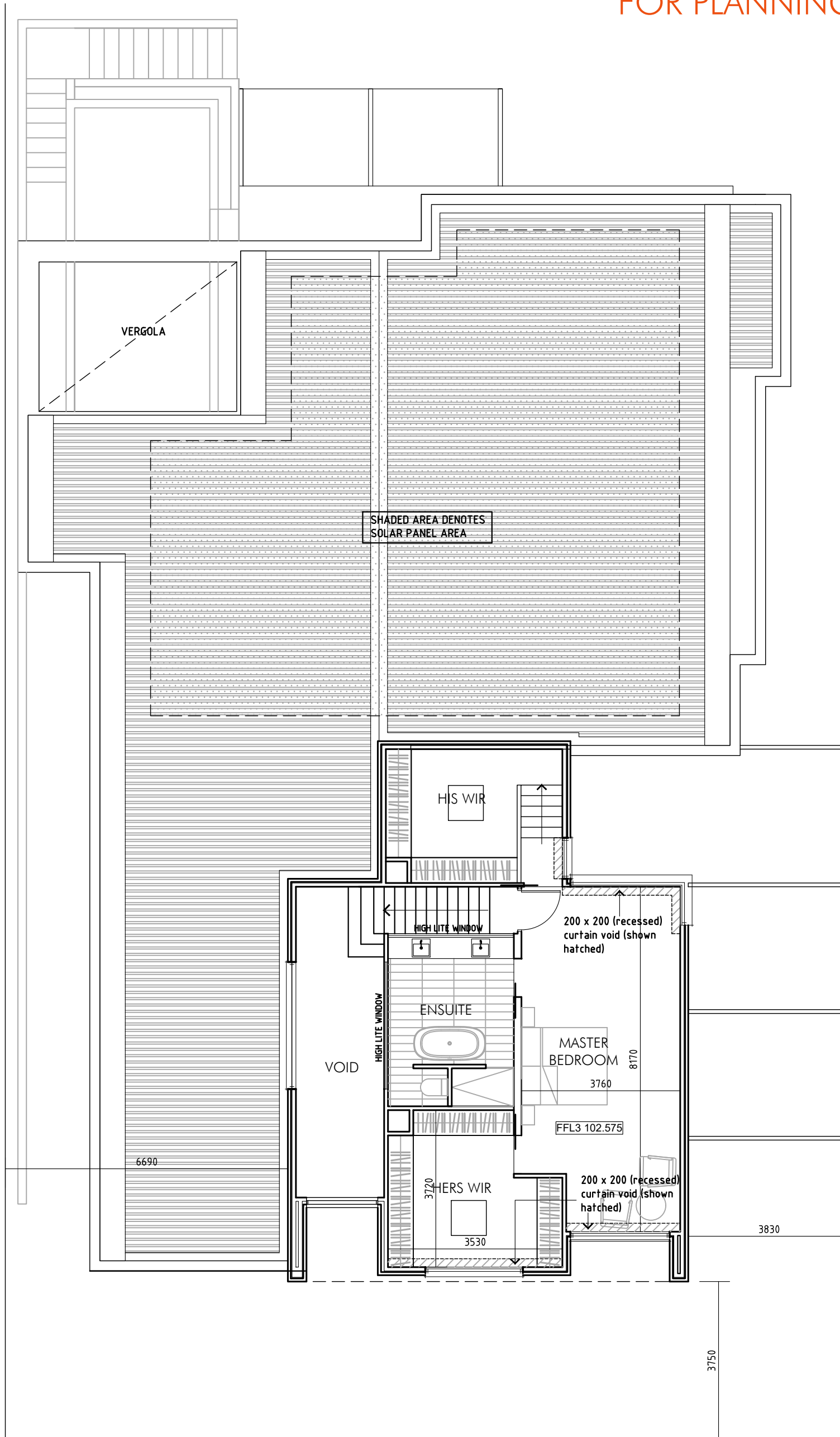
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B	06-10-22	PLANNING RFIs
A	21-01-22	preliminary
No:	DATE	AMENDMENT
PROJECT NO: SM 609	SHEET NO: WD-01	DATE JAN'22 REVISION C
DRAWN: SM		



GROUND FLOOR PLAN
1:100

No:	DATE	AMENDMENT
C	16-01-23	PLANNING RFIs
B	06-10-22	PLANNING RFIs
A	21-01-22	preliminary
PROJECT NO:	SHEET NO:	DATE
SM 609	WD-02	JAN'22
DRAWN:		REVISION
SM		C

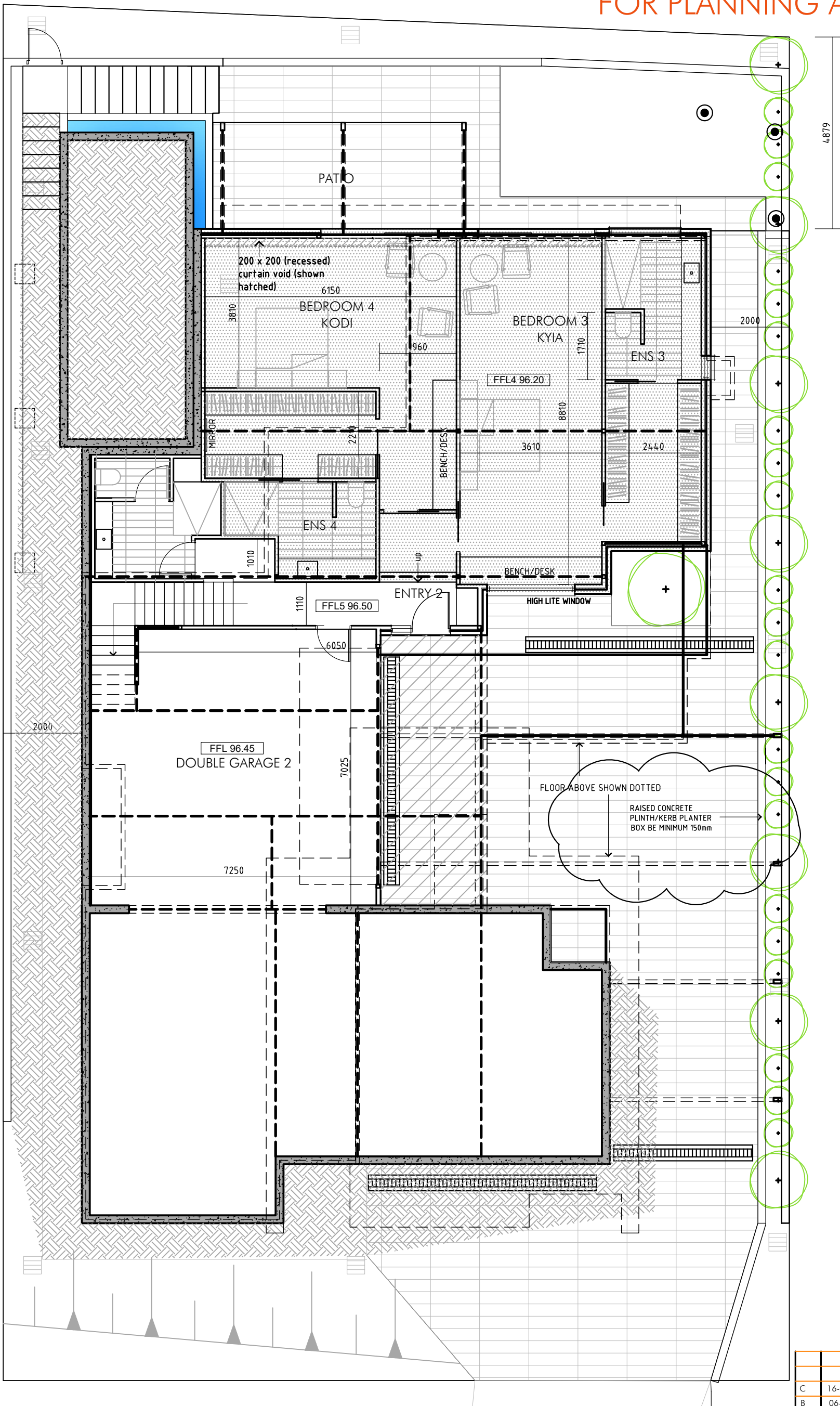
PROJECT
PROPOSED NEW RESIDENCE
FOR: MR. & MRS SORDILLO
ADDRESS
LOT 270 HIGHLANDS COURT WOODFORDE SA



FIRST FLOOR PLAN 1:100

C	16-01-23	PLANNING RFIs
B	06-10-22	PLANNING RFIs
A	21-01-22	preliminary
No:	DATE	AMENDMENT
PROJECT NO: SM 609	SHEET NO: WD-03	DATE JAN'22
DRAWN BY SM		REVISION C

PROJECT
PROPOSED NEW RESIDENCE
FOR: MR. & MRS SORDILLO
 ADDRESS
LOT 270 HIGHLANDS COURT WOODFORDE SA



4.879

LOWER GROUND FLOOR
FLOOR PLAN 1:100

No:	DATE	AMENDMENT
C	16-01-23	PLANNING RFIs
B	06-10-22	PLANNING RFIs
A	21-01-22	preliminary
PROJECT NO:	SHEET NO:	DATE
SM 609	WD-04	JAN'22
DRAWING SM		REVISION B

PROJECT
PROPOSED NEW RESIDENCE
FOR: MR. & MRS SORDILLO
ADDRESS
LOT 270 HIGHLANDS COURT WOODFORDE SA

FINISHES:

- WALL FINISH: (refer to elevations)
- Pp HEBEL (POWERPANEL) WALLING SYSTEM INSTALLED TO MANUFACTURER'S DETAILS WITH RENDERED FINISH COLOUR - PIPE CLAY QUARTER STRENGTH
 - Pp1 HEBEL (POWERPANEL) WALLING SYSTEM INSTALLED TO MANUFACTURER'S DETAILS WITH RENDERED FINISH COLOUR - DULUX DOMINO
 - Cb CONCRETE BRICK WALL WITH RENDERED FINISH COLOUR - PIPE CLAY QUARTER STRENGTH
 - Cb1 CONCRETE BRICK WALL WITH RENDERED FINISH COLOUR - DULUX DOMINO
 - Tc ALU SELEKTA CASTELATION SCREENCLAD COLOUR - CEDAR

WINDOWS:

ALUMINIUM AWNING WINDOWS AS SHOWN ON ELEVATIONS - COLOUR- BLACK

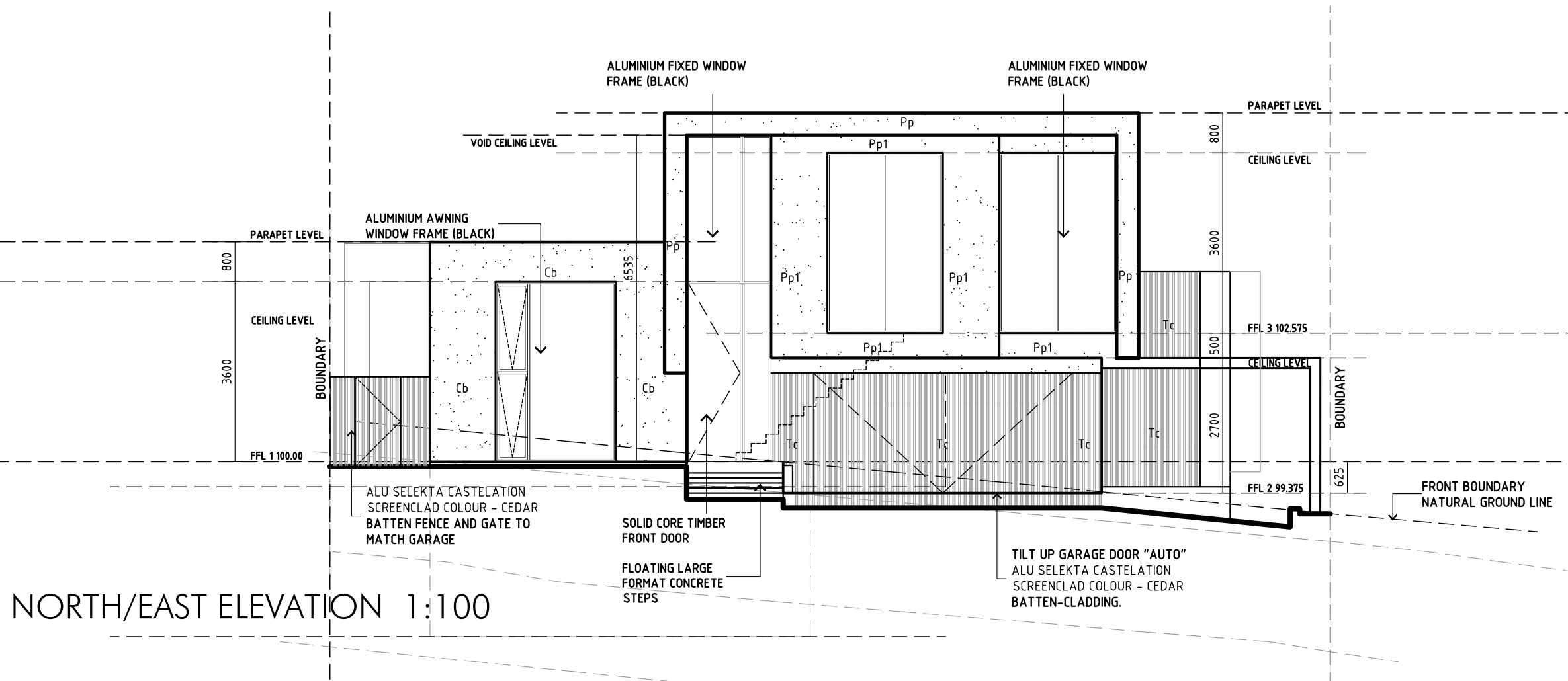
ROOF:

Colorbond KlipLok - 2 degree roof pitch
COLOUR- SURF MIST

BALUSTRADE: GLASS BALUSTRADE

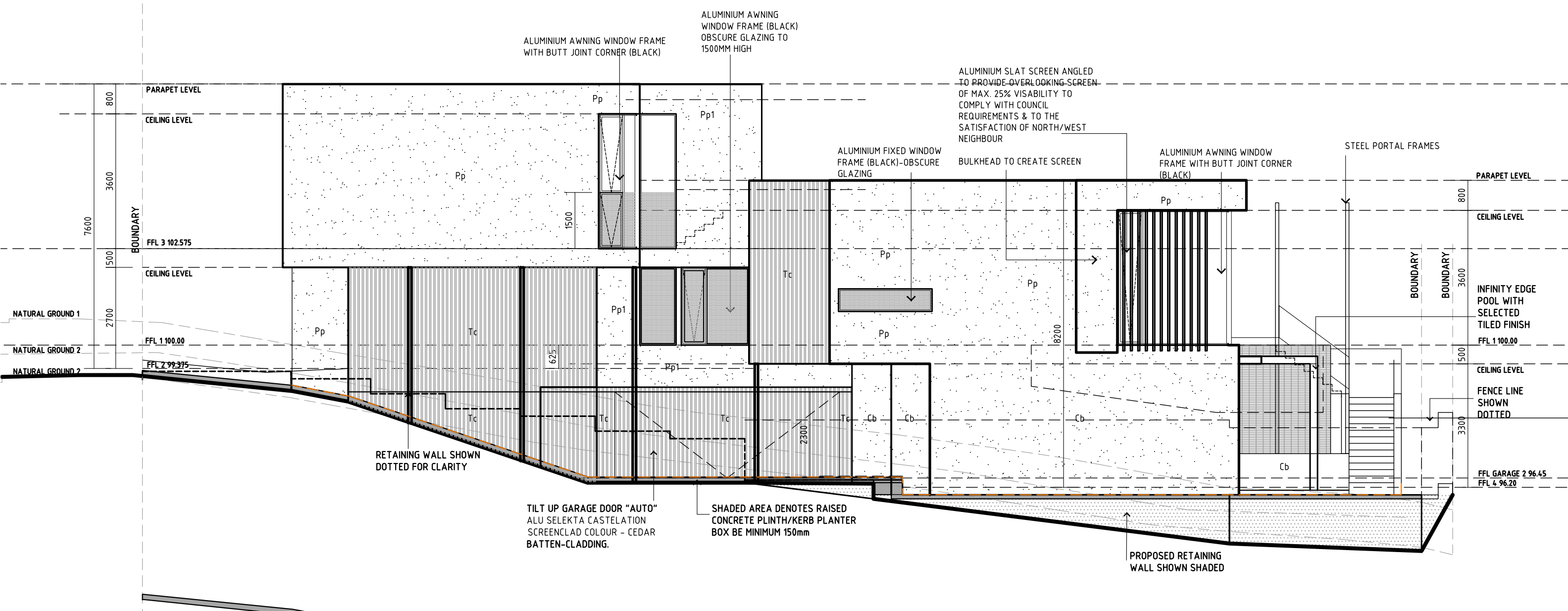
FRONT DOOR - TIMBER

GARAGE DOOR - ALU SELEKTA CASTELATION SCREENCLAD COLOUR - CEDAR



NORTH/EAST ELEVATION 1:100

C	16-01-23	PLANNING RFIs
B	06-10-22	PLANNING RFIs
A	21-01-22	preliminary
No:	DATE	AMENDMENT
PROJECT NO: SM 609	SHEET NO: WD-05	DATE JAN'22 REVISION C
DRAWN: SM		



NORTH/WEST ELEVATION 1:100

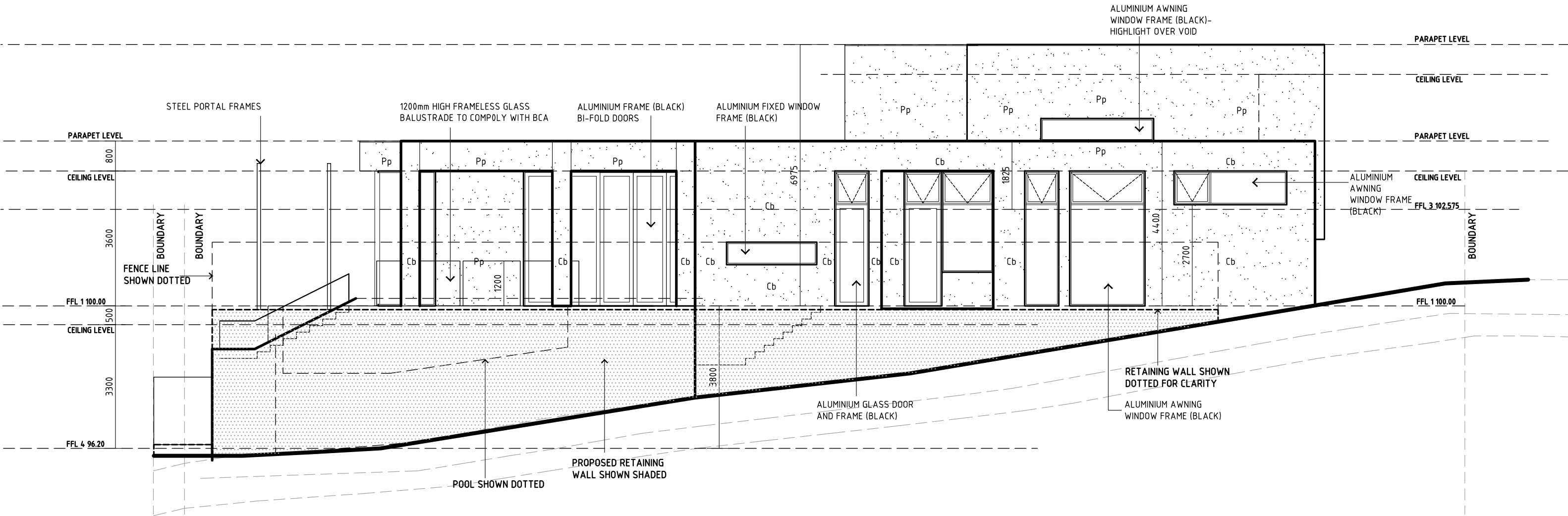
PROJECT
PROPOSED NEW RESIDENCE
 FOR: MR. & MRS SORDILLO
 ADDRESS
LOT 270 HIGHLANDS COURT WOODFORDE SA

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A	21-01-22	preliminary
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SM		C

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SOUTH/EAST ELEVATION 1:100

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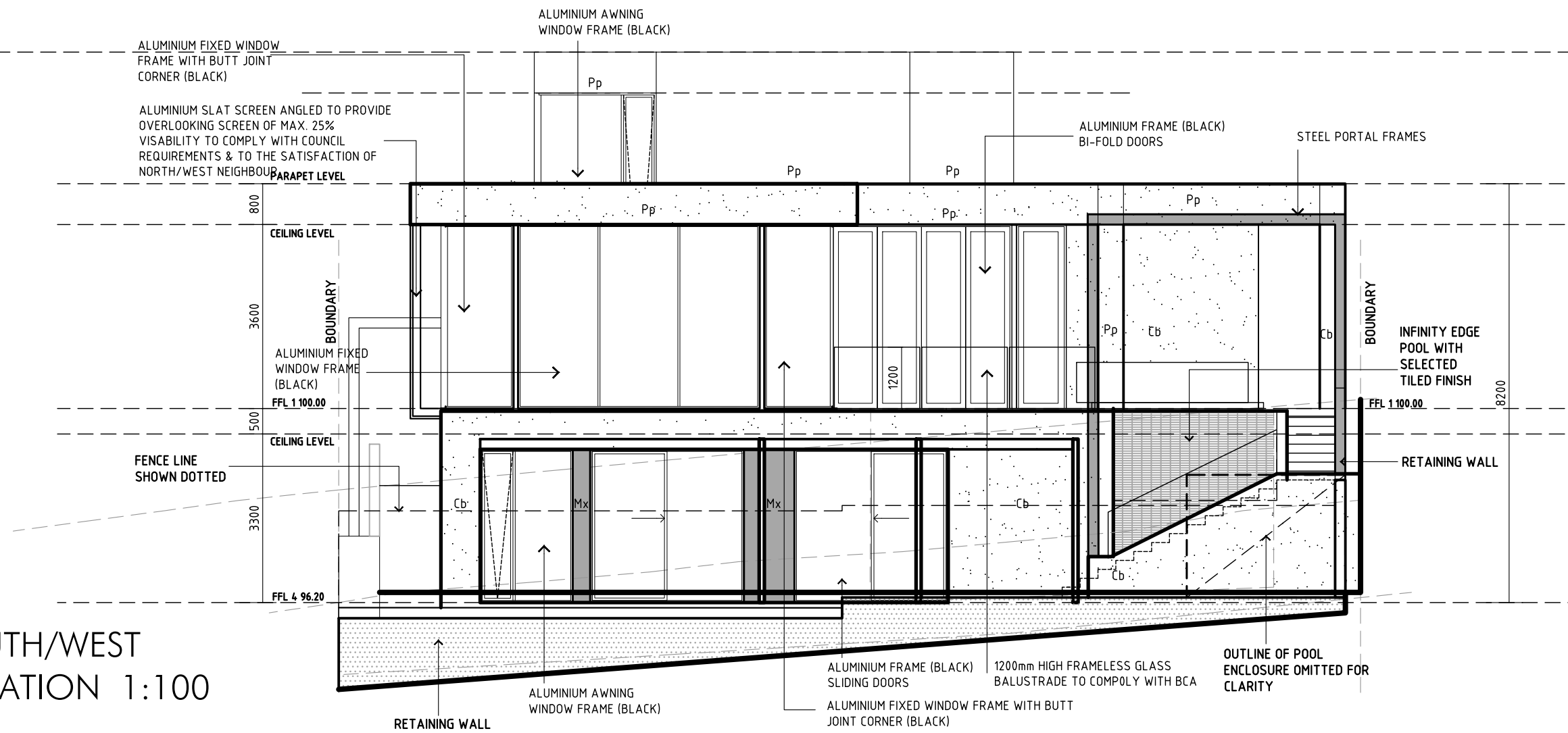
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SOUTH/WEST ELEVATION 1:100



FINISHES:

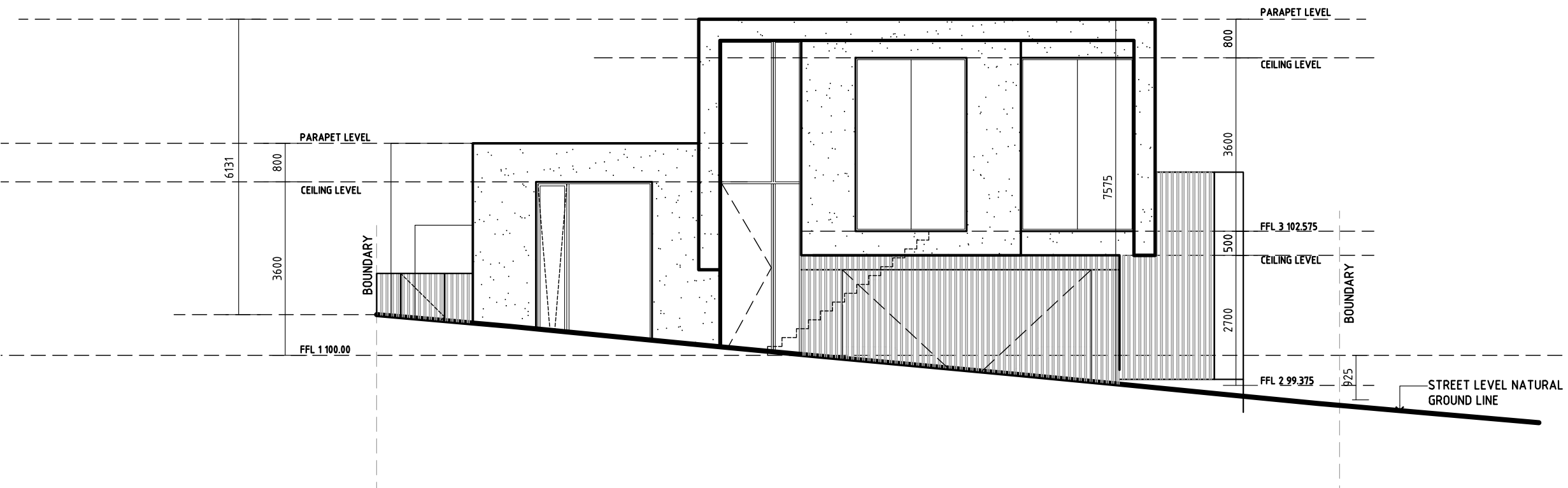
- WALL FINISH: (refer to elevations)
- Pp HEBEL (POWERPANEL) WALLING SYSTEM INSTALLED TO MANUFACTURER'S DETAILS WITH RENDERED FINISH COLOUR - PIPE CLAY QUARTER STRENGTH
 - Pp1 HEBEL (POWERPANEL) WALLING SYSTEM INSTALLED TO MANUFACTURER'S DETAILS WITH RENDERED FINISH COLOUR - DULUX DOMINO
 - Cb CONCRETE BRICK WALL WITH RENDERED FINISH COLOUR - PIPE CLAY QUARTER STRENGTH
 - Cb1 CONCRETE BRICK WALL WITH RENDERED FINISH COLOUR - DULUX DOMINO
 - Tc ALU SELEKTA CASTELATION SCREENCLAD COLOUR - CEDAR
- WINDOWS:
- ALUMINIUM AWNING WINDOWS AS SHOWN ON ELEVATIONS - COLOUR - BLACK
- ROOF:
- Colorbond KlipLok - 2 degree roof pitch
COLOUR - SURF MIST
- BALUSTRADE: GLASS BALUSTRADE
- FRONT DOOR - TIMBER
- GARAGE DOOR - ALU SELEKTA CASTELATION SCREENCLAD COLOUR - CEDAR

PROJECT
PROPOSED NEW RESIDENCE
FOR: MR. & MRS SORDILLO
ADDRESS
LOT 270 HIGHLANDS COURT WOODFORDE SA

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B	06-10-22	PLANNING RFIs
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DRAWN: SM		

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NORTH/EAST STREET ELEVATION 1:100

FINISHES:

WALL FINISH: (refer to elevations)

- Pp HEBEL (POWERPANEL) WALLING SYSTEM INSTALLED TO MANUFACTURER'S DETAILS WITH RENDERED FINISH COLOUR - PIPE CLAY QUARTER STRENGTH
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- Cb1 CONCRETE BRICK WALL WITH RENDERED FINISH COLOUR - DULUX DOMINO
- Tc ALU SELEKTA CASTELATION SCREENCLAD COLOUR - CEDAR

WINDOWS:

ALUMINIUM AWNING WINDOWS AS SHOWN ON ELEVATIONS - COLOUR - BLACK

ROOF:

Colorbond KlipLok - 2 degree roof pitch

COLOUR - SURF MIST

BALUSTRADE: GLASS BALUSTRADE

FRONT DOOR - TIMBER

GARAGE DOOR - ALU SELEKTA CASTELATION SCREENCLAD COLOUR - CEDAR

B	06-10-22	PLANNING RFIs
A	21-01-22	preliminary
No:	DATE	AMENDMENT
PROJECT NO: SM 609	SHEET NO: WD-09	DATE JAN'22 REVISION B
DRAWN: SM		

FINISHES:

- WALL FINISH: (refer to elevations)
- Pp HEBEL (POWERPANEL) WALLING SYSTEM
INSTALLED TO MANUFACTURER'S DETAILS
WITH RENDERED FINISH
COLOUR - PIPE CLAY QUARTER STRENGTH
 - Pp1 HEBEL (POWERPANEL) WALLING SYSTEM
INSTALLED TO MANUFACTURER'S DETAILS
WITH RENDERED FINISH
COLOUR - DULUX DOMINO
 - Cb CONCRETE BRICK WALL WITH RENDERED
FINISH
COLOUR - PIPE CLAY QUARTER STRENGTH
 - Cb1 CONCRETE BRICK WALL WITH RENDERED
FINISH
COLOUR - DULUX DOMINO
 - Tc ALU SELEKTA CASTELATION SCREENCLAD
COLOUR - CEDAR

WINDOWS:

ALUMINIUM AWNING WINDOWS AS SHOWN ON
ELEVATIONS - COLOUR- BLACK

ROOF:

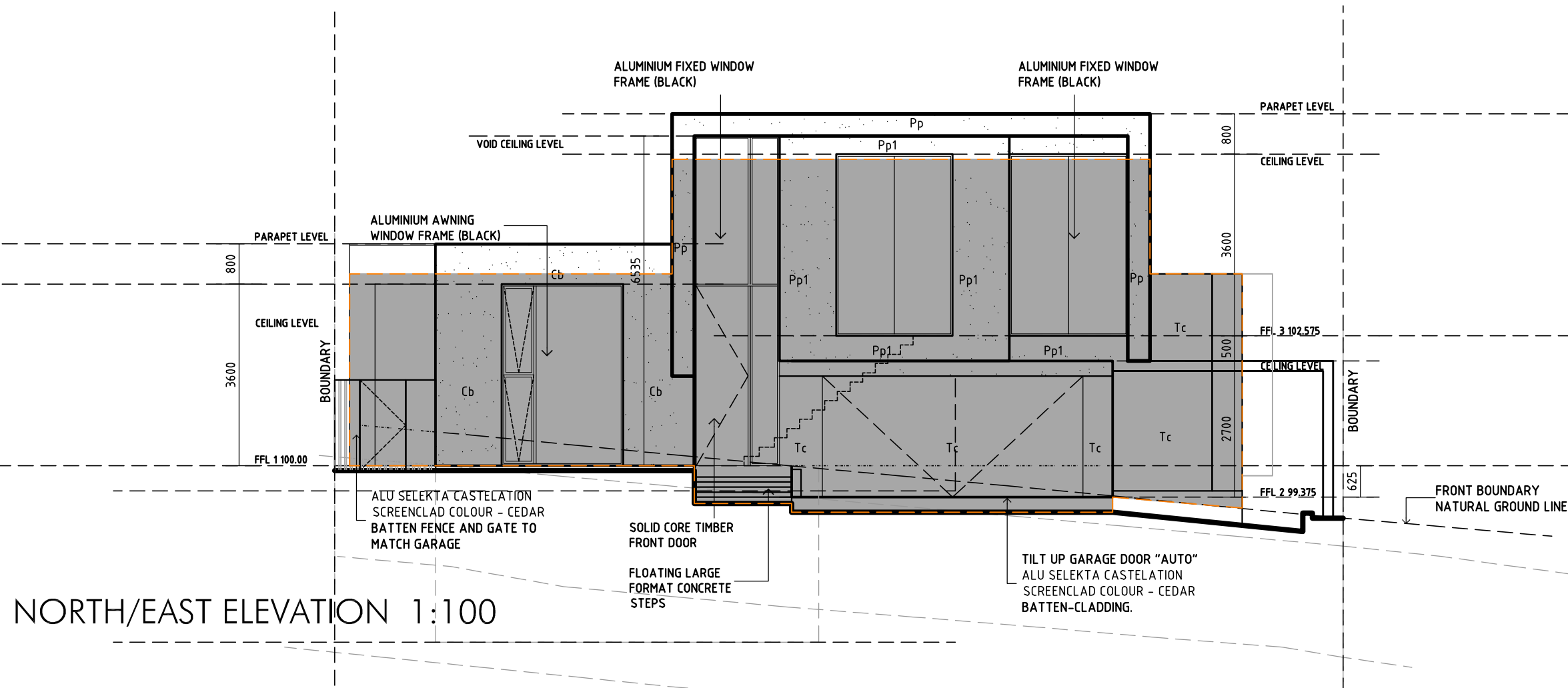
Colorbond KlipLok - 2 degree roof pitch

COLOUR- SURF MIST

BALUSTRADE: GLASS BALUSTRADE

FRONT DOOR - TIMBER

GARAGE DOOR - ALU SELEKTA CASTELATION
SCREENCLAD COLOUR - CEDAR



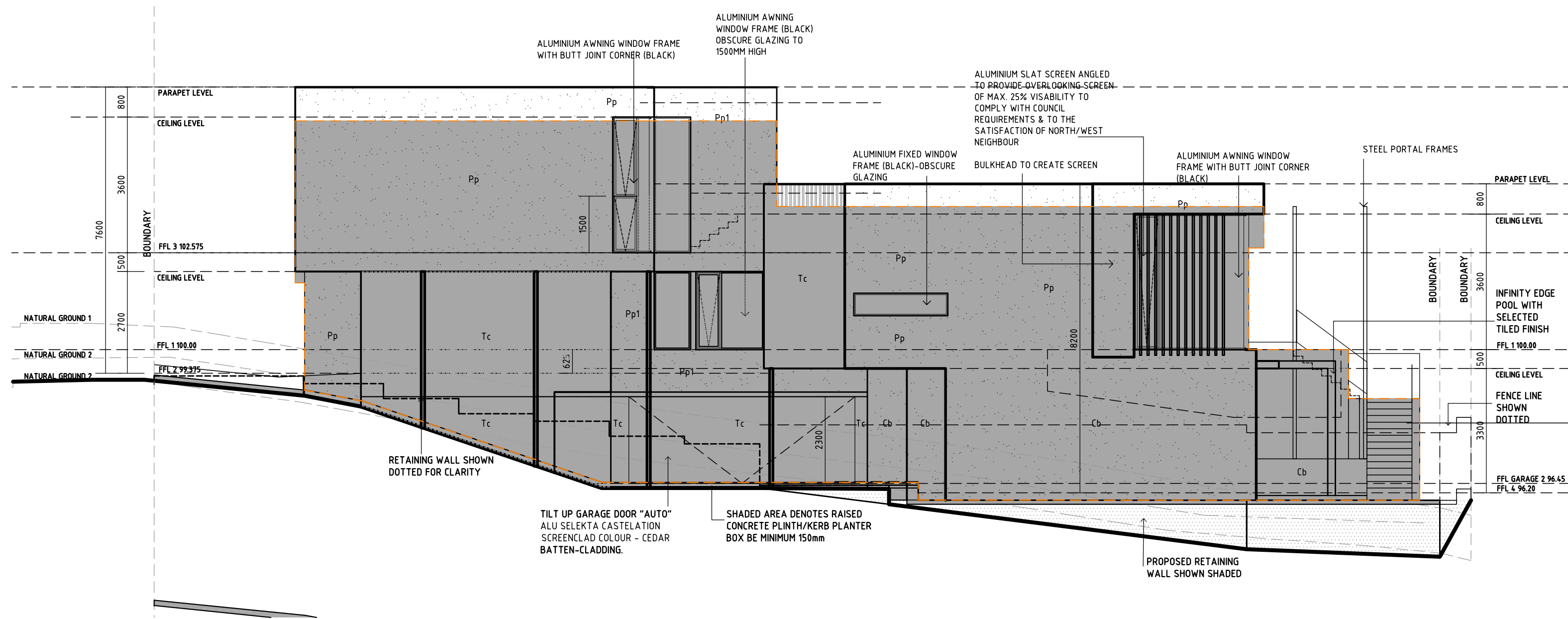
NORTH/EAST ELEVATION 1:100

PROJECT
PROPOSED NEW RESIDENCE
FOR: MR. & MRS SORDILLO
 ADDRESS
LOT 270 HIGHLANDS COURT WOODFORDE SA

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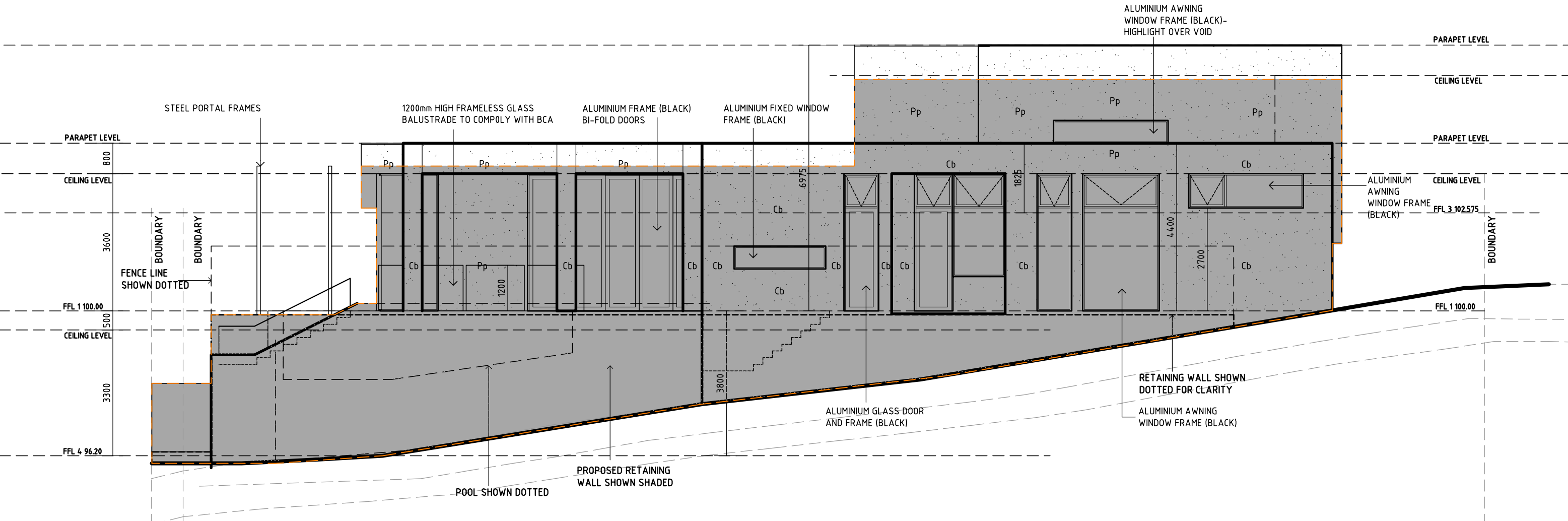
NORTH/WEST ELEVATION 1:100

PROJECT
PROPOSED NEW RESIDENCE
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SM 609	WD-06	JAN'22
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SM		C

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SOUTH/EAST ELEVATION 1:100

PROJECT
PROPOSED NEW RESIDENCE
FOR: MR. & MRS SORDILLO
 ADDRESS
LOT 270 HIGHLANDS COURT WOODFORDE SA

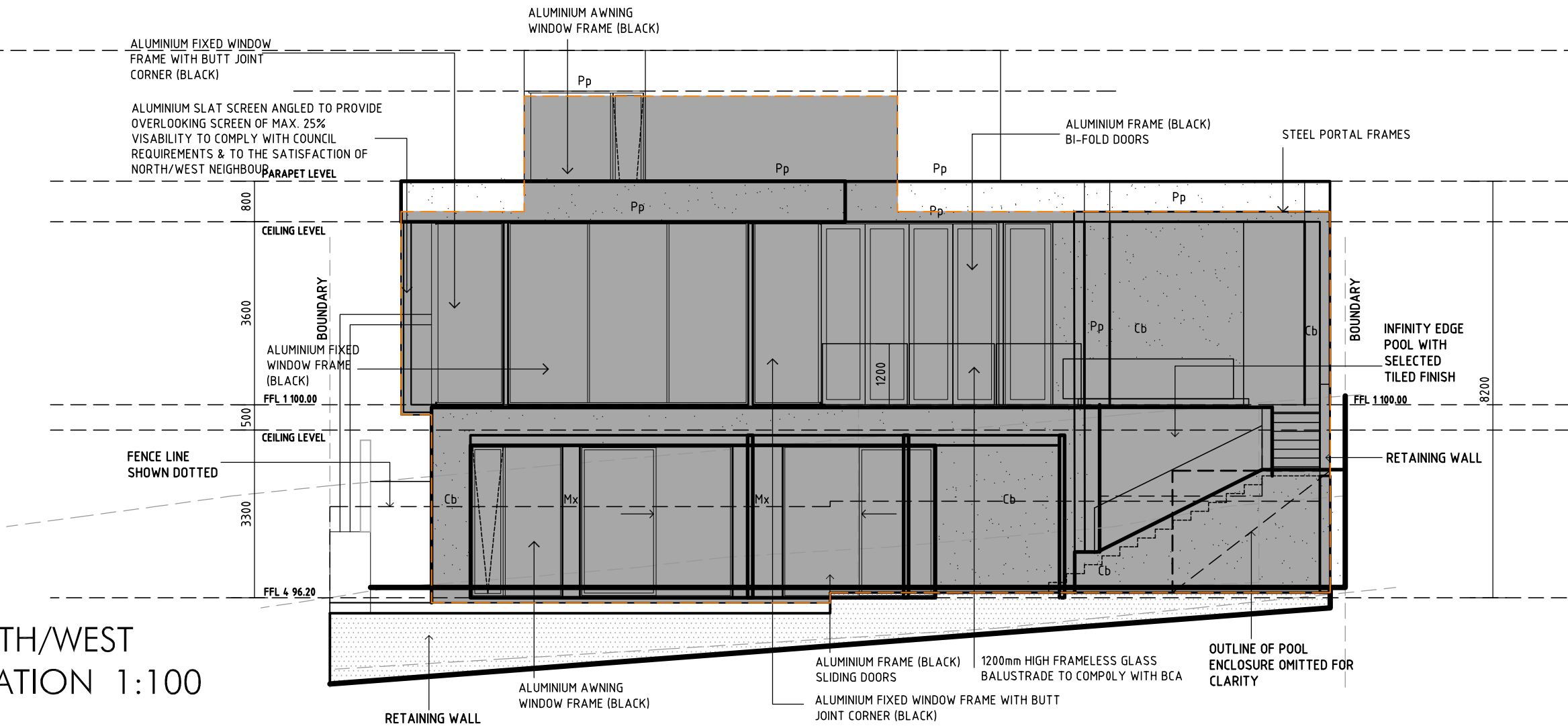
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SOUTH/WEST ELEVATION 1:100



FINISHES:

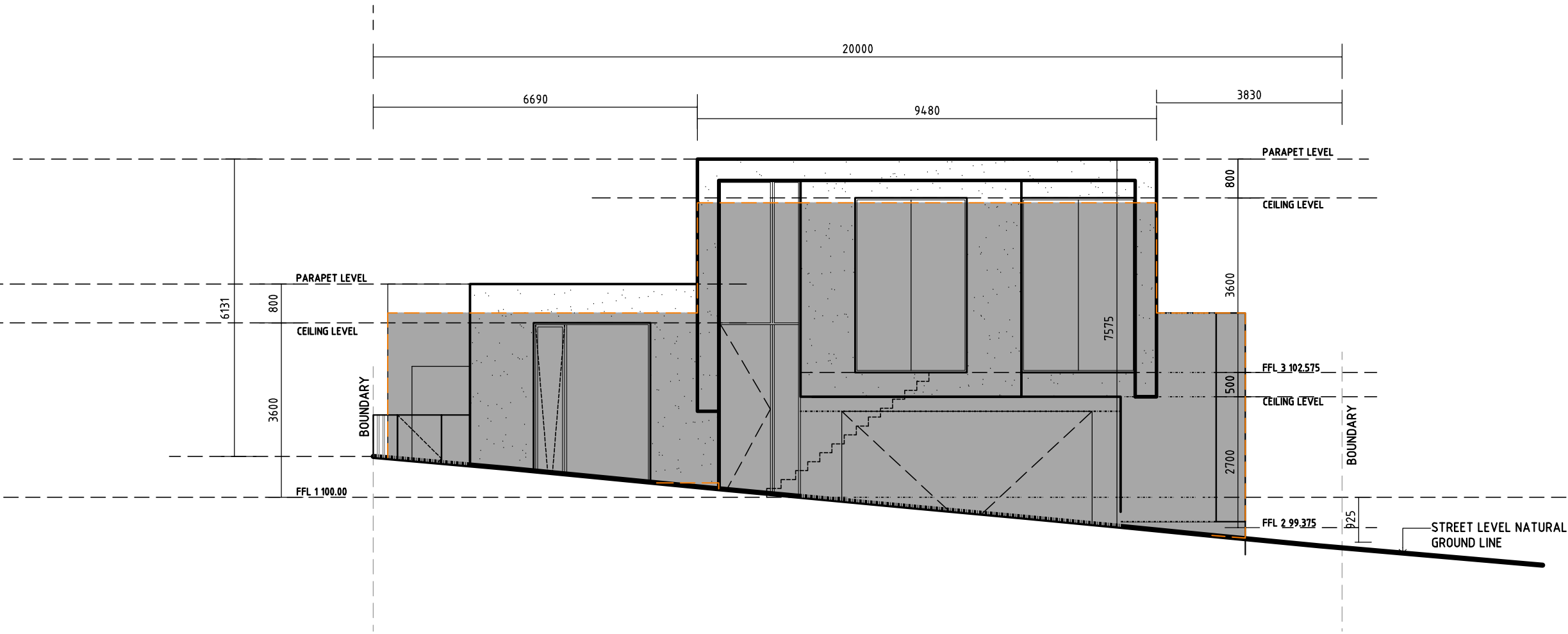
- WALL FINISH: (refer to elevations)
- Pp HEBEL (POWERPANEL) WALLING SYSTEM INSTALLED TO MANUFACTURER'S DETAILS WITH RENDERED FINISH
COLOUR - PIPE CLAY QUARTER STRENGTH
 - Pp1 HEBEL (POWERPANEL) WALLING SYSTEM INSTALLED TO MANUFACTURER'S DETAILS WITH RENDERED FINISH
COLOUR - DULUX DOMINO
 - Cb CONCRETE BRICK WALL WITH RENDERED FINISH
COLOUR - PIPE CLAY QUARTER STRENGTH
 - Cb1 CONCRETE BRICK WALL WITH RENDERED FINISH
COLOUR - DULUX DOMINO
 - Tc ALU SELEKTA CASTELATION SCREENCLAD
COLOUR - CEDAR
- WINDOWS:
- ALUMINIUM AWNING WINDOWS AS SHOWN ON ELEVATIONS - COLOUR- BLACK
- ROOF:
- Colorbond KlipLok - 2 degree roof pitch
COLOUR- SURF MIST
- BALUSTRADE: GLASS BALUSTRADE
- FRONT DOOR - TIMBER
- GARAGE DOOR - ALU SELEKTA CASTELATION SCREENCLAD COLOUR - CEDAR

PROJECT
PROPOSED NEW RESIDENCE
 FOR: MR. & MRS SORDILLO
 ADDRESS
LOT 270 HIGHLANDS COURT WOODFORDE SA

Ph: 0412 603 902 email: s.marzullo@bigpond.com © COPYRIGHT 2022

C	16-01-23	PLANNING RFLs
B	06-10-22	PLANNING RFLs
A	21-01-22	preliminary
No:	DATE	AMENDMENT
PROJECT NO: SM 609	SHEET NO: WD-08	DATE JAN'22
DRAWN: SM		REVISION C

salvatore marzullo
building design



NORTH/EAST STREET ELEVATION
1:100

FINISHES:

- WALL FINISH: (refer to elevations)
- Pp HEBEL (POWERPANEL) WALLING SYSTEM
INSTALLED TO MANUFACTURER'S DETAILS
WITH RENDERED FINISH
COLOUR - PIPE CLAY QUARTER STRENGTH
 - Pp1 HEBEL (POWERPANEL) WALLING SYSTEM
INSTALLED TO MANUFACTURER'S DETAILS
WITH RENDERED FINISH
COLOUR - DULUX DOMINO
 - Cb CONCRETE BRICK WALL WITH RENDERED
FINISH
COLOUR - PIPE CLAY QUARTER STRENGTH
 - Cb1 CONCRETE BRICK WALL WITH RENDERED
FINISH
COLOUR - DULUX DOMINO
 - Tc ALU SELEKTA CASTELATION SCREENCLAD
COLOUR - CEDAR
- WINDOWS:
ALUMINIUM AWNING WINDOWS AS SHOWN ON
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- FRONT DOOR - TIMBER
- GARAGE DOOR - ALU SELEKTA CASTELATION
SCREENCLAD COLOUR - CEDAR

PROJECT
PROPOSED NEW RESIDENCE
FOR: MR. & MRS SORDILLO
ADDRESS
LOT 270 HIGHLANDS COURT WOODFORDE SA

Ph: 0412 603 902 email: s.marullo@bigpond.com © COPYRIGHT 2022

B	06-10-22	PLANNING RFIs
A	21-01-22	preliminary
No:	DATE	AMENDMENT
PROJECT NO: SM 609	SHEET NO: WD-09	DATE JAN'22 REVISION B
DRAWN: SM		



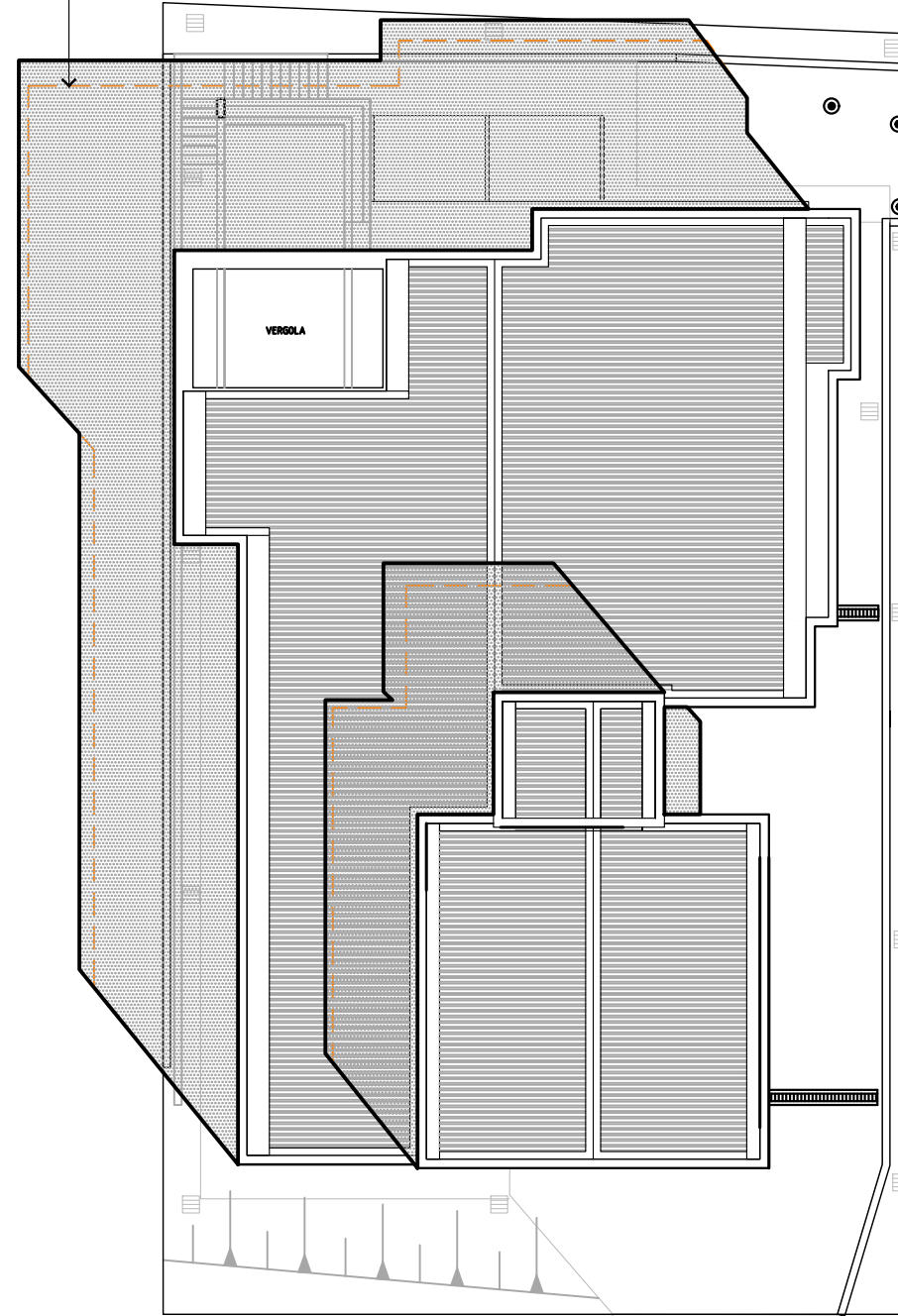
FOR PLANNING APPROVAL ONLY

ORANGE DASHED LINE
REPRESENTS ORIGINAL
SHADOW LINE IN ORIGINAL
APPLICATION

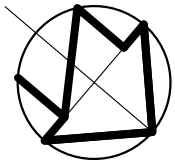


SHADOW DIAGRAM
JUNE 21 9AM
1:200

ORANGE DASHED LINE
REPRESENTS ORIGINAL
SHADOW LINE IN ORIGINAL
APPLICATION

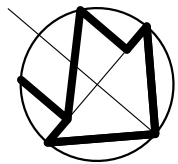


SHADOW DIAGRAM
JUNE 21 MIDDAY
1:200



A	29-01-24	PLANNING RFIS
No:	DATE	AMENDMENT
PROJECT NO: SM 609	SHEET NO: SH-01	DATE JAN'24
DRAWN: SM		REVISION A

FOR PLANNING APPROVAL ONLY



SHADOW DIAGRAM
 JUNE 21 3 PM
 1:200

No:	DATE	AMENDMENT
A	29-01-24	PLANNING RFIS
PROJECT NO:	SHEET NO:	DATE
SM 609	SH-01	JAN'24
DRAWN:		REVISION
SM		A

PROJECT
 PROPOSED NEW RESIDENCE
 FOR: MR. & MRS SORDILLO
 ADDRESS
 LOT 270 HIGHLANDS COURT WOODFORDE SA



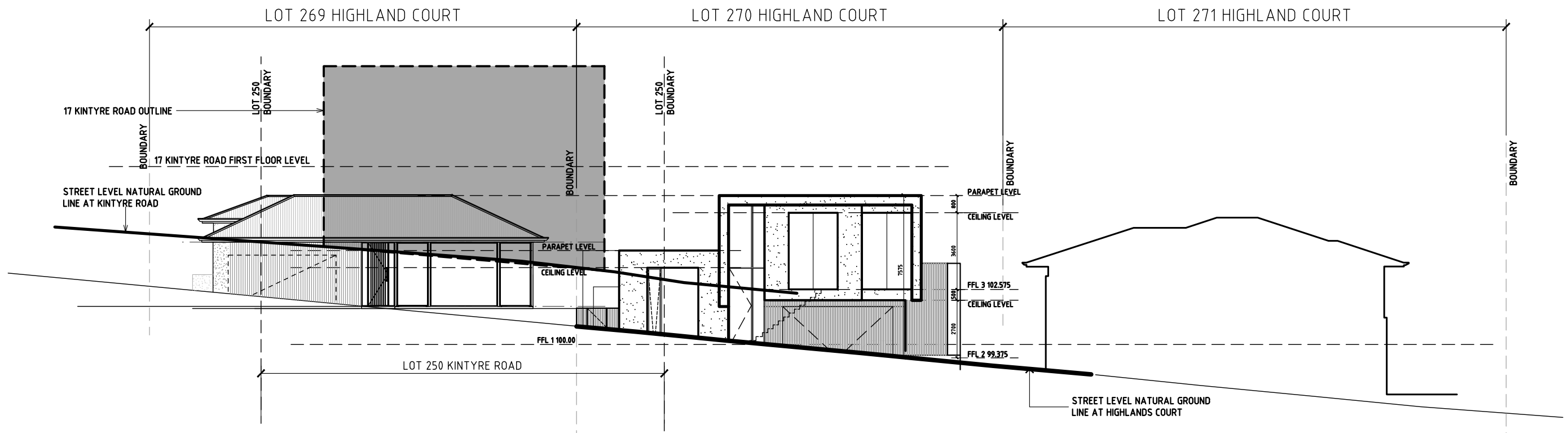
SITE PLAN 1:500

PROJECT
PROPOSED NEW RESIDENCE
FOR: MR. & MRS SORDILLO
 ADDRESS
LOT 270 HIGHLANDS COURT WOODFORDE SA

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A	27-03-24	REPRESENTATION RESPONSE
No:	DATE	AMENDMENT
PROJECT NO: SM 609	SHEET NO: DA-01	DATE MAR'24
DRAWN: SM		REVISION A

salvatore marzullo
 building design



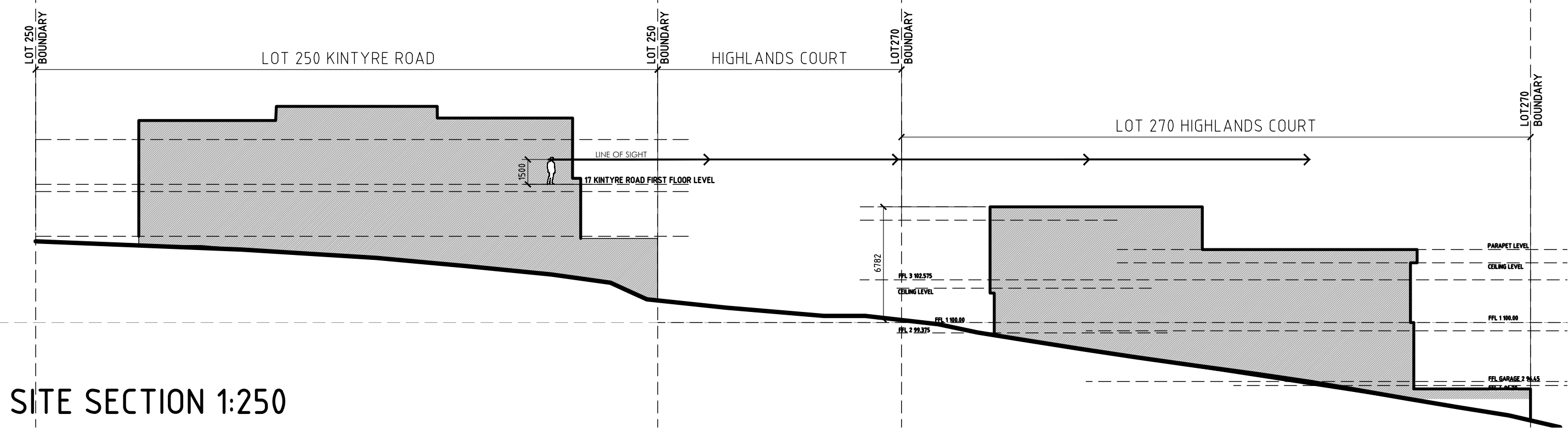
STREETSCAPE ELEVATION 1:200

PROJECT
PROPOSED NEW RESIDENCE
 FOR: MR. & MRS SORDILLO
 ADDRESS
LOT 270 HIGHLANDS COURT WOODFORDE SA

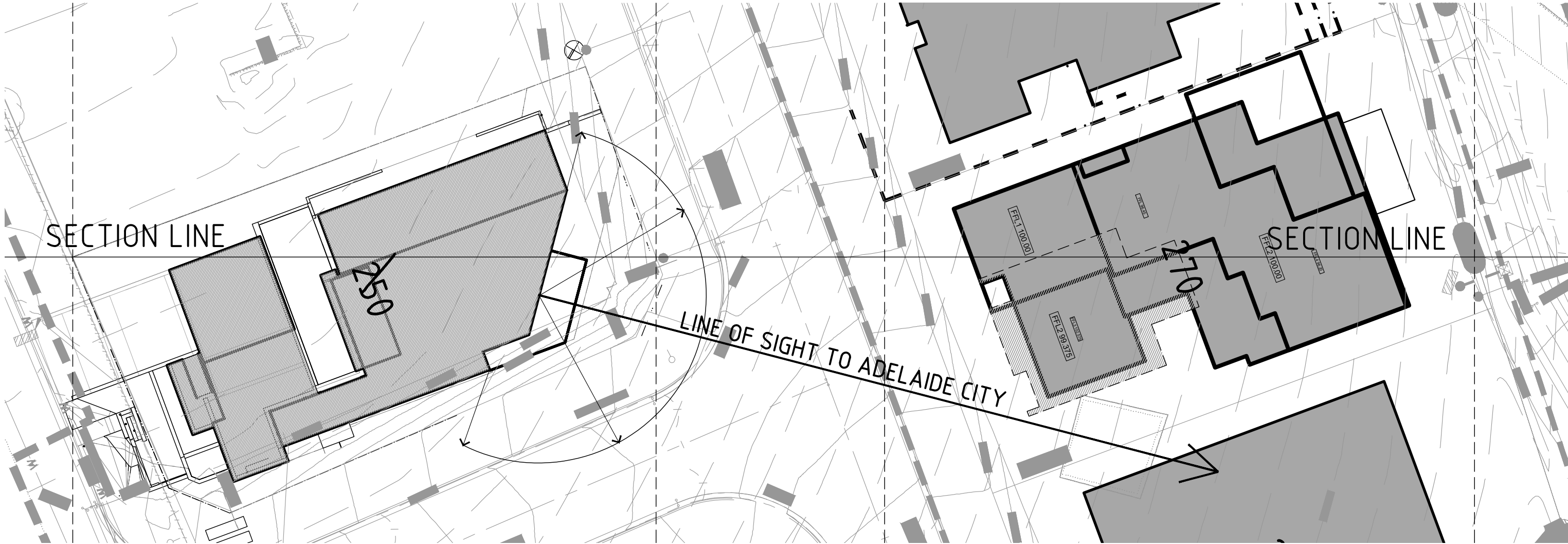
Ph: 0412 603 902 email: s.marzullo@bigpond.com © COPYRIGHT 2024

A	27-03-24	REPRESENTATION RESPONSE
No:	DATE	AMENDMENT
PROJECT NO: SM 609	SHEET NO: DA-02	DATE MAR'24
DRAWN: SM		REVISION A

salvatore marzullo
 building design



SITE SECTION 1:250



PROJECT
PROPOSED NEW RESIDENCE
 FOR: MR. & MRS SORDILLO
 ADDRESS
LOT 270 HIGHLANDS COURT WOODFORDE SA

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A	27-03-24	REPRESENTATION RESPONSE
No:	DATE	AMENDMENT
PROJECT NO: SM 609	SHEET NO: DA-02	DATE MAR'24
DRAWN: SM		REVISION A

salvatore marzullo
 building design

8th April 2024

RE: DESIGN PANEL APPROVAL – LOT 270 HIGHLANDS COURT, WOODFORDE (VARIATION)

Thank you for submitting your plans for the above-mentioned allotment for assessment by the Hamilton Hill Design Panel.

I am pleased to advise that the Design Panel has approved the following plans:

Project No.	Drawing	Title	Revision	Date
SM 609	WD-01	Ground Floor Site Plan	C	16.01.23
SM 609	WD-02	Ground Floor Plan	C	16.01.23
SM 609	WD-03	First Floor Plan	C	16.01.23
SM 609	WD-04	Lower Ground Floor Plan	B	16.01.23
SM 609	WD-05	Elevation	C	16.01.23
SM 609	WD-06	Elevation	C	16.01.23
SM 609	WD-07	Elevation and Materials	C	16.01.23
SM 609	WD-08	South / West Elevation	C	16.01.23
SM 609	WD-09	North / East Elevation	B	06.10.22
SM 609	DA-01	Site Plan	A	27.03.24
SM 609	DA-02	Streetscape Elevation	A	27.03.24
SM 609	DA-02	Site Section	A	27.03.24
220315	C1	Level Plan	A	15.03.22
220315	C3	Civil and Drainage Plan	C	08.06.22
220315	C3	Stormwater Details	A	15.03.22
220315	C4	Earthworks and Paving Details	A	15.03.22

Please proceed to lodge your development application with Adelaide Hills Council or a Private Certifier with this approval letter.

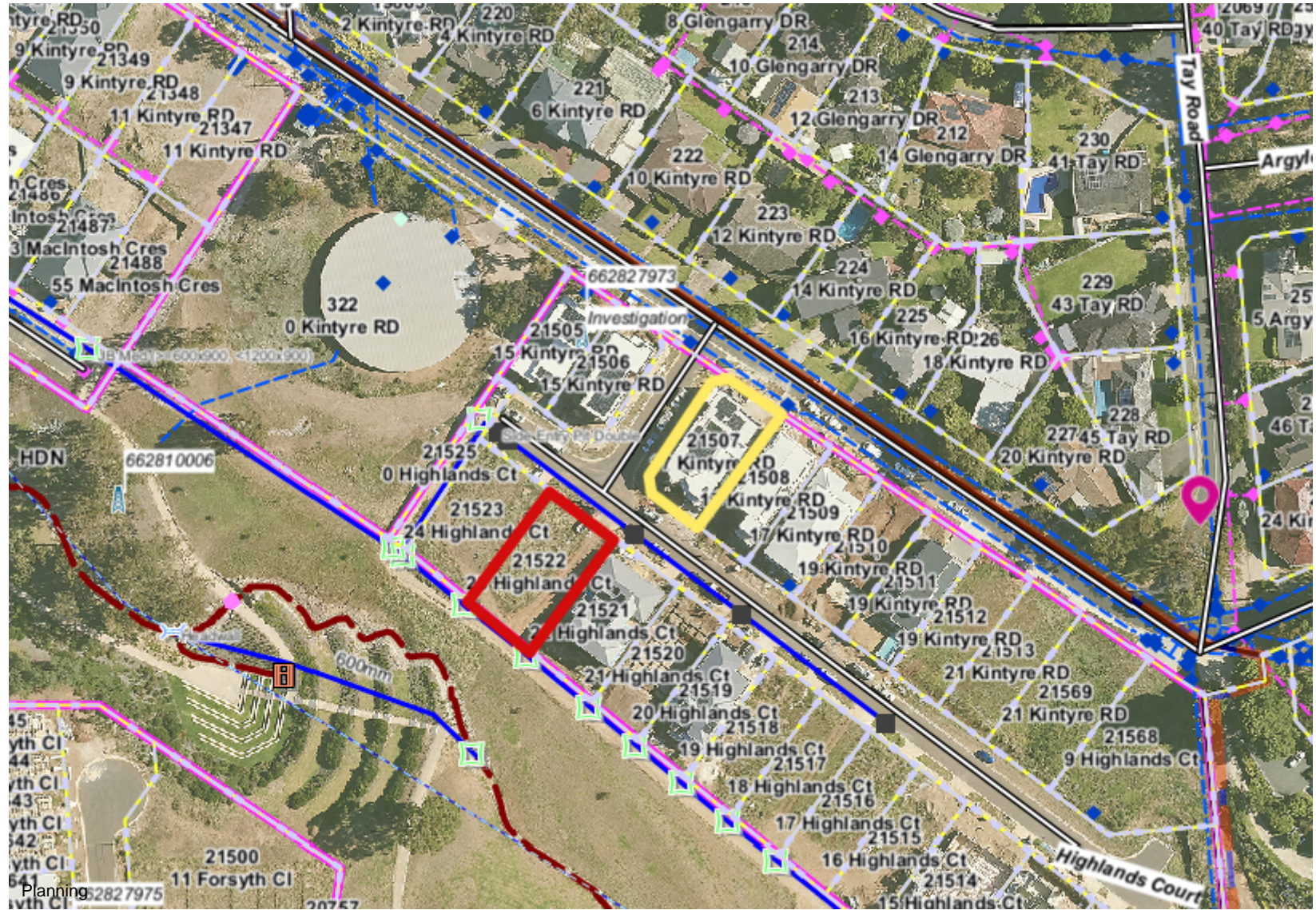
In the event that the attached plans require further amendment at any time, please ensure that the Design Panel are consulted and approve the variations prior to submitting a variation request to the relevant approval authority.



From all the team at Kite, we wish you all the best for the construction of your new home and look forward to seeing the finished product.

Yours Sincerely

Hamilton Hill Design Panel



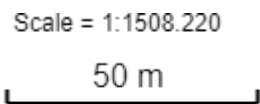


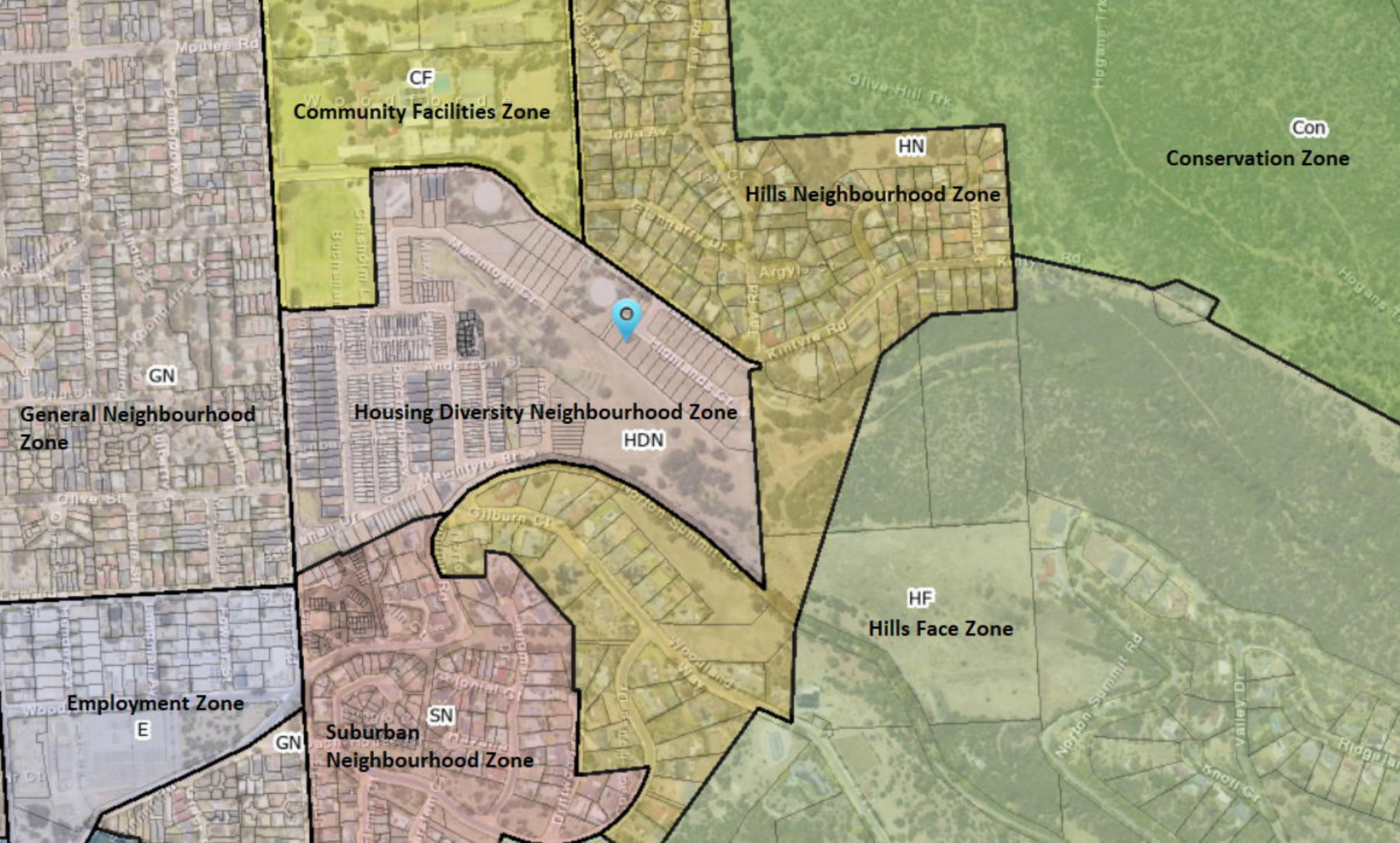
- Annotations**
-  Representors Land
 -  Subject Land

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CF
Community Facilities Zone

HN
Hills Neighbourhood Zone

Con
Conservation Zone

GN
General Neighbourhood Zone

HDN
Housing Diversity Neighbourhood Zone

E
Employment Zone

SN
Suburban Neighbourhood Zone

HF
Hills Face Zone

Details of Representations

Application Summary

Application ID	23035583
Proposal	Variation to DA 22022718 - to increase wall height of dwelling
Location	23 HIGHLANDS CT WOODFORDE SA 5072

Representations

Representor 1 - Phillip Brunning

Name	Phillip Brunning
Address	27 Halifax Street ADELAIDE SA, 5000 Australia
Submission Date	04/03/2024 09:16 AM
Submission Source	Online
Late Submission	No
Would you like to talk to your representation at the decision-making hearing for this development?	Yes
My position is	I oppose the development
Reasons	
Please refer to PBA letter of 4 March 2024	

Attached Documents

Woodforde-2704-001-1343260.pdf

4 March 2024

Mr Geoff Parsons
Presiding Member
Council Assessment Panel
Adelaide Hills Council
Via the Plan SA Portal



Town Planning
Development Advice
Strategic Management

Attention: Ms Ashleigh Gade, Planning Officer

Dear Mr Parsons & Members,

**Development Application 23035583 – 23 Highlands Court, Woodforde –
Variation to Approved Design (DA 22022718) to Increase Wall Height –
Representation of behalf of Allan Amber**

I refer to the above-mentioned development application that seeks planning consent to vary the design approved by Council for the construction of a two-storey dwelling on land located at 23 Highlands Court, Woodforde.

I make the following representation on behalf of Mr Allan Amber, the owner and occupier of the residence at 17 Kintyre Road being that immediately opposite the land on which this two-storey dwelling is proposed.

For reasons I outline below, the proposal should be declined planning consent in so far as the additional building height sought is excessive, not reasonable in the circumstance and in any event, contrary to policies of the Planning & Design Code.

If approved the variation will result in a building of excessive height and visual bulk that would not only unreasonably obstruct views enjoyed from my client's property, but detract from the character and amenity of this locality more generally.

While views may not ordinarily be a relevant town planning consideration, I think it is in this circumstance given the characteristics of the location and the care taken by the developer of this estate, otherwise now as Hamilton Hill to provide for such.

This land is subject to an encumbrance registered on the certificates of title for allotments within this estate. This encumbrance calls up detailed design guidelines that dealt with the design and siting of dwellings.

In this regard there is an individual and mutual responsibility to design dwellings in accord with these guidelines that are relied upon by the owners of property within this estate, affording confidence and certainty of outcome.

These design guidelines reference a building envelope plan which identifies a maximum building height of 9 metres, reflective of that provided by the Planning & Design Code for this location.

Phillip Brunning & Associates

ABN 40 118 903 021

Level 1, 27 Halifax Street
Adelaide SA 5000
Mobile 0407 019 748
phil@phillipbrunning.com
www.phillipbrunning.com

I refer your attention more specifically to the Technical Numerical Variations identified by the Code with respect to maximum building height for this location within the Housing Diversity Neighbourhood Zone:

Maximum Building Height (Metres) (Maximum building height is 9m)
 Maximum Building Height (Levels) (Maximum building height is 2 levels)

Performance Outcome 3.1 and the associated Designated Performance Feature state that building height should be consistent with and no higher than the measures provided as Technical Numerical Variations.

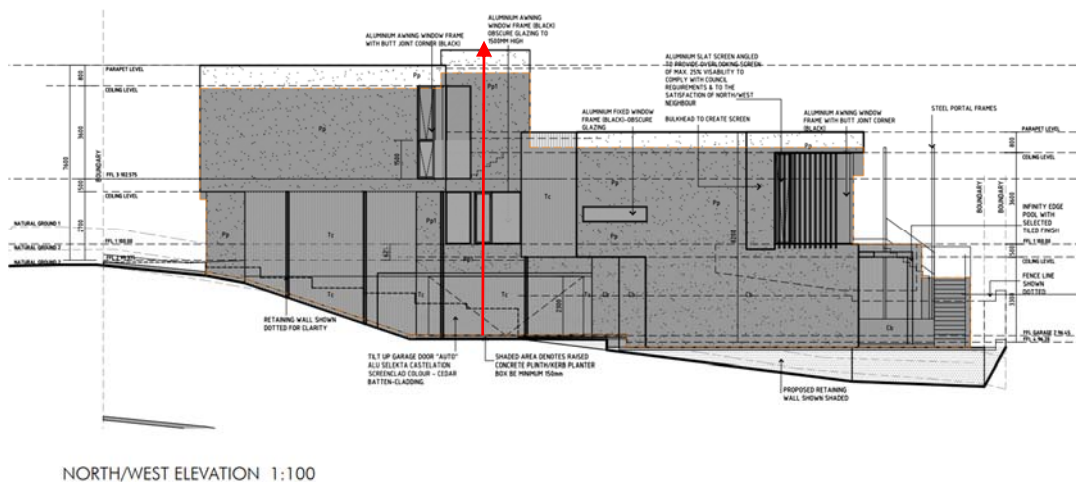
PO 3.1 Building height is consistent with the form expressed in any relevant Maximum Building Height (Levels) Technical and Numeric Variation layer and Maximum Building Height (Metres) Technical and Numeric Variation layer or is generally low rise, or complements the height of nearby buildings.

DPF 3.1 Building height (excluding garages, carports and outbuildings) is no greater than:

a) The following:

Maximum Building Height (Metres)
Maximum building height is 9m
Maximum Building Height (Levels)
Maximum building height is 2 levels

Whereas this dwelling was approved with a maximum height of some 10 metres above the ground level immediately below, a further 0.8 metres is now sought further exacerbating the original departure from clearly expressed planning policy.



As an aside, I note that the configuration of this dwelling is actually 3 levels in part.

Upon further interrogation of the drawings, it would seem that the primary reason behind this increase is to accommodate a floor ceiling height of 3.6 metres in the first floor master bedroom suite. Surely, a ceiling height of 3.6 metres is not necessary.

The resultant effect is a significant increase in visual bulk beyond that which was originally approved, which in itself substantively departed from clearly expressed planning policy in relation to height at the time.

This increase in visual bulk will detract from the character and amenity of the locality.

Desired Outcome 1 under the heading 'Design' within the General Development Policies section of the Code seeks 'contextual' design by positively responding to the character of the immediate area.

DO 1 Development is:

- a) contextual - by considering, recognising and carefully responding to its natural surroundings or built environment and positively contributes to the character of the immediate area
- b) durable - fit for purpose, adaptable and long lasting
- c) inclusive - by integrating landscape design to optimise pedestrian and cyclist usability, privacy and equitable access, and promoting the provision of quality spaces integrated with the public realm that can be used for access and recreation and help optimise security and safety both internally and within the public realm, for occupants and visitors
- d) sustainable - by integrating sustainable techniques into the design and siting of development and landscaping to improve community health, urban heat, water management, environmental performance, biodiversity and local amenity and to minimise energy consumption.

I fail to see how this design positively contribute to the character of the local area.



I also note Performance Outcome 15.1 which seeks that the visual mass of larger buildings is reduced when viewed from adjoining allotments and public streets. I fail to see how this proposal reduces visual mass.

PO 15.1 The visual mass of larger buildings is reduced when viewed from adjoining allotments or public streets.

Views enjoyed from dwellings on the high side of Highlands Court are in my opinion an important element or attribute of this locality, and that there is an equitable obligation not to unreasonably obstruct such.

In the main, dwellings constructed within this estate have observed this consideration and respected the outlook enjoyed by others. In this case however it would appear that such consideration has not been given.

Mr Amber therefore calls upon the Panel to decline consent to this application.

As provided for, I request the opportunity to appear before Council's Assessment Panel to speak further to this representation, and to respond to any questions Panel members may have. Thank you.

Yours faithfully

PHILLIP BRUNNING & ASSOCIATES PTY LTD



PHILLIP BRUNNING RPIA

Registered Planner

Accredited Professional – Planning Level 1

27 March 2024

Ashleigh Gade
Adelaide Hills Council
84080526
agade@ahc.sa.gov.au

Craig McRostie
Kite Projects
0481 229 795
kiteprojects.com.au

Request for Information

Applicant: L. Sordillo

Application ID: 22022718

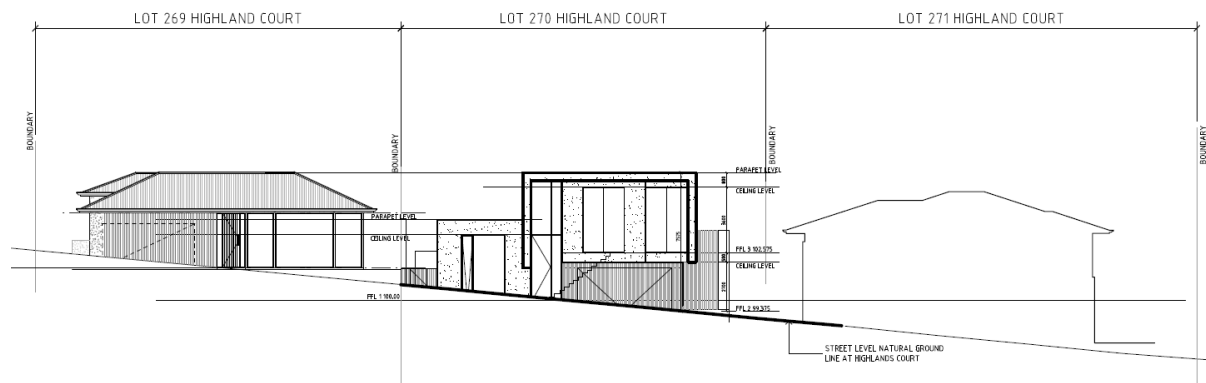
Consent: Planning Consent-Variation to Development Application 22022718 to increase wall height

Subject Land: LOT 270 HIGHLANDS CT, WOODFORDE SA 5072

Dear Ashleigh & Craig,

Please find our response to the Representation letter by Mr. Phillip Brunnings on behalf of Mr. Allan Amber regarding our variation application.

The height increase is not excessive and the bulk and scale of the proposed dwelling is quite consistent with the adjoining neighbouring properties (refer to diagram below and attached documents). The dwelling we have proposed has been given strong consideration with regards to the design and use of the existing slope of the land, and typical to these types of blocks and developments where split level dwellings are very common. With a 20 metre allotment width we have not used the full width and the first floor over the garage is less than 50% of the overall width of the allotment.

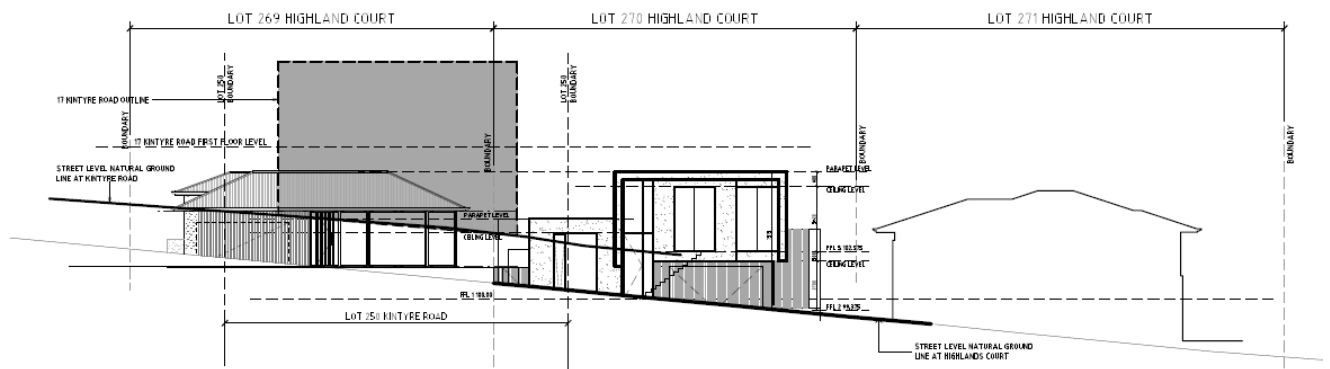


Although the dwelling is 3 levels, the third level is only one room (a walk in robe) at the transition point as we transition to 2 levels to the middle and rear of the allotment; we had to raise the floor level of the walk in robe to achieve head clearance. From the front elevation the dwelling is 2 storey, with no pitched roof over which lessens any bulk of the overall height and the ground floor level is lower than the street/footpath level which can be seen in the previous diagram.

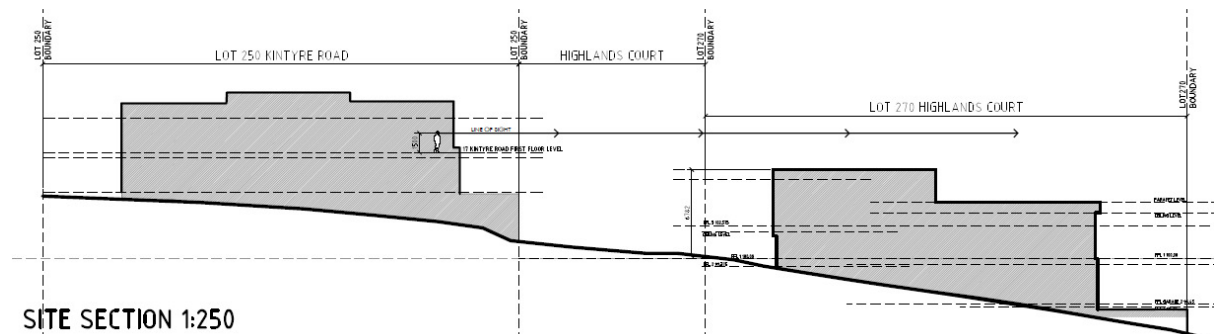
We do comply with the maximum building height as such height is taken from the front of the allotment and we are well below the 9000mm maximum, ranging from 6131mm on the eastern side and 7575mm on the western side.

We have reduced the walk in robe parapet height (in this latest set of drawings) to match the main parapet height as can be seen in the attached drawings.

The main reason for this representation is that the representor will lose their view. This is not true, 17 Kintyre Road is on the higher side of the development and based on the documents we were provided we have determined that the floor levels can achieve views to the Adelaide CBD and beyond as the line of sight is above our highest point, further more as the width in our first floor is less than 50% of the allotment width, views can also be achieved between the dwellings.



STREETSCAPE ELEVATION 1:200



SITE SECTION 1:250

Please note drawings in this document are not to scale, refer to attached drawings

The respondents home is not 'immediately' across the road on an angle to 17 Kintyre Rd, however it is acknowledged this is the primary view corridor to the CBD for 17 Kintyre road and understands the reasons the owners seek to protect their current view. Unfortunately property owners do not have a right to a view and this is long established in common law.

We would argue that the owners of 17 Kintyre Rd have a 2 story building on an elevated site well above Highland court, therefore retain access to a view regardless of our application. And are not unreasonably obstructing the view purported to be an element or attribute described by Mr Brunning.

The design is contextual in terms of bulk/scale and materiality of the immediate sub division, and reflects the diversity of sought in the zone. The design has responded to the site and context by keeping the visible levels from public areas well below the allowable 9metres. Unfortunately, due to the typography the side walls for a portion exceed 9m and this is only one small room (walk in robe) in the context of the dwelling.

3.6m ceiling height for room is not excessive (12ft ceilings are common in Adelaide) and improves the environmental performance of the building in summer as warm air can be purged from the building at night passively ventilating the building due to the stack effect. Minimising energy consumption.

The home is of a high-quality design in terms of materiality, scale and articulation which positively contributes to the character of this contemporary subdivision of 'Hamilton Hill.

Hope the above and attached information clarifies any concerns and queries and should you require any further information please do not hesitate in contacting me.

I trust you find the foregoing acceptable and look forward to your call.

Yours sincerely

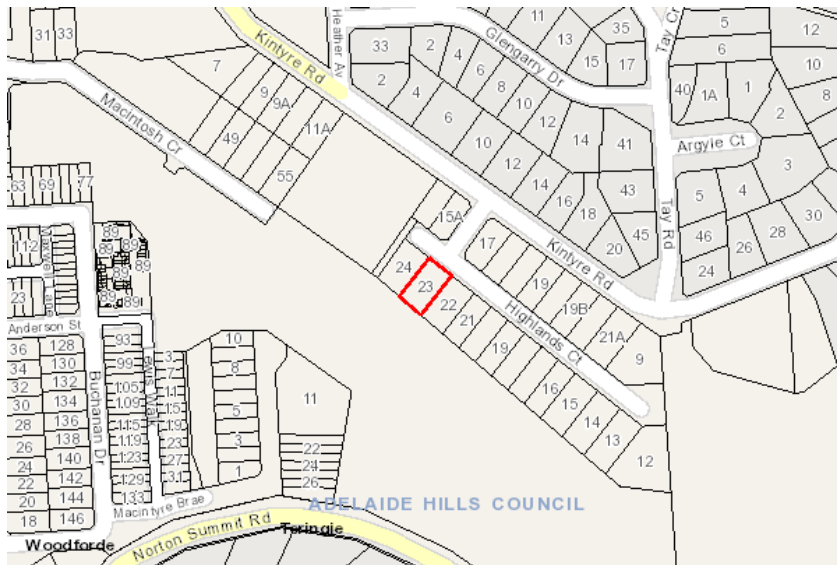
Salvatore Marzullo
M: 0412 603 902

23 HIGHLANDS CT WOODFORDE SA 5072

Address:

Click to view a detailed interactive [SAILIS](#) in SAILIS

To view a detailed interactive property map in SAPP click on the map below



Property Zoning Details

- Zone: Housing Diversity Neighbourhood
- Overlay:
 - Affordable Housing
 - Hazards (Bushfire - Urban Interface)
 - Hazards (Flooding - Evidence Required)
 - Prescribed Wells Area
 - Regulated and Significant Tree
 - Stormwater Management
 - Traffic Generating Development
 - Urban Tree Canopy
 - Water Resources
- Local Variation (TNV):
 - Maximum Building Height (Metres) (Maximum building height is 9m)
 - Maximum Building Height (Levels) (Maximum building height is 2 levels)

Selected Development(s)

Detached dwelling

This development may be subject to multiple assessment pathways. Please review the document below to determine which pathway may be applicable based on the proposed development compliances to standards. If no assessment pathway is shown this mean the proposed development will default to performance assessed. Please contact your local council in this instance. Refer to Part 1 - Rules of Interpretation - Determination of Classes of Development

Detached dwelling - Code Assessed - Performance Assessed

Part 2 - Zones and Sub Zones

Housing Diversity Neighbourhood Zone

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	

	Medium density housing supports a range of needs and lifestyles, located within easy reach of a diversity of services and facilities. Employment and community service uses contribute to making the neighbourhood a convenient place to live without compromising residential amenity.
--	---

Performance Outcomes (PO) and Deemed to Satisfy (DTS) / Designated Performance Feature (DPF) Criteria

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Land Use and Intensity	
<p>PO 1.1</p> <p>Diverse range of medium density housing and accommodation complemented by a range of compatible non-residential uses supporting an active, convenient, and walkable neighbourhood.</p>	<p>DTS/DPF 1.1</p> <p>Development comprises one or more of the following:</p> <ul style="list-style-type: none"> (a) Ancillary accommodation (b) Child care facility (c) Consulting room (d) Community facility (e) Dwelling (f) Educational facility (g) Office (h) Place of Worship (i) Recreation area (j) Residential flat building (k) Retirement facility (l) Shop (m) Supported accommodation.
Site Dimensions and Land Division	
<p>PO 2.1</p> <p>Allotments/sites created for residential purposes accommodate a diverse range of low to medium density housing, with higher densities closer to public open space, public transport stations and activity centres.</p>	<p>DTS/DPF 2.1</p> <p>Development will not result in more than 1 dwelling on an existing allotment</p> <p>or</p> <p>Allotments/sites for residential purposes accord with the following:</p> <ul style="list-style-type: none"> (a) site areas (or allotment areas in the case of land division) are not less than the following (average site area per dwelling, including common areas, applies for group dwellings or dwellings within a residential flat building): <p>and</p> <ul style="list-style-type: none"> (b) site frontages (or allotment frontages in the case of land division) are not less than: <p>In relation to DTS/DPF 2.1, in instances where:</p> <ul style="list-style-type: none"> (c) more than one value is returned in the same field, refer to the <i>Minimum Frontage Technical and Numeric Variation</i> layer or <i>Minimum Site Area Technical and Numeric Variation</i> layer in the SA planning database to determine the applicable value relevant to the site of the proposed development. (d) no value is returned in DTS/DPS 2.1(a) (i.e. there is a blank field or the value is not relevant), then a net residential density of up to 70 dwellings per hectare applies. (e) no value is returned in DTS/DPS 2.1(b) (i.e. there is a blank field or the value is not relevant), then there is no minimum frontage and DTS/DPF 2.1(b) is met.
<p>PO 2.2</p> <p>Development creating new allotments/sites in conjunction with retention</p>	<p>DTS/DPF 2.2</p> <p>Where the site of a dwelling does not comprise an entire allotment:</p>

of an existing dwelling ensures the site of the existing dwelling remains fit for purpose.

- (a) the balance of the allotment accords with the requirements specified in Housing Diversity Neighbourhood Zone DTS/DPF 2.1
- (b) if there is an existing dwelling on the allotment that will remain on the allotment after completion of the development it will not contravene:
 - (i) private open space requirements specified in Design in Urban Areas Table 1 - Private Open Space
 - (ii) car parking requirements specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas to the nearest whole number.

Building Height

PO 3.1

Building height is consistent with the form expressed in any relevant *Maximum Building Height (Levels) Technical and Numeric Variation layer* and *Maximum Building Height (Metres) Technical and Numeric Variation layer* or is generally low rise, or complements the height of nearby buildings.

DTS/DPF 3.1

Building height (excluding garages, carports and outbuildings) is no greater than:

- (a) the following:

Maximum Building Height (Metres)
Maximum building height is 9m
Maximum Building Height (Levels)
Maximum building height is 2 levels
- (b) in all other cases (i.e. there are blank fields for both maximum building height (metres) and maximum building height (levels)) - 2 building levels up to a maximum height of 9m.

In relation to DTS/DPF 3.1, in instances where:

- (c) more than one value is returned in the same field, refer to the *Maximum Building Height (Levels) Technical and Numeric Variation layer* or *Maximum Building Height (Meters) Technical and Numeric Variation layer* in the SA planning database to determine the applicable value relevant to the site of the proposed development
- (d) only one value is returned for DTS/DPF 3.1(a) (i.e. there is one blank field), then the relevant height in metres or building levels applies with no criteria for the other.

Primary Street Setback

PO 4.1

Buildings are set back from primary street boundaries to contribute to the existing/emerging pattern of street setbacks in the streetscape.

DTS/DPF 4.1

Buildings setback from the primary street boundary in accordance with the following table:

Development Context	Minimum setback
In all cases.	3m

For the purposes of **DTS/DPF 4.1**:

- (a) the setback of an existing building on an abutting site to the street boundary that it shares with the site of the proposed building is to be measured from the closest building wall to that street boundary at its closest point to the building wall and any existing projection from the building such as a verandah, porch, balcony, awning or bay window is not taken to form part of the building for the purposes of determining its setback
- (b) any proposed projections such as a verandah, porch, balcony, awning or bay window may encroach not more than 1.5 metres into the minimum setback prescribed in the table

Secondary Street Setback

PO 5.1

Buildings are set back from secondary street boundaries to achieve a

DTS/DPF 5.1

Building walls (except for ancillary buildings and structures) are set

<p>pattern of separation between building walls and public thoroughfares and to reinforce streetscape character.</p>	<p>back at least 900mm from the boundary of the allotment with the secondary street frontage, or if a building on any adjoining allotment is closer to the secondary street than 900mm, not less than the distance of that building from the boundary with the secondary street.</p>
<p>Boundary Walls</p>	
<p>PO 6.1</p> <p>Walls on boundaries are limited in height and length to manage visual and overshadowing impacts on adjoining properties.</p>	<p>DTS/DPF 6.1</p> <p>Except where the building is a dwelling and is located on a central site within a row dwelling or terrace arrangement, side boundary walls occur on only one side boundary and satisfy (a) or (b) below:</p> <ul style="list-style-type: none"> (a) side boundary walls adjoin or abut a boundary wall of a building on adjoining land for the same or lesser length and height (b) side boundary walls do not: <ul style="list-style-type: none"> (i) exceed 3m in wall height (ii) exceed 11.5m in length (iii) when combined with other walls on the boundary of the subject development site, exceed a maximum 45% of the length of the boundary (iv) encroach within 3m of any other existing or proposed boundary walls on the subject land.
<p>PO 6.2</p> <p>Dwellings in a semi-detached, row or terrace arrangements maintain space between buildings consistent with a suburban streetscape character.</p>	<p>DTS/DPF 6.2</p> <p>Dwelling walls in a semi-detached, row or terrace arrangement are set back at least 900mm from side boundaries shared with allotments outside the development site.</p>
<p>Side Boundary Setback</p>	
<p>PO 7.1</p> <p>Buildings walls are set back from side boundaries to provide:</p> <ul style="list-style-type: none"> (a) separation between buildings in a way that complements the established character of the locality (b) access to natural light and ventilation for neighbours. 	<p>DTS/DPF 7.1</p> <p>Other than walls located on a side boundary, building walls are set back from side boundaries in accordance with the following:</p> <ul style="list-style-type: none"> (a) where the wall height does not exceed 3m - at least 900mm (b) where the wall height exceeds 3m - at least 900mm from the boundary of the site plus a distance of 1/3 of the extent to which the height of the wall exceeds 3m from the top of the footings.
<p>Rear Boundary Setback</p>	
<p>PO 8.1</p> <p>Building walls (excluding ancillary buildings and structures) are set back from rear boundaries to provide:</p> <ul style="list-style-type: none"> (a) separation between buildings in a way that complements the established character of the locality (b) access to natural light and ventilation for neighbours (c) open space recreational opportunities (d) space for landscaping and vegetation. 	<p>DTS/DPF 8.1</p> <p>Building walls (excluding ancillary buildings and structures) are set back from the rear boundary at least:</p> <ul style="list-style-type: none"> (a) 3m for the first building level or 0m where the rear boundary abuts a laneway (b) 5m for any second building level (c) 5m plus any increase in wall height over 7m for buildings of 3 building levels and above.

Table 5 - Procedural Matters (PM) - Notification

The following table identifies, pursuant to section 107(6) of the *Planning, Development and Infrastructure Act 2016*, classes of performance assessed development that are excluded from notification. The table also identifies any exemptions to the placement of notices when notification is required.

Interpretation

Notification tables exclude the classes of development listed in Column A from notification provided that they do not fall within a corresponding exclusion prescribed in Column B.

Where a development or an element of a development falls within more than one class of development listed in Column A, it will be excluded from notification if it is excluded (in its entirety) under any of those classes of development. It need not be excluded under all applicable classes of development.

Where a development involves multiple performance assessed elements, all performance assessed elements will require notification (regardless of whether one or more elements are excluded in the applicable notification table) unless every performance assessed element of the application is excluded in the applicable notification table, in which case the application will not require notification.

A relevant authority may determine that a variation to 1 or more corresponding exclusions prescribed in Column B is minor in nature and does not require notification.

Class of Development (Column A)	Exceptions (Column B)
1. Development which, in the opinion of the relevant authority, is of a minor nature only and will not unreasonably impact on the owners or occupiers of land in the locality of the site of the development.	None specified.
2. All development undertaken by: <ul style="list-style-type: none"> (a) the South Australian Housing Trust either individually or jointly with other persons or bodies or (b) a provider registered under the Community Housing National Law participating in a program relating to the renewal of housing endorsed by the South Australian Housing Trust. 	Except development involving any of the following: <ul style="list-style-type: none"> 1. residential flat building(s) of 3 or more building levels 2. the demolition (or partial demolition) of a State or Local Heritage Place (other than an excluded building) 3. the demolition (or partial demolition) of a building in a Historic Area Overlay (other than an excluded building).
3. Any development involving any of the following (or of any combination of any of the following): <ul style="list-style-type: none"> (a) ancillary accommodation (b) dwelling (c) dwelling addition (d) recreation area (e) residential flat building (f) retirement facility (g) student accommodation (h) supported accommodation. 	Except development that: <ul style="list-style-type: none"> 1. exceeds the maximum building height specified in Housing Diversity Neighbourhood Zone 3.1 or 2. involves a building wall (or structure) that is proposed to be situated on (or abut) an allotment boundary (not being a boundary with a primary street or secondary street or an excluded boundary) and: <ul style="list-style-type: none"> (a) the length of the proposed wall (or structure) exceeds 11.5m (other than where the proposed wall abuts an existing wall or structure of greater length on the adjoining allotment) or (b) the height of the proposed wall (or post height) exceeds 3m measured from the top of footings (other than where the proposed wall (or post) abuts an existing wall or structure of greater height on the adjoining allotment).
4. Alteration of or addition to any development involving any of the following (or of any combination of any of the following): <ul style="list-style-type: none"> (a) child care facility (b) community facility (c) educational facility. 	Except development that does not satisfy Housing Diversity Neighbourhood Zone DTS/DPF 1.4.
5. Any development involving any of the following (or of any combination of any of the following): <ul style="list-style-type: none"> (a) consulting room (b) office (c) shop. 	Except development that: <ul style="list-style-type: none"> 1. exceeds the maximum building height specified in Housing Diversity Neighbourhood Zone 3.1 or 2. does not satisfy Housing Diversity Neighbourhood Zone DTS/DPF 1.2 or 3. involves a building wall (or structure) that is proposed to be situated on (or abut) an allotment boundary (not being a boundary with a primary street or secondary street or an excluded boundary) and: <ul style="list-style-type: none"> (a) the length of the proposed wall (or structure) exceeds 11.5m (other than where

	<p>the proposed wall abuts an existing wall or structure of greater length on the adjoining allotment) or (b) the height of the proposed wall (or post height) exceeds 3m measured from the top of footings (other than where the proposed wall (or post) abuts an existing wall or structure of greater height on the adjoining allotment).</p>
<p>6. Any development involving any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> (a) air handling unit, air conditioning system or exhaust fan (b) carport (c) deck (d) fence (e) internal building works (f) land division (g) outbuilding (h) pergola (i) private bushfire shelter (j) replacement building (k) retaining wall (l) shade sail (m) solar photovoltaic panels (roof mounted) (n) swimming pool or spa pool and associated swimming pool safety features (o) temporary accommodation in an area affected by bushfire (p) tree damaging activity (q) verandah (r) water tank. 	<p>None specified.</p>
<p>7. Demolition.</p>	<p>Except any of the following:</p> <ol style="list-style-type: none"> 1. the demolition (or partial demolition) of a State or Local Heritage Place (other than an excluded building) 2. the demolition (or partial demolition) of a building in a Historic Area Overlay (other than an excluded building).
<p>8. Railway line.</p>	<p>Except where located outside of a rail corridor or rail reserve.</p>

Placement of Notices - Exemptions for Performance Assessed Development

None specified.

Placement of Notices - Exemptions for Restricted Development

None specified.

Part 3 - Overlays

Affordable Housing Overlay

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Affordable housing is integrated with residential and mixed use development.

DO 2	Affordable housing caters for a variety of household structures.
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Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Land Division	
<p>PO 1.1</p> <p>Development comprising 20 or more dwellings / allotments incorporates affordable housing.</p>	<p>DTS/DPF 1.1</p> <p>Development results in 0-19 additional allotments / dwellings.</p>
<p>PO 1.2</p> <p>Development comprising 20 or more dwellings or residential allotments provides housing suited to a range of incomes including households with low to moderate incomes.</p>	<p>DTS/DPF 1.2</p> <p>Development comprising 20 or more dwellings / or residential allotments includes a minimum of 15% affordable housing except where:</p> <ul style="list-style-type: none"> (a) it can be demonstrated that any shortfall in affordable housing has been provided in a previous stage of development or (b) it can be demonstrated that any shortfall in affordable housing will be accommodated in a subsequent stage or stages of development.
<p>PO 1.3</p> <p>Affordable housing is distributed throughout the development to avoid an overconcentration.</p>	<p>DTS/DPF 1.3</p> <p>None are applicable.</p>
Built Form and Character	
<p>PO 2.1</p> <p>Affordable housing is designed to complement the design and character of residential development within the locality.</p>	<p>DTS/DPF 2.1</p> <p>None are applicable.</p>
Affordable Housing Incentives	
<p>PO 3.1</p> <p>To support the provision of affordable housing, minimum allotment sizes may be reduced below the minimum allotment size specified in a zone while providing allotments of a suitable size and dimension to accommodate dwellings with a high standard of occupant amenity.</p>	<p>DTS/DPF 3.1</p> <p>The minimum site area specified for a dwelling can be reduced by up to 20%, or the maximum density per hectare increased by up to 20%, where it is to be used to accommodate affordable housing except where the development is located within the Character Area Overlay or Historic Area Overlay.</p>
<p>PO 3.2</p> <p>To support the provision of affordable housing, building heights may be increased above the maximum specified in a zone.</p>	<p>DTS/DPF 3.2</p> <p>Where a building incorporates dwellings above ground level and includes at least 15% affordable housing, the maximum building height specified in any relevant zone policy can be increased by 1 building level in the:</p> <ul style="list-style-type: none"> (a) Business Neighbourhood Zone (b) City Living Zone

	<ul style="list-style-type: none"> (c) Established Neighbourhood Zone (d) General Neighbourhood Zone (e) Hills Neighbourhood Zone (f) Housing Diversity Neighbourhood Zone (g) Neighbourhood Zone (h) Master Planned Neighbourhood Zone (i) Master Planned Renewal Zone (j) Master Planned Township Zone (k) Rural Neighbourhood Zone (l) Suburban Business Zone (m) Suburban Neighbourhood Zone (n) Township Neighbourhood Zone (o) Township Zone (p) Urban Renewal Neighbourhood Zone (q) Waterfront Neighbourhood Zone <p>and up to 30% in any other zone, except where:</p> <ul style="list-style-type: none"> (a) the development is located within the Character Area Overlay or Historic Area Overlay or (b) other height incentives already apply to the development.
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Movement and Car Parking	
<p>PO 4.1</p> <p>Sufficient car parking is provided to meet the needs of occupants of affordable housing.</p>	<p>DTS/DPF 4.1</p> <p>Dwellings constituting affordable housing are provided with car parking in accordance with the following:</p> <ul style="list-style-type: none"> (a) 0.3 carparks per dwelling within a building which incorporates dwellings located above ground level within either: <ul style="list-style-type: none"> (i) 200 metres of any section of road reserve along which a bus service operates as a high frequency public transit service⁽²⁾ (ii) is within 400 metres of a bus interchange⁽¹⁾ (iii) is within 400 metres of an O-Bahn interchange⁽¹⁾ (iv) is within 400 metres of a passenger rail station⁽¹⁾ (v) is within 400 metres of a passenger tram station⁽¹⁾ (vi) is within 400 metres of the Adelaide Parklands. or (b) 1 carpark per dwelling for any other dwelling. <p>[NOTE(S): (1) Measured from an area that contains any platform(s), shelter(s) or stop(s) where people congregate for the purpose waiting to board a bus, tram or train, but does not include areas used for the parking of vehicles. (2) A high frequency public transit service is a route serviced every 15 minutes between 7.30am and 6.30pm Monday to Friday and every 30 minutes at night, Saturday, Sunday and public holidays until 10pm.]</p>

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
<p>Except where the applicant for the development is the South Australian Housing Authority (or an agent acting on behalf of the South Australian Housing Authority), residential development or land division (other than an excluded land division):</p> <ul style="list-style-type: none"> (a) that comprises 20 or more dwellings or residential allotments and is described in the application documentation as intending to provide affordable housing 	<p>Minister responsible for administering the <i>South Australian Housing Trust Act 1995</i>.</p>	<p>To provide direction on the conditions required to secure the provision of dwellings or allotments for affordable</p>	<p>Development of a class to which Schedule 9 clause 3 item 20 of the Planning, Development</p>

or (b) that is described in the application documentation as intending to provide affordable housing and the applicant is seeking to access one or more of the planning concessions outlined in the Affordable Housing Overlay DTS/DPF 3.1, 3.2 or 4.1 or (c) that is described in the application documentation as intending to include affordable housing of any number of dwellings or residential allotments		housing.	and Infrastructure (General) Regulations 2017 applies.
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Hazards (Flooding - Evidence Required) Overlay

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Development adopts a precautionary approach to mitigate potential impacts on people, property, infrastructure and the environment from potential flood risk through the appropriate siting and design of development.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Flood Resilience	
PO 1.1 Development is sited, designed and constructed to minimise the risk of entry of potential floodwaters where the entry of flood waters is likely to result in undue damage to or compromise ongoing activities within buildings.	DTS/DPF 1.1 Habitable buildings, commercial and industrial buildings, and buildings used for animal keeping incorporate a finished floor level at least 300mm above: <ul style="list-style-type: none"> (a) the highest point of top of kerb of the primary street or (b) the highest point of natural ground level at the primary street boundary where there is no kerb

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

Stormwater Management Overlay

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome

DO 1	Development incorporates water sensitive urban design techniques to capture and re-use stormwater.
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Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature												
<p>PO 1.1</p> <p>Residential development is designed to capture and re-use stormwater to:</p> <ul style="list-style-type: none"> (a) maximise conservation of water resources (b) manage peak stormwater runoff flows and volume to ensure the carrying capacities of downstream systems are not overloaded (c) manage stormwater runoff quality. 	<p>DTS/DPF 1.1</p> <p>Residential development comprising detached, semi-detached or row dwellings, or less than 5 group dwellings or dwellings within a residential flat building:</p> <ul style="list-style-type: none"> (a) includes rainwater tank storage: <ul style="list-style-type: none"> (i) connected to at least: <ul style="list-style-type: none"> A. in relation to a detached dwelling (not in a battle-axe arrangement), semi-detached dwelling or row dwelling, 60% of the roof area B. in all other cases, 80% of the roof area (ii) connected to either a toilet, laundry cold water outlets or hot water service for sites less than 200m² (iii) connected to one toilet and either the laundry cold water outlets or hot water service for sites of 200m² or greater (iv) with a minimum total capacity in accordance with Table 1 (v) where detention is required, includes a 20-25 mm diameter slow release orifice at the bottom of the detention component of the tank (b) incorporates dwelling roof area comprising at least 80% of the site's impervious area <p>Table 1: Rainwater Tank</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr style="background-color: #d9ead3;"> <th>Site size (m²)</th> <th>Minimum retention volume (Litres)</th> <th>Minimum detention volume (Litres)</th> </tr> </thead> <tbody> <tr> <td style="text-align: center;"><200</td> <td style="text-align: center;">1000</td> <td style="text-align: center;">1000</td> </tr> <tr> <td style="text-align: center;">200-400</td> <td style="text-align: center;">2000</td> <td>Site perviousness <30%: 1000 Site perviousness ≥30%: N/A</td> </tr> <tr> <td style="text-align: center;">>401</td> <td style="text-align: center;">4000</td> <td>Site perviousness <35%: 1000 Site perviousness ≥35%: N/A</td> </tr> </tbody> </table>	Site size (m ²)	Minimum retention volume (Litres)	Minimum detention volume (Litres)	<200	1000	1000	200-400	2000	Site perviousness <30%: 1000 Site perviousness ≥30%: N/A	>401	4000	Site perviousness <35%: 1000 Site perviousness ≥35%: N/A
Site size (m ²)	Minimum retention volume (Litres)	Minimum detention volume (Litres)											
<200	1000	1000											
200-400	2000	Site perviousness <30%: 1000 Site perviousness ≥30%: N/A											
>401	4000	Site perviousness <35%: 1000 Site perviousness ≥35%: N/A											

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

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Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

Traffic Generating Development Overlay

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Safe and efficient operation of Urban Transport Routes and Major Urban Transport Routes for all road users.
DO 2	Provision of safe and efficient access to and from urban transport routes and major urban transport routes.

Performance Outcomes (PO) and Deemed to Satisfy (DTS) / Designated Performance Feature (DPF) Criteria

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Traffic Generating Development	
<p>PO 1.1</p> <p>Development designed to minimise its potential impact on the safety, efficiency and functional performance of the State Maintained Road network.</p>	<p>DTS/DPF 1.1</p> <p>Access is obtained directly from a State Maintained Road where it involves any of the following types of development:</p> <ul style="list-style-type: none"> (a) building, or buildings, containing in excess of 50 dwellings (b) land division creating 50 or more additional allotments (c) commercial development with a gross floor area of 10,000m² or more (d) retail development with a gross floor area of 2,000m² or more (e) a warehouse or transport depot with a gross leasable floor area of 8,000m² or more (f) industry with a gross floor area of 20,000m² or more (g) educational facilities with a capacity of 250 students or more.
<p>PO 1.2</p> <p>Access points sited and designed to accommodate the type and volume of traffic likely to be generated by development.</p>	<p>DTS/DPF 1.2</p> <p>Access is obtained directly from a State Maintained Road where it involves any of the following types of development:</p> <ul style="list-style-type: none"> (a) building, or buildings, containing in excess of 50 dwellings (b) land division creating 50 or more additional allotments (c) commercial development with a gross floor area of 10,000m² or more (d) retail development with a gross floor area of 2,000m² or more (e) a warehouse or transport depot with a gross leasable floor area of 8,000m² or more (f) industry with a gross floor area of 20,000m² or more (g) educational facilities with a capacity of 250 students or more.
<p>PO 1.3</p> <p>Sufficient accessible on-site queuing provided to meet the needs of the development so that queues do not impact on the State Maintained</p>	<p>DTS/DPF 1.3</p> <p>Access is obtained directly from a State Maintained Road where it involves any of the following types of development:</p>

Road network.	<ul style="list-style-type: none"> (a) building, or buildings, containing in excess of 50 dwellings (b) land division creating 50 or more additional allotments (c) commercial development with a gross floor area of 10,000m² or more (d) retail development with a gross floor area of 2,000m² or more (e) a warehouse or transport depot with a gross leasable floor area of 8,000m² or more (f) industry with a gross floor area of 20,000m² or more (g) educational facilities with a capacity of 250 students or more.
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Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
<p>Except where all of the relevant deemed-to-satisfy criteria are met, any of the following classes of development that are proposed within 250m of a State Maintained Road:</p> <ul style="list-style-type: none"> (a) except where a proposed development has previously been referred under clause (b) - a building, or buildings, containing in excess of 50 dwellings (b) except where a proposed development has previously been referred under clause (a) - land division creating 50 or more additional allotments (c) commercial development with a gross floor area of 10,000m² or more (d) retail development with a gross floor area of 2,000m² or more (e) a warehouse or transport depot with a gross leasable floor area of 8,000m² or more (f) industry with a gross floor area of 20,000m² or more (g) educational facilities with a capacity of 250 students or more. 	Commissioner of Highways.	To provide expert technical assessment and direction to the Relevant Authority on the safe and efficient operation and management of all roads relevant to the Commissioner of Highways as described in the Planning and Design Code.	Development of a class to which Schedule 9 clause 3 item 7 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.

Urban Tree Canopy Overlay

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Residential development preserves and enhances urban tree canopy through the planting of new trees and retention of existing mature trees where practicable.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature			
<p>PO 1.1</p> <p>Trees are planted or retained to contribute to an urban tree canopy.</p>	<p>DTS/DPF 1.1</p> <p>Tree planting is provided in accordance with the following:</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; text-align: center;">Site size per dwelling (m²)</td> <td style="width: 50%; text-align: center;">Tree size* and number required per dwelling</td> </tr> </table>		Site size per dwelling (m ²)	Tree size* and number required per dwelling
Site size per dwelling (m ²)	Tree size* and number required per dwelling			

<450	1 small tree
450-800	1 medium tree or 2 small trees
>800	1 large tree or 2 medium trees or 4 small trees

*refer Table 1 Tree Size

Table 1 Tree Size			
Tree size	Mature height (minimum)	Mature spread (minimum)	Soil area around tree within development site (minimum)
Small	4 m	2m	10m ² and min. dimension of 1.5m
Medium	6 m	4 m	30m ² and min. dimension of 2m
Large	12 m	8m	60m ² and min. dimension of 4m

The discount in Column D of Table 2 discounts the number of trees required to be planted in DTS/DPF 1.1 where existing tree(s) are retained on the subject land that meet the criteria in Columns A, B and C of Table 2, and are not a species identified in Regulation 3F(4)(b) of the Planning Development and Infrastructure (General) Regulations 2017.

Table 2 Tree Discounts			
Retained tree height (Column A)	Retained tree spread (Column B)	Retained soil area around tree within development site (Column C)	Discount applied (Column D)
4-6m	2-4m	10m ² and min. dimension of 1.5m	2 small trees (or 1 medium tree)
6-12m	4-8m	30m ² and min. dimension of 3m	2 medium trees (or 4 small trees)
>12m	>8m	60m ² and min. dimension of 6m	2 large trees (or 4 medium trees, or 8 small trees)

Note: In order to satisfy DTS/DPF 1.1, payment may be made in

	accordance with a relevant off-set scheme established by the Minister under section 197 of the Planning, Development and Infrastructure Act 2016, provided the provisions and requirements of that scheme are satisfied. For the purposes of section 102(4) of the Planning, Development and Infrastructure Act 2016, an applicant may elect for any of the matters in DTS/DPF 1.1 to be reserved.
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Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

Water Resources Overlay

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Protection of the quality of surface waters considering adverse water quality impacts associated with projected reductions in rainfall and warmer air temperatures as a result of climate change.
DO 2	Maintain the conveyance function and natural flow paths of watercourses to assist in the management of flood waters and stormwater runoff.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Water Catchment	
PO 1.1 Watercourses and their beds, banks, wetlands and floodplains (1% AEP flood extent) are not damaged or modified and are retained in their natural state, except where modification is required for essential access or maintenance purposes.	DTS/DPF 1.1 None are applicable.
PO 1.2 Development avoids interfering with the existing hydrology or water regime of swamps and wetlands other than to improve the existing conditions to enhance environmental values.	DTS/DPF 1.2 None are applicable.
PO 1.5	DTS/DPF 1.5

<p>Development that increases surface water run-off includes a suitably sized strip of vegetated land on each side of a watercourse to filter runoff to:</p> <ul style="list-style-type: none"> (a) reduce the impacts on native aquatic ecosystems (b) minimise soil loss eroding into the watercourse. 	<p>A strip of land 20m or more wide measured from the top of existing banks on each side of the watercourse is free from development, livestock use and revegetated with locally indigenous vegetation.</p>
<p>PO 1.6</p> <p>Development resulting in the depositing or placing of an object or solid material in a watercourse or lake occurs only where it involves any of the following:</p> <ul style="list-style-type: none"> (a) the construction of an erosion control structure (b) devices or structures used to extract or regulate water flowing in a watercourse (c) devices used for scientific purposes (d) the rehabilitation of watercourses. 	<p>DTS/DPF 1.6</p> <p>None are applicable.</p>
<p>PO 1.7</p> <p>Watercourses, floodplains (1% AEP flood extent) and wetlands protected and enhanced by retaining and protecting existing native vegetation.</p>	<p>DTS/DPF 1.7</p> <p>None are applicable.</p>
<p>PO 1.8</p> <p>Watercourses, floodplains (1% AEP flood extent) and wetlands are protected and enhanced by stabilising watercourse banks and reducing sediments and nutrients entering the watercourse.</p>	<p>DTS/DPF 1.8</p> <p>None are applicable.</p>

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

Part 4 - General Development Policies

Clearance from Overhead Powerlines

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Protection of human health and safety when undertaking development in the vicinity of overhead transmission powerlines.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
<p>PO 1.1</p> <p>Buildings are adequately separated from aboveground powerlines to minimise potential hazard to people and property.</p>	<p>DTS/DPF 1.1</p> <p>One of the following is satisfied:</p> <ul style="list-style-type: none"> (a) a declaration is provided by or on behalf of the applicant to the effect that the proposal would not be contrary to the regulations prescribed for the purposes of section 86 of the <i>Electricity Act 1996</i> (b) there are no aboveground powerlines adjoining the site that are the subject of the proposed development.

Design in Urban Areas

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
<p>DO 1</p>	<p>Development is:</p> <ul style="list-style-type: none"> (a) contextual - by considering, recognising and carefully responding to its natural surroundings or built environment and positively contributing to the character of the locality (b) durable - fit for purpose, adaptable and long lasting (c) inclusive - by integrating landscape design to optimise pedestrian and cyclist usability, privacy and equitable access and promoting the provision of quality spaces integrated with the public realm that can be used for access and recreation and help optimise security and safety both internally and within the public realm, for occupants and visitors (d) sustainable - by integrating sustainable techniques into the design and siting of development and landscaping to improve community health, urban heat, water management, environmental performance, biodiversity and local amenity and to minimise energy consumption.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
<p>All Development</p>	
<p>On-site Waste Treatment Systems</p>	
<p>PO 6.1</p> <p>Dedicated on-site effluent disposal areas do not include any areas to be used for, or could be reasonably foreseen to be used for, private open space, driveways or car parking.</p>	<p>DTS/DPF 6.1</p> <p>Effluent disposal drainage areas do not:</p> <ul style="list-style-type: none"> (a) encroach within an area used as private open space or result in less private open space than that specified in Design in Urban Areas Table 1 - Private Open Space (b) use an area also used as a driveway (c) encroach within an area used for on-site car parking or result in less on-site car parking than that specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas.
<p>Car parking appearance</p>	
<p>PO 7.1</p> <p>Development facing the street is designed to minimise the negative impacts of any semi-basement and undercroft car parking on streetscapes through</p>	<p>DTS/DPF 7.1</p> <p>None are applicable.</p>

techniques such as: (a) limiting protrusion above finished ground level (b) screening through appropriate planting, fencing and mounding (c) limiting the width of openings and integrating them into the building structure.	
Earthworks and sloping land	
PO 8.1 Development, including any associated driveways and access tracks, minimises the need for earthworks to limit disturbance to natural topography.	DTS/DPF 8.1 Development does not involve any of the following: (a) excavation exceeding a vertical height of 1m (b) filling exceeding a vertical height of 1m (c) a total combined excavation and filling vertical height of 2m or more.
PO 8.2 Driveways and access tracks designed and constructed to allow safe and convenient access on sloping land.	DTS/DPF 8.2 Driveways and access tracks on sloping land (with a gradient exceeding 1 in 8) satisfy (a) and (b): (a) do not have a gradient exceeding 25% (1-in-4) at any point along the driveway (b) are constructed with an all-weather trafficable surface.
PO 8.3 Driveways and access tracks on sloping land (with a gradient exceeding 1 in 8): (a) do not contribute to the instability of embankments and cuttings (b) provide level transition areas for the safe movement of people and goods to and from the development (c) are designed to integrate with the natural topography of the land.	DTS/DPF 8.3 None are applicable.
PO 8.4 Development on sloping land (with a gradient exceeding 1 in 8) avoids the alteration of natural drainage lines and includes on site drainage systems to minimise erosion.	DTS/DPF 8.4 None are applicable.
PO 8.5 Development does not occur on land at risk of landslip or increase the potential for landslip or land surface instability.	DTS/DPF 8.5 None are applicable.
Overlooking / Visual Privacy (low rise buildings)	
PO 10.1 Development mitigates direct overlooking from upper level windows to habitable rooms and private open spaces of adjoining residential uses in neighbourhood-type zones.	DTS/DPF 10.1 Upper level windows facing side or rear boundaries shared with a residential use in a neighbourhood-type zone: (a) are permanently obscured to a height of 1.5m above finished floor level and are fixed or not capable of being opened more than 125mm (b) have sill heights greater than or equal to 1.5m above finished floor level (c) incorporate screening with a maximum of 25% openings, permanently fixed no more than 500mm from the window surface and sited adjacent to any part of the window less than 1.5 m above the finished floor level.
PO 10.2 Development mitigates direct overlooking from balconies to habitable rooms and private open space of adjoining residential uses in neighbourhood type zones.	DTS/DPF 10.2 One of the following is satisfied:

	<p>(a) the longest side of the balcony or terrace will face a public road, public road reserve or public reserve that is at least 15m wide in all places faced by the balcony or terrace or</p> <p>(b) all sides of balconies or terraces on upper building levels are permanently obscured by screening with a maximum 25% transparency/openings fixed to a minimum height of:</p> <p>(i) 1.5m above finished floor level where the balcony is located at least 15 metres from the nearest habitable window of a dwelling on adjacent land or</p> <p>(ii) 1.7m above finished floor level in all other cases</p>
<p>All Development - Medium and High Rise</p>	
<p>External Appearance</p>	
<p>PO 12.1</p> <p>Buildings positively contribute to the character of the local area by responding to local context.</p>	<p>DTS/DPF 12.1</p> <p>None are applicable.</p>
<p>PO 12.2</p> <p>Architectural detail at street level and a mixture of materials at lower building levels near the public interface are provided to reinforce a human scale.</p>	<p>DTS/DPF 12.2</p> <p>None are applicable.</p>
<p>PO 12.3</p> <p>Buildings are designed to reduce visual mass by breaking up building elevations into distinct elements.</p>	<p>DTS/DPF 12.3</p> <p>None are applicable.</p>
<p>PO 12.4</p> <p>Boundary walls visible from public land include visually interesting treatments to break up large blank elevations.</p>	<p>DTS/DPF 12.4</p> <p>None are applicable.</p>
<p>PO 12.5</p> <p>External materials and finishes are durable and age well to minimise ongoing maintenance requirements.</p>	<p>DTS/DPF 12.5</p> <p>Buildings utilise a combination of the following external materials and finishes:</p> <p>(a) masonry (b) natural stone (c) pre-finished materials that minimise staining, discolouring or deterioration.</p>
<p>PO 12.6</p> <p>Street-facing building elevations are designed to provide attractive, high quality and pedestrian-friendly street frontages.</p>	<p>DTS/DPF 12.6</p> <p>Building street frontages incorporate:</p> <p>(a) active uses such as shops or offices (b) prominent entry areas for multi-storey buildings (where it is a common entry) (c) habitable rooms of dwellings (d) areas of communal public realm with public art or the like, where consistent with the zone and/or subzone provisions.</p>
<p>PO 12.7</p> <p>Entrances to multi-storey buildings are safe, attractive, welcoming, functional and contribute to streetscape character.</p>	<p>DTS/DPF 12.7</p> <p>Entrances to multi-storey buildings are:</p> <p>(a) oriented towards the street (b) clearly visible and easily identifiable from the street and vehicle parking areas (c) designed to be prominent, accentuated and a welcoming feature if there are no active or occupied ground floor uses</p>

	<p>(d) designed to provide shelter, a sense of personal address and transitional space around the entry</p> <p>(e) located as close as practicable to the lift and / or lobby access to minimise the need for long access corridors</p> <p>(f) designed to avoid the creation of potential areas of entrapment.</p>
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<p>PO 12.8</p> <p>Building services, plant and mechanical equipment are screened from the public realm.</p>	<p>DTS/DPF 12.8</p> <p>None are applicable.</p>
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Landscaping

<p>PO 13.1</p> <p>Development facing a street provides a well landscaped area that contains a deep soil space to accommodate a tree of a species and size adequate to provide shade, contribute to tree canopy targets and soften the appearance of buildings.</p>	<p>DTS/DPF 13.1</p> <p>Buildings provide a 4m by 4m deep soil space in front of the building that accommodates a medium to large tree, except where no building setback from front property boundaries is desired.</p>
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<p>PO 13.2</p> <p>Deep soil zones are provided to retain existing vegetation or provide areas that can accommodate new deep root vegetation, including tall trees with large canopies to provide shade and soften the appearance of multi-storey buildings.</p>	<p>DTS/DPF 13.2</p> <p>Multi-storey development provides deep soil zones and incorporates trees at not less than the following rates, except in a location or zone where full site coverage is desired.</p>
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Site area	Minimum deep soil area	Minimum dimension	Tree / deep soil zones
<300 m ²	10 m ²	1.5m	1 small tree / 10 m ²
300-1500 m ²	7% site area	3m	1 medium tree / 30 m ²
>1500 m ²	7% site area	6m	1 large or medium tree / 60 m ²
Tree size and site area definitions			
Small tree	4-6m mature height and 2-4m canopy spread		
Medium tree	6-12m mature height and 4-8m canopy spread		
Large tree	12m mature height and >8m canopy spread		

<p>PO 13.3</p> <p>Deep soil zones with access to natural light are provided to assist in maintaining vegetation health.</p>		<p>DTS/DPF 13.3</p> <p>None are applicable.</p>
<p>PO 13.4</p> <p>Unless separated by a public road or reserve, development sites adjacent to any zone that has a primary purpose of accommodating low-rise residential development incorporate a deep soil zone along the common boundary to enable medium to large trees to be retained or established to assist in screening new buildings of 3 or more building levels in height.</p>		<p>DTS/DPF 13.4</p> <p>Building elements of 3 or more building levels in height are set back at least 6m from a zone boundary in which a deep soil zone area is incorporated.</p>
<p>Environmental</p>		
<p>PO 14.1</p> <p>Development minimises detrimental micro-climatic impacts on adjacent land and buildings.</p>		<p>DTS/DPF 14.1</p> <p>None are applicable.</p>
<p>PO 14.2</p> <p>Development incorporates sustainable design techniques and features such as window orientation, eaves and shading structures, water harvesting and use, green walls and roof designs that enable the provision of rain water tanks (where they are not provided elsewhere on site), green roofs and photovoltaic cells.</p>		<p>DTS/DPF 14.2</p> <p>None are applicable.</p>
<p>PO 14.3</p> <p>Development of 5 or more building levels, or 21m or more in height (as measured from natural ground level and excluding roof-mounted mechanical plant and equipment) is designed to minimise the impacts of wind through measures such as:</p> <ul style="list-style-type: none"> (a) a podium at the base of a tall tower and aligned with the street to deflect wind away from the street (b) substantial verandahs around a building to deflect downward travelling wind flows over pedestrian areas (c) the placement of buildings and use of setbacks to deflect the wind at ground level (d) avoiding tall shear elevations that create windy conditions at street level. 		<p>DTS/DPF 14.3</p> <p>None are applicable.</p>
<p>Overlooking/Visual Privacy</p>		
<p>PO 16.1</p> <p>Development mitigates direct overlooking of habitable rooms and private open spaces of adjacent residential uses in neighbourhood-type zones through measures such as:</p>		<p>DTS/DPF 16.1</p> <p>None are applicable.</p>

<p>(a) appropriate site layout and building orientation</p> <p>(b) off-setting the location of balconies and windows of habitable rooms or areas with those of other buildings so that views are oblique rather than direct to avoid direct line of sight</p> <p>(c) building setbacks from boundaries (including building boundary to boundary where appropriate) that interrupt views or that provide a spatial separation between balconies or windows of habitable rooms</p> <p>(d) screening devices that are integrated into the building design and have minimal negative effect on residents' or neighbours' amenity.</p>	
<p>All residential development</p>	
<p>Front elevations and passive surveillance</p>	
<p>PO 17.1</p> <p>Dwellings incorporate windows facing primary street frontages to encourage passive surveillance and make a positive contribution to the streetscape.</p>	<p>DTS/DPF 17.1</p> <p>Each dwelling with a frontage to a public street:</p> <p>(a) includes at least one window facing the primary street from a habitable room that has a minimum internal room dimension of 2.4m</p> <p>(b) has an aggregate window area of at least 2m² facing the primary street.</p>
<p>PO 17.2</p> <p>Dwellings incorporate entry doors within street frontages to address the street and provide a legible entry point for visitors.</p>	<p>DTS/DPF 17.2</p> <p>Dwellings with a frontage to a public street have an entry door visible from the primary street boundary.</p>
<p>Outlook and Amenity</p>	
<p>PO 18.1</p> <p>Living rooms have an external outlook to provide a high standard of amenity for occupants.</p>	<p>DTS/DPF 18.1</p> <p>A living room of a dwelling incorporates a window with an external outlook of the street frontage, private open space, public open space, or waterfront areas.</p>
<p>Residential Development - Low Rise</p>	
<p>External appearance</p>	
<p>PO 20.1</p> <p>Garaging is designed to not detract from the streetscape or appearance of a dwelling.</p>	<p>DTS/DPF 20.1</p> <p>Garages and carports facing a street:</p> <p>(a) are situated so that no part of the garage or carport will be in front of any part of the building line of the dwelling</p> <p>(b) are set back at least 5.5m from the boundary of the primary street</p> <p>(c) have a garage door / opening width not exceeding 7m</p> <p>(d) have a garage door / opening width not exceeding 50% of the site frontage unless the dwelling has two or more building levels at the building line fronting the same public street.</p>
<p>PO 20.2</p> <p>Dwelling elevations facing public streets and common driveways make a positive contribution to the streetscape and the appearance of common driveway areas.</p>	<p>DTS/DPF 20.2</p> <p>Each dwelling includes at least 3 of the following design features within the building elevation facing a primary street, and at least 2 of the following design features within the building elevation facing any other public road (other than a laneway) or a common driveway:</p> <p>(a) a minimum of 30% of the building wall is set back an additional 300mm from the building line</p> <p>(b) a porch or portico projects at least 1m from the building wall</p> <p>(c) a balcony projects from the building wall</p> <p>(d) a verandah projects at least 1m from the building wall</p> <p>(e) eaves of a minimum 400mm width extend along the width of the front elevation</p>

	<p>(f) a minimum 30% of the width of the upper level projects forward from the lower level primary building line by at least 300mm</p> <p>(g) a minimum of two different materials or finishes are incorporated on the walls of the front building elevation, with a maximum of 80% of the building elevation in a single material or finish.</p>
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<p>PO 20.3</p> <p>The visual mass of larger buildings is reduced when viewed from adjoining allotments or public streets.</p>	<p>DTS/DPF 20.3</p> <p>None are applicable</p>
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Private Open Space

<p>PO 21.1</p> <p>Dwellings are provided with suitable sized areas of usable private open space to meet the needs of occupants.</p>	<p>DTS/DPF 21.1</p> <p>Private open space is provided in accordance with Design in Urban Areas Table 1 - Private Open Space.</p>
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<p>PO 21.2</p> <p>Private open space is positioned to provide convenient access from internal living areas.</p>	<p>DTS/DPF 21.2</p> <p>Private open space is directly accessible from a habitable room.</p>
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Landscaping

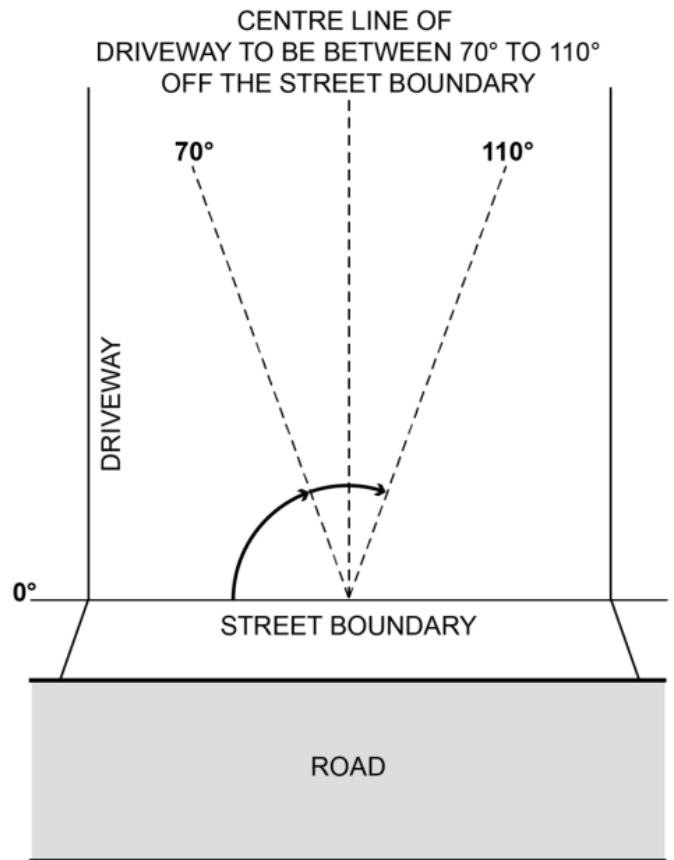
<p>PO 22.1</p> <p>Soft landscaping is incorporated into development to:</p> <ul style="list-style-type: none"> (a) minimise heat absorption and reflection (b) contribute shade and shelter (c) provide for stormwater infiltration and biodiversity (d) enhance the appearance of land and streetscapes. 	<p>DTS/DPF 22.1</p> <p>Residential development incorporates soft landscaping with a minimum dimension of 700mm provided in accordance with (a) and (b):</p> <ul style="list-style-type: none"> (a) a total area for the entire development site, including any common property, as determined by the following table: <table border="1" style="width: 100%; background-color: #1a3d54; color: white;"> <thead> <tr> <th style="text-align: center;">Site area (or in the case of residential flat building or group dwelling(s), average site area) (m²)</th> <th style="text-align: center;">Minimum percentage of site</th> </tr> </thead> <tbody> <tr> <td style="text-align: center;"><150</td> <td style="text-align: center;">10%</td> </tr> <tr> <td style="text-align: center;">150-200</td> <td style="text-align: center;">15%</td> </tr> </tbody> </table>	Site area (or in the case of residential flat building or group dwelling(s), average site area) (m ²)	Minimum percentage of site	<150	10%	150-200	15%
Site area (or in the case of residential flat building or group dwelling(s), average site area) (m ²)	Minimum percentage of site						
<150	10%						
150-200	15%						

	<table border="1" style="width: 100%;"> <tr> <td style="width: 50%; text-align: center;">>200-450</td> <td style="width: 50%; text-align: center;">20%</td> </tr> <tr> <td style="text-align: center;">>450</td> <td style="text-align: center;">25%</td> </tr> </table> <p>(b) at least 30% of any land between the primary street boundary and the primary building line.</p>	>200-450	20%	>450	25%
>200-450	20%				
>450	25%				
Car parking, access and manoeuvrability					
<p>PO 23.1</p> <p>Enclosed car parking spaces are of dimensions to be functional, accessible and convenient.</p>	<p>DTS/DPF 23.1</p> <p>Residential car parking spaces enclosed by fencing, walls or other structures have the following internal dimensions (separate from any waste storage area):</p> <p>(a) single width car parking spaces:</p> <ul style="list-style-type: none"> (i) a minimum length of 5.4m per space (ii) a minimum width of 3.0m (iii) a minimum garage door width of 2.4m <p>(b) double width car parking spaces (side by side):</p> <ul style="list-style-type: none"> (i) a minimum length of 5.4m (ii) a minimum width of 5.4m (iii) minimum garage door width of 2.4m per space. 				
<p>PO 23.2</p> <p>Uncovered car parking space are of dimensions to be functional, accessible and convenient.</p>	<p>DTS/DPF 23.2</p> <p>Uncovered car parking spaces have:</p> <p>(a) a minimum length of 5.4m</p> <p>(b) a minimum width of 2.4m</p> <p>(c) a minimum width between the centre line of the space and any fence, wall or other obstruction of 1.5m.</p>				
<p>PO 23.3</p> <p>Driveways and access points are located and designed to facilitate safe access and egress while maximising land available for street tree planting, pedestrian movement, domestic waste collection, landscaped street frontages and on-street parking.</p>	<p>DTS/DPF 23.3</p> <p>Driveways and access points satisfy (a) or (b):</p> <p>(a) sites with a frontage to a public road of 10m or less, have a width between 3.0 and 3.2 metres measured at the property boundary and are the only access point provided on the site</p> <p>(b) sites with a frontage to a public road greater than 10m:</p> <ul style="list-style-type: none"> (i) have a maximum width of 5m measured at the property boundary and are the only access point provided on the site; (ii) have a width between 3.0 metres and 3.2 metres measured at the property boundary and no more than two access points are provided on site, separated by no less than 1m. 				
<p>PO 23.4</p> <p>Vehicle access is safe, convenient, minimises interruption to the operation of public roads and does not interfere with street infrastructure or street trees.</p>	<p>DTS/DPF 23.4</p> <p>Vehicle access to designated car parking spaces satisfy (a) or (b):</p> <p>(a) is provided via a lawfully existing or authorised access point or an access point for which consent has been granted as part of an application for the division of land</p> <p>(b) where newly proposed, is set back:</p> <ul style="list-style-type: none"> (i) 0.5m or more from any street furniture, street pole, infrastructure services pit, or other stormwater or utility infrastructure unless consent is provided from the asset owner (ii) 2m or more from the base of the trunk of a street tree unless consent is provided from the tree owner for a lesser distance (iii) 6m or more from the tangent point of an intersection of 2 or more roads (iv) outside of the marked lines or infrastructure dedicating a pedestrian crossing. 				
<p>PO 23.5</p>	<p>DTS/DPF 23.5</p>				

Driveways are designed to enable safe and convenient vehicle movements from the public road to on-site parking spaces.

Driveways are designed and sited so that:

- (a) the gradient of the driveway does not exceed a grade of 1 in 4 and includes transitions to ensure a maximum grade change of 12.5% (1 in 8) for summit changes, and 15% (1 in 6.7) for sag changes, in accordance with AS 2890.1:2004 to prevent vehicles bottoming or scraping
- (b) the centreline of the driveway has an angle of no less than 70 degrees and no more than 110 degrees from the street boundary to which it takes its access as shown in the following diagram:



- (c) if located to provide access from an alley, lane or right of way - the alley, land or right of way is at least 6.2m wide along the boundary of the allotment / site.

PO 23.6

Driveways and access points are designed and distributed to optimise the provision of on-street visitor parking.

DTS/DPF 23.6

Where on-street parking is available abutting the site's street frontage, on-street parking is retained in accordance with the following requirements:

- (a) minimum 0.33 on-street spaces per dwelling on the site (rounded up to the nearest whole number)
- (b) minimum car park length of 5.4m where a vehicle can enter or exit a space directly
- (c) minimum carpark length of 6m for an intermediate space located between two other parking spaces or to an end obstruction where the parking is indented.

Waste storage

PO 24.1

Provision is made for the convenient storage of waste bins in a location screened from public view.

DTS/DPF 24.1

Where dwellings abut both side boundaries a waste bin storage area is provided behind the building line of each dwelling that:

- (a) has a minimum area of 2m² with a minimum dimension of 900mm (separate from any designated car parking spaces or private open space); and
- (b) has a continuous unobstructed path of travel (excluding moveable objects like gates, vehicles and roller doors) with a minimum width of 800mm between the waste bin storage area and the street.

<p>PO 25.1</p> <p>The sub-floor space beneath transportable buildings is enclosed to give the appearance of a permanent structure.</p>	<p>DTS/DPF 25.1</p> <p>Buildings satisfy (a) or (b):</p> <ul style="list-style-type: none"> (a) are not transportable (b) the sub-floor space between the building and ground level is clad in a material and finish consistent with the building.
<p>Residential Development - Medium and High Rise (including serviced apartments)</p>	
<p>Outlook and Visual Privacy</p>	
<p>PO 26.1</p> <p>Ground level dwellings have a satisfactory short range visual outlook to public, communal or private open space.</p>	<p>DTS/DPF 26.1</p> <p>Buildings:</p> <ul style="list-style-type: none"> (a) provide a habitable room at ground or first level with a window facing toward the street (b) limit the height / extent of solid walls or fences facing the street to 1.2m high above the footpath level or, where higher, to 50% of the site frontage.
<p>PO 26.2</p> <p>The visual privacy of ground level dwellings within multi-level buildings is protected.</p>	<p>DTS/DPF 26.2</p> <p>The finished floor level of ground level dwellings in multi-storey developments is raised by up to 1.2m.</p>
<p>Private Open Space</p>	
<p>PO 27.1</p> <p>Dwellings are provided with suitable sized areas of usable private open space to meet the needs of occupants.</p>	<p>DTS/DPF 27.1</p> <p>Private open space provided in accordance with Design in Urban Areas Table 1 - Private Open Space.</p>
<p>Residential amenity in multi-level buildings</p>	
<p>PO 28.1</p> <p>Residential accommodation within multi-level buildings have habitable rooms, windows and balconies designed and positioned to be separated from those of other dwellings and accommodation to provide visual and acoustic privacy and allow for natural ventilation and the infiltration of daylight into interior and outdoor spaces.</p>	<p>DTS/DPF 28.1</p> <p>Habitable rooms and balconies of independent dwellings and accommodation are separated by at least 6m from one another where there is a direct line of sight between them and 3m or more from a side or rear property boundary.</p>
<p>PO 28.2</p> <p>Balconies are designed, positioned and integrated into the overall architectural form and detail of the development to:</p> <ul style="list-style-type: none"> (a) respond to daylight, wind, and acoustic conditions to maximise comfort and provide visual privacy (b) allow views and casual surveillance of the street while providing for safety and visual privacy of nearby living spaces and private outdoor areas. 	<p>DTS/DPF 28.2</p> <p>Balconies utilise one or a combination of the following design elements:</p> <ul style="list-style-type: none"> (a) sun screens (b) pergolas (c) louvres (d) green facades (e) openable walls.
<p>PO 28.3</p> <p>Balconies are of sufficient size and depth to accommodate outdoor seating and promote indoor / outdoor living.</p>	<p>DTS/DPF 28.3</p> <p>Balconies open directly from a habitable room and incorporate a minimum dimension of 2m.</p>

<p>PO 28.4</p> <p>Dwellings are provided with sufficient space for storage to meet likely occupant needs.</p>	<p>DTS/DPF 28.4</p> <p>Dwellings (not including student accommodation or serviced apartments) are provided with storage at the following rates with at least 50% or more of the storage volume to be provided within the dwelling:</p> <ul style="list-style-type: none"> (a) studio: not less than 6m³ (b) 1 bedroom dwelling / apartment: not less than 8m³ (c) 2 bedroom dwelling / apartment: not less than 10m³ (d) 3+ bedroom dwelling / apartment: not less than 12m³.
<p>PO 28.5</p> <p>Dwellings that use light wells for access to daylight, outlook and ventilation for habitable rooms, are designed to ensure a reasonable living amenity is provided.</p>	<p>DTS/DPF 28.5</p> <p>Light wells:</p> <ul style="list-style-type: none"> (a) are not used as the primary source of outlook for living rooms (b) up to 18m in height have a minimum horizontal dimension of 3m, or 6m if overlooked by bedrooms (c) above 18m in height have a minimum horizontal dimension of 6m, or 9m if overlooked by bedrooms.
<p>PO 28.6</p> <p>Attached or abutting dwellings are designed to minimise the transmission of sound between dwellings and, in particular, to protect bedrooms from possible noise intrusions.</p>	<p>DTS/DPF 28.6</p> <p>None are applicable.</p>
<p>PO 28.7</p> <p>Dwellings are designed so that internal structural columns correspond with the position of internal walls to ensure that the space within the dwelling/apartment is useable.</p>	<p>DTS/DPF 28.7</p> <p>None are applicable.</p>
<p>Dwelling Configuration</p>	
<p>PO 29.1</p> <p>Buildings containing in excess of 10 dwellings provide a variety of dwelling sizes and a range in the number of bedrooms per dwelling to contribute to housing diversity.</p>	<p>DTS/DPF 29.1</p> <p>Buildings containing in excess of 10 dwellings provide at least one of each of the following:</p> <ul style="list-style-type: none"> (a) studio (where there is no separate bedroom) (b) 1 bedroom dwelling / apartment with a floor area of at least 50m² (c) 2 bedroom dwelling / apartment with a floor area of at least 65m² (d) 3+ bedroom dwelling / apartment with a floor area of at least 80m², and any dwelling over 3 bedrooms provides an additional 15m² for every additional bedroom.
<p>PO 29.2</p> <p>Dwellings located on the ground floor of multi-level buildings with 3 or more bedrooms have the windows of their habitable rooms overlooking internal courtyard space or other public space, where possible.</p>	<p>DTS/DPF 29.2</p> <p>None are applicable.</p>
<p>Common Areas</p>	
<p>PO 30.1</p> <p>The size of lifts, lobbies and corridors is sufficient to accommodate movement of bicycles, strollers, mobility aids</p>	<p>DTS/DPF 30.1</p> <p>Common corridor or circulation areas:</p>

<p>and visitor waiting areas.</p>	<ul style="list-style-type: none"> (a) have a minimum ceiling height of 2.7m (b) provide access to no more than 8 dwellings (c) incorporate a wider section at apartment entries where the corridors exceed 12m in length from a core.
<p>Group Dwellings, Residential Flat Buildings and Battle axe Development</p>	
<p>Amenity</p>	
<p>PO 31.2</p> <p>The orientation and siting of buildings minimises impacts on the amenity, outlook and privacy of occupants and neighbours.</p>	<p>DTS/DPF 31.2</p> <p>None are applicable.</p>
<p>PO 31.3</p> <p>Development maximises the number of dwellings that face public open space and public streets and limits dwellings oriented towards adjoining properties.</p>	<p>DTS/DPF 31.3</p> <p>None are applicable.</p>
<p>PO 31.4</p> <p>Battle-axe development is appropriately sited and designed to respond to the existing neighbourhood context.</p>	<p>DTS/DPF 31.4</p> <p>Dwelling sites/allotments are not in the form of a battle-axe arrangement.</p>
<p>Car parking, access and manoeuvrability</p>	
<p>PO 33.1</p> <p>Driveways and access points are designed and distributed to optimise the provision of on-street visitor parking.</p>	<p>DTS/DPF 33.1</p> <p>Where on-street parking is available directly adjacent the site, on-street parking is retained adjacent the subject site in accordance with the following requirements:</p> <ul style="list-style-type: none"> (a) minimum 0.33 on-street car parks per proposed dwelling (rounded up to the nearest whole number) (b) minimum car park length of 5.4m where a vehicle can enter or exit a space directly (c) minimum carpark length of 6m for an intermediate space located between two other parking spaces or to an end obstruction where the parking is indented.
<p>PO 33.4</p> <p>Residential driveways that service more than one dwelling or a dwelling on a battle-axe site are designed to allow passenger vehicles to enter and exit and manoeuvre within the site in a safe and convenient manner.</p>	<p>DTS/DPF 33.4</p> <p>Driveways providing access to more than one dwelling, or a dwelling on a battle-axe site, allow a B85 passenger vehicle to enter and exit the garages or parking spaces in no more than a three-point turn manoeuvre.</p>
<p>PO 33.5</p> <p>Dwellings are adequately separated from common driveways and manoeuvring areas.</p>	<p>DTS/DPF 33.5</p> <p>Dwelling walls with entry doors or ground level habitable room windows are set back at least 1.5m from any driveway or area designated for the movement and manoeuvring of vehicles.</p>
<p>Soft landscaping</p>	
<p>PO 34.2</p> <p>Battle-axe or common driveways incorporate landscaping and permeability to improve appearance and assist in stormwater management.</p>	<p>DTS/DPF 34.2</p> <p>Battle-axe or common driveways satisfy (a) and (b):</p> <ul style="list-style-type: none"> (a) are constructed of a minimum of 50% permeable or porous material (b) where the driveway is located directly adjacent the side or rear boundary of the site, soft landscaping with a minimum dimension of 1m is provided between the driveway and site

	boundary (excluding along the perimeter of a passing point).
Laneway Development	
Infrastructure and Access	
<p>PO 44.1</p> <p>Development with a primary street comprising a laneway, alley, lane, right of way or similar minor thoroughfare only occurs where:</p> <ul style="list-style-type: none"> (a) existing utility infrastructure and services are capable of accommodating the development (b) the primary street can support access by emergency and regular service vehicles (such as waste collection) (c) it does not require the provision or upgrading of infrastructure on public land (such as footpaths and stormwater management systems) (d) safety of pedestrians or vehicle movement is maintained (e) any necessary grade transition is accommodated within the site of the development to support an appropriate development intensity and orderly development of land fronting minor thoroughfares. 	<p>DTS/DPF 44.1</p> <p>Development with a primary street frontage that is not an alley, lane, right of way or similar public thoroughfare.</p>

Table 1 - Private Open Space

Dwelling Type	Dwelling / Site Configuration	Minimum Rate
Dwelling (at ground level, other than a residential flat building that includes above ground dwellings)		Total private open space area: (a) Site area <301m ² : 24m ² located behind the building line. (b) Site area ≥ 301m ² : 60m ² located behind the building line. Minimum directly accessible from a living room: 16m ² / with a minimum dimension 3m.
Cabin or caravan (permanently fixed to the ground) in a residential park or caravan and tourist park		Total area: 16m ² , which may be uses as second car parking space, provided on each site intended for residential occupation.
Dwelling in a residential flat building or mixed use building which incorporate above ground level dwellings	Dwellings at ground level:	15m ² / minimum dimension 3m
	Dwellings above ground level:	
	Studio (no separate bedroom)	4m ² / minimum dimension 1.8m
	One bedroom dwelling	8m ² / minimum dimension 2.1m
	Two bedroom dwelling	11m ² / minimum dimension 2.4m
	Three + bedroom dwelling	15 m ² / minimum dimension 2.6m

Infrastructure and Renewable Energy Facilities

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Efficient provision of infrastructure networks and services, renewable energy facilities and ancillary development in a manner that minimises hazard, is environmentally and culturally sensitive and manages adverse visual impacts on natural and rural landscapes and residential amenity.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Water Supply	
<p>PO 11.2</p> <p>Dwellings are connected to a reticulated water scheme or mains water supply with the capacity to meet the requirements of the intended use. Where this is not available an appropriate rainwater tank or storage system for domestic use is provided.</p>	<p>DTS/DPF 11.2</p> <p>A dwelling is connected, or will be connected, to a reticulated water scheme or mains water supply with the capacity to meet the requirements of the development. Where this is not available it is serviced by a rainwater tank or tanks capable of holding at least 50,000 litres of water which is:</p> <ul style="list-style-type: none"> (a) exclusively for domestic use (b) connected to the roof drainage system of the dwelling.
Wastewater Services	
<p>PO 12.1</p> <p>Development is connected to an approved common wastewater disposal service with the capacity to meet the requirements of the intended use. Where this is not available an appropriate on-site service is provided to meet the ongoing requirements of the intended use in accordance with the following:</p> <ul style="list-style-type: none"> (a) it is wholly located and contained within the allotment of the development it will service (b) in areas where there is a high risk of contamination of surface, ground, or marine water resources from on-site disposal of liquid wastes, disposal systems are included to minimise the risk of pollution to those water resources (c) septic tank effluent drainage fields and other wastewater disposal areas are located away from watercourses and flood prone, sloping, saline or poorly drained land to minimise environmental harm. 	<p>DTS/DPF 12.1</p> <p>Development is connected, or will be connected, to an approved common wastewater disposal service with the capacity to meet the requirements of the development. Where this is not available it is instead capable of being serviced by an on-site waste water treatment system in accordance with the following:</p> <ul style="list-style-type: none"> (a) the system is wholly located and contained within the allotment of development it will service; and (b) the system will comply with the requirements of the South Australian Public Health Act 2011.
<p>PO 12.2</p> <p>Effluent drainage fields and other wastewater disposal areas are maintained to ensure the effective operation of waste systems and minimise risks to human health and the environment.</p>	<p>DTS/DPF 12.2</p> <p>Development is not built on, or encroaches within, an area that is, or will be, required for a sewerage system or waste control system.</p>

Interface between Land Uses

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Development is located and designed to mitigate adverse effects on or from neighbouring and proximate land uses.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Overshadowing	
<p>PO 3.1</p> <p>Overshadowing of habitable room windows of adjacent residential land uses in:</p> <p>a. a neighbourhood-type zone is minimised to maintain access to direct winter sunlight</p> <p>b. other zones is managed to enable access to direct winter sunlight.</p>	<p>DTS/DPF 3.1</p> <p>North-facing windows of habitable rooms of adjacent residential land uses in a neighbourhood-type zone receive at least 3 hours of direct sunlight between 9.00am and 3.00pm on 21 June.</p>
<p>PO 3.2</p> <p>Overshadowing of the primary area of private open space or communal open space of adjacent residential land uses in:</p> <p>a. a neighbourhood type zone is minimised to maintain access to direct winter sunlight</p> <p>b. other zones is managed to enable access to direct winter sunlight.</p>	<p>DTS/DPF 3.2</p> <p>Development maintains 2 hours of direct sunlight between 9.00 am and 3.00 pm on 21 June to adjacent residential land uses in a neighbourhood-type zone in accordance with the following:</p> <p>a. for ground level private open space, the smaller of the following:</p> <p>i. half the existing ground level open space</p> <p>or</p> <p>ii. 35m² of the existing ground level open space (with at least one of the area's dimensions measuring 2.5m)</p> <p>b. for ground level communal open space, at least half of the existing ground level open space.</p>
<p>PO 3.3</p> <p>Development does not unduly reduce the generating capacity of adjacent rooftop solar energy facilities taking into account:</p> <p>(a) the form of development contemplated in the zone</p> <p>(b) the orientation of the solar energy facilities</p> <p>(c) the extent to which the solar energy facilities are already overshadowed.</p>	<p>DTS/DPF 3.3</p> <p>None are applicable.</p>

Site Contamination

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Ensure land is suitable for the proposed use in circumstances where it is, or may have been, subject to site contamination.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
<p>PO 1.1</p> <p>Ensure land is suitable for use when land use changes to a more sensitive use.</p>	<p>DTS/DPF 1.1</p> <p>Development satisfies (a), (b), (c) or (d):</p> <ul style="list-style-type: none"> (a) does not involve a change in the use of land (b) involves a change in the use of land that does not constitute a change to a more sensitive use (c) involves a change in the use of land to a more sensitive use on land at which site contamination is unlikely to exist (as demonstrated in a site contamination declaration form) (d) involves a change in the use of land to a more sensitive use on land at which site contamination exists, or may exist (as demonstrated in a site contamination declaration form), and satisfies both of the following: <ul style="list-style-type: none"> (i) a site contamination audit report has been prepared under Part 10A of the <i>Environment Protection Act 1993</i> in relation to the land within the previous 5 years which states that- <ul style="list-style-type: none"> A. site contamination does not exist (or no longer exists) at the land or B. the land is suitable for the proposed use or range of uses (without the need for any further remediation) or C. where remediation is, or remains, necessary for the proposed use (or range of uses), remediation work has been carried out or will be carried out (and the applicant has provided a written undertaking that the remediation works will be implemented in association with the development) and (ii) no other class 1 activity or class 2 activity has taken place at the land since the preparation of the site contamination audit report (as demonstrated in a site contamination declaration form).

Transport, Access and Parking

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	A comprehensive, integrated and connected transport system that is safe, sustainable, efficient, convenient and accessible to all users.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Vehicle Parking Rates	
<p>PO 5.1</p> <p>Sufficient on-site vehicle parking and specifically marked accessible car parking places are provided to meet the needs of the development or land use having regard to factors that may support a reduced on-site rate such as:</p>	<p>DTS/DPF 5.1</p> <p>Development provides a number of car parking spaces on-site at a rate no less than the amount calculated using one of the following, whichever is relevant:</p>

<ul style="list-style-type: none"> (a) availability of on-street car parking (b) shared use of other parking areas (c) in relation to a mixed-use development, where the hours of operation of commercial activities complement the residential use of the site, the provision of vehicle parking may be shared (d) the adaptive reuse of a State or Local Heritage Place. 	<ul style="list-style-type: none"> (a) Transport, Access and Parking Table 2 - Off-Street Vehicle Parking Requirements in Designated Areas if the development is a class of development listed in Table 2 and the site is in a Designated Area (b) Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements where (a) does not apply (c) if located in an area where a lawfully established carparking fund operates, the number of spaces calculated under (a) or (b) less the number of spaces offset by contribution to the fund.
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Corner Cut-Offs

<p>PO 10.1</p> <p>Development is located and designed to ensure drivers can safely turn into and out of public road junctions.</p>	<p>DTS/DPF 10.1</p> <p>Development does not involve building work, or building work is located wholly outside the land shown as Corner Cut-Off Area in the following diagram:</p>
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Table 1 - General Off-Street Car Parking Requirements

Class of Development	Car Parking Rate (unless varied by Table 2 onwards)
<p style="text-align: center;">Where a development comprises more than one development type, then the overall car parking rate will be taken to be the sum of the car parking rates for each development type.</p>	
Residential Development	
Detached Dwelling	<p>Dwelling with 1 bedroom (including rooms capable of being used as a bedroom) - 1 space per dwelling.</p> <p>Dwelling with 2 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.</p>

Table 2 - Off-Street Car Parking Requirements in Designated Areas

Class of Development	Car Parking Rate		Designated Areas
	<p style="text-align: center;">Where a development comprises more than one development type, then the overall car parking rate will be taken to be the sum of the car parking rates for each development type.</p>		
	Minimum number of spaces	Maximum number of spaces	

Development generally			
All classes of development	No minimum.	<p>No maximum except in the Primary Pedestrian Area identified in the Primary Pedestrian Area Concept Plan, where the maximum is:</p> <p>1 space for each dwelling with a total floor area less than 75 square metres</p> <p>2 spaces for each dwelling with a total floor area between 75 square metres and 150 square metres</p> <p>3 spaces for each dwelling with a total floor area greater than 150 square metres.</p> <p>Residential flat building or Residential component of a multi-storey building: 1 visitor space for each 6 dwellings.</p>	<p>Capital City Zone</p> <p>City Main Street Zone</p> <p>City Riverbank Zone</p> <p>Adelaide Park Lands Zone</p> <p>Business Neighbourhood Zone (within the City of Adelaide)</p> <p>The St Andrews Hospital Precinct Subzone and Women's and Children's Hospital Precinct Subzone of the Community Facilities Zone</p>