

**CAP MEETING – 9 October 2024**

**ITEM 8.2**

<b>DEVELOPMENT NO.:</b>	24031535
<b>APPLICANT:</b>	Development Holdings Pty Ltd
<b>ADDRESS:</b>	35 PARATOO RD STIRLING SA 5152
<b>NATURE OF DEVELOPMENT:</b>	Variation to Development Application 23018174 - Addition of fire access track and alterations to retaining walls, staircase, fencing, carpark and vegetation clearance, deck, building height and form, and internal alterations
<b>ZONING INFORMATION:</b>	<p><b>Zones:</b></p> <ul style="list-style-type: none"> <li>• Rural Neighbourhood</li> </ul> <p><b>Subzones:</b></p> <ul style="list-style-type: none"> <li>• Adelaide Hills</li> </ul> <p><b>Overlays:</b></p> <ul style="list-style-type: none"> <li>• Hazards (Bushfire - Medium Risk)</li> <li>• Hazards (Flooding - Evidence Required)</li> <li>• Mount Lofty Ranges Water Supply Catchment (Area 2)</li> <li>• Native Vegetation</li> <li>• Prescribed Water Resources Area</li> <li>• Regulated and Significant Tree</li> </ul> <p><b>Technical Numeric Variations (TNVs):</b></p> <ul style="list-style-type: none"> <li>• Minimum Site Area (Minimum site area is 2,000 sqm)</li> </ul>
<b>LODGEMENT DATE:</b>	24 Sept 2024
<b>RELEVANT AUTHORITY:</b>	Assessment Panel at Adelaide Hills Council
<b>PLANNING &amp; DESIGN CODE VERSION:</b>	P&D Code (in effect) Version 2024.17 12/9/2024
<b>CATEGORY OF DEVELOPMENT:</b>	Code Assessed - Performance Assessed
<b>NOTIFICATION:</b>	No
<b>RECOMMENDING OFFICER:</b>	Tim Mason Statutory Planner
<b>REFERRALS STATUTORY:</b>	None
<b>REFERRALS NON-STATUTORY:</b>	None

**CONTENTS:**

---

<b>ATTACHMENT 1:</b>	<b>Application Documents</b>	<b>ATTACHMENT 4:</b>	<b>Approved Plans – Development Application 23018174</b>
<b>ATTACHMENT 2:</b>	<b>Subject Land Map</b>	<b>ATTACHMENT 5:</b>	<b>CAP Report &amp; Minutes 10 January 2024</b>
<b>ATTACHMENT 3:</b>	<b>Zoning Map</b>	<b>ATTACHMENT 6:</b>	<b>Relevant P &amp; D Code Policies</b>

## CAP MEETING – 9 October 2024

### ITEM 8.2

#### DETAILED DESCRIPTION OF PROPOSAL:

The proposal seeks to vary Development Application 23018174 which is for a two storey Child Care Facility with attached signage, retaining walls, combined fence & retaining walls, decking & associated car-parking. This variation seeks to vary the original application as to address changes to the National Construction Code which requires a fire access track around the perimeter as established in Specification 43: Bushfire Protection for Certain Class 9 Buildings (S43C14). The introduction of this fire track around the perimeter of the building introduces incidental changes to the proposed Child Care Facility, including modifications to the carpark, additional native vegetation clearance and alterations to retaining walls.

A detailed breakdown of the variation proposal is provided below:

- A 4m wide all-weather fire access track around the perimeter of the proposed Child Care Facility.
- Additional native vegetation clearance which includes nine (9) *Eucalyptus obliqua* (messmate stringybark) and one (1) *Acacia melanoxylon* (blackwood) as well as the original seventeen (17) *Eucalyptus obliqua* and three (3) *Acacia melanoxylon* included in the original application (total of 30 trees). All trees to be cleared to facilitate the proposed fire access track are considered to be native vegetation and excluded from the definition of a Regulated Tree in accordance with Section 3F(4)(d) of the *Planning Development and Infrastructure (General) Regulations 2017*.
- Alterations to the retaining walls to facilitate the perimeter fire access track. As well as alterations to the retaining walls to facilitate the altered carpark design.
- Alterations to the proposed carpark as to accommodate the proposed fire access track, including repositioning the carpark 10.88m northwest on the allotment and reconfiguring the parking spaces. This does not result in any changes to the capacity of the carpark or the crossover from the public road.
- The deck to be attached to the front of the building has been reduced in size and reconfigured.
- Relocation of the proposed bin store to the front boundary of the allotment and an additional 1.8m high fence to enclose this facility.
- Addition of an external staircase connecting the carpark to the first floor of the Child Care Facility. This does not modify the existing staircase or elevator located inside the building.
- An increase to the maximum roof height of the building from 8.72m to 9.00m, resulting in an approximate increase of 0.28m.
- The northeastern wall of the proposed Child WC on the first floor has been extended north as to facilitate an increase to the total floor area of the building by 2.00m<sup>2</sup>.

Alterations to the front elevation of the building including adjustments to the ground floor window and doors, however this does not change the access of the building. The proposal does not vary the operating hours, maximum capacity of children or staff of the proposed Child Care Facility nor does it modify the proposed advertising signage.

The amended plans and application information are included as **Attachment 1 – Application Documents**.



## CAP MEETING – 9 October 2024

### ITEM 8.2

#### BACKGROUND:

APPROVAL DATE	APPLICATION NUMBER	DESCRIPTION OF PROPOSAL
10 January 2024	23018174	Two storey child care facility with attached signage, retaining walls, combined fence & retaining walls, decking, & associated car-parking

There are no previous Development Applications on the subject land recorded with Council prior to Development Application 23018174.

The original plans previously approved by CAP are included in **Attachment 4**.

The CAP Report and Minutes from the meeting on 10 January 2024 are included in **Attachment 5**.

#### SUBJECT LAND & LOCALITY:

##### Site Description:

**Location reference:** 35 PARATOO RD STIRLING SA 5152

**Title ref.:** CT 5767/919

**Plan Parcel:** F210897 AL111

**Council:** ADELAIDE HILLS COUNCIL

The subject land is a triangular shaped allotment, with an area of 1.04 hectares. It is wider at the front, with a frontage to Paratoo Road of 100 metres.

The land is approximately 15m south of the intersection of Paratoo Road and Old Mount Barker Road, 50m north of the intersection of Paratoo Road and Yam Street and 200m north of the intersection of Paratoo Road and Braeside Road.

Old Mount Barker Road is the zone boundary, with land on the northern side of Old Mount Barker Road being within the Productive Rural Landscape Zone.

The use of the land is residential, comprised of a single storey detached dwelling with associated outbuildings. The dwelling is sited away from the road frontage, near the northern side boundary. It is surrounded by a cluster of trees at the rear, with garden between the dwelling and the front boundary.

The land is sloping, with a north-south cross-fall of approximately 1 in 6 through the development area. It is serviced by mains water, sewer and electricity supply. There is an easement at the rear of the land, which is unaffected by the proposal.

Paratoo Road is sealed Council roadway, provided in-part with upright kerb & gutter. It is a two-way road until near the southern boundary of the subject land, where at this point it narrows to a one-way road. Vehicles can only travel north past the frontage of the subject land.

The adjoining land to the south is the Stirling East Primary School, which has a main frontage to Braeside Road. A staff and student drop-off and pick-up car park is located on the Paratoo Road frontage. Entry to this car park is at the southern end and the exit point is at the northern end of the subject land. Road signage restricts vehicles leaving the car park from turning right. Road signage also restricts vehicles turning right onto Yam Street from Paratoo Road.

There is a sealed footpath in front of the primary school frontage, which turns into a compacted gravel footpath in front of the subject land. The footpath in front of the subject land is approximately 6m wide.

## **CAP MEETING – 9 October 2024**

### **ITEM 8.2**

Road signage prevents on-street parking in front of the primary school frontage between 3:00pm and 4:00pm, however there are two unrestricted indented off-street parking spaces available near the southern boundary of the subject land. There is an un-signalised pedestrian crossing just below the indented street parking spaces and pedestrian warning signs on the approach to the primary school.

Aside from the primary school, the surrounding land use is residential comprised of single storey and two storey detached dwellings generally set well back from the boundaries and surrounded by vegetation and landscaped gardens. The area of these residential allotments is generally around 2000-3000 square metres.

The subject land is identified on **Attachment 2 – Subject Land Map**. The zoning is shown in **Attachment 3 – Zoning Map**.

### **CONSENT TYPE REQUIRED:**

Planning Consent

### **CATEGORY OF DEVELOPMENT:**

- **PER ELEMENT:**
  - Deck: Code Assessed - Performance Assessed
  - Fence: Code Assessed - Performance Assessed
  - Child Care Facility: Code Assessed - Performance Assessed
  - Retaining wall: Code Assessed - Performance Assessed
  - Staircase: Code Assessed - Performance Assessed
- **OVERALL APPLICATION CATEGORY:**
  - Code Assessed - Performance Assessed
- **REASON**
  - P&D Code

### **PUBLIC NOTIFICATION**

- No
- **REASON –**

Each of the proposed modifications to the Child Care Facility are considered to be minor, the proposal is excluded from Public Notification in accordance with *Table 5 – Procedural Matters* as per the Rural Neighbourhood Zone. The proposed variations to the approved Child Care Facility are expected to maintain the intent of the approval in the context of the site and the proposed development as a whole. They are considered to be of a minor nature only as they are not expected to modify the intensity or nature of the approved land use, nor will the proposed variations unreasonably impact on the owners or occupiers of land in the locality.

### **AGENCY REFERRALS**

- Native Vegetation Council

Pre-lodgement advice received from the Native Vegetation Council regarding the increase to the clearance of native trees required to facilitate the fire access track around the proposed Child Care Facility permits the clearance. The advice is contained in the application information and no further referral was necessary.

## CAP MEETING – 9 October 2024

### ITEM 8.2

#### INTERNAL REFERRALS

- None

#### PLANNING ASSESSMENT

##### *Desired outcomes*

*Desired outcomes are policies designed to aid the interpretation of performance outcomes by setting a general policy agenda for a zone, subzone, overlay or general development policies module. Where a relevant authority is uncertain as to whether or how a performance outcome applies to a development, the desired outcome(s) may inform its consideration of the relevance and application of a performance outcome, or assist in assessing the merits of the development against the applicable performance outcomes collectively.*

##### *Performance outcomes*

*Performance outcomes are policies designed to facilitate assessment according to specified factors, including land use, site dimensions and land division, built form, character and hazard risk minimisation.*

##### *Designated performance features*

*In order to assist a relevant authority to interpret the performance outcomes, in some cases the policy includes a standard outcome which will generally meet the corresponding performance outcome (a designated performance feature or DPF). A DPF provides a guide to a relevant authority as to what is generally considered to satisfy the corresponding performance outcome but does not need to necessarily be satisfied to meet the performance outcome, and does not derogate from the discretion to determine that the outcome is met in another way, or from the need to assess development on its merits against all relevant policies.*

A detailed assessment of the application has taken place against the relevant provisions of the Planning and Design Code (P & D Code) and this is provided below under a series of headings. A Policy Enquiry extract containing the relevant provisions of the P & D Code is contained in **Attachment 6 – Relevant P & D Code Policies**.

#### Rural Neighbourhood Zone

Desired Outcome	
DO1	Housing on large allotments in a spacious rural setting, often together with large outbuildings. Easy access and parking for cars. Considerable space for trees and other vegetation around buildings, as well as on-site wastewater treatment where necessary. Limited goods, services and facilities that enhance rather than compromise rural residential amenity.
Performance Outcomes (PO) & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria	
Land Use & Intensity PO 1.1 & DTS/DPF 1.1, PO 1.2 & DTS/DPF 1.2, PO 1.3, PO 1.4	
Building Height PO 2.1	
Primary Street Setback PO 3.1 & DTS/DPF 3.1	
Side Boundary Setback PO 5.1 & DTS/DPF 5.1	
Rear Boundary Setback PO 6.1 & DTS/DPF 6.1	
Advertisements PO 10.1 & DTS/DPF 10.1	

## CAP MEETING – 9 October 2024

### ITEM 8.2

The provisions of the Rural Neighbourhood Zone predominately speak to the desired land use and built form of structures on the subject land. The proposed variation seeks to increase the maximum roof height of the structure from 8.72m to 9.00m, an increase of approximately 0.28m. This variation is considered to be consistent with Designated Performance Feature 2.1 which supports a maximum building height of 9.00m in this Zone. Additionally, the proposed increase to the first-floor wet area by 2.00m<sup>2</sup> will result in a side boundary setback of 20.98m from the northern boundary. This is expected to maintain access around the building as well as the functionality of the adjoining play area without introducing any over shadowing or overlooking into the adjoining northern allotment. Given this, the variation to the scale of the building is not considered to vary the appropriateness of this building nor will it modify the intensity of activity of the previously approved Child Care Facility.

As part of the building assessment the proposal must address requirements under the National Construction Code and subsequently this has resulted the introduction of a fire access track as well as modifications to components of this proposal to facilitate this change, including variations to vegetation clearance, retaining walls, carparking and stormwater.

Desired Outcome 1 of the Zone anticipates development that accommodates *considerable space for trees and other vegetation around buildings*. The initial proposal had been considered to include design elements which minimised clearance of vegetation on the allotment and disturbances to the built form of the landscape, including the two-storey configuration of the primary building and siting on existing cleared land. However, the inclusion of the fire access track results in the required further clearance of 10 native trees.

The proposed development incorporates approximately 4,509.01m<sup>2</sup> of the subject land, being 43.56% of the 1.04ha site. This includes land to be used for the principal building, carpark, outside play areas and the fire access track. This allows for the remaining 56.44% of the allotment to remain as soft landscaping, facilitating the preservation of existing vegetation. This figure excludes land on the allotment to be used as play areas immediately surrounding the building. This is considered consistent with the Desired Outcome 1 of the Zone as the majority of the allotment will remain undeveloped.

The alteration to the carport results in modification to the waste storage at the front boundary including a 1.80m high fence to surround the bins as well as changes to retaining walls between the boundary and the carpark. These retaining walls will remain tiered to break up the vertical profile/mass of this structure and the proposed Colorbond fence is considered to be low in scale and incidental to the residential nature of the locality.

No changes to the previously approved advertising are proposed in conjunction with this application.

#### Adelaide Hills Subzone

Desired Outcome	
DO1	Additional residential and tourist accommodation that retains and embraces the values of the established mature vegetation as a defining characteristic of the area.
Performance Outcomes (PO) & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria	
Land Use & Intensity PO 1.1 & DTS/DPF 1.1	

In the opinion of staff, the Subzone considers tourist accommodation as an additional desired commercial use in this part of the Rural Neighbourhood Zone. The Subzone is not viewed as aiming to restrict development to only residential and tourist accommodation development.

The additional clearance of vegetation on the subject land is considered unavoidable as to facilitate the fire access track. This track is considered to be an essential component of this land use. It is considered that this track has been sited as to minimise the clearance of vegetation on the allotment while allowing for the intended land use to function as previously approved.

## CAP MEETING – 9 October 2024

### ITEM 8.2

The variation to this application does not modify the two storey building, outdoor play spaces or car parking areas as to require any additional clearance of vegetation on the allotment.

#### Overlays

##### Hazards (Bushfire – Medium Risk) Overlay

Desired Outcome	
DO 1	Development, including land division responds to the medium level of bushfire risk and potential for ember attack and radiant heat by siting and designing buildings in a manner that mitigates the threat and impact of bushfires on life and property taking into account the increased frequency and intensity of bushfires as a result of climate change.
DO 2	To facilitate access for emergency service vehicles to aid the protection of lives and assets from bushfire danger.
Performance Outcomes (PO) & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria	
Siting PO 1.1	
Built Form PO 2.1	

Unlike the Hazards (Bushfire – High Risk) Overlay, the Hazards (Bushfire – Medium Risk) Overlay does not specifically address Child Care Facility development.

However, with regard to Desired Outcome 2, the surrounding sealed, public road network facilitates emergency service access to the land and the car park area would provide on-site access to emergency service vehicles. This variation seeks to introduce a 4m wide fire access track which will facilitate a fire vehicle to operate at the rear of the building. This track will be accommodated by additional vegetation clearance which will buffer the facility from surrounding burning debris in the event of a bushfire.

##### Hazards (Flooding – Evidence Required) Overlay

Desired Outcome	
DO 1	Development adopts a precautionary approach to mitigate potential impacts on people, property, infrastructure and the environment from potential flood risk through the appropriate siting and design of development.
Performance Outcomes (PO) & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria	
Flood Resilience PO 1.1 & DTS/DPF 1.1	

The proposed variation does not modify the finished floor level of the building which is to remain more than 300mm above top of kerb.

There are no nearby watercourses, and the land is not within a flood prone area.

## CAP MEETING – 9 October 2024

### ITEM 8.2

#### Mount Lofty Ranges Water Supply Catchment (Area 2) Overlay

Desired Outcome	
DO 1	Safeguard Greater Adelaide’s public water supply by ensuring development has a neutral or beneficial effect on the quality of water harvested from secondary reservoirs or diversion weir catchments from the Mount Lofty Ranges.
Performance Outcomes (PO) & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria	
Water Quality PO 1.1 & PO 1.2 & DTS/DPF 1.2	
Wastewater PO 2.1, DTS/DPF 2.1	
Stormwater PO3.1, PO3.3, PO3.9 & DTS/DPF3.9	
Landscapes and Natural Features PO4.1	

The proposal includes variations to the stormwater management detail; however, this does not modify the detention/retention of stormwater in rainwater tanks. Given this, no changes to the management of stormwater are anticipated.

The previous condition relating to the stormwater management is to be updated by an amended condition citing the most recent revision of plans (Refer recommended condition three (3)).

#### Native Vegetation Overlay

Desired Outcome	
DO 1	Areas of native vegetation are protected, retained and restored in order to sustain biodiversity, threatened species and vegetation communities, fauna habitat, ecosystem services, carbon storage and amenity values.
Performance Outcomes (PO) & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria	
Environmental Protection PO 1.1 & DTS/DPF 1.1, PO 1.2, PO 1.4	

The proposal requires the clearance of an additional ten (10) native trees to facilitate the construction of the fire track. This consists of nine (9) *Eucalyptus obliqua* (messmate stringybark) and one (1) *Acacia melanoxylon* (blackwood). The original proposal sought the associated clearance of 17 *Eucalyptus obliqua* and three (3) *Acacia melanoxylon* trees (30 native trees total).

A supporting data report prepared by an accredited native vegetation consultant was included with the application and has categorised this clearance as ‘Level 2’. However, this is considered to be cumulative with the previous native vegetation clearance associated with this development which was categorised as ‘Level 3’.

While the cumulated impacts are considered to be clearance “Level 3”, this assessment did not require a referral to the Native Vegetation Council as the proposed clearance has since been assessed by this agency and submitted in accordance Section 123 of the *Planning, Development and Infrastructure Act 2016* as pre-lodgement advice.

The Native Vegetation Council has cited no additional notes or conditions are to be included in the assessment of the application beyond what was included in the original application.

## CAP MEETING – 9 October 2024

### ITEM 8.2

Two (2) additional trees have been referenced in the arborist's report (listed as trees 418 and 424) as requiring removal to facilitate construction of the fire access track, however they have not been included in the Native Vegetation Data Report as both are considered to be dead. Additionally, this status excludes these trees from requiring approval for clearance as regulated trees in accordance with Schedule 4 Section 18 (1)(e) or the *Planning, Development and Infrastructure (General) Regulations 2017*.

Performance Outcome 1.1 recognises that where development cannot practically avoid native vegetation clearance, clearance should be minimised. Given the requirement of the fire access track around the proposed Child Care Facility, it is considered that there would be no reasonable alternative solution to implement a fire track around the proposed building which does not require the clearance of existing vegetation. A separate arborist report advises that the associated native vegetation clearance is required to facilitate reasonable development of this site and this form of development 'might not otherwise be possible'.

This clearance is to be offset by an additional contribution of \$43,097.38 to the Native Vegetation Council's Significant Environmental Benefit Fund in addition to the \$9,235.30 previously approved by the Native Vegetation Council. This results in a cumulative offset of \$52,332.68 to be paid.

#### Prescribed Water Resources Area Overlay

Desired Outcome	
DO 1	Sustainable water use in prescribed water resources areas maintains the health and natural flow paths of surface water, watercourses and wells.
Performance Outcomes (PO) & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria	
N/A	

This Overlay is not relevant to the proposal as it relates to water taking activities such as horticulture and intensive animal husbandry or the alteration to a water body.

#### Regulated and Significant Tree Overlay

Desired Outcome	
DO 1	Conservation of regulated and significant trees to provide aesthetic and environmental benefits and mitigate tree loss.
Performance Outcomes (PO) & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria	
Tree Retention and Health PO 1.1, PO 1.4	
Ground Work Affecting Trees PO 2.1	

The ten (10) proposed trees to be cleared are considered to be "regulated" native vegetation and cannot be considered to constitute a Regulated or Significant Tree in accordance with Section 3F(4)(d) of the *Planning, Development and Infrastructure (General) Regulations 2017*. The two Regulated trees to be removed are considered to be dead and are excluded from requiring approval for clearance in accordance with Schedule 4 Section 18 (1)(e) or the *Planning, Development and Infrastructure (General) Regulations 2017*.

ITEM 8.2

General Development Policies

Advertisements

Desired Outcome	
DO 1	Advertisements and advertising hoardings are appropriate to context, efficient and effective in communicating with the public, limited in number to avoid clutter, and do not create hazard.
Performance Outcomes (PO) & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria	
Appearance PO 1.1 & DTS/DPF 1.1, PO 1.3 & DTS/DPF 1.3, PO1.5	
Proliferation of Advertisements PO 2.3 & DTS/DPF 2.3	
Advertising Content PO 3.1 & DTS/DPF 3.1	

The proposed variation does not modify the two (2) non-illuminated signs attached to the front elevation, which will identify the name of the facility operator.

Clearance from Overhead Powerlines

Desired Outcome	
DO 1	Protection of human health and safety when undertaking development in the vicinity of overhead transmission powerlines.
Performance Outcomes (PO) & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria	
Environmental Protection PO 1.1 & DTS/DP F1.1	

As part of their submission the applicant has declared that the development will not be contrary to the regulations prescribed for the purposes of section 86 of the Electricity Act 1996. This is consistent with Designated Performance Feature 1.1.

Design

Desired Outcome	
DO 1	Development is: <ol style="list-style-type: none"> <li>(1) contextual – by considering, recognising and carefully responding to its natural surroundings or built environment and positively contributes to the character of the immediate areas.</li> <li>(2) dural – fit for purpose, adaptable and long lasting.</li> <li>(3) inclusive – by integrating landscape design to optimise pedestrian and cyclist usability, privacy and equitable access, and promoting the provision of quality spaces integrated with the public realm that can be used for access and recreation and help optimise security and safety both internally and within the public realm for occupants and visitors.</li> </ol>



**CAP MEETING – 9 October 2024**

**ITEM 8.2**

	(4) sustainable – by integrating sustainable techniques into the design and siting of development and landscaping to improve community health, urban heat, water management, environmental performance, biodiversity and local amenity and to minimise energy consumption.
<b>Performance Outcomes (PO) &amp; Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria</b>	
All Development PO 1.4 & DTS/DPF 1.4, PO 1.5	
Safety PO 2.1, PO2.3, PO 2.3	
Landscaping PO 3.1, PO 3.2	
Carparking Appearance PO 7.2, PO 7.3, PO 7.4, PO 7.5, PO 7.6, PO7.7	
Earthworks & Sloping Land PO 8.1 & DTS/DPF 8.1, PO 8.4, PO 8.5	
Fences and Walls PO 9.1 & PO 9.2 & DTS/DPF 9.2	
Massing PO 15.1	
Car Parking, Access and Manoeuvrability PO 19.2 & DTS/DPF 19.2, PO19.3 & DTS/DPF 19.3, PO 19.4 & DTS/DPF 19.4, PO19.5 & DTS/DPF19.5, PO 19.6 & DTS/DPF 19.6	
All Non-Residential Development – Water Sensitive Design PO 31.1, PO 31.2	

The proposal is considered to meet part a) of Desired Outcome 1 in that the design is considered to carefully respond to the natural surrounds and built environment. Vegetation retention is maximised, the two-storey component of the building is away from the adjoining residential property and the facility including associated fencing and retaining walls will be constructed of non-reflective materials and finished in a neutral colour scheme.

It is noted that the clearance of vegetation as part of this variation application has been minimised through a Performance Solution to the provisions of the NCC for a fire access track. The NCC requires that a fire access track have a *minimum unobstructed width of 6m* as to allow access for emergency services in the event of a bushfire. It is anticipated that a 4m width will continue to allow for this access in the event of an emergency while minimising necessary clearance, preserving the majority of vegetation to the rear of the allotment.

Additionally, the clearance on site is to be supplemented by the inclusion of replacement landscaping onsite, providing screening of the building from adjoining allotments and the primary street. This will remain substantially the same as previously approved, including maintaining the same combination of plantings to be used, including a selection from Council’s Native Habitat for Landscaping Guide.

Retaining walls and earthworks supporting the fire access track exceed the desired 1m depth sought by Designated Performance Feature 8.1, including a maximum wall height of 2.10m at the southwestern corner of the building. The majority of these retaining walls are not expected to be visible from the adjoining residential property or the primary street. Additionally, these works are considered to be unavoidable as to facilitate the proposed Child Care Facility without resulting in additional clearance of native vegetation on the subject land.

The proposed retaining wall attached to the front of the building is to be reconfigured as it no longer acts as a secure storage area for waste on the subject land. Additionally, this results in a reduction in scale of the proposed deck.

## CAP MEETING – 9 October 2024

### ITEM 8.2

Furthermore, regarding the car park, Performance Outcome 7.2 seeks for car parking spaces to be located and designed to minimise impacts on adjacent receivers. The proposed alteration to the carpark is considered to substantially maintain the form and nature of this component of the proposal. The proposed access from Paratoo Road is to remain the same and the total number of carparks will not alter. The reconfiguration of this component results in alterations to supporting retaining and earthworks, decreasing the height of retaining walls at the southern end of the carpark and increasing the maximum height of northern retaining walls to 1m. However, these changes also introduce a wall of 2.6m to facilitate a proposed staircase to the first floor of the Child Care Facility.

The proposed gross-pollutant trap is to remain included in the design of the car park, which achieves Performance Outcome 31.1.

The previously approved waste storage area is to be repositioned to the front of the allotment and will be enclosed in a 1.80m high Colorbond fence included at the front of the building on the ground level.

#### Infrastructure and Renewable Energy Facilities

Desired Outcome	
DO 1	Efficient provision of infrastructure networks and services, renewable energy facilities and ancillary development in a manner that minimises hazard, is environmentally and culturally sensitive and manages adverse visual impacts on natural and rural landscapes and residential amenity.
Performance Outcomes (PO) & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria	
Water Supply PO 11.1 & DTS/DPF 11.1	

The proposed variation does not result in changes to mains water connection which will remain serviced by mains water supply as sought by Performance Outcome 11.1.

#### Interface between Land Uses

Desired Outcome	
DO 1	Development is located and designed to mitigate adverse effects on or from neighbouring and proximate uses.
Performance Outcomes (PO) & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria	
General Land Use Compatibility PO 1.2	
Hours of Operation PO 2.1 & DTS/DPF 2.1	
Activities Generating Noise or Vibration PO 4.1 & DTS/DPF 4.1, PO 4.2	
Light Spill PO 6.1, PO 6.2	

The proposed variation does not modify the intensity of activity or operating hours of the proposed Child Care Facility which will remain at 6:30am to 6:30pm, Monday to Friday as previously conditioned. Additionally, this proposal does not introduce or modify the anticipated level of noise or light spill generated by the development.

## CAP MEETING – 9 October 2024

### ITEM 8.2

#### Site Contamination

Desired Outcome	
DO 1	Ensure land is suitable for the proposed use in circumstances where it is, or may have been, subject to site contamination.
Performance Outcomes (PO) & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria	
PO 1.1 & DTS/DP F1.1	

The proposed Child Care Facility use is not a more sensitive use than the existing residential use of the land. Therefore, the land is considered suitable for its intended use with regard to the risk of site contamination and site history investigation information was not requested. This is in accordance with Practice Direction 14.

#### Transport, Access and Parking

Desired Outcome	
DO 1	A comprehensive, integrated and connected transport system that is safe, sustainable, efficient, convenient and accessible to all users.
Performance Outcomes (PO) & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria	
Movement Systems PO 1.1, PO 1.4	
Sightlines PO 2.2	
Vehicle Access PO 3.1 & DTS/DP F3.1, PO 3.3, PO 3.4, PO 3.5 & DTS/DPF3.5, PO 3.6, PO3.8	
Access for People with Disabilities PO 4.1	
Vehicle Parking Rates PO5.1 & DTS/DPF5.1	
Vehicle Parking Areas PO 6.2, PO 6.4, PO 6.5	

The proposed variation to the proposed carpark will result in a setback from the southern side boundary of approximately 12.62m to facilitate the southern access to the fire access track.

The proposed variation does not modify the location or width of the proposed crossover to the public road which remains in the same location as the existing cross-over to the subject land. Additionally, this proposal does not modify the maximum capacity of this carpark which remains at 33 spaces. Performance Outcome 5.1 and corresponding Designated Performance Feature 5.1 seek for sufficient on-site car parking with regard to Transport, Access and Parking Table 1 – General Off-Street Car parking Requirements. For a child care centre Table 1 seeks the provision of 0.25 parking spaces per child, which for this proposal would mean the provision of 32 parking spaces.

The previous condition relating to the cross-over & kerb and footpath alterations is to be updated by an amended condition siting the most recent revision of plans (Recommended condition two (2)).

## **CONSIDERATION OF SERIOUSLY AT VARIANCE**

The variation proposal is not considered to be seriously at variance with the Provisions of the Planning & Design Code. The Code envisages complimentary non-residential development which supports the residential amenity of the locality while preserving the character and amenity of the locality. The proposed variation to Development Application 23018174 facilitates the development of the previously approved Child Care Facility in accordance with the provisions of the National Construction Code while minimising disruptions to the existing landscape and native vegetation. All proposed clearance of native vegetation on this allotment has previously been supported by the Native Vegetation Council. Additionally, additional earthworks required to facilitate the proposed fire access track are to be substantially screened by the Child Care Facility from the primary street and assist in minimising any required clearance of native vegetation.

## **CONCLUSION**

The proposal is for a variation to the construction of a Child Care Facility in the Rural Neighbourhood Zone to facilitate a fire access track as established in Specification 43: Bushfire Protection for Certain Class 9 Buildings (S43C14) of the National Construction Code.

The proposed variation is not considered to increase the approved intensity of activity on the subject land and maintains the approved capacity, hours of operation, management of lighting and noise generated from associated plant equipment. The built form and land use will continue to achieve all the performance outcomes of the Zone that speak directly to non-residential development.

The proposal recommends alternate conditions which update previous conditions relating to the carpark crossover and stormwater management utilising the varied plans.

The proposed vegetation clearance and addition earthworks and retaining are considered to be appropriate as to facilitate the reasonable development of this site while minimising disruption to the existing landscape.

## **RECOMMENDATION**

**It is recommended that the Council Assessment Panel resolve that:**

- 1) Pursuant to Section 107(2)(c) of the Planning, Development and Infrastructure Act 2016, and having undertaken an assessment of the application against the Planning and Design Code, the application is NOT seriously at variance with the provisions of the Planning and Design Code; and**
- 2) Development Application Number 24031535 by Development Holdings Pty Ltd for the variation to Development Application 23018174 - Addition of fire access track and alterations to retaining walls, staircase fencing, carpark, vegetation clearance, deck, building height and form, and internal alterations at 35 Paratoo Road Stirling is GRANTED Planning Consent subject to the following conditions:**

## **CONDITIONS**

### **Planning Consent**

- 1) The development granted shall be undertaken and completed in accordance with the stamped plans and documentation, except where varied by conditions below (if any).**

## **CAP MEETING – 9 October 2024**

### **ITEM 8.2**

- 2) All solid waste shall be stored in closed containers with close fitting lids in the enclosed bin area shown on the approved site plan (202400038, Drawing A101 Rev. P11 dated 26/09/2024) prepared by On Architecture Pty Ltd. External contractors accessing the site for waste collection shall be provided with access to enclosed bin area to ensure waste is not stored in the car park area for collection.
- 3) The cross-over & kerb and footpath alterations, vehicle-parking spaces, driveways and manoeuvring areas shall be constructed in accordance with the approved site plan (202400038 Drawing A101, Rev. P11 dated 26/09/2024) prepared by On Architecture Pty Ltd and the approved stormwater drainage plan (drawing 220216-C201, Rev D dated 26/09/2024) prepared by CPR Engineers prior to the occupation of the child care facility. Clear visible line marking of vehicle parking spaces shall be completed prior to the occupation of the child care facility. The car park and line-marking shall thereafter be maintained in good condition at all times.
- 4) Plant equipment of the child care facility shall only be located within service yard area shown on the approved ground floor plan (202400038 drawing 207, Rev P6 dated 26/09/2024) prepared by On Architecture.
- 5) All roof run-off from the building and run-off from the outdoor play areas and car park shall be managed in accordance with the approved stormwater management plan (drawing 220216-C201, Rev D dated 26/09/2024) prepared by CPR Engineers.
- 6) The works in relation to the trees, outlined in the Arboricultural Impact Assessment and Tree Protection Assessment Plan prepared by Ecological Tree Consulting and submitted as part of this application as a strategy for management of the trees are to be undertaken simultaneously with any building works on the site under the direction of the project arborist.
- 7) Except where varied by this authorisation, all other conditions, plans and details relating to Development Authorisation 23018174 continue to apply to this amended authorisation.

### **ADVISORY NOTES**

#### **General Notes**

- 1) No work can commence on this development unless a Development Approval has been obtained. If one or more consents have been granted on this Decision Notification Form, you must not start any site works or building work or change of use of the land until you have received notification that Development Approval has been granted.
- 2) Appeal rights – General rights of review and appeal exist in relation to any assessment, request, direction or act of a relevant authority in relation to the determination of this application, including conditions.
- 3) This Planning Consent is valid for a period of twenty-four (24) months commencing from the date of the decision, subject to the below or subject to an extension having been granted by the relevant authority. If applicable, Building Consent must be obtained prior to expiration of the Planning Consent.
- 4) Where an approved development has been substantially commenced within 2 years from the operative date of approval, the approval will then lapse 3 years from the operative date of the approval (unless the development has been substantially or fully completed within those 3 years, in which case the approval will not lapse).

**CAP MEETING – 9 October 2024**

**ITEM 8.2**

**OFFICER MAKING RECOMMENDATION**

**Name:** Tim Mason

**Title:** Statutory Planner

27 September 2024

Tim Mason – Statutory Planner  
Adelaide Hills Council  
63 Mount Barker Road  
STIRLING SA 5152

By Email: [jbooker@ahc.sa.gov.au](mailto:jbooker@ahc.sa.gov.au)

Dear Tim,

**RE: SECTION 128 VARIATION APPLICATION – CHILDCARE CENTRE PROPOSED FOR 35 PARATOO ROAD STIRLING**

We act for Development Holdings Pty Ltd (the 'Applicant'), and refer to our recent discussions with you concerning a proposal to vary an approved application for a childcare centre over land located at 35 Paratoo Road, Stirling (DA 23018174).

This letter has been prepared in support of the variations now proposed by the Applicant, and provides pertinent background information clarifying the reasons for the variations, the relevant procedural requirements followed by a discussion on the planning merits of the development in its revised form.

This submission has been informed by the following plans and documentation:

- **Appendix 1:** Current Certificate of Title
- **Appendix 2:** Approved architectural plans;
- **Appendix 3:** Revised architectural plans;
- **Appendix 4:** Revised landscape plan;
- **Appendix 5:** Native Vegetation Data Report
- **Appendix 6:** Native Vegetation Council Approvals;
- **Appendix 7:** Arborist Report;
- **Appendix 8:** Updated Stormwater Management Plan; and
- **Appendix 9:** Vehicle Turn Paths.

To avoid confusion, this letter replaces our previous letter dated 27 September 2024, marked to the attention of James Booker. This letter (as updated) addresses matters raised in more recent discussions pertaining tree protections/controls and additional variations not referenced in our original letter.

## 1. Background

On 29 June 2023, Development Holdings Pty Ltd lodged an application for a two storey childcare facility with attached signage, retaining walls, combined fence and retaining walls, tree damaging activity (tree removal), decking, and associated car-parking (DA 23018174).

The application was informed by extensive pre-lodgement investigations over an approximate period of 12 months, with a particular focus on the siting and design of the building to minimise adverse impacts on mature vegetation.

Following the granting of Planning Consent on 10 January 2024, the approved development was then reviewed by the Applicant's private certifier (TECON Australia) who advised that the current design would need to be amended to address recently introduced changes to the National Construction Code (NCC 2022), including additional design requirements to mitigate safety risks for Class 9b buildings located in bushfire risk areas. These provisions apply to the proposed childcare centre which is located within the Hazards (Bushfire – Medium Risk) Overlay, identified within the SA Property and Planning Atlas (SAPPA).

The Applicant has since been working collaboratively with their private certifier, a Fire Engineer and the CFS to resolve design matters relating to fire safety. When compared with the approved design, the most notable change to the development involves the construction of a fire access track traversing the perimeter of the development site. Specifically, the prescribed requirement for establishing a fire access track is set out within Specification 43: Bushfire Protection for Certain Class 9 buildings (S43C14):

*(2) Vehicular access required by this Part –*

- (a) must be capable of providing continuous access for emergency vehicles to enable travel in a forward direction from a public road around the entire building; and*
- (b) must have a minimum unobstructed width of 6 m with no part of its furthest boundary more than 18m from the building and in no part of the 6 m width be built upon or used for any purpose other than vehicular or pedestrian movement; and*
- (c) must provide reasonable pedestrian access from vehicular access to the building; and*
- (d) must have a load bearing capacity and unobstructed height to permit the operation and passage of fire brigade vehicles; and*
- (e) must be whole within the allotment except that a public road complying with (a), (b), (c) and (d) may serve as the vehicle access or part thereof.*

The requirement for a fire access track forms the basis of the variations now proposed by this application.

## 2. Proposed Variations

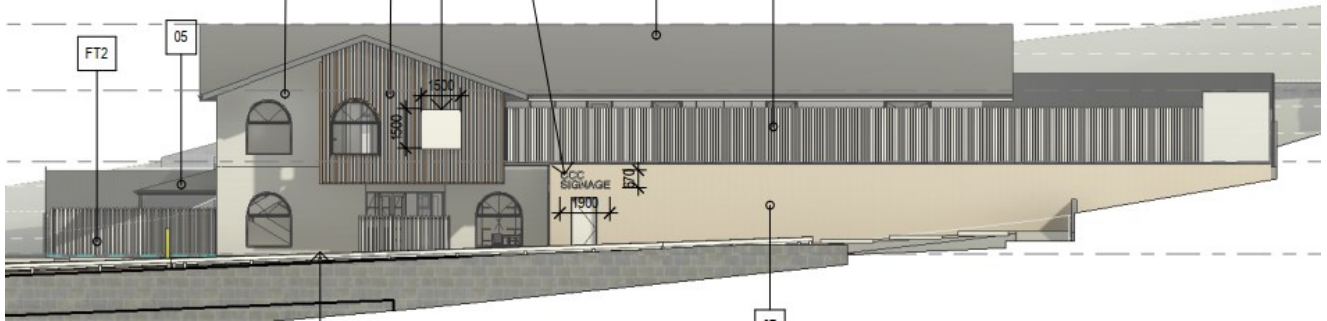
The revised plan contained within **Appendix 3** includes the following variations:



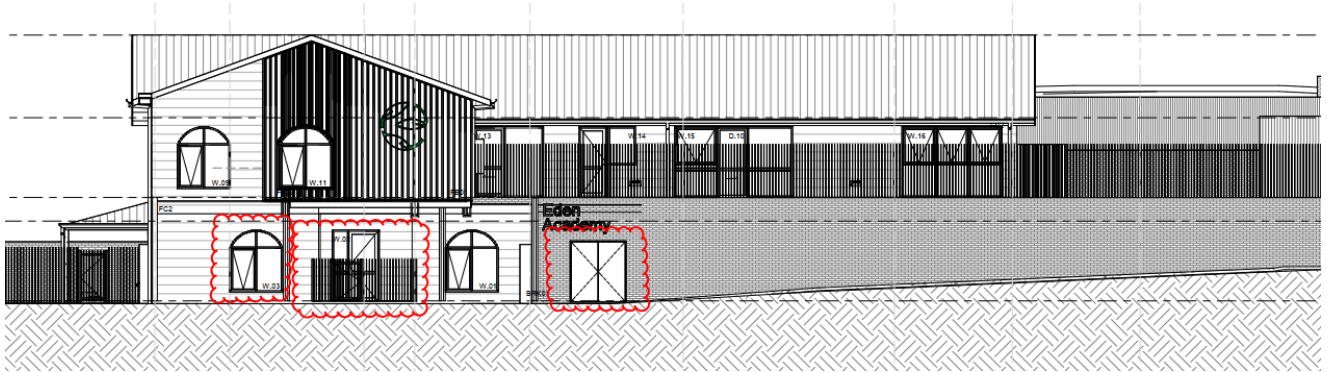
- The construction of a 4-metre wide unsealed/rubble fire access track traversing the perimeter of the childcare centre;
- Minor alterations to the approved carpark, which is to be reconfigured and shifted further north to accommodate the fire access track, including a new stairwell connecting the carpark with the first level play area (eastern corner);
- Alterations to retaining to the rear of the childcare centre, to accommodate the fire access track, including the construction of an additional retaining wall;
- Alterations to other retaining walls along the perimeter of the carpark to accommodate the revised carpark design;
- Minor adjustments to the stormwater design to reflect the revised carpark design, albeit with no change to existing stormwater flows or stormwater calculations;
- Relocation of the approved bin store, now proposed for placement between the carpark and Paratoo Road property boundary, to be enclosed by a 1.8 metre high Colorbond® screen fence;
- Minor alterations to the north-eastern building elevation to accommodate a slightly larger wet area;
- Minor alterations to building openings/entrances at ground level;
- Deletion of approved first floor deck (replaced with paving or similar);
- Installation of a 1.8 metre high aluminium safety batten fence to the eastern and southern end of the carpark;
- Updates to the approved landscape plan to accommodate the revised design, including supplementary tree planting to offset the loss of native trees;
- Marginal increase in building height (approved at 8.717m, proposed at 9m).

Although some alterations to the external appearance of the building are proposed (i.e. minor increase in building height and alterations to approved building openings), such changes will not (in our view) be readily discernible from the public realm or (in the case of alterations to the western and northern elevation) will not be visible at all from the public realm. Figure 2-1 provides a comparison of the approved and proposed plans (eastern and southern elevations).

### Approved Eastern Elevation



Proposed Eastern Elevation



Approved Southern Elevation



Proposed Southern Elevation

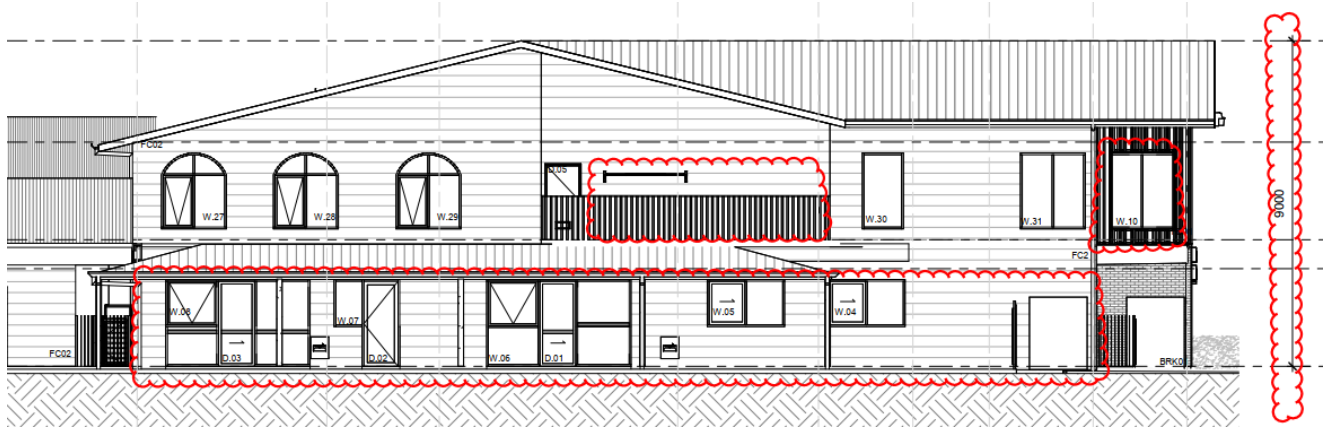


Figure 2-1 Elevation Comparisons (Approved / Proposed)

## Tree Removal

The proposed variations also include the removal of ten (10) native trees (in addition to the 20 native trees already approved for removal), protected from clearance under the *Native Vegetation Act 1991* (the 'NV Act'). Seven (7) of these trees (including Trees 979, 420 421, 422, 977, 980 & 981) would otherwise be protected as 'Regulated' or 'Significant' trees under the *Planning Development Infrastructure Act 2016* (the 'PDI Act'). However, as the NV Act is Commonwealth legislation, we understand the protections afforded to these trees pursuant to provisions of the NV Act take precedence over protections provided under the PDI Act. That is, the trees are not subject to an assessment against the provisions of the Regulated and Significant Tree Overlay, but are subject to assessment against the provisions of the Native Vegetation Overlay.

The removal of non-native dead trees with a circumference measurement of 1 metre or more (Trees 418 and 424) are also exempt from protection, as prescribed by Sch. 4 Cl. 18(1)(e) of the PDI Regulations.

## 3. Procedural Considerations

Section 128 of the PDI Act permits a person to seek a variation to a development authorisation given, provided the authorisation remains operative. Except where the variations proposed are deemed 'minor' by the relevant authority (as per Regulation 65), the variations will trigger a new application for assessment. However, Section 128 (2) stipulates that assessment of an application for variations shall be limited to those aspects of the application being varied.

### 3.1. Relevant Authority

In accordance with Council’s delegations policy, we understand that an application to vary an existing authorisation must be determined by the Council Assessment Panel, where the original application was also determined by the Council Assessment Panel.

### 3.2. Assessment Pathway

The subject site is located within the Rural Neighbourhood Zone. As per the original application, all elements of the proposed development (including as now varied) are **Performance Assessed** against the relevant provisions of the Planning and Design Code.

Elements of the proposed development (as amended) include the following:

- The childcare facility and associated carpark
- Façade signage (non-illuminated)
- Retaining walls with attached Fencing
- Retaining walls

The proposed variations do not introduce any additional elements.

### 3.3. Public Notification

Those elements being varied by this application include minor external changes to the approved building elevations, new retaining walls to accommodate the new fire access track and alterations to approved retaining walls to accommodate the redesigned carpark. All such elements are exempt from public notification pursuant to Clause 5 of Table 5 - Procedural Matters (Notification Table).

Other aspects of the approved development which are being varied (including the fire access track, alterations to the stormwater design, native vegetation removal, alterations to the approved carpark and landscape design and additional fencing) will not fundamentally alter the appearance of the approved development, nor result in an intensification of the approved development. On this basis, these variations (insofar as they may constitute ‘development’) are exempt from notification given their alignment with the Clause 1 of Table 5:

*Development which, in the opinion of the relevant authority, is of a minor nature only and will not unreasonably impact on the owners or occupiers of land in the locality of the site of the development.*

The proposed variations also include a marginal increase in the total building height, approved at 8.717 metres and now proposed at 9 metres. This change follows detailed design investigations including the required building height to accommodate the approved lift core. These investigations have revealed that a minor increase in roof pitch is required to accommodate the first floor lift, which in-turn has resulted in a slight increase in total building height by approximately 0.28cm’s. As illustrated in *Figure 2-2* however, the additional visual impact attributable to this change is expected to be negligible. In our view, it is not a change that warrants renotification. More specifically, this particular change is minor and will not result in unreasonable impacts on the owners or occupiers of land within the locality of the site of the development.

For the reasons outlined above and as resolved during our pre-lodgement meeting, we are of the opinion that the proposed variations are exempt from notification.

### 3.4. State Agency Referrals

The Native Vegetation Overlay which applies to the site prescribes that a referral to the Native Vegetation Council will be required where an application proposes the removal of native vegetation which constitutes Level 3 or Level 4 clearance.

The Native Vegetation Data Report contained within **Appendix 5** confirms that the proposed variations will require the removal of ten (10) native trees, which amounts to a Level 3 clearance when considered together the previously approved clearance 20 native trees (mostly saplings).

The Applicant has separately obtained the consent of the Native Vegetation Council for the removal of these additional trees, of which a copy is provided in **Appendix 6**. That consent is on the basis of the plans and documentation submitted with this variation application and is also subject to the payment of the calculated SEB Offset.

In our opinion, the approval issued by the Native Vegetation Council constitutes a pre-lodgement agreement pursuant to Section 123 of the PDI Act, which obviates the need for the application to be re-referred to the Native Vegetation Council.

The variation application does not trigger any other State Agency Referrals.

## 4. Planning Considerations

### 4.1. Native Vegetation Removal

The application is subject to assessment against the provisions of the Native Vegetation Overlay. PO 1.1 seeks to ensure development is designed to avoid or minimise the clearance of native vegetation accounting for the siting of buildings, access points, bushfire protection and building maintenance.

The approved building footprint for the childcare centre was sited to minimise the clearance native vegetation. That is, whilst the approved application included the clearance of 20 native trees, all but one of these trees were saplings and offered very little environmental and habitat value.

The Native Vegetation Data Survey provided in **Appendix 5** confirms that installation of the fire access track will require the removal of ten (10) additional native trees. As discussed above however, the removal of these trees is unavoidable and required to accommodate the fire access track.

The proposed removal of the native vegetation, and the design of the fire access track has also been informed by the mitigation hierarchy prescribed under Regulation 5 of the Native Vegetation Regulations 2017, summarised below.

- **Avoidance: outline measures taken to avoid clearance of native vegetation**

The design of the development has been revised to incorporate a fire access track, which is a requirement under the NCC to mitigate fire safety risks for childcare centres. The removal of the vegetation cannot be avoided if the fire access track is to be installed.

- **Minimisation: if clearance cannot be avoided, outline measures taken to minimize the extent, duration and intensity of impacts of the clearance on biodiversity to the fullest possible extent (whether the impact is direct, indirect or cumulative).**

The Applicant engaged Ecological Tree Consulting to identify tree impacts and to provide design solutions to mitigate such impacts. The arborist report details tree sensitive measures which are intended to minimise the impacts of the fire access track, associated retaining walls and relocated drainage swale on the health and structural integrity of all retained trees. Such strategies include the following:

- Regular site meetings throughout the construction phase to monitor works and tree impacts;
- The installation of tree protection fencing designed and located in accordance with the Australian Standards (AS 4970-2009); and
- Tree friendly trenching and root pruning techniques to minimise tree impacts attributable to earthworks and retaining in proximity to select trees.

The majority of tree impacts associated with the construction of the fire access track are attributable to the terrain of the site and the need for earthworks (in the form of excavation) and retaining to achieve an acceptable gradient for fire fighting vehicles. Whilst these earthworks are unavoidable, the fire access track to the west of the building (alongside Trees 23, 989 and Tree P) remains at existing ground level (or marginally above ground level) to minimise tree impacts.

The fire access track will also remain unsurfaced and constructed of permeable material, selected in consultation with the project arborist.

Notwithstanding the unavoidable removal of some native vegetation, it is important to also recognise that the 'development site' for the childcare centre and associated fire access track occupies a limited portion of a much larger allotment which includes intact native vegetation. The childcare centre will also replace an existing dwelling and associated domestic outbuildings, located on disturbed land with minimal native vegetation.

- **Rehabilitation or restoration - outline measures taken to rehabilitate ecosystems that have been degraded, and to restore ecosystems that have been degraded, or destroyed by the impact of clearance that cannot be avoided or further minimized, such as allowing for the re-establishment of the vegetation.**

Not applicable to this development.

- **Offset – any adverse impact on native vegetation that cannot be avoided or further minimized should be offset by the achievement of a significant environmental benefit that outweighs that impact.**

The Applicant proposes to make payment of the prescribed Significant Environmental Benefit Offset as listed within the Native Vegetation Data Report.

Finally, we note that the Native Vegetation has endorsed the clearance of the nominated vegetation, as confirmed within the approval contained within **Appendix 6**.

## 4.2. Carpark and Access Arrangements

The revised carpark design and fire access track design has been informed by traffic advice provided by CIRQA. The swept turning paths contained within **Appendix 9** confirms that the revised carpark design and fire access track will accommodate all anticipated vehicle movements in a safe and convenient manner.

The approved number of parking spaces is not changing, nor is the number of approved stacked/tandem parking spaces.

## 4.3. Landscape Amendments

The approved landscape design prepared by Das Studios has been updated to reflect the amended carpark design, including amendments to tiered retaining walls along the site's frontage to Paratoo Road to account for the modified carpark design. As per the approved landscape design, the revised design includes screen plantings selected to soften the appearance of the approved block retaining wall. These plantings will also soften the appearance of the 1.8 metre high aluminium batten fence to the perimeter of the carpark, proposed to function as a safety barrier.

The revised landscape plan retains the approved list of plant species, and also includes 22 additional trees to offset the proposed removal of native trees. The proposed replacement trees have been sited to supplement the established cluster of retained trees to the north (rear of building). In addition to their aesthetic appeal, the proposed selection of trees are native to the local area and are intended to offset the proposed clearance of native vegetation.

## 4.4. Site Works and Drainage

The approved stormwater management system prepared by CPR has been updated to address the revised carpark design and fire access arrangements. Importantly, the revised stormwater system retains the approved drainage concepts, albeit in a modified form to account for the design changes proposed.

That is:

1. The design retains the approved 2m wide grass lined swale, designed to capture and divert up-stream flows;
2. The approved capacity of the stormwater detention system as well as the approved methods of detention (i.e. a combination of above-ground and below ground detention) is not changing; and
3. Water collected from the carpark will be treated using a gross pollutant trap, as per the approved design.

The revised drainage plan also retains the approved upgrade works proposed along the Paratoo Road verge. That is, up-stream stormwater flows along Paratoo Road which (presently conveyed by an informal swale) will be diverted to Paratoo Road via the construction of a new spoon drain, and the existing informal swale will be backfilled using compacted rubble.

The varied design retains the approved carpark and building FFL's. Accordingly, modifications to the retaining wall locations, lengths and heights are simply a product of the adjustments to the location of the carpark as well as the inclusion of the fire access track.



The construction of the fire access track necessitates the installation of an additional retaining wall which is to run along the inside of the fire access track, and which will retain fill to a maximum height of 1.9 metres. However, views of this additional retaining wall will be concealed by the building itself and thus, not visible from Paratoo Road, or from any adjoining residences.

Retaining walls along the perimeter of the carpark will continue to be screened by landscaping, as per the revised landscape plan.

Accordingly, the changes to retaining to accommodate the fire access track and revised carpark design are not expected to have an adverse visual impact on the character or amenity of the locality.

## 4.5. Built form and scale alterations

Built form alterations are limited to the minor increase in overall building height, a minor change in building footprint (north-eastern corner) and adjustments to the location and design of door and window openings.

Zone PO 2.1 seeks to ensure buildings contribute to a low-rise residential character and complement the height of nearby buildings. One way to achieve this outcome is expressed within DPF 2.1 which suggests that buildings (other than for garages, carports and outbuildings) should not exceed 2 building levels and 9 metres, with total wall heights not exceeding 7 metres (except in the case of a gable end which should not exceed 9 metres). The proposed variation satisfies DPF 2.1 in that the overall building height will not exceed 9 metres and the total wall height will remain at the approved height, which is less than 7 metres.

In addition to the satisfying PO 2.1 and DPF 2.1, the change in building height will (in our view) have an inconsequential visual impact when viewed from the public realm and neighbouring properties. It is also important to recognise that the building's visibility from adjacent residences (particularly those to east) will be significantly obscured by mature vegetation and fencing.

## 5. Summary

This application is seeking consent to vary an approved application for a childcare centre proposed over land located at 35 Paratoo Road, Stirling (DA 23018174). The nature of the variations stem from a requirement under the NCC for childcare centres situated within the Hazards (Bushfire – Medium) Risk Overlay to be serviced by a fire access track that provides emergency service vehicle access to all building elevations.

As a recent amendment to the NCC, the additional bushfire requirements were unknown the Applicant as at the time of designing and lodging the application for Planning Consent. To accommodate the fire access track, other amendments to the approved development are also required, including modifications to the design of the approved carpark, alterations to landscaping and stormwater management arrangements, and the removal of native vegetation. Other unrelated changes include the installation of a 1.8 metre high safety fence to perimeter of the carpark together with the relocation of the bin store.

The removal of additional native trees is unavoidable and only required to accommodate the installation of the fire access track. However, damage to trees will be minimised via the implementation of the Tree Protection Plan prepared by



Ecological, whilst the attached landscape plan confirms that the removal of native trees will be offset by the planting of 22 additional trees.

Additionally, the clearance of native vegetation has also been approved by the Native Vegetation Council (subject to payment of the prescribed SEB Offset fee).

The proposed variations will not alter the intensity or scale of the development. Further all other proposed changes will not fundamentally alter the appearance of the approved development. That is, the increase in building height proposed is negligible, will not result in unreasonable visual impacts and aligns with the maximum recommended building heights prescribed by Zone DPF 2.1. Other external façade alterations (including changes to window and door openings) are of little consequence.

For the reasons outlined above, it is our opinion the proposed development, as varied warrants Consent.

Please do not hesitate to contact the undersigned on (08) 7231 0286 if you would like to discuss any aspect of the above advice further.

Kind regards,



**Rob Gagetti**  
Senior Associate

A decorative white line graphic is positioned on the left side of the page. It starts with a semi-circle at the top, followed by a horizontal line, then a vertical line, and finally a large, stylized 'N' shape at the bottom.

**APPENDIX 1**  
**Certificate Title**

REAL PROPERTY ACT, 1886



The Registrar-General certifies that this Title Register Search displays the records maintained in the Register Book and other notations at the time of searching.



## Certificate of Title - Volume 5767 Folio 919

Parent Title(s) CT 4092/429  
Creating Dealing(s) CONVERTED TITLE  
Title Issued 04/05/2000 Edition 3 Edition Issued 23/06/2022

### Estate Type

FEE SIMPLE

### Registered Proprietor

BRUCE MEANEY  
OF 227 REYNELL ROAD HAPPY VALLEY SA 5159  
AS THE EXECUTOR(S) WITH LEAVE BEING RESERVED OF  
JILL MEANEY WHO DIED 14/03/2022

### Description of Land

ALLOTMENT 111 FILED PLAN 210897  
IN THE AREA NAMED STIRLING  
HUNDRED OF NOARLUNGA

### Easements

SUBJECT TO EASEMENT(S) OVER THE LAND MARKED A TO THE COUNCIL FOR THE AREA (T 3954164)

### Schedule of Dealings

NIL

### Notations

Dealings Affecting Title	NIL
Priority Notices	NIL
Notations on Plan	NIL
Registrar-General's Notes	NIL
Administrative Interests	NIL

THIS PLAN IS SCANNED FOR CERTIFICATE OF TITLE 4092/429  
 SEE TITLE TEXT FOR EASEMENT DETAILS

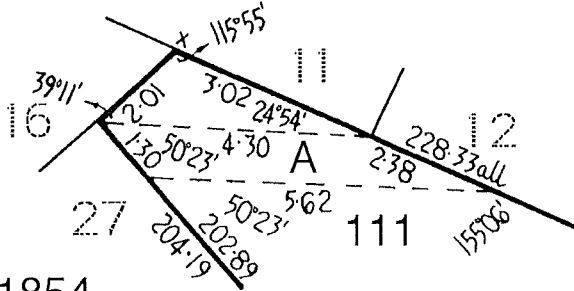
LAST PLAN REF: GP 101/1854

**ENLARGEMENT**

(NOT TO SCALE)

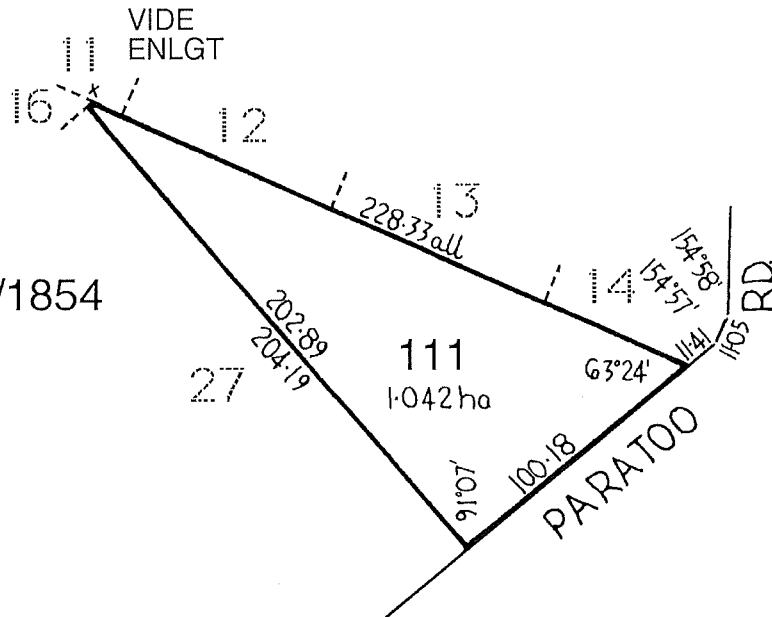


GP



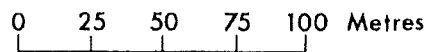
101/1854

GP



101/1854

111  
1.042 ha



NOTE: SUBJECT TO ALL LAWFULLY EXISTING PLANS OF DIVISION

## Certificate of Title

Title Reference: CT 5767/919  
Status: CURRENT  
Parent Title(s): CT 4092/429  
Dealing(s) Creating Title: CONVERTED TITLE  
Title Issued: 04/05/2000  
Edition: 3

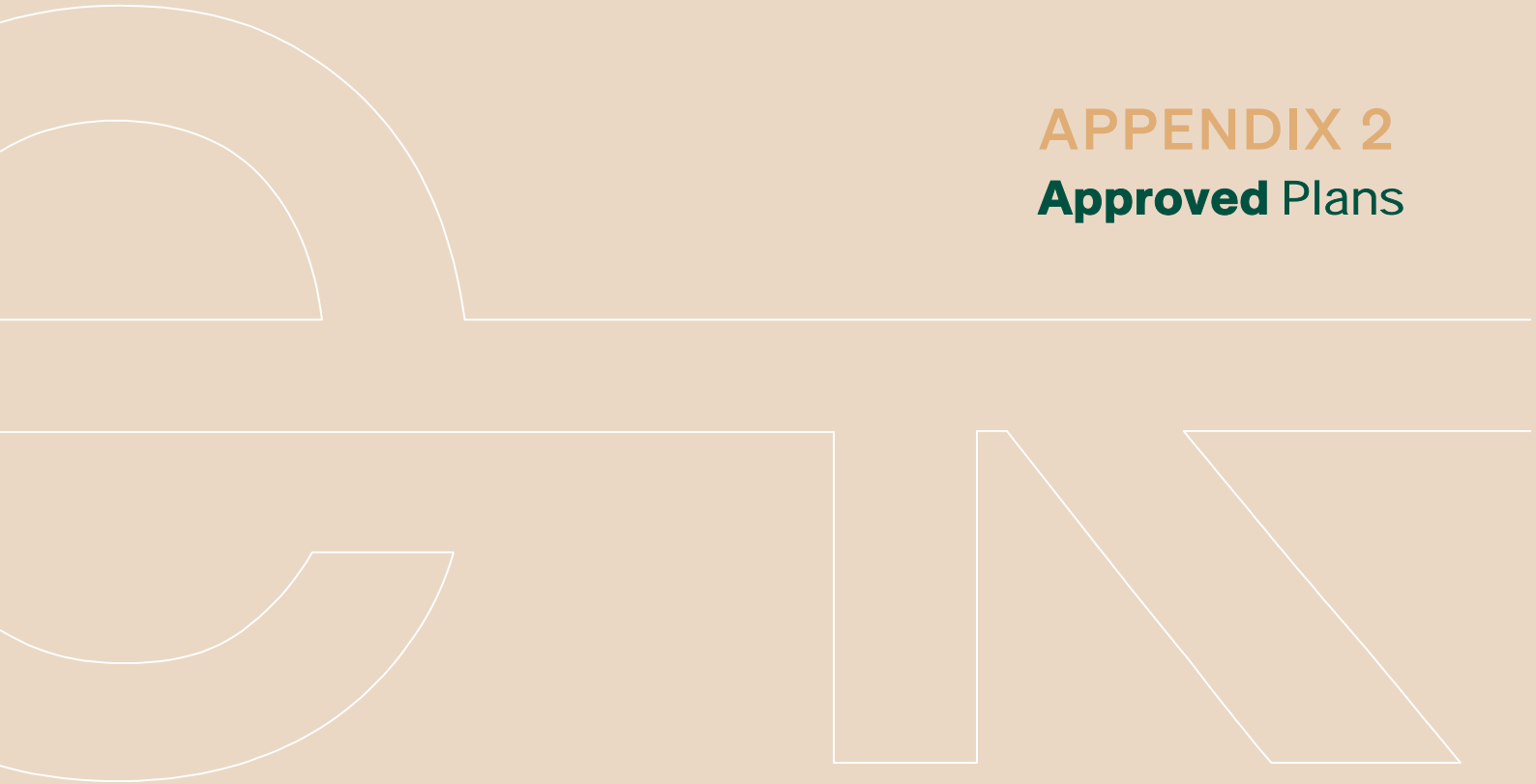
## Dealings

Lodgement Date	Completion Date	Dealing Number	Dealing Type	Dealing Status	Details
15/06/2022	23/06/2022	13809544	TRANSMISSION APPLICATION	REGISTERED	JILL MEANEY (DECD), BRUCE MEANEY (EXEL)
02/02/2004	05/02/2004	9777307	APPLICATION TO NOTE DEATH	REGISTERED	BERNARD ROY MEANEY (DECD), JILL MEANEY



## APPENDIX 2

### **Approved Plans**





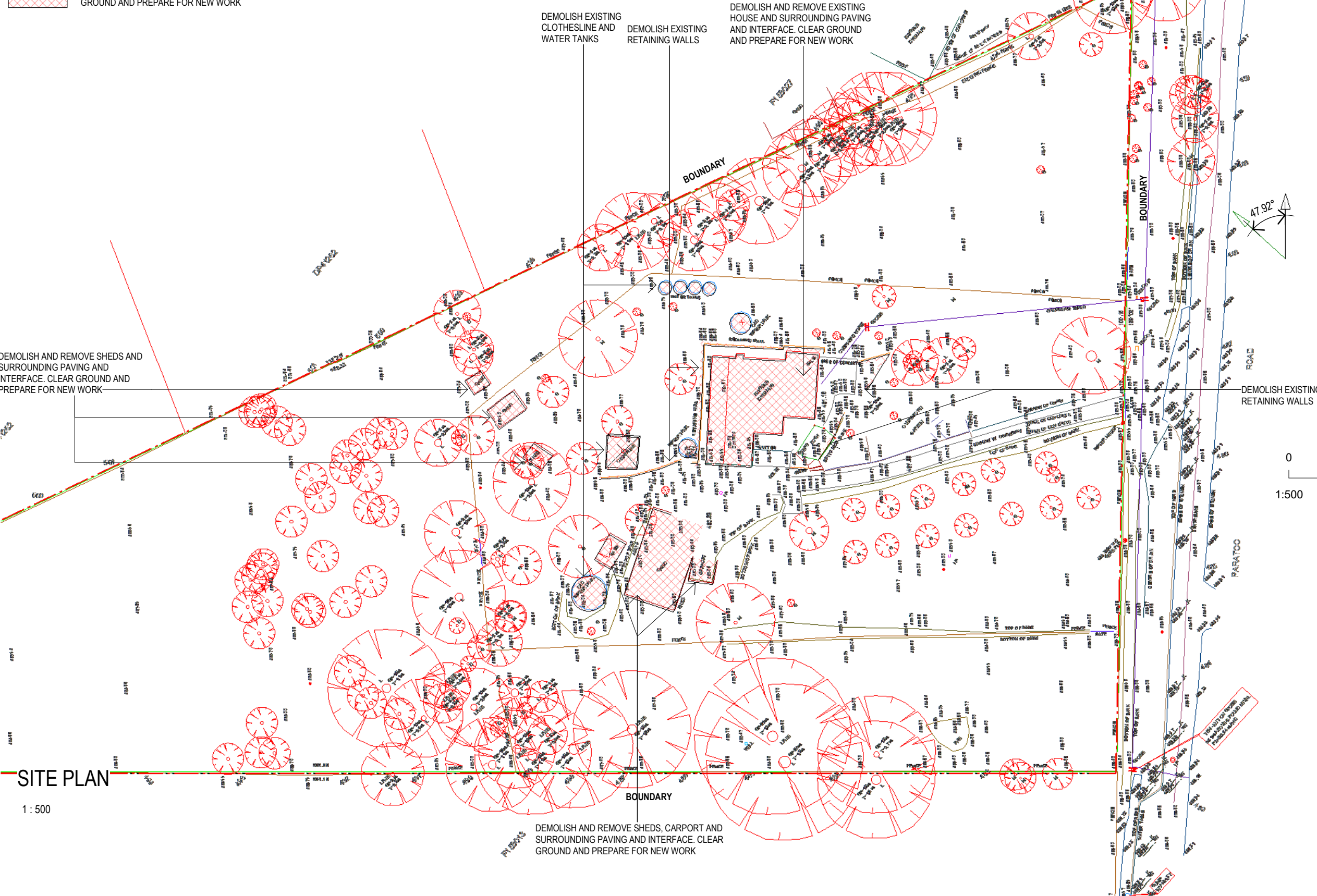
# DA ISSUE

ISSUED FOR DEVELOPMENT APPROVAL

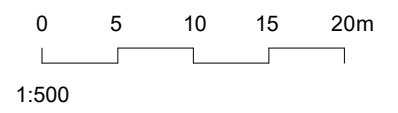
Rev	Amendment	Date
1	DA ISSUE	08/06/23

## LEGEND

-  SITE BOUNDARY
-  TO BE DEMOLISHED AND REMOVED INCLUDING SURROUNDING PAVING AND INTERFACE. CLEAR GROUND AND PREPARE FOR NEW WORK



**PLANNING CONSENT  
CONDITIONS & NOTES APPLY**  
DA: 23018174  
DATE: 10/01/2024



## BROWN FALCONER

28 Chesser Street, Adelaide, South Australia 5000  
Telephone : 08 8203 5800 Facsimile : 08 8223 2440  
ABN 65 007 846 586 [brownfalconer.com.au](http://brownfalconer.com.au)

ACCORD PROPERTY LTD  
35 PARATOO ROAD, STIRLING CCC

### EXISTING CONDITIONS

Scale As indicated  
Drawn Author  
Date 24/05/2023  
Job No. 2022107



## SITE PLAN

1 : 500



# DA ISSUE

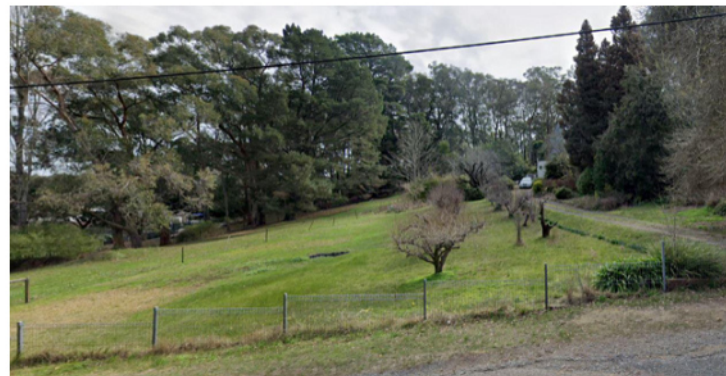
ISSUED FOR DEVELOPMENT APPROVAL

13/10/2023 9:39:09 AM

Rev	Amendment	Date
1	DA ISSUE	08/06/23



PLANNING CONSENT  
CONDITIONS & NOTES APPLY  
DA: 23018174  
DATE: 10/01/2024



## BROWN FALCONER

28 Chesser Street, Adelaide, South Australia 5000  
Telephone : 08 8203 5800 Facsimile : 08 8223 2440  
ABN 65 007 846 586 brownfalconer.com.au

ACCORD PROPERTY LTD

35 PARATOO ROAD, STIRLING CCC

### CONTEXT & SITE ANALYSIS

Scale 1 : 1000  
Drawn Author  
Date 06/06/2023  
Job No. 2022107

Dwg No. **3567 DA03** Rev: **1** A3 SHEET



# DA ISSUE

ISSUED FOR DEVELOPMENT APPROVAL

Rev	Amendment	Date
1	DA ISSUE	08/06/23
2	DA RFI RESPONSES	10/10/23

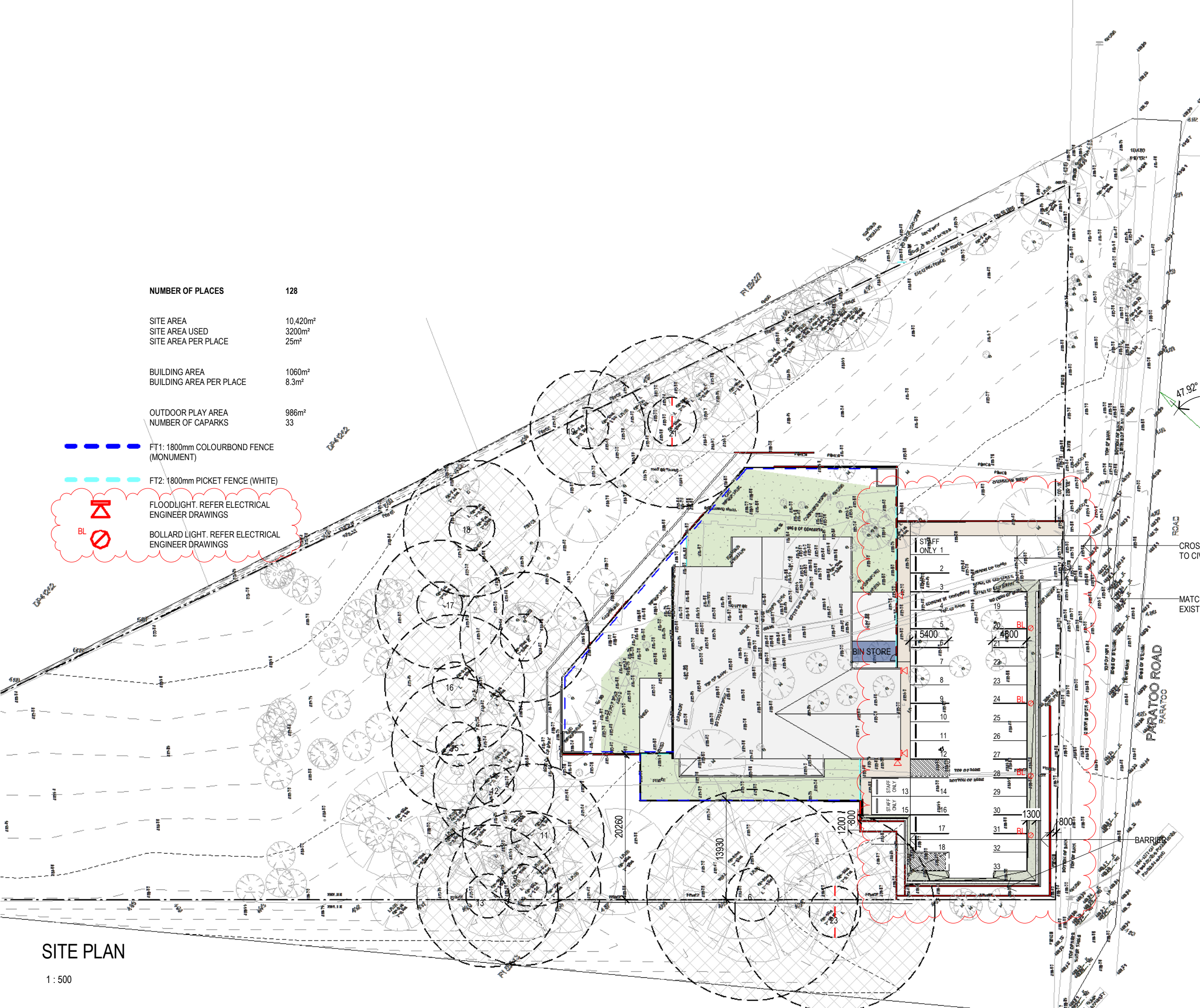
NUMBER OF PLACES	128
SITE AREA	10,420m <sup>2</sup>
SITE AREA USED	3200m <sup>2</sup>
SITE AREA PER PLACE	25m <sup>2</sup>
BUILDING AREA	1060m <sup>2</sup>
BUILDING AREA PER PLACE	8.3m <sup>2</sup>
OUTDOOR PLAY AREA	986m <sup>2</sup>
NUMBER OF CAPARKS	33

FT1: 1800mm COLOURBOND FENCE (MONUMENT)

FT2: 1800mm PICKET FENCE (WHITE)

FLOODLIGHT. REFER ELECTRICAL ENGINEER DRAWINGS

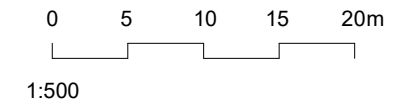
BL BOLLARD LIGHT. REFER ELECTRICAL ENGINEER DRAWINGS



**PLANNING CONSENT  
CONDITIONS & NOTES APPLY**  
DA: 23018174  
DATE: 10/01/2024

CROSSOVER DESIGN TO CIVIL PLAN SPECIFICATION

MATCH TO EXISTING



## BROWN FALCONER

28 Chesser Street, Adelaide, South Australia 5000  
Telephone : 08 8203 5800 Facsimile : 08 8223 2440  
ABN 65 007 846 586 brownfalconer.com.au

ACCORD PROPERTY LTD

35 PARATOO ROAD, STIRLING CCC

SITE PLAN

Scale 1 : 500  
Drawn TR  
Date 24/05/2023  
Job No. 2022107



Dwg No. **3567 DA04** Rev: **2** A3 SHEET

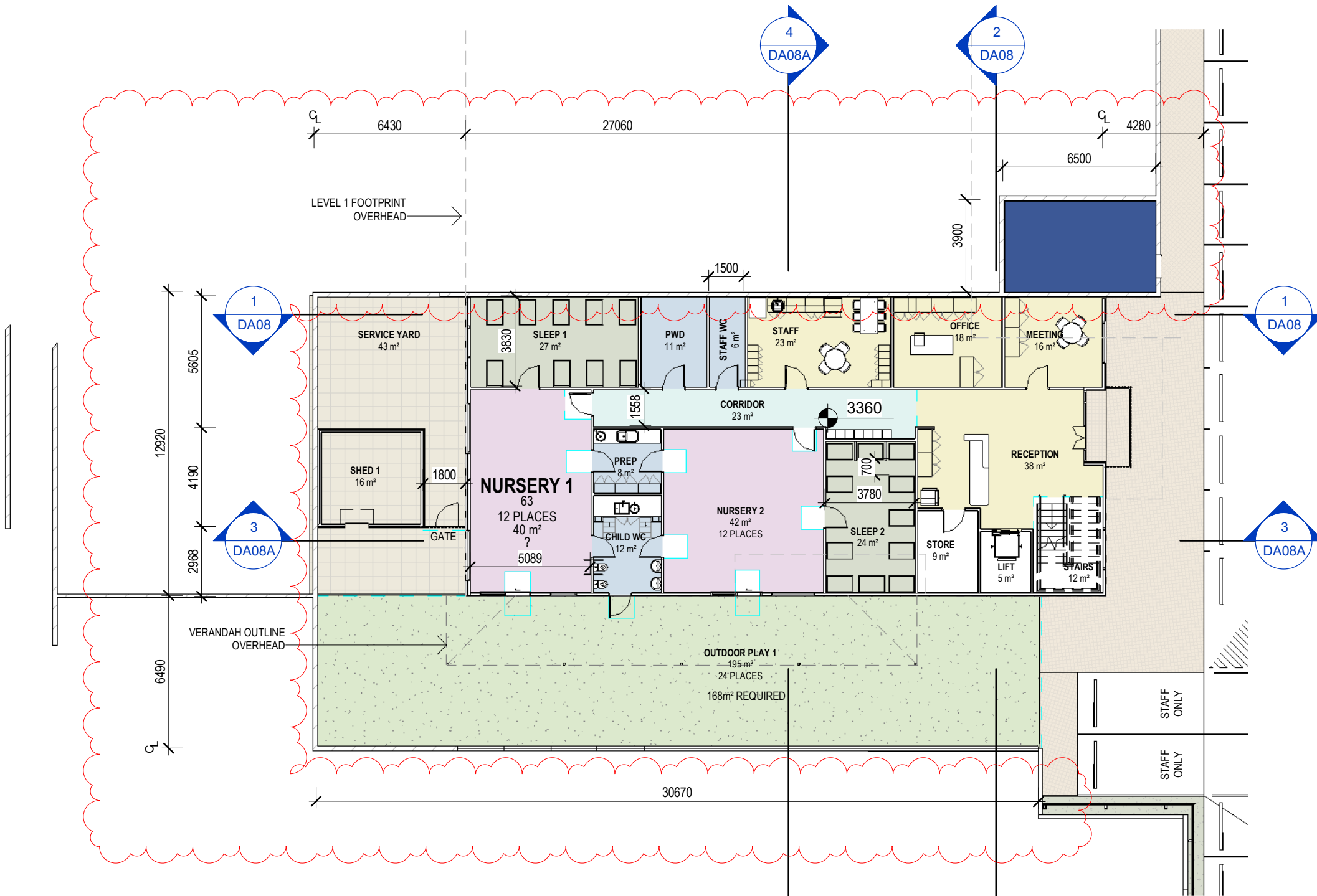
SITE PLAN

1 : 500

# DA ISSUE

ISSUED FOR DEVELOPMENT APPROVAL

Rev	Amendment	Date
1	DA ISSUE	08/06/23
2	DA RFI RESPONSES	10/10/23



## GROUND FLOOR PLAN

1 : 200

NUMBER OF PLACES	128
SITE AREA	10,250m <sup>2</sup>
SITE AREA USED	3200m <sup>2</sup>
SITE AREA PER PLACE	25m <sup>2</sup>
BUILDING AREA	1060m <sup>2</sup>
BUILDING AREA PER PLACE	8.3m <sup>2</sup>
OUTDOOR PLAY AREA	986m <sup>2</sup>
NUMBER OF CAPARKS	32

0 2 4 6 8 m

1:200



PLANNING CONSENT  
CONDITIONS & NOTES APPLY  
DA: 23018174  
DATE: 10/01/2024

# BROWN FALCONER

28 Chesser Street, Adelaide, South Australia 5000  
Telephone : 08 8203 5800 Facsimile : 08 8223 2440  
ABN 65 007 846 586 brownfalconer.com.au

ACCORD PROPERTY LTD

35 PARATOO ROAD, STIRLING CCC

GROUND FLOOR PLAN

Scale 1 : 200  
Drawn TR  
Date MAY 2023  
Job No. 2022107

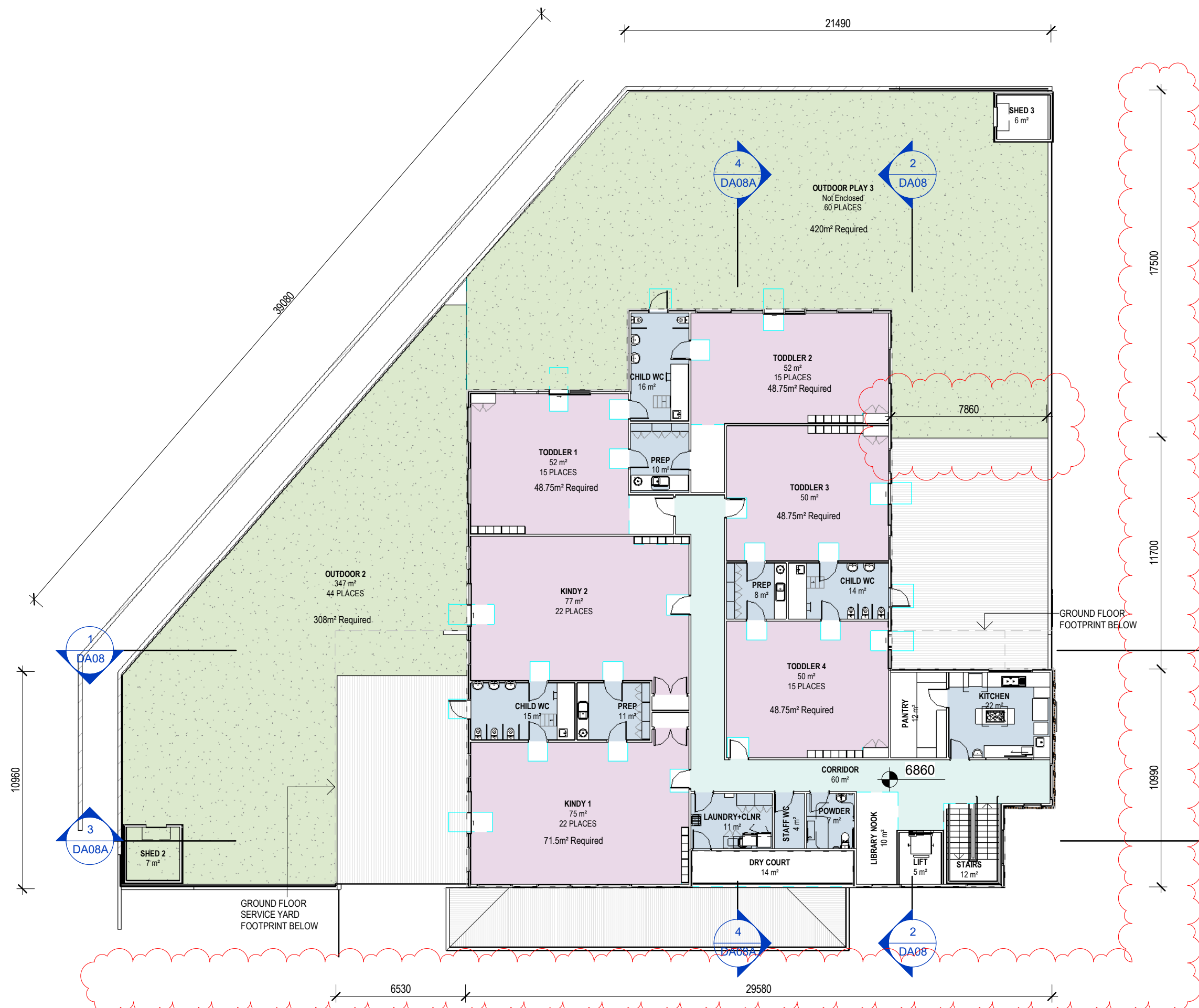


Dwg No. **3567 DA05** Rev: **2** A3 SHEET

# DA ISSUE

ISSUED FOR DEVELOPMENT APPROVAL

Rev	Amendment	Date
1	DA ISSUE	08/06/23
2	DA RFI RESPONSES	10/10/23



NUMBER OF PLACES	128
SITE AREA	10,250m <sup>2</sup>
SITE AREA USED	3200m <sup>2</sup>
SITE AREA PER PLACE	25m <sup>2</sup>
BUILDING AREA	1060m <sup>2</sup>
BUILDING AREA PER PLACE	8.3m <sup>2</sup>
OUTDOOR PLAY AREA	986m <sup>2</sup>
NUMBER OF CAPARKS	32



**PLANNING CONSENT  
CONDITIONS & NOTES APPLY**  
DA: 23018174  
DATE: 10/01/2024

## BROWN FALCONER

28 Chesser Street, Adelaide, South Australia 5000  
Telephone : 08 8203 5800 Facsimile : 08 8223 2440  
ABN 65 007 846 586 brownfalconer.com.au

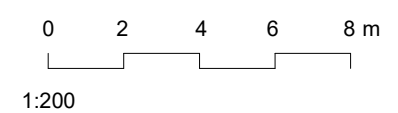
ACCORD PROPERTY LTD  
35 PARATOO ROAD, STIRLING CCC

### LEVEL 1 FLOOR PLAN

Scale 1 : 200  
Drawn TR  
Date MAY 2023  
Job No. 2022107  
Dwg No. **3567 DA05A**ev. 2 A3 SHEET

### LEVEL 1 FLOOR PLAN

1 : 200

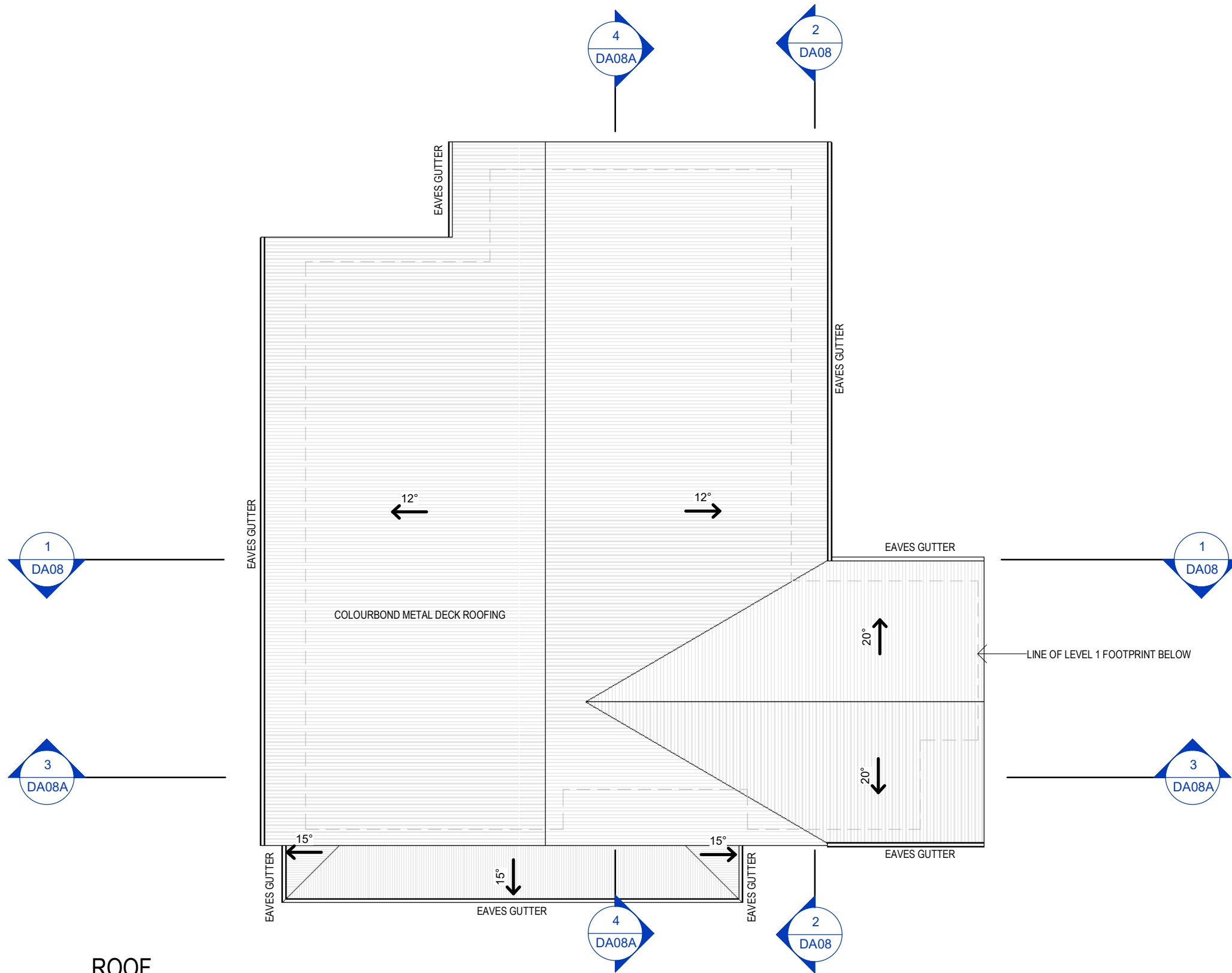




# DA ISSUE

ISSUED FOR DEVELOPMENT APPROVAL

Rev	Amendment	Date
1	DA ISSUE	08/06/23



## ROOF

1 : 200



1:200



PLANNING CONSENT  
CONDITIONS & NOTES APPLY  
DA: 23018174  
DATE: 10/01/2024

## BROWN FALCONER

28 Chesser Street, Adelaide, South Australia 5000  
Telephone : 08 8203 5800 Facsimile : 08 8223 2440  
ABN 65 007 846 586 brownfalconer.com.au

ACCORD PROPERTY LTD

35 PARATOO ROAD, STIRLING CCC

## ROOF PLAN

Scale 1 : 200  
Drawn TR  
Date 24/05/2023  
Job No. 2022107

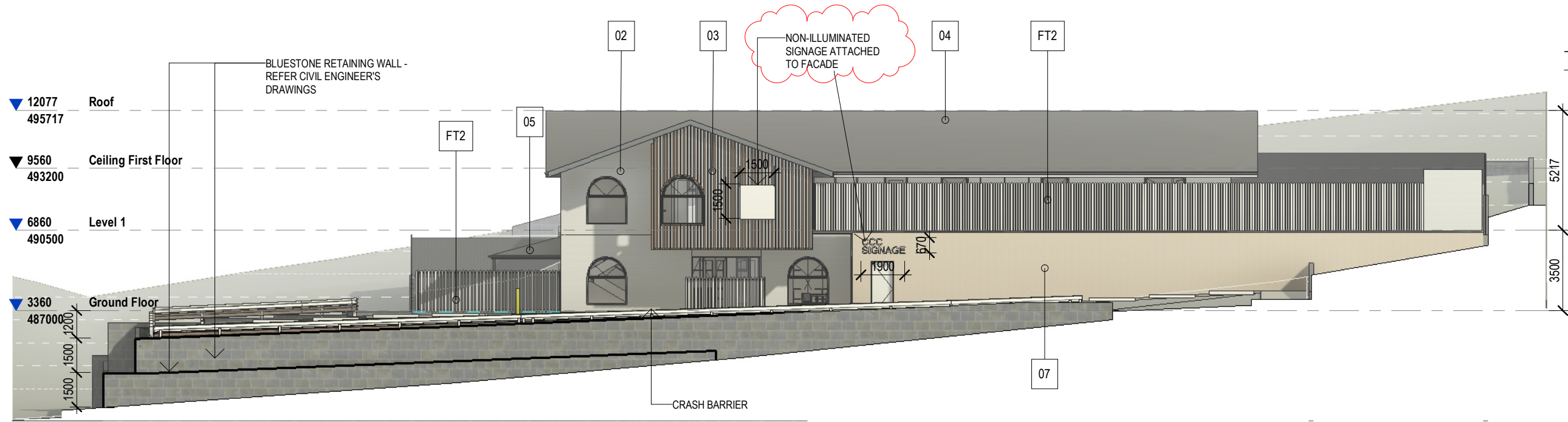


Dwg No. **3567 DA06** Rev: **1** A3 SHEET

# DA ISSUE

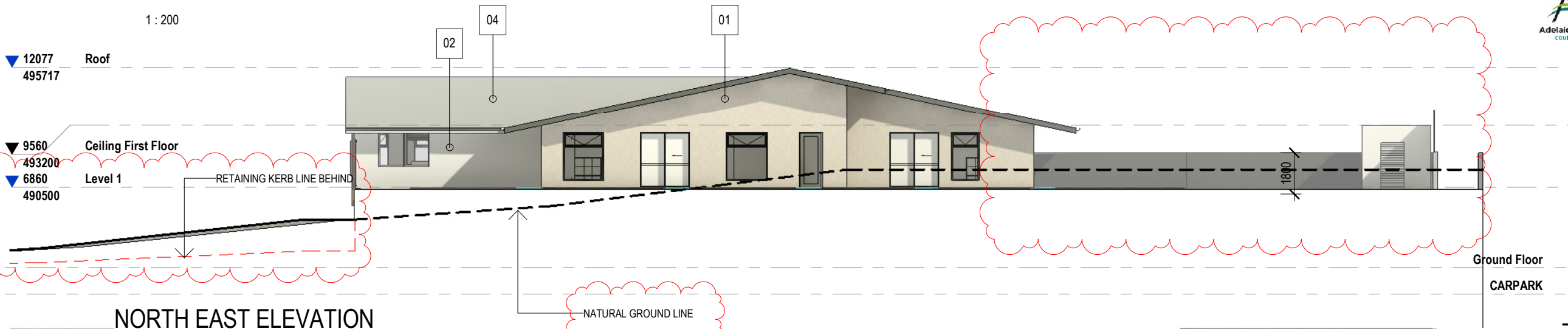
ISSUED FOR DEVELOPMENT APPROVAL

Rev	Amendment	Date
1	DA ISSUE	08/06/23
2	DA RFI RESPONSES	10/10/23



## PARATOO ROAD (SOUTH EAST) ELEVATION

1 : 200



## NORTH EAST ELEVATION

1 : 200



01 HEBEL PANEL-WHITE



02 WEATHERBOARD PAINT WHITE



03 TIMBER BATTANS



04 COLORBOND METAL ROOF IN WHITE



05 COLORBOND METAL ROOF IN GREY



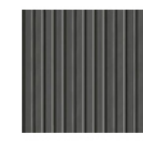
06 BRICK



07 RENDERED RETAINING WALL



CB CRASH BARRIER



FT1 FENCE - MONUMENT



FT2 PICKET FENCE



PLANNING CONSENT  
CONDITIONS & NOTES APPLY  
DA: 23018174  
DATE: 10/01/2024

## BROWN FALCONER

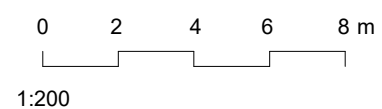
28 Chesser Street, Adelaide, South Australia 5000  
Telephone : 08 8203 5800 Facsimile : 08 8223 2440  
ABN 65 007 846 586 brownfalconer.com.au

ACCORD PROPERTY LTD

35 PARATOO ROAD, STIRLING CCC

## ELEVATIONS

Scale As indicated  
Drawn Author  
Date 24/05/2023  
Job No. 2022107

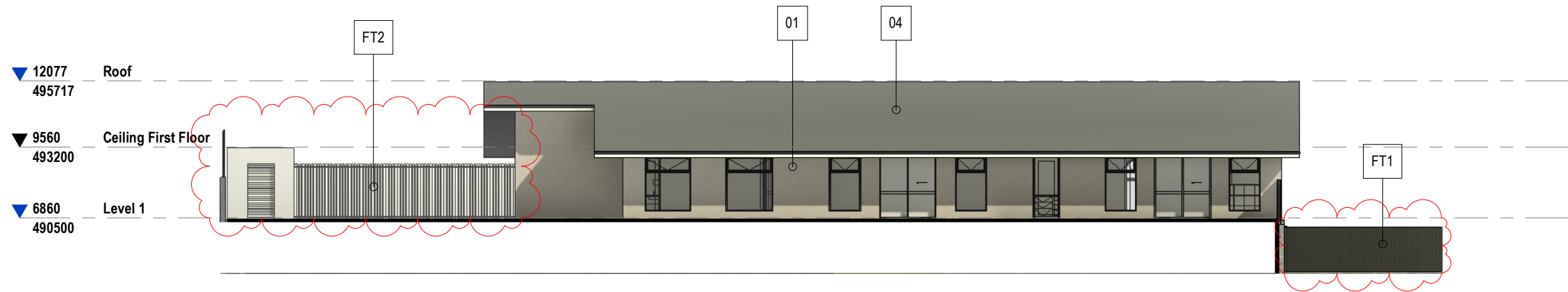


Dwg No. **3567 DA07** Rev: **2** A3 SHEET

# DA ISSUE

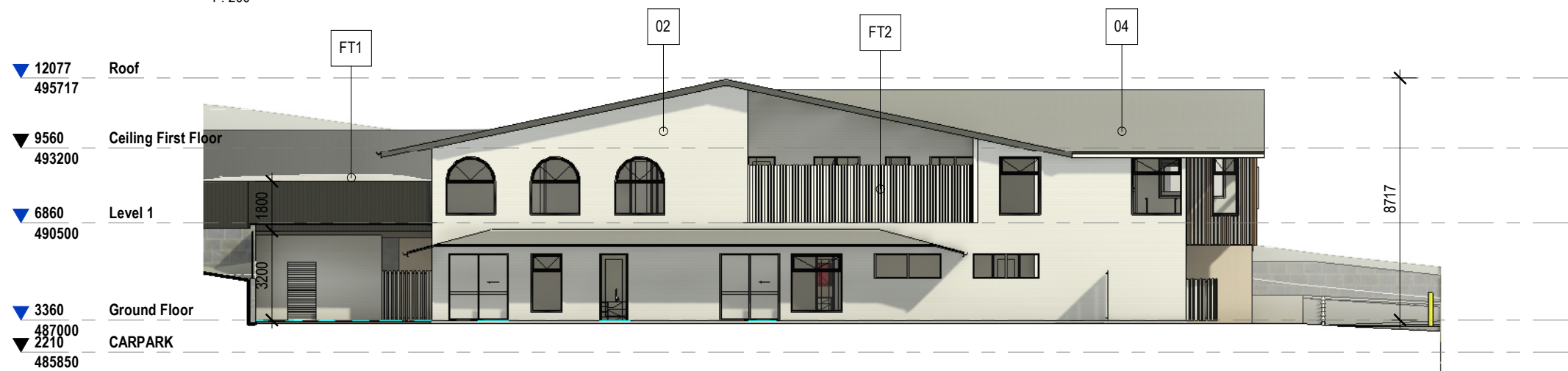
ISSUED FOR DEVELOPMENT APPROVAL

Rev	Amendment	Date
1	DA ISSUE	08/06/23
2	DA RFI RESPONSES	10/10/23



## NORTH WEST ELEVATION

1:200

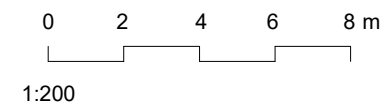
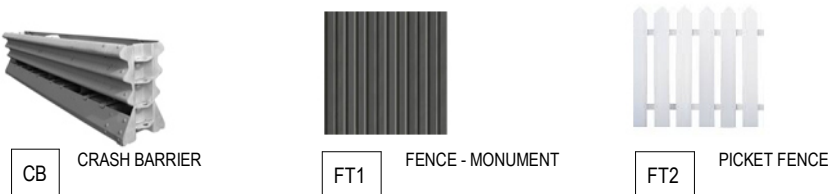
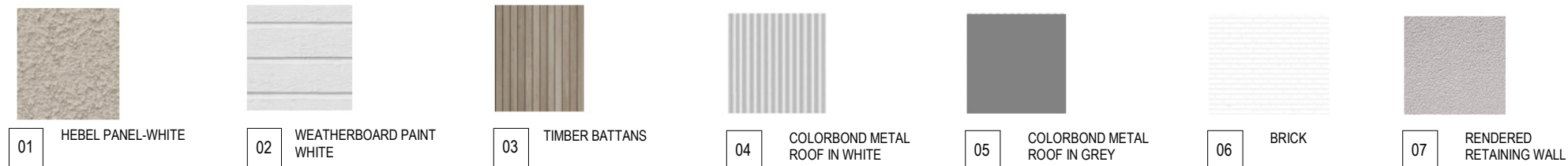


## SOUTH WEST ELEVATION

1:200



PLANNING CONSENT  
CONDITIONS & NOTES APPLY  
DA: 23018174  
DATE: 10/01/2024



# BROWN FALCONER

28 Chesser Street, Adelaide, South Australia 5000  
Telephone : 08 8203 5800 Facsimile : 08 8223 2440  
ABN 65 007 846 586 brownfalconer.com.au

ACCORD PROPERTY LTD

35 PARATOO ROAD, STIRLING CCC

## ELEVATIONS

Scale As indicated  
Drawn Author  
Date 24/05/2023  
Job No. 2022107

Dwg No. **3567 DA07A**ev: 2 A3 SHEET

# DA ISSUE

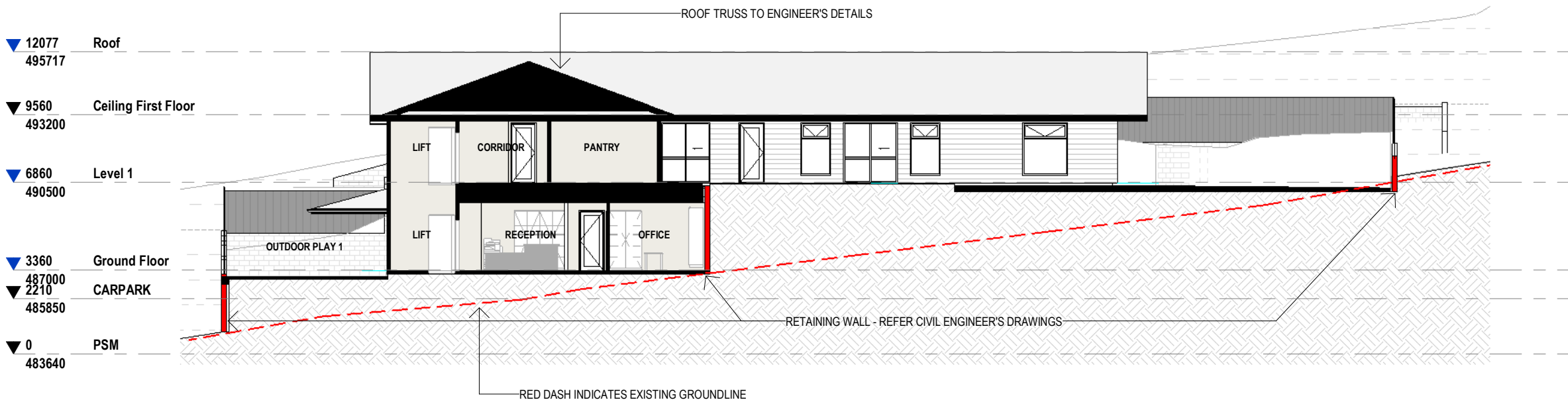
ISSUED FOR DEVELOPMENT APPROVAL

Rev	Amendment	Date
1	DA ISSUE	08/06/23



## SECTION 1

1 : 200



## SECTION 2

1 : 200



PLANNING CONSENT  
CONDITIONS & NOTES APPLY  
DA: 23018174  
DATE: 10/01/2024

# BROWN FALCONER

28 Chesser Street, Adelaide, South Australia 5000  
Telephone : 08 8203 5800 Facsimile : 08 8223 2440  
ABN 65 007 846 586 brownfalconer.com.au

ACCORD PROPERTY LTD

35 PARATOO ROAD, STIRLING CCC

SECTIONS

Scale 1 : 200

Drawn Author

Date 24/05/2023

Job No. 2022107

Dwg No. **3567 DA08** Rev: 1 A3 SHEET



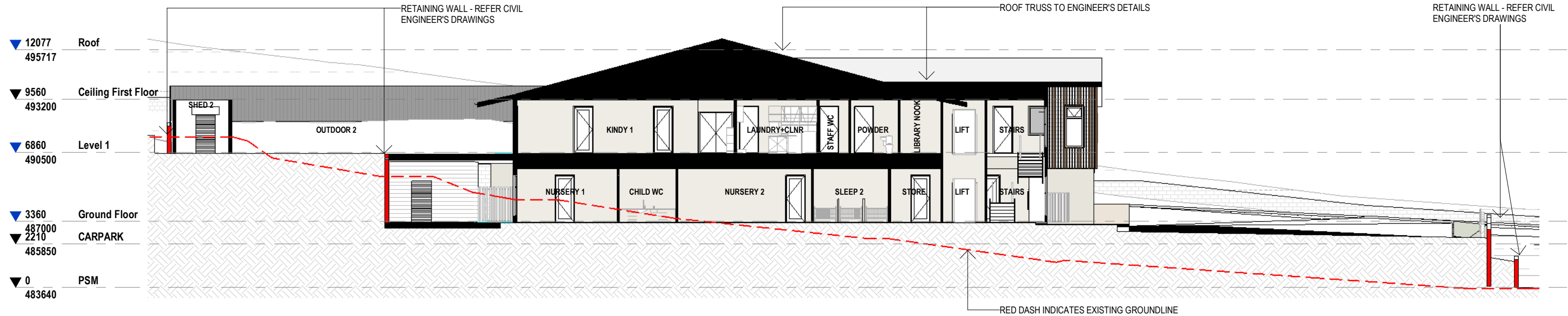
1:200



# DA ISSUE

ISSUED FOR DEVELOPMENT APPROVAL

Rev	Amendment	Date
1	DA ISSUE	08/06/23

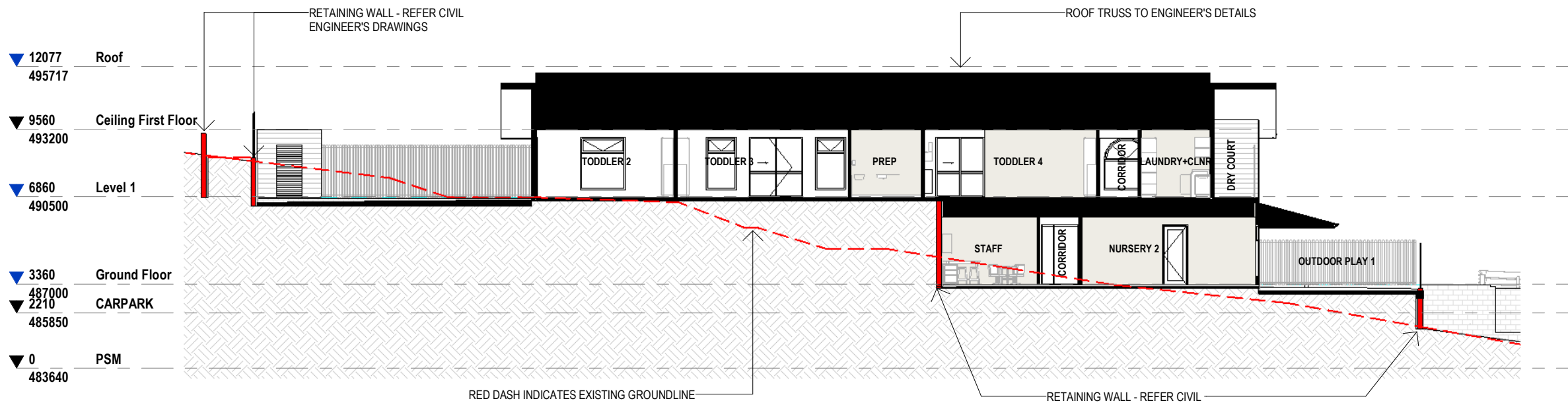


## SECTION 3

1 : 200



**PLANNING CONSENT  
CONDITIONS & NOTES APPLY**  
DA: 23018174  
DATE: 10/01/2024



## SECTION 4

1 : 200



1:200

# BROWN FALCONER

28 Chesser Street, Adelaide, South Australia 5000  
Telephone : 08 8203 5800 Facsimile : 08 8223 2440  
ABN 65 007 846 586 [brownfalconer.com.au](http://brownfalconer.com.au)

ACCORD PROPERTY LTD

35 PARATOO ROAD, STIRLING CCC

SECTIONS 2

Scale 1 : 200

Drawn Author

Date 24/05/2023

Job No. 2022107

Dwg No. **3567 DA08A**ev: 1

A3 SHEET

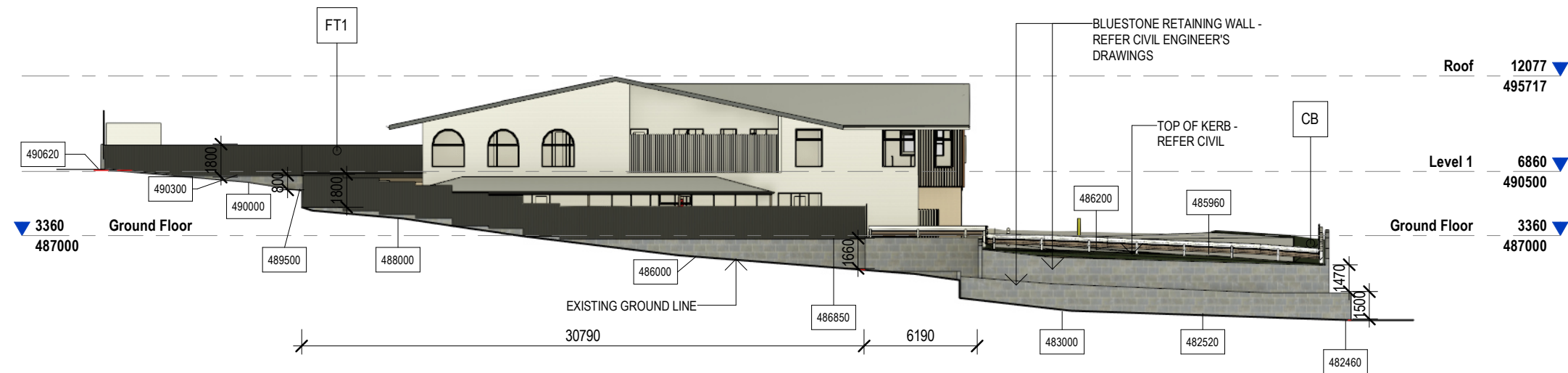


# DA ISSUE

ISSUED FOR DEVELOPMENT APPROVAL

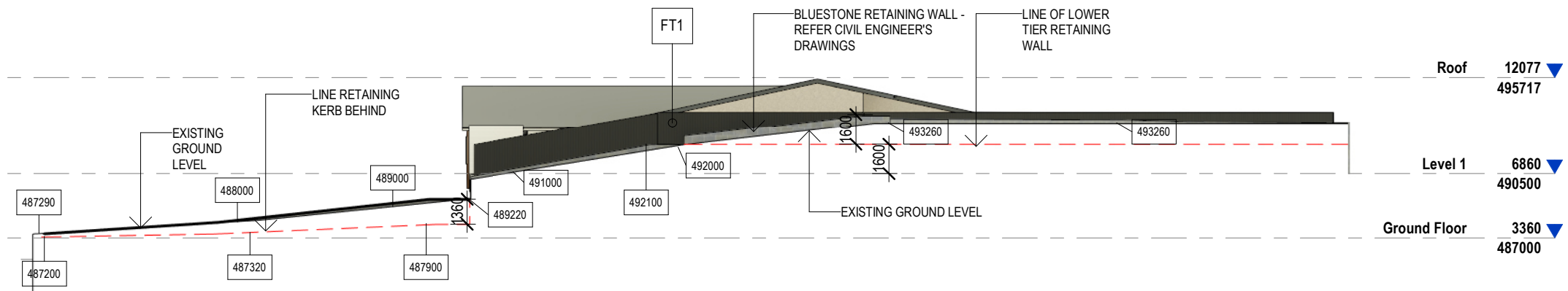
13/10/2023 10:29:50 AM

Rev	Amendment	Date
1	DA RFI RESPONSES	10/10/23



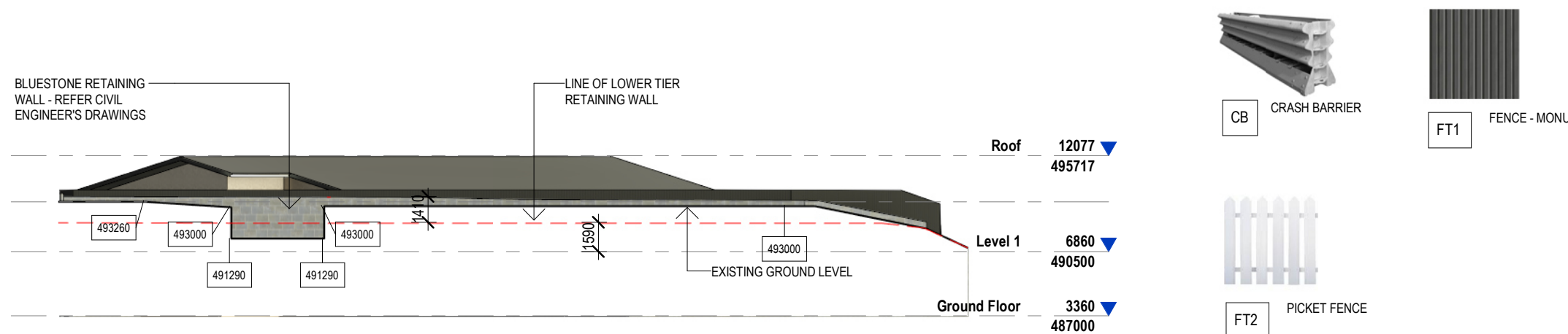
## SOUTH WEST FENCE ELEVATION

1 : 300



## NORTH EAST FENCE ELEVATION

1 : 300



## NORTH FENCE ELEVATION

1 : 300



**PLANNING CONSENT  
CONDITIONS & NOTES APPLY**  
DA: 23018174  
DATE: 10/01/2024

# BROWN FALCONER

28 Chesser Street, Adelaide, South Australia 5000  
Telephone : 08 8203 5800 Facsimile : 08 8223 2440  
ABN 65 007 846 586 brownfalconer.com.au

ACCORD PROPERTY LTD

35 PARATOO ROAD, STIRLING CCC

## FENCE ELEVATIONS

Scale As indicated

Drawn Author

Date 09/13/23

Job No. 2022107

Dwg No. **3567 DA12** Rev: **1** A3 SHEET



Civil  
Environmental  
Mechanical  
Fire  
Lifts

Structural  
Geotechnical  
Electrical  
Hydraulics  
Green ESD

Level 6, 100 Pirie Street,  
Adelaide SA 5000  
Telephone 08 8238 4100  
Facsimile 08 8410 1405

50W IP65 LED FLOODLIGHT

20W LED IP66 WALL LIGHT

16W LED BOLLARD (IP65)

40W IP65 LED BATTEN

16W IP65 LED DOWNLIGHT

NUMBER OF PLACES 128

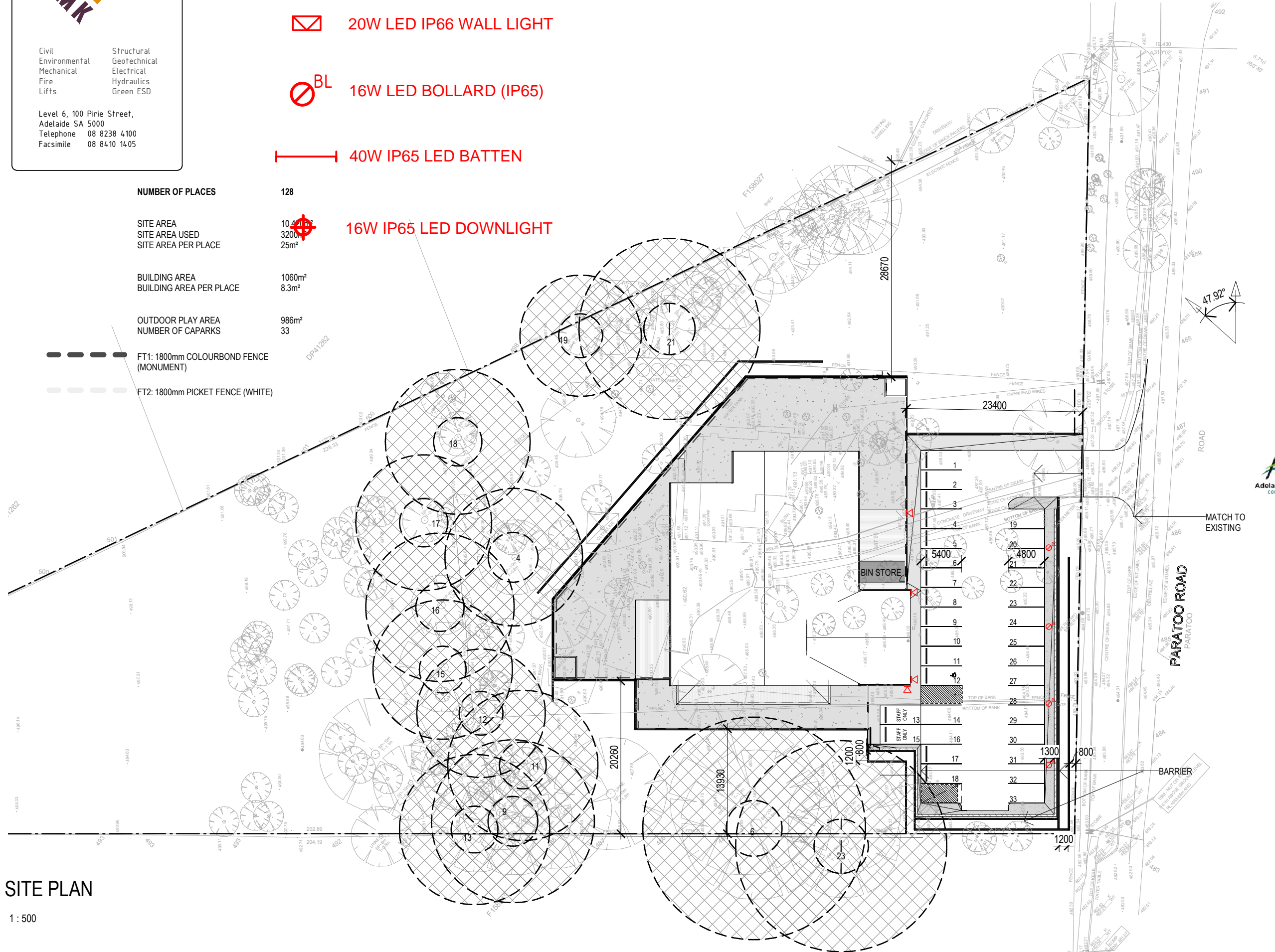
SITE AREA 104,402  
SITE AREA USED 32000  
SITE AREA PER PLACE 25m<sup>2</sup>

BUILDING AREA 1060m<sup>2</sup>  
BUILDING AREA PER PLACE 8.3m<sup>2</sup>

OUTDOOR PLAY AREA 986m<sup>2</sup>  
NUMBER OF CAPARKS 33

FT1: 1800mm COLOURBOND FENCE (MONUMENT)

FT2: 1800mm PICKET FENCE (WHITE)



# DA ISSUE

ISSUED FOR DEVELOPMENT APPROVAL

Rev	Amendment	Date
1	DA ISSUE	08/06/23



**PLANNING CONSENT  
CONDITIONS & NOTES APPLY**  
DA: 23018174  
DATE: 10/01/2024

0 5 10 15 20m

1:500

# BROWN FALCONER

28 Chesser Street, Adelaide, South Australia 5000  
Telephone : 08 8203 5800 Facsimile : 08 8223 2440  
ABN 65 007 846 586 brownfalconer.com.au

ACCORD PROPERTY LTD

35 PARATOO ROAD, STIRLING CCC

SITE PLAN

Scale 1 : 500  
Drawn TR  
Date 24/05/2023  
Job No. 2022107



Dwg No. **3567 DA04** Rev: 1 A3 SHEET

## SITE PLAN

1 : 500



Civil  
Environmental  
Mechanical  
Fire  
Lifts

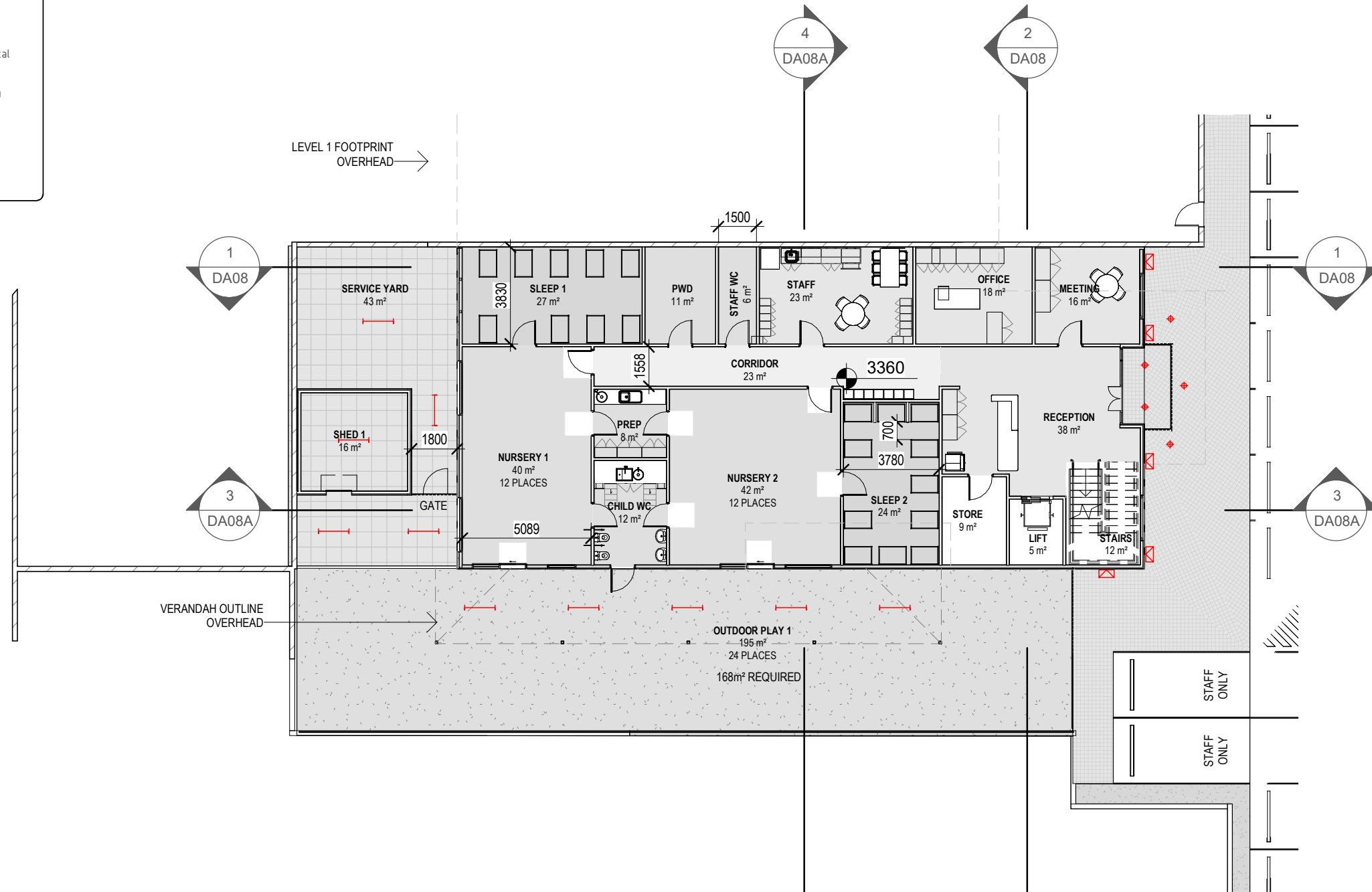
Structural  
Geotechnical  
Electrical  
Hydraulics  
Green ESD

Level 6, 100 Pirie Street,  
Adelaide SA 5000  
Telephone 08 8238 4100  
Facsimile 08 8410 1405

# DA ISSUE

ISSUED FOR DEVELOPMENT APPROVAL

Rev	Amendment	Date
1	DA ISSUE	08/06/23



LEVEL 1 FOOTPRINT OVERHEAD

VERANDAH OUTLINE OVERHEAD

## GROUND FLOOR PLAN

1 : 200

NUMBER OF PLACES	128
SITE AREA	10,250m <sup>2</sup>
SITE AREA USED	3200m <sup>2</sup>
SITE AREA PER PLACE	25m <sup>2</sup>
BUILDING AREA	1060m <sup>2</sup>
BUILDING AREA PER PLACE	8.3m <sup>2</sup>
OUTDOOR PLAY AREA	986m <sup>2</sup>
NUMBER OF CAPARKS	32

0 2 4 6 8 m

1:200



PLANNING CONSENT  
CONDITIONS & NOTES APPLY  
DA: 23018174  
DATE: 10/01/2024

# BROWN FALCONER

28 Chesser Street, Adelaide, South Australia 5000  
Telephone : 08 8203 5800 Facsimile : 08 8223 2440  
ABN 65 007 846 586 brownfalconer.com.au

ACCORD PROPERTY LTD

35 PARATOO ROAD, STIRLING CCC

GROUND FLOOR PLAN

Scale 1 : 200  
Drawn TR  
Date MAY 2023  
Job No. 2022107



Dwg No. **3567 DA05** Rev: **1** A3 SHEET





Civil  
Environmental  
Mechanical  
Fire  
Lifts

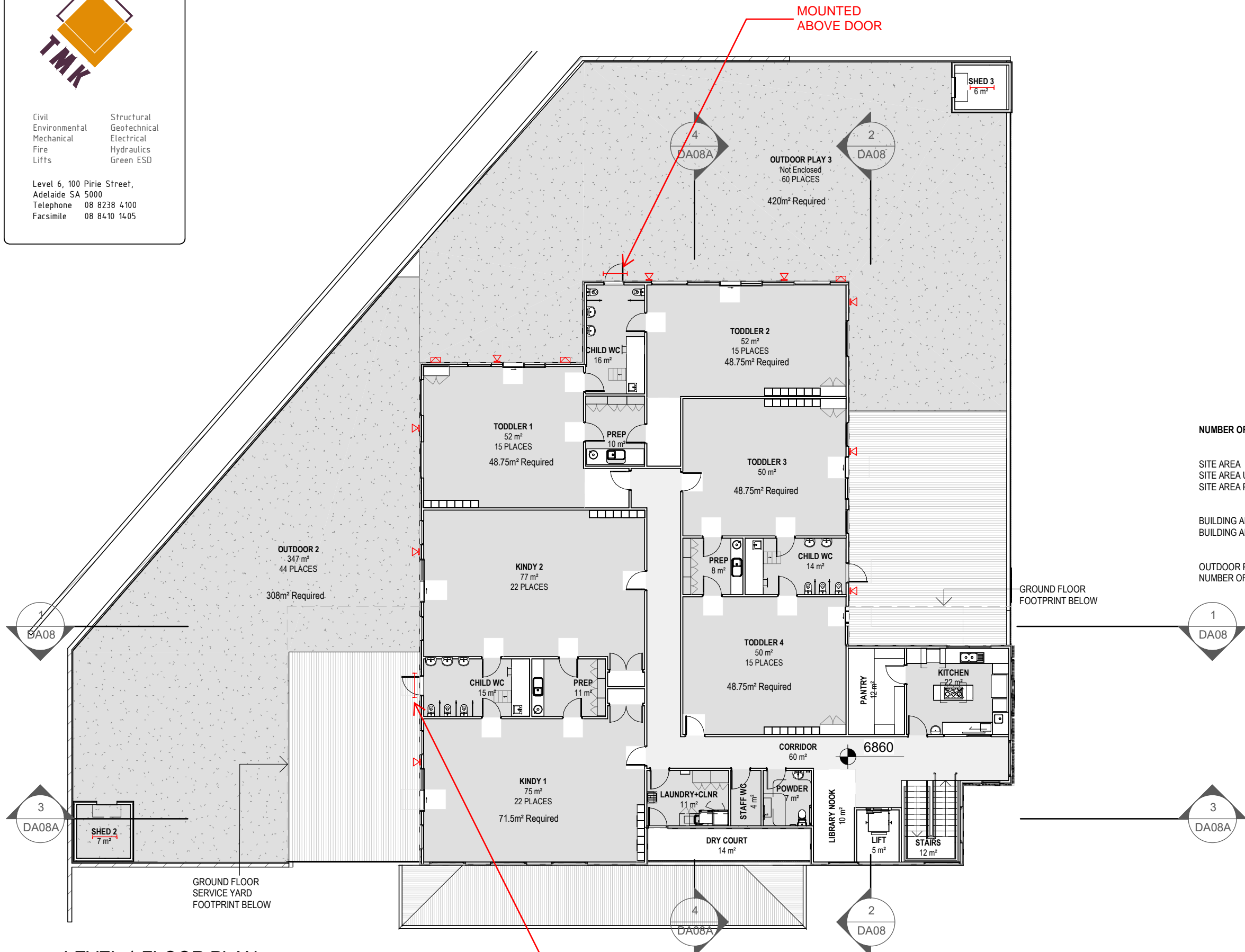
Structural  
Geotechnical  
Electrical  
Hydraulics  
Green ESD

Level 6, 100 Pirie Street,  
Adelaide SA 5000  
Telephone 08 8238 4100  
Facsimile 08 8410 1405

# DA ISSUE

ISSUED FOR DEVELOPMENT APPROVAL

Rev	Amendment	Date
1	DA ISSUE	08/06/23



NUMBER OF PLACES	128
SITE AREA	10,250m <sup>2</sup>
SITE AREA USED	3200m <sup>2</sup>
SITE AREA PER PLACE	25m <sup>2</sup>
BUILDING AREA	1060m <sup>2</sup>
BUILDING AREA PER PLACE	8.3m <sup>2</sup>
OUTDOOR PLAY AREA	986m <sup>2</sup>
NUMBER OF CAPARKS	32



**PLANNING CONSENT  
CONDITIONS & NOTES APPLY**  
DA: 23018174  
DATE: 10/01/2024

## BROWN FALCONER

28 Chesser Street, Adelaide, South Australia 5000  
Telephone : 08 8203 5800 Facsimile : 08 8223 2440  
ABN 65 007 846 586 brownfalconer.com.au

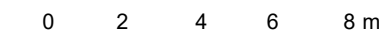
ACCORD PROPERTY LTD

35 PARATOO ROAD, STIRLING CCC

LEVEL 1 FLOOR PLAN

### LEVEL 1 FLOOR PLAN

1 : 200



1:200

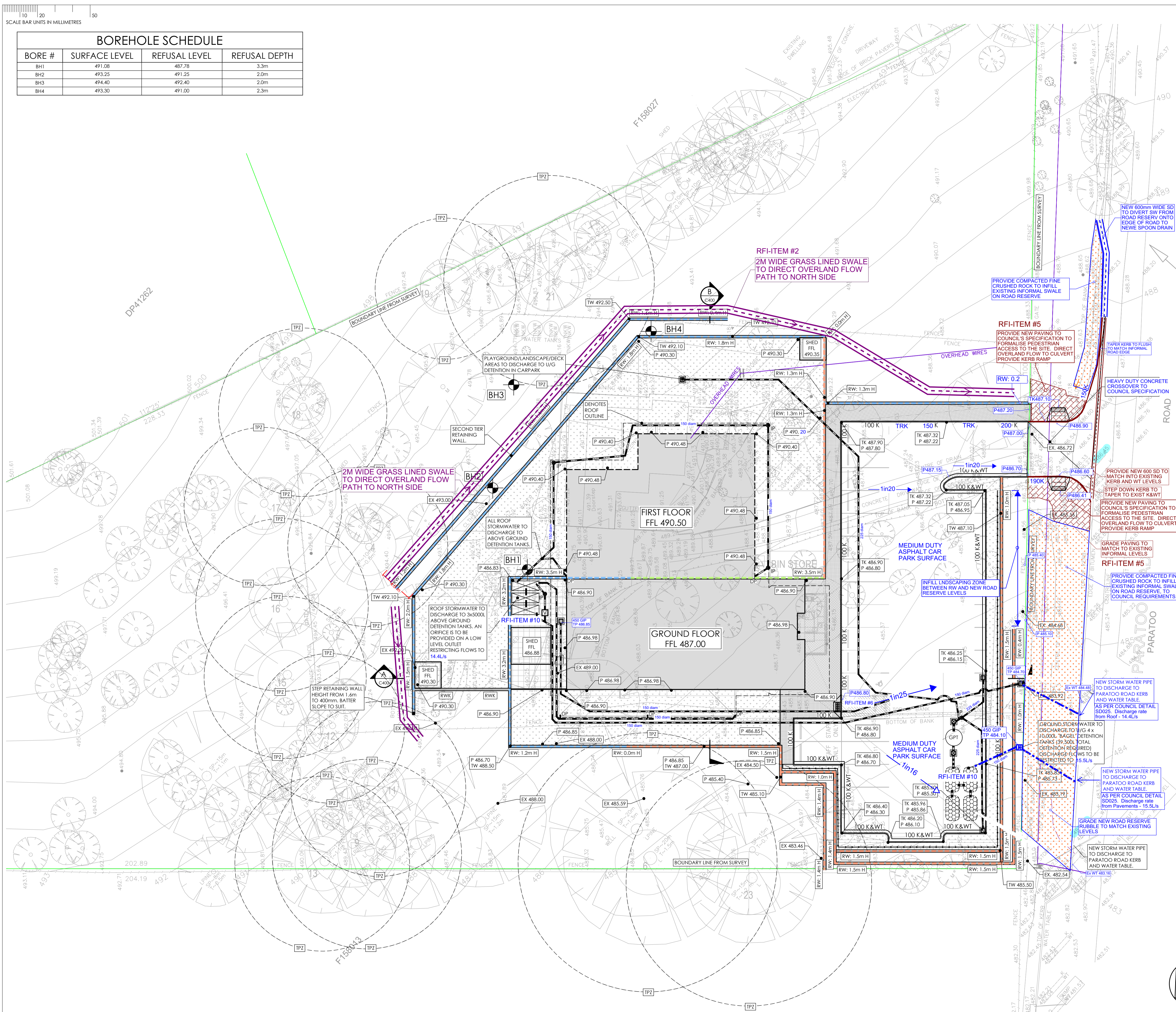
Scale 1 : 200  
Drawn TR  
Date MAY 2023  
Job No. 2022107



Dwg No. **3567 DA5A** Rev: 1 A3 SHEET



BOREHOLE SCHEDULE			
BORE #	SURFACE LEVEL	REFUSAL LEVEL	REFUSAL DEPTH
BH1	491.08	487.78	3.3m
BH2	493.25	491.25	2.0m
BH3	494.40	492.40	2.0m
BH4	493.30	491.00	2.3m

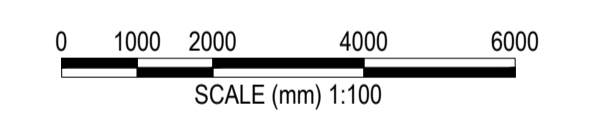


LEGEND	
	K&WT CONCRETE KERB & WATERTABLE HEIGHT AS NOTED.
	K CONCRETE KERB HEIGHT AS NOTED.
	FK FLUSH KERB.
	NEW STORMWATER PIPE (UNSEALED SYSTEM).
	NEW STORMWATER PIPE (SEALED SYSTEM).
	GRATED INLET PIT
	JUNCTION BOX
	STORMWATER INSPECTION POINT.
	MAINTENANCE VALVE. REFER DETAIL.
	DOWN PIPES. ALL DOWN PIPES TO HAVE A uPVC TAIL MATCHING THE SIZE OF THE DOWNPIPE, CONNECTING TO MAIN STORM WATER RUN U.N.O.
	SPELecceptor IN-LINE GROSS POLLUTANT TRAP WITH 900 SQ JB'S.
	CONCRETE CULVERT WITH 6mm GALVANISED CHECKER PL.
	RETAINING WALL WITH NEW FILL BEHIND.
	RETAINING WALL CUT INTO EXISTING SURFACE.
	RETAINING WALL CUT INTO EXISTING SURFACE WITH NEW FILL BEHIND.
	DENOTES ARMO CRASH BARRIER
	DESIGN LEVEL P-PAVEMENT LEVEL TK-TOP OF KERB WT-WATER TABLE TP-TOP OF PIT IL-INVERT LEVEL EX-EXISTING LEVEL TB-TOP BATTER BB-BOTTOM BATTER TW-TOP OF WALL L-LANDSCAPE LEVEL
	EXISTING SPOT LEVELS FROM SURVEY.
	DENOTES APPROX. LINE OF TREE PROTECTION ZONE. REFER TO ARCHITECTS DOCUMENTATION.

PLANNING CONSENT CONDITIONS & NOTES APPLY  
DA: 23018174  
DATE: 10/01/2024

Issue	Date	Details	M.A./T.A.C.	Eng./DR
C	11-12-23	RESPONSE TO 2ND COUNCIL RFI		
B	12-08-23	RESPONSE TO COUNCIL RFI		
A	09-06-23	ISSUED FOR APPROVAL	M.A./T.A.C.	Eng./DR

APPROVAL ONLY  
09-06-23



Visit: 174 Fullarton Road Dulwich SA 5065  
P: 08 8332 1344 E: plans@cprengineers.com.au  
Contra Precision Reynolds Pty. Ltd. is a trustee for the CPR Trust. © Copyright  
ACN 112 731 526 - ABN 112 112 731 526

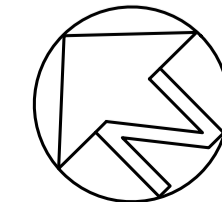
PROPOSED CHILD CARE CENTRE

35 PARATOO ROAD  
STIRLING SA 5152  
ACCORD PROPERTY LTD.

BROWN FALCONER  
28 CHESSER STREET, ADELAIDE SA 5000  
Phone (08) 8203 5800

STORMWATER MANAGEMENT PLAN

Designed	Drawn	Checked	Scale	Date
M.A.	T.A.C.	-	1:200	Jun-23
Drawing No.	220216-C201		Rev.	C





A large, decorative white line graphic is positioned on the left side of the page. It features a semi-circle at the top, followed by a horizontal line, and then a series of geometric shapes including a semi-circle, a vertical line, and a trapezoid, all connected by thin white lines.

## APPENDIX 3

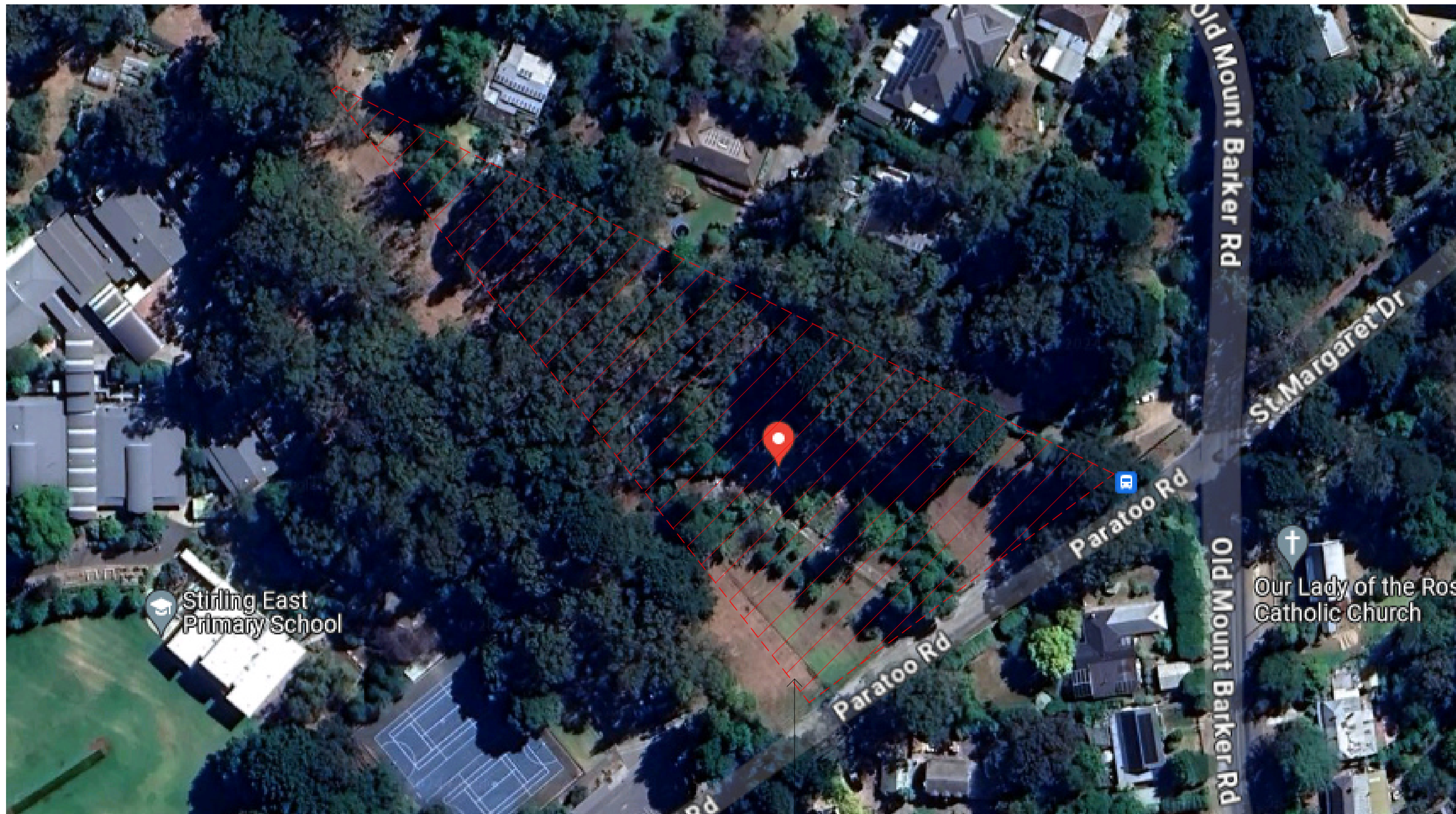
### **Revised Plans**





**ARCH DRAWING SCHEDULE**

No.	Sheet Name	Rev.
A000	COVER SHEET & LOCATION PLAN	P5
A101	SITE PLAN	P11
A102	DEMOLITION PLAN	P6
A103	GROUND FLOOR AREA PLAN	P6
A104	FIRST FLOOR AREA PLAN	P7
A105	SITE SUBDIVISION PLAN	P7
A200	GROUND FLOOR PLAN	P8
A201	FIRST FLOOR PLAN	P8
A202	GROUND FLOOR REFLECTED CEILING PLAN	P6
A203	FIRST FLOOR REFLECTED CEILING PLAN	P7
A204	ROOF PLAN	P6
A205	GROUND FLOOR SETOUT PLAN	P7
A206	FIRST FLOOR SETOUT PLAN	P7
A207	GROUND FLOOR FINISHES PLAN	P6
A208	FIRST FLOOR FINISHES PLAN	P6
A300	ELEVATIONS - BUILDING	P6
A301	ELEVATIONS - BUILDING	P6
A400	SECTIONS	P7
A401	SECTIONS	P7
A402	SECTIONS	P4
A500	SECTIONS DETAILS	P8
A600	INTERNAL ELEVATIONS	P1
A601	INTERNAL ELEVATIONS	P1
A602	INTERNAL ELEVATIONS	P1
A603	INTERNAL ELEVATIONS	P1
A604	INTERNAL ELEVATIONS	P1
A605	INTERNAL ELEVATIONS	P1
A606	INTERNAL ELEVATIONS	P1
A607	INTERNAL ELEVATIONS	P1
A608	INTERNAL ELEVATIONS	P1
A609	INTERNAL ELEVATIONS	P1
A700	WINDOWS SCHEDULE	P6
A800	DOOR SCHEDULE	P6



**1 Location Plan**  
1 : 1000

PROPOSED SITE FOR NEW  
128 PLACE CHILD CARE CENTRE

**PRELIMINARY**  
WORK IN PROGRESS ISSUE

Rev.	Amendment	Date
P1	ISSUED FOR APPROVAL	28/03/2024
P2	FIRE TRACK CHANGE	17/06/2024
P3	SUBDIVISION	24/06/2024
P4	LAYOUT CHANGES	16/07/2024
P5	ISSUED FOR APPROVAL	26/09/2024



ON Architecture Pty Ltd abn 71 627 522 043  
242 Angas Street, Adelaide SA 5000  
Troy Owen 0432 225 858 Mark Meid 0432 680 486  
t.owen@onarchitecture.com.au m.meid@onarchitecture.com.au

Project  
**ACCORD EDEN STIRLING**  
35 PARATOO ROAD, STIRLING CCC

Drawing  
COVER SHEET & LOCATION PLAN

Scale 1 : 1000  
Drawn AR  
Date 26/09/2024  
Job No. 202400038  
Dwg No. **A000** Rev: **P5** A1 SHEET





**FENCE TYPES LEGEND**

- FT1 1.8m HIGH COLOURBOND FENCE - COLOURBOND MONUMENT COLOUR
- FT2 1.8m BATTEN FENCE - ALUMINIUM MONUMENT COLOUR

**NOTES:**

- FENCING TO OUTDOOR PLAY AREAS IN ACCORDANCE WITH AS1926.1-2012.
  - HEIGHT WILL BE A MINIMUM OF 1200MM ABOVE FFL WITH NO GAPS PERMITTING 100MM SPHERE TO PASS THROUGH.
  - GATES WILL BE SELF-CLOSING AND SELF-LATCHING WITH LATCH RELEASE MECHANISM AT A MINIMUM OF 1500MM ABOVE FFL.
  - FENCE WILL BE NON-CLIMBABLE.
- ALL FENCES TO BE INSTALLED IN ACCORDANCE WITH RECOMMENDATION DETAILED IN ARBORIST & ACOUSTIC REPORT.
- ALL GATE TYPES TO MATCH FENCE TYPE, HEIGHT AND COLOUR.

**SITE PLAN LEGEND**

- BOL BOLLARD, STEEL BOLLARD, CONCRETE FILLED, DOMED TOP, PAINT FINISH SAFETY YELLOW
- WS CONCRETE WHEEL STOP
- ARCHITECTURAL SCOPE
- CIVIL SCOPE
- LANDSCAPE SCOPE (PLAY)
- LANDSCAPE SCOPE (GENERAL)
- FUTURE ROAD & VERGE SCOPE

**NOTE:**

- REFER TO APPENDIX A & J PC SUM & D&C LANDSCAPING DESIGN FOR SCOPE ANALYSIS OF LANDSCAPING ALLOWANCES
- REFER TO CIVIL ENGINEER'S DESIGN FOR STORMWATER MANAGEMENT
- REFER TO CIVIL ENGINEER'S DESIGN FOR STORMWATER MANAGEMENT
- BUILDER TO PROVIDE SLEEVES FOR IRRIGATION TO GARDEN BEDS, REFER LANDSCAPE DOCUMENTS FOR DETAILS
- OUTDOOR PLAY AREA WILL BE BY SEPARATE LANDSCAPE CONTRACTOR, BUILDER TO PROVIDE BASE TO 150mm BELOW PAVED PATHWAYS

**PRELIMINARY**

WORK IN PROGRESS ISSUE

Rev.	Amendment	Date
P1	ISSUED FOR APPROVAL	28/03/2024
P2	FIRE TRACK CHANGE	17/06/2024
P3	SUBDIVISION	24/06/2024
P4	LAYOUT CHANGES	16/07/2024
P5	UPDATED LAYOUT	23/07/2024
P6	REVISED LAYOUT	24/07/2024
P7	FIRE TRACK REVISED	30/07/2024
P8	CARPARK REVISED	07/08/2024
P9	REVISED AS MARK UP	15/08/2024
P10	REVISED SUBDIVISION FIRE TRACK	18/09/2024
P11	ISSUED FOR APPROVAL	26/09/2024



ON Architecture Pty Ltd abn 71 627 522 043  
242 Angas Street, Adelaide SA 5000  
Troy Owen 0452 225 858 Mark Mead 0452 680 486  
t.owen@onarchitecture.com.au m.mead@onarchitecture.com.au

Project  
**ACCORD EDEN STIRLING**  
35 PARATOO ROAD, STIRLING CCC

Drawing  
SITE PLAN

Scale As indicated  
Drawn AR  
Date 26/09/2024  
Job No. 202400038  
Dwg No. A101

Rev: P11 A1 SHEET





**PRELIMINARY**  
WORK IN PROGRESS ISSUE

Rev.	Amendment	Date
P1	ISSUED FOR APPROVAL	28/03/2024
P2	FIRE TRACK CHANGE	17/06/2024
P3	SUBDIVISION	24/06/2024
P4	LAYOUT CHANGES	16/07/2024
P5	CARPARK REVISED	07/08/2024
P6	ISSUED FOR APPROVAL	26/09/2024



ON Architecture Pty Ltd abn 71 627 522 043  
242 Angas Street, Adelaide SA 5000  
Troy Owen 0432 225 858 Mark Meid 0432 680 486  
t.owen@onarchitecture.com.au m.meid@onarchitecture.com.au

Project  
**ACCORD EDEN STIRLING**  
35 PARATOO ROAD, STIRLING CCC

Drawing  
GROUND FLOOR AREA PLAN

Scale 1 : 100  
Drawn AR  
Date 26/09/2024  
Job No. 202400038  
Dwg No. **A103** Rev: **P6** A1 SHEET

ACTIVITY AREA SCHEDULE							
ROOM	PLACE	AGE	STAFF RATIO	STAFF NUMBER	AREA REQUIRED	UNENCUMBERED AREA	
ACTIVITY 1	12	0-2yrs	1:4	3	39	41 m <sup>2</sup>	
ACTIVITY 2	12	0-2yrs	1:4	3	39	41 m <sup>2</sup>	
ACTIVITY 3	15	2-3yrs	1:5	3	48.75	49 m <sup>2</sup>	
ACTIVITY 4	15	2-3yrs	1:5	3	48.75	49 m <sup>2</sup>	
ACTIVITY 5	15	2-3yrs	1:5	3	48.75	49 m <sup>2</sup>	
ACTIVITY 6	22	3-5yrs	1:11	2	71.5	76 m <sup>2</sup>	
ACTIVITY 7	15	2-3yrs	1:4	4	48.75	49 m <sup>2</sup>	
ACTIVITY 8	22	3-5yrs	1:11	2	71.5	79 m <sup>2</sup>	
Grand total				128	23	416	434 m <sup>2</sup>

OUTDOOR PLAY AREA SCHEDULE				
ROOM	PLACE	Area Required	UNENCUMBERED AREA	
OUTDOOR PLAY 1	24	168 m <sup>2</sup>	191 m <sup>2</sup>	
OUTDOOR PLAY 2	60	420 m <sup>2</sup>	441 m <sup>2</sup>	
OUTDOOR PLAY 3	44	308 m <sup>2</sup>	355 m <sup>2</sup>	
Grand total		128	986 m <sup>2</sup>	

OUTDOOR PLAY AREA SCHEDULE				
ROOM	PLACE	Area Required	UNENCUMBERED AREA	
OUTDOOR PLAY 1	24	168 m <sup>2</sup>	441 m <sup>2</sup>	
OUTDOOR PLAY 2	60	420 m <sup>2</sup>	441 m <sup>2</sup>	
OUTDOOR PLAY 3	44	308 m <sup>2</sup>	355 m <sup>2</sup>	
Grand total	128	896 m <sup>2</sup>	988 m <sup>2</sup>	

ACTIVITY AREA SCHEDULE						
ROOM	PLACE	AGE	STAFF RATIO	STAFF NUMBER	AREA REQUIRED	UNENCUMBERED AREA
ACTIVITY 1	12	0-2yrs	1:4	3	39	41 m <sup>2</sup>
ACTIVITY 2	12	0-2yrs	1:4	3	39	41 m <sup>2</sup>
ACTIVITY 3	15	2-3yrs	1:5	3	48.75	49 m <sup>2</sup>
ACTIVITY 4	15	2-3yrs	1:5	3	48.75	49 m <sup>2</sup>
ACTIVITY 5	15	2-3yrs	1:5	3	48.75	49 m <sup>2</sup>
ACTIVITY 6	22	3-5yrs	1:11	2	71.5	76 m <sup>2</sup>
ACTIVITY 7	15	2-3yrs	1:4	4	48.75	49 m <sup>2</sup>
ACTIVITY 8	22	3-5yrs	1:11	2	71.5	79 m <sup>2</sup>
Grand total	128			23	416	434 m <sup>2</sup>



**PRELIMINARY**  
WORK IN PROGRESS ISSUE

Rev.	Amendment	Date
P1	ISSUED FOR APPROVAL	28/03/2024
P2	FIRE TRACK CHANGE	17/06/2024
P3	SUBDIVISION	24/06/2024
P4	LAYOUT CHANGES	16/07/2024
P5	UPDATED LAYOUT	23/07/2024
P6	CARPARK REVISED	07/08/2024
P7	ISSUED FOR APPROVAL	26/09/2024



ON Architecture Pty Ltd abn 71 627 522 043  
242 Angas Street, Adelaide SA 5000  
Troy Owen 0432 225 858 Mark Meild 0432 680 486  
t.owen@onarchitecture.com.au m.meild@onarchitecture.com.au

Project  
**ACCORD EDEN STIRLING**  
35 PARATOO ROAD, STIRLING CCC

Drawing  
FIRST FLOOR AREA PLAN

Scale 1:100  
Drawn AR  
Date 26/09/2024  
Job No. 202400038  
Dwg No. **A104** Rev: **P7** A1 SHEET

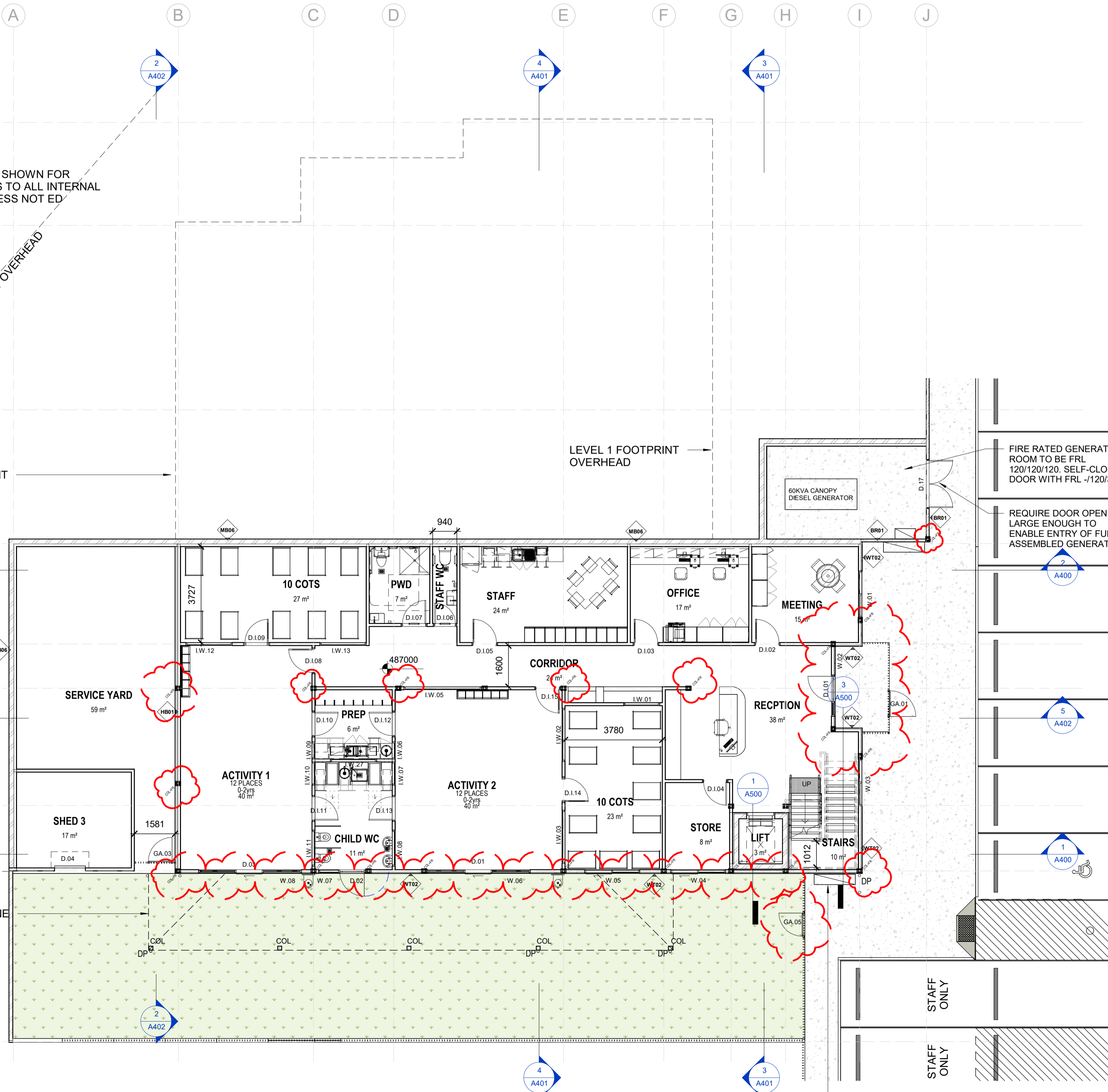


TYPICAL NOTE:  
WALL TYPE 5 NOT SHOWN FOR CLARITY - APPLIES TO ALL INTERNAL STUD WALLS UNLESS NOTED OTHERWISE.

LEVEL 1 FOOTPRINT OVERHEAD

LEVEL 1 FOOTPRINT OVERHEAD

VARANDAH OUTLINE OVERHEAD



**1** Ground Floor  
1 : 100

MAIN SWITCH BOARD (MSB) WITH AUTOMATIC TRANSFER SWITCH (WITH MANUAL OVERRIDE FOR BUSHFIRE OCCURRENCE). DIMENSIONS: 1600MM X 400MM X 2000. MSB TO BE WITHIN A ROOM WITH RFL OF NOT LESS THAN 120/120/120.

**GENERAL NOTES**

- GLAZING WILL BE CONSTRUCTED IN ACCORDANCE WITH AS1288-2006
- GLAZING ASSEMBLIES WILL BE ASSEMBLED AND INSTALLED IN ACCORDANCE WITH AS204
- TERMITE PROTECTION WILL BE SELECTED AND INSTALLED IN ACCORDANCE WITH CURRENT AS3660.1
- FIRE HAZARD PROPERTIES OF WALL, FLOOR AND CEILING LININGS, THE AIR-CONDITIONING DUCT WORK WILL COMPLY WITH CLAUSE C2D11 AND SPECIFICATION 7 OF BCA 2022
- DOOR HARDWARE TO REQUIRED EXIT DOORS IN PATHS OF TRAVEL WILL BE OPERABLE IN ACCORDANCE WITH BCA-D3.26
- THE REQUIRED FORCE TO HOLD AND OPEN A DOOR DOES NOT EXCEED 20N AND DOOR CONTROLS COMPLY WITH CLAUSE 13.5 OF AS1428.1-2009.
- PROVISIONS OF A MINIMUM OF 30% LUMINANCE CONTRAST TO IDENTIFY THE LOCATION OF ALL DOORWAYS IN ACCORDANCE WITH SECTION 13.1 OF AS1428.1-2009.
- WET AREAS TO BE WATERPROOFED IN ACCORDANCE WITH BCA-F2 AND AS3740-2010.
- ACCESSIBLE AND AMBULANT TOILETS TO COMPLY WITH AS1428.1
- A PAN BACKREST IS INSTALLED COMPLYING WITH AS1428.1-2009 CLAUSE 15.2.4 CAPABLE OF WITHSTANDING A FORCE IN ANY DIRECTION OF 1100N.
- TOILET SEAT WILL BE LOAD-RATED TO 150KG AND HAVE A MINIMUM LUMINANCE CONTRAST OF 30% WITH THE BACKGROUND (i.e. PAN AND FLOOR).
- PROVISION OF AN INUSE INDICATOR AND BOLT OR CATCH, WHERE A SNIB CATCH IS USED, THE SNIB HANDLE SHALL HAVE A MINIMUM LENGTH OF 45MM FROM CENTRE OF THE SPINDLE. IN AN EMERGENCY, THE LATCH MECHANISM SHALL BE OPERABLE FROM THE OUTSIDE.
- OUTDOOR PLAY SPACES WILL HAVE A SAFETY BARRIER WHICH COMPLIES WITH AS1926.1
- ALL SARKING USED IN EXTERNAL WALLS TO HAVE A FLAMMABILITY INDEX NOT GREATER THAN 5, AND A THICKNESS NOT EXCEEDING 1MM.
- ALL EXTERNAL FENCES AND GATES TO BE INSTALLED IN ACCORDANCE WITH THE APPROVED ACOUSTIC REPORT, WHERE APPLICABLE.
- STAIR CONSTRUCTION TO COMPLY WITH BCA D3D14, D3D15, D3D17, D3D22, AS1428.1-2009 AND AS1170
- STAIR BALUSTRADE CONSTRUCTION TO COMPLY WITH BCA D3D17, D3D21 AND AS1170
- STORMWATER DRAINAGE SYSTEM WILL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH AS3500.3

**WALL TYPES SCHEDULE**

- HB01** HEBEL EXTERNAL WALL (EDEN COLOUR)  
75mm HEBEL PANEL WITH RENDE FINISH 35mm TOP HAT 90mm STEEL STUDS, R2.5 INSULATION TO STUDS, 13mm PLASTERBOARD (MR TO WET AREAS)
- HB02** HEBEL EXTERNAL WALL (EDEN COLOUR)  
75mm HEBEL PANEL WITH RENDE FINISH 35mm TOP HAT 90mm STEEL STUDS, R2.5 INSULATION TO STUDS, 2x16mm GYPROCK FLYCHECK PLASTERBOARD (MR TO WET AREAS)  
FRL : 120/120/120
- WT02** LIGHTWEIGHT EXTERNAL WALL (WEATHERBOARD)  
16mm WEATHERBOARD DIRECT FIXED TO STUDS, 90mm STEEL STUDS, R2.5 INSULATION TO STUDS, 13mm PLASTERBOARD (MR TO WET AREAS)
- WT03** LIGHTWEIGHT EXTERNAL WALL (BATTENS)  
KNOTWOOD 25x50mm BATTEN FIXED TO WALL (75mm CTS, REFER ELEVATIONS)  
JAMES HARDIE EASYLAP PANEL ON FURRINGS, INSTALLED TO MANUF. REQ., WITH THERMAL BREAK  
90mm STEEL STUDS, R2.5 INSULATION TO STUDS, 13mm PLASTERBOARD (MR TO WET AREAS)
- SF04** STEEL FRAMED INTERNAL WALL  
90mm STEEL STUDS WITH 90mm R2.5 INSULATION, BOTH SIDES 13mm PLASTERBOARD (MR TO WET) NOTE - THIS APPLIES TO ALL INTERNAL WALLS. CODES NOT SHOWN ON PLANS FOR CLARITY
- BR01** EXTERNAL WALL - BRICK MASONRY 110/48/82/13  
110mm STANDARD BRICK EXTERNAL LEAF, FGH MORADA COLLECTION - CEN2/A, 40MM THERMAL BREAK AND SARKING  
92mm STEEL STUD INTERNAL LEAF W/ R2.0 INSULATION AS PER ENERGY CONSULTANTS DOCUMENTATION, 13mm PLASTERBOARD (MR TO WET AREAS) WITH PAINT FINISH AS SPECIFIED.
- MB06** EXTERNAL WALL - MASONRY BLOCK  
190mm STANDARD BLOCK EXTERNAL MIDLAND BRICK COLLECTION  
92mm STEEL STUD INTERNAL LEAF W/ R2.0 INSULATION AS PER ENERGY CONSULTANTS DOCUMENTATION, 13mm PLASTERBOARD (MR TO WET AREAS) WITH PAINT FINISH AS SPECIFIED.

EXTERNAL WALL MATERIALS NOTE:  
ALL EXTERNAL WALL TYPES MUST HAVE BEEN TESTED TO AS1530.1

GENERAL NOTE:  
MASTIC BEAD AT BOTTOM OF ALL FC SHEETS EXTERNALLY TO CREATE SMOOTH FINISH  
OPENING TO BE PROTECTED IN ACCORDANCE WITH BCA-C4D5

**FIRE RATING NOTE**

ALL GROUND FLOOR COLUMNS AND ANY MEMBERS PROVIDED DIRECT VERTICAL OR LATERAL SUPPORT FOR COLUMNS TO BE **FIRE RATED: 120/-/-** FLOOR AND FLOOR BEAMS AND ALL THE SUPPORT PARTS REQUIRE HIGHER FIRE RATED LEVEL TO BE **FIRE RATED: 120/-/-** ALL EXTERNAL WALL TO BE NON-COMBUSTIBLE IN ACCORDANCE WITH NCC PART C2D10

**KEYNOTE LEGEND**

- W.G.01 WINDOW NUMBER (LEVEL NO)
- D01 DOOR TYPE
- AC AIR CONDITIONING UNIT
- BAL BALUSTRADE
- BOL BOLLARD
- COL COLUMN
- COL FR COLUMN - FIRE RATED
- CS CLEANER'S SINK
- CS1 CLOTHES LINE, WALL MOUNTED
- DB DISTRIBUTION BOARD
- DF DRINKING FOUNTAIN
- DP DOWNPIPE TYPE
- FE CLEANER'S SINK
- FB FIRE EXTINGUISHER & FIRE BLANKET
- GB GARDEN BED
- LK1 LOCKERS
- LWS SEWER STACK
- TI TACTILE INDICATORS
- WS WHEEL STOP
- FHR FIRE HOSE REEL
- CM COMMUNICATION RACK

EXIT  
SUPPLY AND INSTALL PROPRIETARY BRAILLE EXIT SIGNAGE AS BELOW ON THE WALL ON THE LATCH SIDE OF THE DOOR WITH THE LEADING EDGE OF THE SIGN LOCATED BETWEEN 50 MM AND 300 MM FROM THE ARCHITRAVE, IN ACCORDANCE WITH BCA D3.6 & E4.5

**Exit Ground**

**FENCE TYPES LEGEND**

- FT1 1.8m HIGH COLORBOND FENCE - COLORBOND MONUMENT COLOUR
- FT2 1.8m BATTEN FENCE - ALUMINIUM MONUMENT COLOUR

**NOTES:**

- FENCING TO OUTDOOR PLAY AREAS IN ACCORDANCE WITH AS1926.1-2012.  
HEIGHT WILL BE A MINIMUM OF 1200MM ABOVE FFL WITH NO GAPS PERMITTING 100MM SPHERE TO PASS THROUGH.  
GATES WILL BE SELF-CLOSING AND SELF-LATCHING WITH LATCH RELEASE MECHANISM AT A MINIMUM OF 1500MM ABOVE FFL.  
FENCE WILL BE NON-CLIMBABLE.
- ALL FENCES TO BE INSTALLED IN ACCORDANCE WITH RECOMMENDATION DETAILED IN ARBORIST & ACOUSTIC REPORT.
- ALL GATE TYPES TO MATCH FENCE TYPE, HEIGHT AND COLOUR.

**PRELIMINARY**

WORK IN PROGRESS ISSUE

Rev.	Amendment	Date
P1	ISSUED FOR APPROVAL	28/03/2024
P2	FIRE TRACK CHANGE	17/06/2024
P3	SUBDIVISION	24/06/2024
P4	LAYOUT CHANGES	16/07/2024
P5	REVISED LAYOUT	24/07/2024
P6	CARPARK REVISED	07/08/2024
P7	REVISED WALL TYPE & SECTIONS	13/08/2024
P8	ISSUED FOR APPROVAL	26/09/2024



ON Architecture Pty Ltd abn 71 627 522 043  
242 Angas Street, Adelaide SA 5000  
Troy Owen 0422 225 858 Mark Meid 0432 680 486  
t.owen@onarchitecture.com.au m.meid@onarchitecture.com.au

Project  
**ACCORD EDEN STIRLING**  
35 PARATOO ROAD, STIRLING CCC

Drawing  
GROUND FLOOR PLAN

Scale As indicated  
Drawn AR  
Date 26/09/2024  
Job No. 202400038  
Dwg No. **A200** Rev: **P8** A1 SHEET



**TYPICAL NOTE:**  
WALL TYPE 4 NOT SHOWN FOR CLARITY - APPLIES TO ALL INTERNAL STUD WALLS UNLESS NOTED OTHERWISE.

**WALL TYPES SCHEDULE**

- HB01** HEBEL EXTERNAL WALL (EDEN COLOUR)  
75mm HEBEL PANEL WITH RENDE FINISH 35mm TOP HAT 90mm STEEL STUDS, R2.5 INSULATION TO STUDS, 13mm PLASTERBOARD (MR TO WET AREAS)
- HB02** HEBEL EXTERNAL WALL (EDEN COLOUR)  
75mm HEBEL PANEL WITH RENDE FINISH 35mm TOP HAT 90mm STEEL STUDS, R2.5 INSULATION TO STUDS, 2x16mm GYPROCK FYCHEK PLASTERBOARD (MR TO WET AREAS)  
**FRL : 120/120/120**
- WT02** LIGHT WEIGHT EXTERNAL WALL (WEATHERBOARD)  
16mm WEATHERBOARD DIRECT FIXED TO STUD, 90mm STEEL STUDS, R2.5 INSULATION TO STUDS, 13mm PLASTERBOARD (MR TO WET AREAS)
- WT03** LIGHTWEIGHT EXTERNAL WALL (BATTENS)  
KNOTWOOD 25x50mm BATTEN FIXED TO WALL (75mm CTS, REFER ELEVATIONS) JAMES HARDIE EASYLAP PANEL ON FURRINGS, INSTALLED TO MANUF. REQ., WITH THERMAL BREAK  
90mm STEEL STUDS, R2.5 INSULATION TO STUDS, 13mm PLASTERBOARD (MR TO WET AREAS)
- SF04** STEEL FRAMED INTERNAL WALL  
90mm STEEL STUDS WITH 90mm R2.5 INSULATION BOTH SIDES 13mm PLASTERBOARD (MR TO WET) NOTE - THIS APPLIES TO ALL INTERNAL WALLS. CODES NOT SHOWN ON PLANS FOR CLARITY

**KEYNOTE LEGEND**

- W.6.01** WINDOW NUMBER (LEVEL/NO)
- D01** DOOR TYPE
- AC** AIR CONDITIONING UNIT
- BAL** BALUSTRADE
- BOL** BOLLARD
- COL** COLUMN
- COL FR** COLUMN - FIRE RATED
- CS** CLEANER'S SINK
- CS1** CLOTHES LINE - WALL MOUNTED
- DB** DISTRIBUTION BOARD
- DF** DRINKING FOUNTAIN
- DP** DOWNPIPE TYPE
- FE** FIRE EXTINGUISHER & FIRE BLANKET
- GB** GARDEN BED
- LK1** LOCKERS
- SWS** SEWER STACK
- T1** TACTILE INDICATORS
- WS** WHEEL STOP
- FHR** FIRE HOSE REEL
- CM** COMMUNICATION RACK
- EXIT** SUPPLY AND INSTALL PROPRIETARY BRAILLE EXIT SIGNAGE AS BELOW ON THE WALL ON THE LATCH SIDE OF THE DOOR WITH THE LEADING EDGE OF THE SIGN LOCATED BETWEEN 50 MM AND 300 MM FROM THE ARCHITRAVE. IN ACCORDANCE WITH BCA D3.6 & E4.5

**Exit Ground**

**FENCE TYPES LEGEND**

- FT1** 1.8m HIGH COLORBOND FENCE - COLORBOND MONUMENT COLOUR
- FT2** 1.8m BATTEN FENCE - ALUMINIUM MONUMENT COLOUR

**NOTES:**

1. FENCING TO OUTDOOR PLAY AREAS IN ACCORDANCE WITH AS1926.1-2012.
- HEIGHT WILL BE A MINIMUM OF 1200MM ABOVE FFL WITH NO GAPS PERMITTING 100MM SPHERE TO PASS THROUGH.
- GATES WILL BE SELF-CLOSING AND SELF-LATCHING WITH LATCH RELEASE MECHANISM AT A MINIMUM OF 1500MM ABOVE FFL.
- FENCE WILL BE NON-CLIMBABLE.
2. ALL FENCES TO BE INSTALLED IN ACCORDANCE WITH RECOMMENDATION DETAILED IN ARBORIST & ACOUSTIC REPORT.
3. ALL GATE TYPES TO MATCH FENCE TYPE, HEIGHT AND COLOUR.

**GENERAL NOTES**

1. GLAZING WILL BE CONSTRUCTED IN ACCORDANCE WITH AS1288-2006
2. GLAZING ASSEMBLIES WILL BE ASSEMBLED AND INSTALLED IN ACCORDANCE WITH AS204
3. TERMITE PROTECTION WILL BE SELECTED AND INSTALLED IN ACCORDANCE WITH CURRANT AS3660.1
4. FIRE HAZARD PROPERTIES OF WALL, FLOOR AND CEILING CEILING LININGS, THE AIR-CONDITIONING DUCT WORK WILL COMPLY WITH CLAUSE C2011 AND SPECIFICATION 7 OF BCA 2022
5. DOOR HARDWARE TO REQUIRED EXIT DOORS IN PATHS OF TRAVEL WILL BE OPERABLE IN ACCORDANCE WITH BCA-D3-26
6. THE REQUIRED FORCE TO HOLD AND OPEN A DOOR DOES NOT EXCEED 20N AND DOOR CONTROLS COMPLY WITH CLAUSE 13.5 OF AS1428.1-2009.
7. PROVISIONS OF A MINIMUM OF 30% LUMINANCE CONTRAST TO IDENTIFY THE LOCATION OF ALL DOORWAYS IN ACCORDANCE WITH SECTION 13.1 OF AS1428.1-2009.
8. WET AREAS TO BE WATERPROOFED IN ACCORDANCE WITH BCA-F2 AND AS3740-2010.
9. ACCESSIBLE AND AMBULANT TOILETS TO COMPLY WITH AS1428.1
10. A PAN BACKREST IS INSTALLED COMPLYING WITH AS1428.1-2009 CLAUSE 15.2.4 CAPABLE OF WITHSTANDING A FORCE IN ANY DIRECTION OF 1100N.
11. TOILET SEAT WILL BE LOAD-RATED TO 150KG AND HAVE A MINIMUM LUMINANCE CONTRAST OF 30% WITH THE BACKGROUND (i.e. PAN AND FLOOR).
12. PROVISION OF AN IN-USE INDICATOR AND BOLT OR CATCH, WHERE A SNIB CATCH IS USED, THE SNIB HANDLE SHALL HAVE A MINIMUM LENGTH OF 45MM FROM CENTRE OF THE SPINDLE. IN AN EMERGENCY, THE LATCH MECHANISM SHALL BE OPERABLE FROM THE OUTSIDE.
13. OUTDOOR PLAY SPACES WILL HAVE A SAFETY BARRIER WHICH COMPLIES WITH AS1926.1
14. ALL SARKING USED IN EXTERNAL WALLS TO HAVE A FLAMMABILITY INDEX NOT GREATER THAN 5, AND A THICKNESS NOT EXCEEDING 1MM.
15. ALL EXTERNAL FENCES AND GATES TO BE INSTALLED IN ACCORDANCE WITH THE APPROVED ACOUSTIC REPORT, WHERE APPLICABLE.
16. STAIR CONSTRUCTION TO COMPLY WITH BCA D3D14, D3D15, D3D17, D3D22, AS1428.1-2009 AND AS1170
17. STAIR BALUSTRADE CONSTRUCTION TO COMPLY WITH BCA D3D17, D3D21 AND AS1170
18. STORMWATER DRAINAGE SYSTEM WILL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH ASS500.3

**PRELIMINARY**

WORK IN PROGRESS ISSUE

Rev.	Amendment	Date
P1	ISSUED FOR APPROVAL	28/03/2024
P2	FIRE TRACK CHANGE	17/06/2024
P3	SUBDIVISION	24/06/2024
P4	LAYOUT CHANGES	16/07/2024
P5	UPDATED LAYOUT	23/07/2024
P6	CARPARK REVISED	07/08/2024
P7	REVISED WALL TYPE & SECTIONS	13/08/2024
P8	ISSUED FOR APPROVAL	26/09/2024

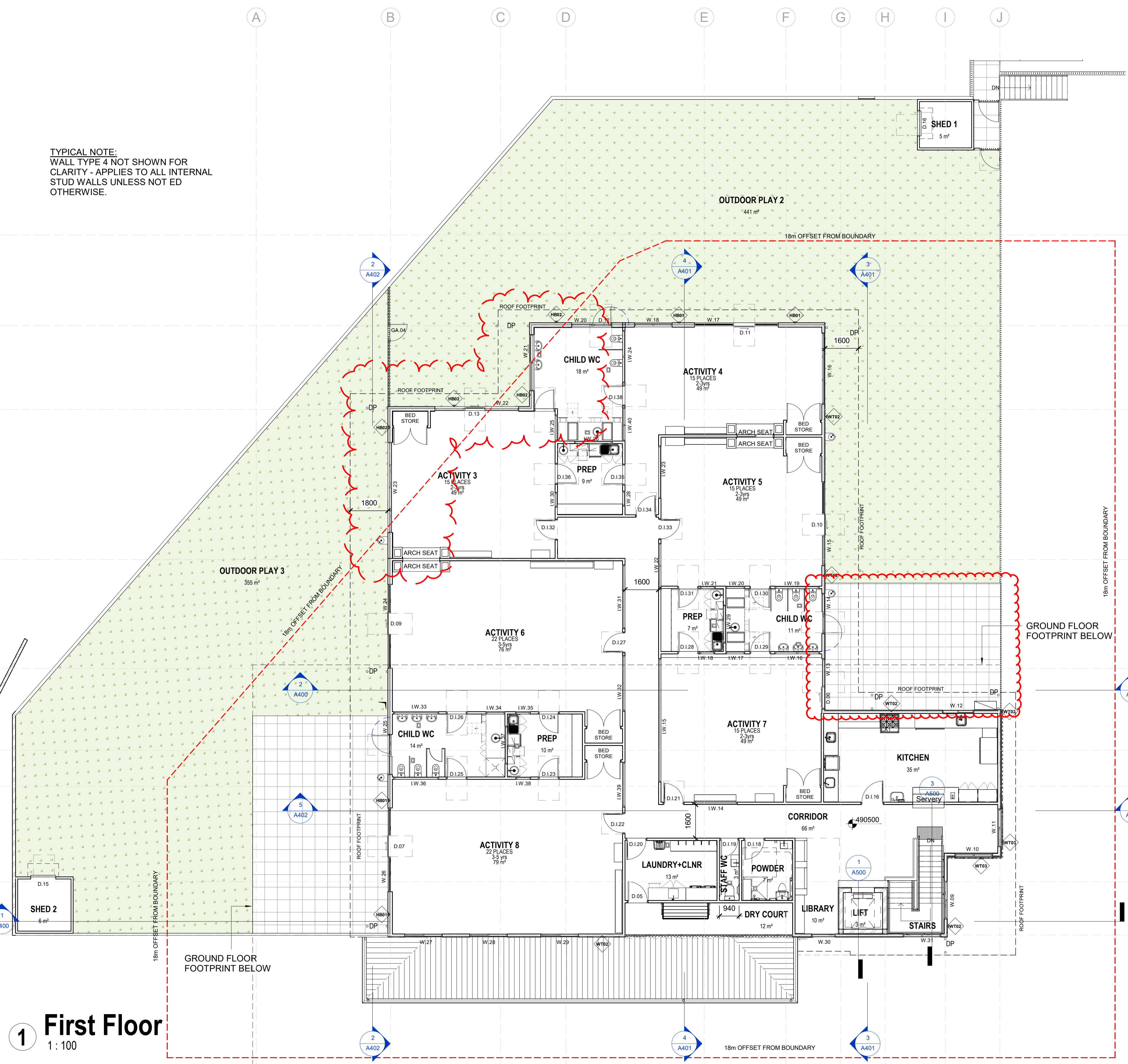


ON Architecture Pty Ltd abn 71 627 522 043  
242 Angas Street, Adelaide SA 5000  
 Troy Owen 0432 225 858 Mark Meid 0432 680 486  
 t.owen@onarchitecture.com.au m.meid@onarchitecture.com.au

Project  
**ACCORD EDEN STIRLING**  
35 PARATOO ROAD, STIRLING CCC

Drawing  
FIRST FLOOR PLAN

Scale As indicated  
 Drawn AR  
 Date 26/09/2024  
 Job No. 202400038  
 Dwg No. **A201** Rev: **P8** A1 SHEET



**1 First Floor**  
1 : 100



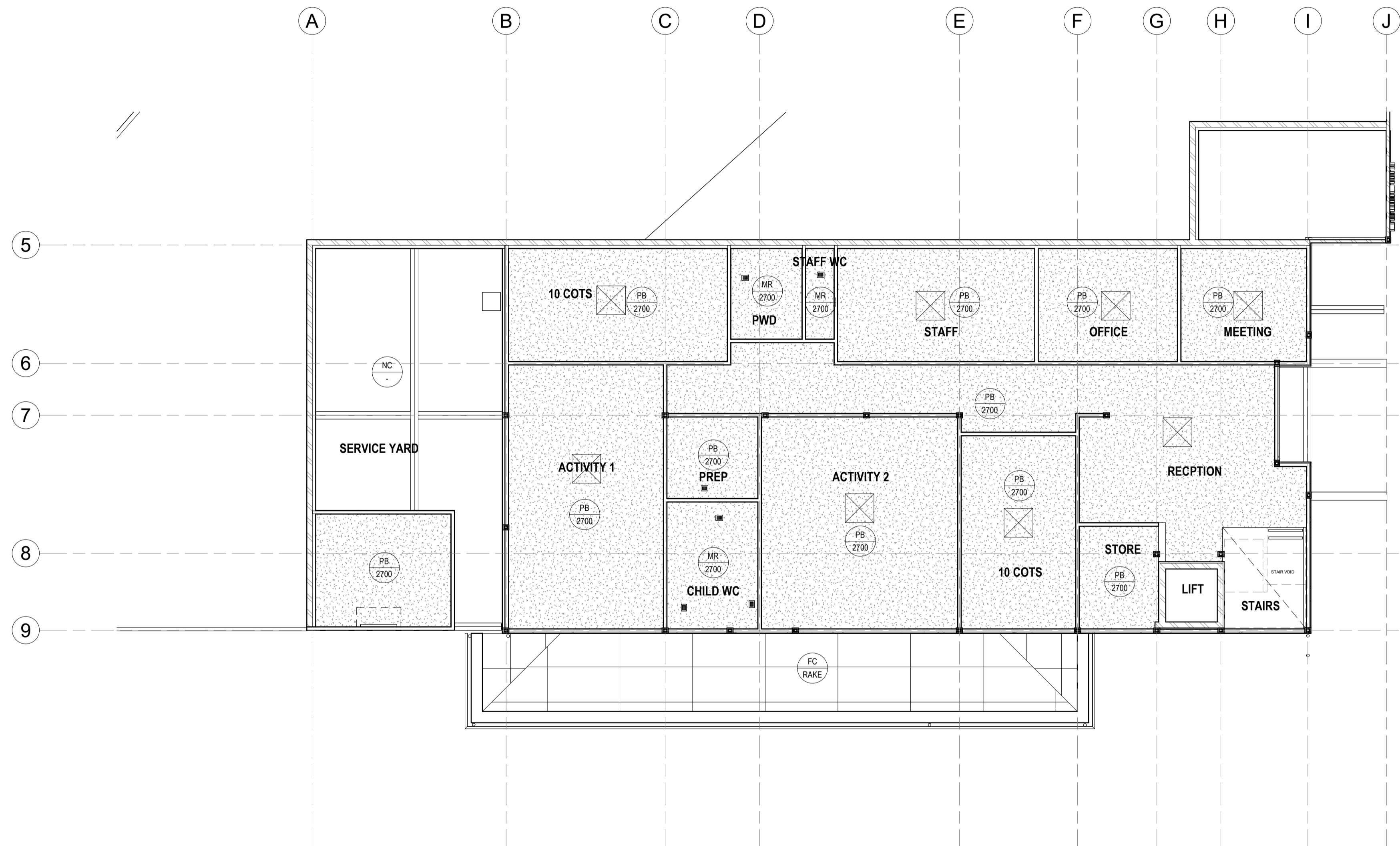
**CEILING LEGEND**

XXX DOOR	CEILING TYPE CEILING HEIGHT / RAKING
CT	1200 x 600 ACOUSTIC CEILING TILE
PB	13MM FLUSH PLASTERBOARD TO CEILING STRUCTURE
PB-F	13MM FLUSH PLASTERBOARD TO CEILING STRUCTURE
MR	13MM FLUSH PLASTERBOARD TO CEILING TO ALL WET AREAS TO AS3740 FIXED TO CEILING STRUCTURE
FC	9MM FIBRE CEMENT SHEETING TO CEILING STRUCTURE WITH EXPRESSED JOINTS
FR	13MM FLUSH PLASTERBOARD ON 3 LAYERS OF 16mm FIRESTOP PLASTERBOARD
NC	NO CEILING
J-BH	JOINERY BULKHEAD
BH	PLASTERBOARD FRAMED BULKHEAD
K10	45MM KINGSPAN KOOLTHERM - K10 SOFFIT BOARD R 2.05

**INSULATION:**  
PROVIDE R3.2 BULK INSULATION TO ALL CEILINGS WITH THERMAL BREAK, AS PER ENGERGY CONSULTANTS REPORT.

**GENERAL NOTES**

- GLAZING WILL BE CONSTRUCTED IN ACCORDANCE WITH AS1288-2006
- GLAZING ASSEMBLIES WILL BE ASSEMBLED AND INSTALLED IN ACCORDANCE WITH AS204
- TERMITE PROTECTION WILL BE SELECTED AND INSTALLED IN ACCORDANCE WITH CURRENT AS3660.1
- FIRE HAZARD PROPERTIES OF WALL, FLOOR AND CEILING CEILING LININGS, THE AIR-CONDITIONING DUCT WORK WILL COMPLY WITH CLAUSE C2D11 AND SPECIFICATION 7 OF BCA 2022
- DOOR HARDWARE TO REQUIRED EXIT DOORS IN PATHS OF TRAVEL WILL BE OPERABLE IN ACCORDANCE WITH BCA-D3.26
- THE REQUIRED FORCE TO HOLD AND OPEN A DOOR DOES NOT EXCEED 20N AND DOOR CONTROLS COMPLY WITH CLAUSE 13.5 OF AS1428.1:2009
- PROVISIONS OF A MINIMUM OF 30% LUMINANCE CONTRAST TO IDENTIFY THE LOCATION OF ALL DOORWAYS IN ACCORDANCE WITH SECTION 13.1 OF AS1428.1:2009
- WET AREAS TO BE WATERPROOFED IN ACCORDANCE WITH BCA-F2 AND AS3740-2010.
- ACCESSIBLE AND AMBULANT TOILETS TO COMPLY WITH AS1428.1
- A PAN BACKREST IS INSTALLED COMPLYING WITH AS1428.1:2009 CLAUSE 15.2.4 CAPABLE OF WITHSTANDING A FORCE IN ANY DIRECTION OF 1100N.
- TOILET SEAT WILL BE LOAD-RATED TO 150KG AND HAVE A MINIMUM LUMINANCE CONTRAST OF 30% WITH THE BACKGROUND (i.e. PAN AND FLOOR)
- PROVISION OF AN IN-USE INDICATOR AND BOLT OR CATCH, WHERE A SNIB CATCH IS USED, THE SNIB HANDLE SHALL HAVE A MINIMUM LENGTH OF 45MM FROM CENTRE OF THE SPINDLE. IN AN EMERGENCY, THE LATCH MECHANISM SHALL BE OPERABLE FROM THE OUTSIDE.
- OUTDOOR PLAY SPACES WILL HAVE A SAFETY BARRIER WHICH COMPLIES WITH AS1926.1
- ALL SARKING USED IN EXTERNAL WALLS TO HAVE A FLAMMABILITY INDEX NOT GREATER THAN 5, AND A THICKNESS NOT EXCEEDING 1MM.
- ALL EXTERNAL FENCES AND GATES TO BE INSTALLED IN ACCORDANCE WITH THE APPROVED ACOUSTIC REPORT, WHERE APPLICABLE.
- STAIR CONSTRUCTION TO COMPLY WITH BCA D3D14, D3D15, D3D17, D3D22, AS1428.1:2009 AND AS1170
- STAIR BALUSTRADE CONSTRUCTION TO COMPLY WITH BCA D3D17, D3D21 AND AS1170
- STORMWATER DRAINAGE SYSTEM WILL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH AS3600.3



**1** Ground Floor  
1 : 100

**PRELIMINARY**

WORK IN PROGRESS ISSUE

Rev.	Amendment	Date
P1	ISSUED FOR APPROVAL	28/03/2024
P2	FIRE TRACK CHANGE	17/06/2024
P3	SUBDIVISION	24/06/2024
P4	LAYOUT CHANGES	16/07/2024
P5	CARPARK REVISED	07/08/2024
P6	ISSUED FOR APPROVAL	26/09/2024



ON Architecture Pty Ltd abn 71 627 522 043  
242 Angas Street, Adelaide SA 5000  
Troy Owen 0822 225 858 Mark Neill 0852 680 486  
t.owen@onarchitecture.com.au m.neill@onarchitecture.com.au

Project  
**ACCORD EDEN STIRLING**  
35 PARATOO ROAD, STIRLING CCC

Drawing  
**GROUND FLOOR REFLECTED CEILING PLAN**

Scale As indicated  
Drawn AR  
Date 26/09/2024  
Job No. 202400038  
Dwg No. **A202** Rev: **P6** A1 SHEET







**CEILING LEGEND**

- XXX  
00R CEILING TYPE  
CEILING HEIGHT / RAKING
- CONC. PAINTED SURFACE TO UNDERSIDE OF SLAB
- CT 1200 x 600 ACOUSTIC CEILING TILE
- PB 13MM FLUSH PLASTERBOARD TO CEILING STRUCTURE
- PB-F 13MM FLUSH PLASTERBOARD TO CEILING STRUCTURE
- MR 13MM FLUSH PLASTERBOARD TO CEILING TO ALL WET AREAS TO AS3740 FIXED TO CEILING STRUCTURE
- FC 9MM FIBRE CEMENT SHEETING TO CEILING STRUCTURE WITH EXPRESSED JOINTS
- FR 13MM FLUSH PLASTERBOARD ON 3 LAYERS OF 16mm FIRESTOP PLASTERBOARD
- NC NO CEILING
- J-BH JOINERY BULKHEAD
- BH PLASTERBOARD FRAMED BULKHEAD
- K10 45MM KINGSFAN KOOLTHERM - K10 SOFFIT BOARD R 2.05

**INSULATION:**  
PROVIDE R3.2 BULK INSULATION TO ALL CEILINGS WITH THERMAL BREAK, AS PER ENGERGY CONSULTANTS REPORT.

**GENERAL NOTES**

1. GLAZING WILL BE CONSTRUCTED IN ACCORDANCE WITH AS1288:2016
2. GLAZING ASSEMBLIES WILL BE ASSEMBLED AND INSTALLED IN ACCORDANCE WITH AS204
3. TERMITE PROTECTION WILL BE SELECTED AND INSTALLED IN ACCORDANCE WITH CURRENT AS3660.1
4. FIRE HAZARD PROPERTIES OF WALL, FLOOR AND CEILING CEILING LININGS, THE AIR-CONDITIONING DUCT WORK WILL COMPLY WITH CLAUSE C2D11 AND SPECIFICATION 7 OF BCA 2022
5. DOOR HARDWARE TO REQUIRED EXIT DOORS IN PATHS OF TRAVEL WILL BE OPERABLE IN ACCORDANCE WITH BCA-D3.26
6. THE REQUIRED FORCE TO HOLD AND OPEN A DOOR DOES NOT EXCEED 20N AND DOOR CONTROLS COMPLY WITH CLAUSE 13.5 OF AS1428 1:2009
7. PROVISIONS OF A MINIMUM OF 30% LUMINANCE CONTRAST TO IDENTIFY THE LOCATION OF ALL DOORWAYS IN ACCORDANCE WITH SECTION 13.1 OF AS1428 1:2009
8. WET AREAS TO BE WATERPROOFED IN ACCORDANCE WITH BCA-F2 AND AS3740:2010.
9. ACCESSIBLE AND AMBULANT TOILETS TO COMPLY WITH AS1428.1
10. A PAN BACKREST IS INSTALLED COMPLYING WITH AS1428 1:2009 CLAUSE 15.2.4 CAPABLE OF WITHSTANDING A FORCE IN ANY DIRECTION OF 1100N.
11. TOILET SEAT WILL BE LOAD-RATED TO 150KG AND HAVE A MINIMUM LUMINANCE CONTRAST OF 30% WITH THE BACKGROUND (i.e. PAN AND FLOOR).
12. PROVISION OF AN IN-USE INDICATOR AND BOLT OR CATCH, WHERE A SNIB CATCH IS USED, THE SNIB HANDLE SHALL HAVE A MINIMUM LENGTH OF 45MM FROM CENTRE OF THE SPINDLE, IN AN EMERGENCY, THE LATCH MECHANISM SHALL BE OPERABLE FROM THE OUTSIDE.
13. OUTDOOR PLAY SPACES WILL HAVE A SAFETY BARRIER WHICH COMPLIES WITH AS1928.1
14. ALL SARKING USED IN EXTERNAL WALLS TO HAVE A FLAMMABILITY INDEX NOT GREATER THAN 5, AND A THICKNESS NOT EXCEEDING 1MM.
15. ALL EXTERNAL FENCES AND GATES TO BE INSTALLED IN ACCORDANCE WITH THE APPROVED ACOUSTIC REPORT, WHERE APPLICABLE.
16. STAIR CONSTRUCTION TO COMPLY WITH BCA D3D14, D3D15, D3D17, D3D22, AS1428 1:2009 AND AS1170
17. STAIR BALUSTRADE CONSTRUCTION TO COMPLY WITH BCA D3D17, D3D21 AND AS1170
18. STORMWATER DRAINAGE SYSTEM WILL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH AS3500.3

**PRELIMINARY**

WORK IN PROGRESS ISSUE

Rev	Amendment	Date
P1	ISSUED FOR APPROVAL	28/03/2024
P2	FIRE TRACK CHANGE	17/06/2024
P3	SUBDIVISION	24/06/2024
P4	LAYOUT CHANGES	16/07/2024
P5	UPDATED LAYOUT	23/07/2024
P6	CARPARK REVISED	07/08/2024
P7	ISSUED FOR APPROVAL	26/09/2024



ON Architecture Pty Ltd abn 71 627 522 043  
242 Angas Street, Adelaide SA 5000  
Troy Owen 0422 225 858 Mark Neill 0452 680 486  
t.owen@onarchitecture.com.au m.neill@onarchitecture.com.au

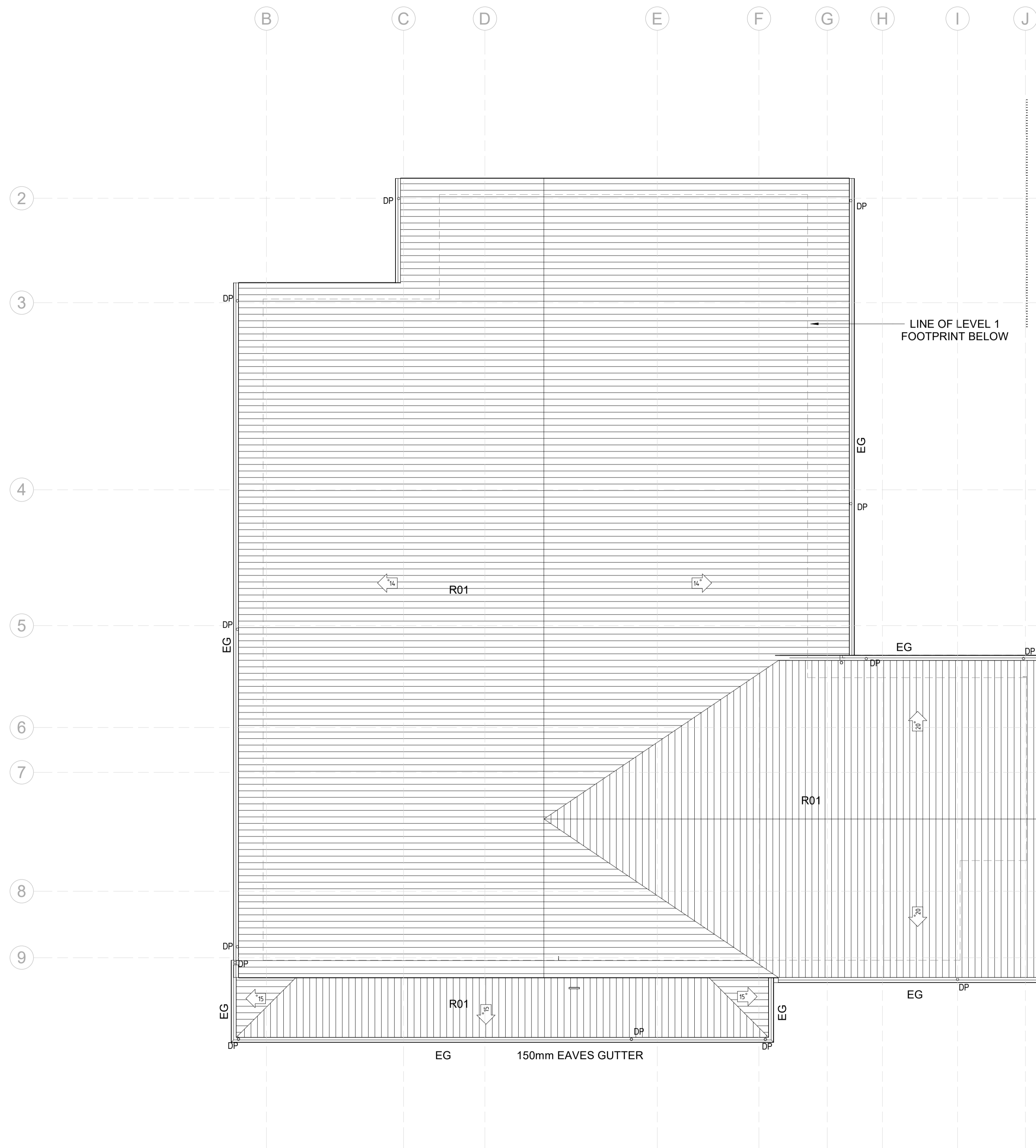
Project  
**ACCORD EDEN STIRLING**  
35 PARATOO ROAD, STIRLING CCC

Drawing  
FIRST FLOOR REFLECTED CEILING PLAN

Scale As indicated  
Drawn AR  
Date 26/09/2024  
Job No. 202400038  
Dwg No. **A203** Rev: **P7** A1 SHEET

**1 First Floor**  
1 : 100





**1** Roof  
1 : 100

**ROOF LEGEND**

- ROOF CLADDING COLORBOND FINISH  
CUSTOM METAL DECK
- ROOF PITCH AND FALL DIRECTION
- ROOF PITCH AND FALL DIRECTION
- CON** CONCRETE LID TO LIFT SHAFT
- R01** ROOF CLADDING
- AP** APRON FLASHING - MECH SERVICES
- BC** BARGE CAPPING
- BG** BOX GUTTER
- DP** DOWNPIPE 90°/2
- DP+S** DOWNPIPE 90°/2 AND SPREADER
- EG** EAVES GUTTER
- EJ** GUTTER EXPANSION JOINT
- FL** FLASHING
- GS** GUTTER SUMP
- HP** HIP FLASHING
- OF** BOX GUTTER OVERFLOW
- PC** PARAPET CAPPING
- VAL** VALLEY GUTTER
- VENT** SERVICES VENT

**GENERAL ROOF NOTES:**

- PROVIDE FLASHINGS ON ALL ROOF PENETRATIONS - REFER TO SERVICES DRAWINGS ALSO FOR EXTENT OF PENETRATIONS REQUIRED.
- PROVIDE INSULATION AND THERMAL BREAKS AS PER ENERGY CONSULTANTS DOCUMENTATION.

**ROOF SAFETY SYSTEM**

ROOF SAFETY TO BE DMC APPROACH BY TENDERERS. TENDERERS TO SEEK DESIGNS BY ROOF SAFETY SUB CONTRACTORS AS PART OF TENDER & SUBMIT DESIGN & PRICE AS PART OF TENDER PACKAGE.

- SUPPLY INSTALL ROOF ACCESS SYSTEM TO PROVIDE SAFE ACCESS FOR ROOF AND ROOF PLANT MAINTENANCE, IF ANY REQUIRED.
- ROOF SAFETY SYSTEM DESIGN INTENT LADDER BRACKETS TO BE INSTALLED INDISCREET LOCATIONS TO COMPLY WITH AUSTRALIAN STANDARDS ROOF ACCESS REQUIREMENTS.
- STATIC LINE AND HOOK ON ACCESS POINTS TO BE POSITIONED TO COMPLY WITH AUSTRALIAN STANDARDS ROOF ACCESS REQUIREMENTS.
- IF MECHANICAL PLANT ON ROOF PROVIDE WALKWAYS TO ACCESS AND MAINTAIN.
- GENERALLY NO STAIR AND SAFETY RAIL REQUIRED.

**NOTE: REFER TO ENGINEERS DOCUMENTATION FOR ROOF FRAMING AND STRUCTURAL DESIGNS.**

**PRELIMINARY**

WORK IN PROGRESS ISSUE

Rev.	Amendment	Date
P1	ISSUED FOR APPROVAL	28/03/2024
P2	FIRE TRACK CHANGE	17/06/2024
P3	SUBDIVISION	24/06/2024
P4	LAYOUT CHANGES	16/07/2024
P5	CARPARK REVISED	07/08/2024
P6	ISSUED FOR APPROVAL	26/09/2024

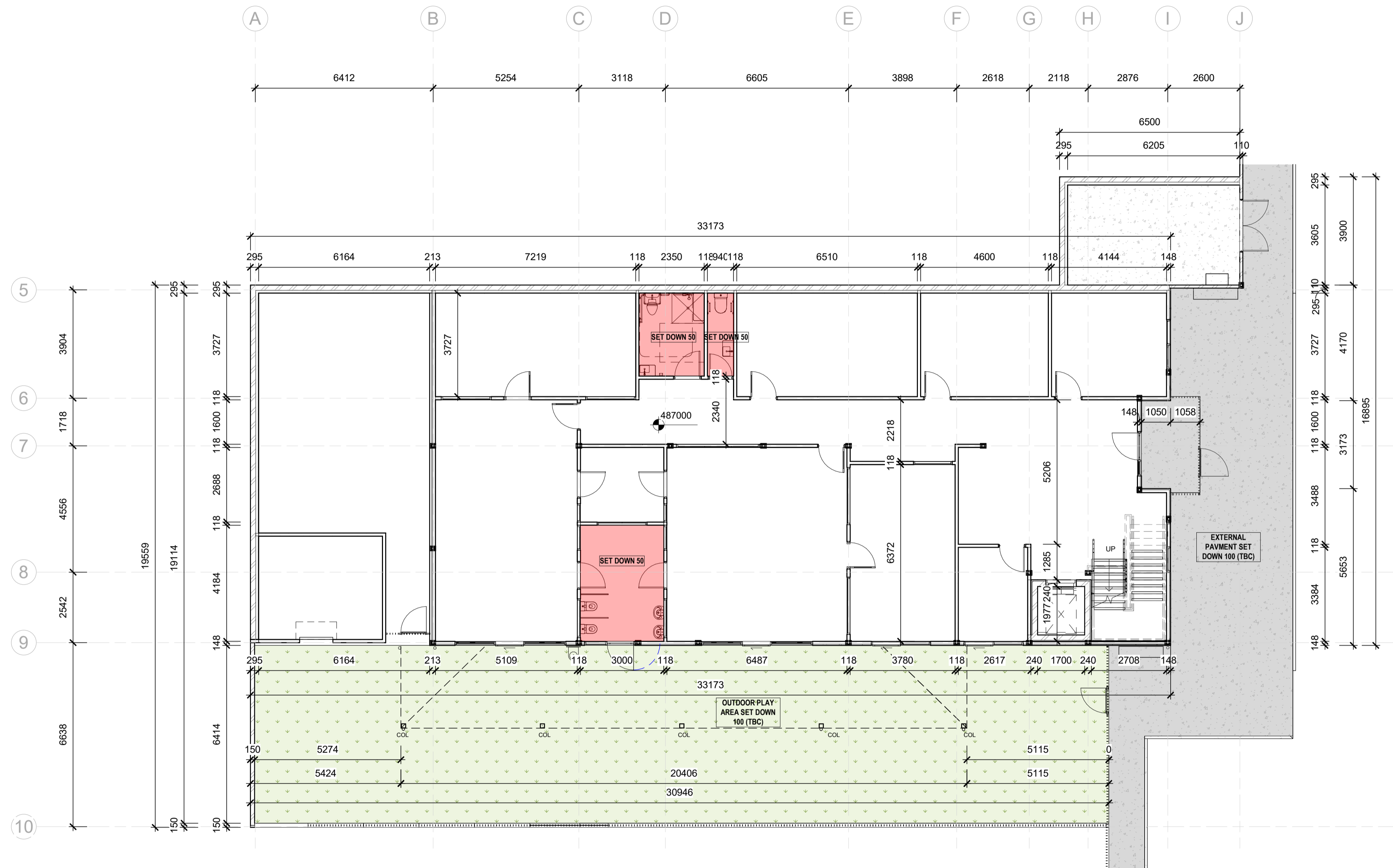


ON Architecture Pty Ltd abn 71 627 522 043  
242 Angas Street, Adelaide SA 5000  
Troy Owen 0822 225 858 Mark Meild 0822 680 486  
t.owen@onarchitecture.com.au m.meild@onarchitecture.com.au

Project  
**ACCORD EDEN STIRLING**  
35 PARATOO ROAD, STIRLING CCC

Drawing  
ROOF PLAN

Scale 1 : 100  
Drawn Author  
Date 26/09/2024  
Job No. 202400038  
Dwg No. **A204** Rev: **P6** A1 SHEET



**1** Ground Floor Setout  
1 : 100

**PRELIMINARY**  
WORK IN PROGRESS ISSUE

Rev.	Amendment	Date
P1	ISSUED FOR APPROVAL	28/03/2024
P2	FIRE TRACK CHANGE	17/06/2024
P3	SUBDIVISION	24/06/2024
P4	LAYOUT CHANGES	16/07/2024
P5	ISSUED FOR PRELIMINARY	26/07/2024
P6	CARPARK REVISED	07/08/2024
P7	ISSUED FOR APPROVAL	26/09/2024



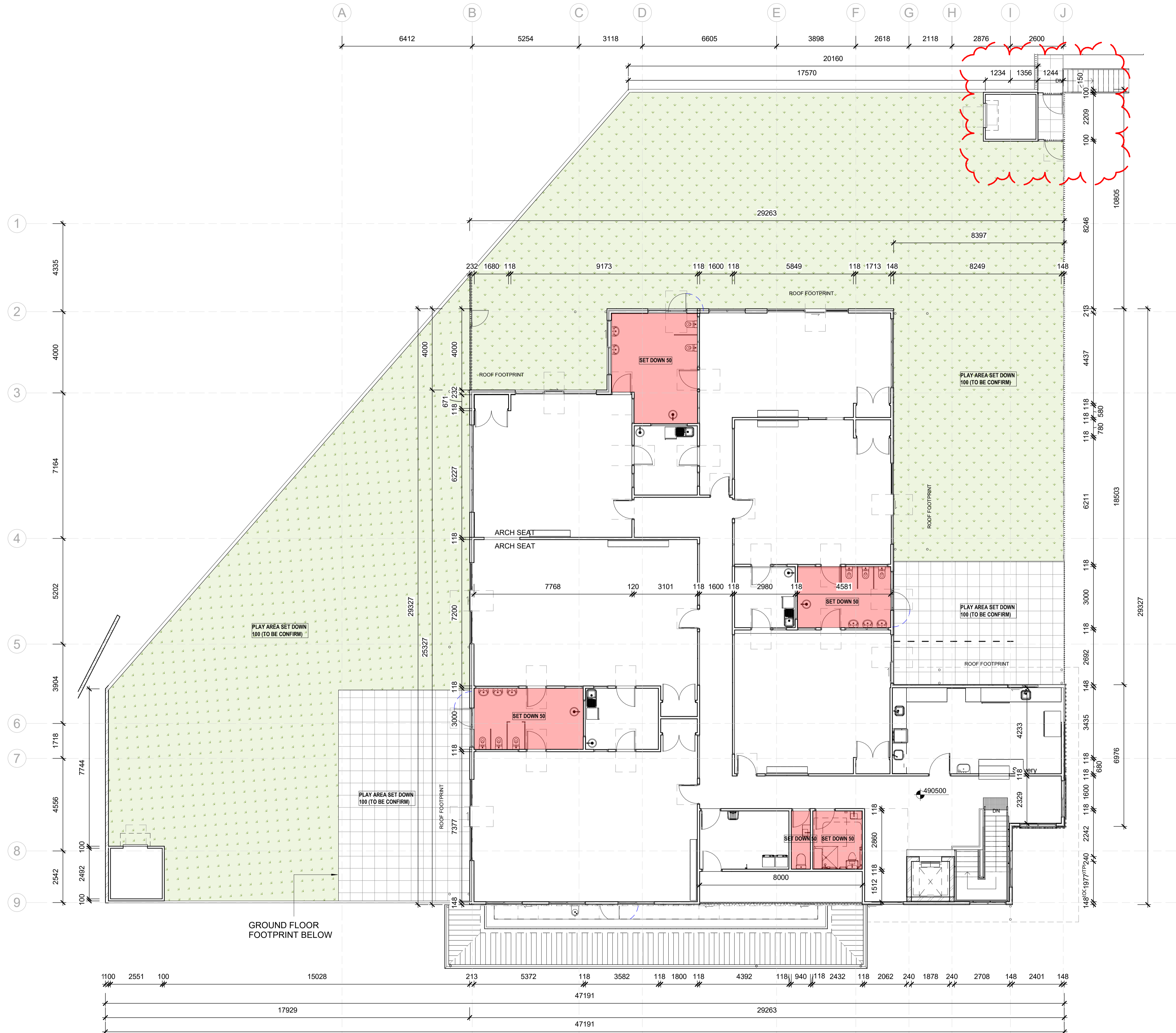
ON Architecture Pty Ltd abn 71 627 522 043  
242 Angas Street, Adelaide SA 5000  
Troy Owen 0852 225 858 Mark Field 0852 680 486  
t.owen@onarchitecture.com.au m.field@onarchitecture.com.au

Project  
**ACCORD EDEN STIRLING**  
35 PARATOO ROAD, STIRLING CCC

Drawing  
GROUND FLOOR SETOUT PLAN

Scale 1 : 100  
Drawn AR  
Date 26/09/2024  
Job No. 202400038  
Dwg No. **A205** Rev: **P7** A1 SHEET





**1** First Floor Setout  
1 : 100

**PRELIMINARY**  
WORK IN PROGRESS ISSUE

Rev.	Amendment	Date
P1	ISSUED FOR APPROVAL	28/03/2024
P2	FIRE TRACK CHANGE	17/06/2024
P3	SUBDIVISION	24/06/2024
P4	LAYOUT CHANGES	16/07/2024
P5	UPDATED LAYOUT	23/07/2024
P6	CARPARK REVISED	07/08/2024
P7	ISSUED FOR APPROVAL	26/09/2024

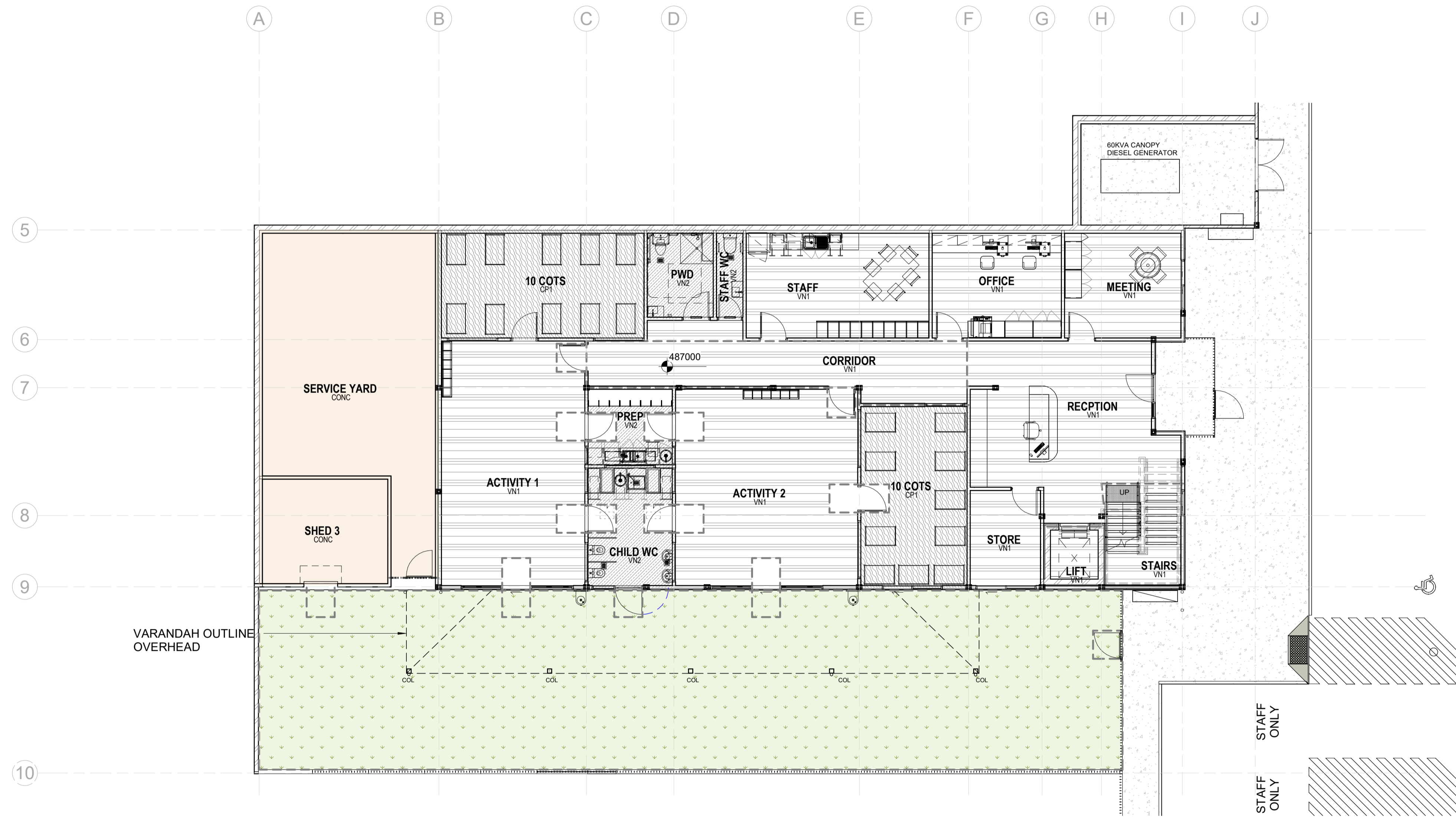


ON Architecture Pty Ltd abn 71 627 522 043  
242 Angas Street, Adelaide SA 5000  
Troy Owen 0432 225 858 Mark Meid 0432 680 486  
t.owen@onarchitecture.com.au m.meid@onarchitecture.com.au

Project  
**ACCORD EDEN STIRLING**  
35 PARATOO ROAD, STIRLING CCC

Drawing  
FIRST FLOOR SETOUT PLAN

Scale 1 : 100  
Drawn AR  
Date 26/09/2024  
Job No. 202400038  
Dwg No. **A206** Rev: **P7** A1 SHEET



- CONC CONCRETE - OUTDOOR STORE
- CP1 CARPET TYPE 1 - RECEPTION, ST/COMMS, PARENTS, OFFICE, PLANNING, SLEEP ROOM
- VN1 VINYL TYPE 1 - FOYER, CORRIDOR, ACTIVITY ROOMS, STAFF
- VN2 VINYL TYPE 2 - WET AREA

**1** Ground Floor Finish  
1 : 100

**PRELIMINARY**

WORK IN PROGRESS ISSUE

Rev.	Amendment	Date
P1	ISSUED FOR APPROVAL	28/03/2024
P2	FIRE TRACK CHANGE	17/06/2024
P3	SUBDIVISION	24/06/2024
P4	LAYOUT CHANGES	16/07/2024
P5	CARPARK REVISED	07/08/2024
P6	ISSUED FOR APPROVAL	26/09/2024



ON Architecture Pty Ltd abn 71 627 522 043  
242 Angas Street, Adelaide SA 5000  
Troy Owen 0452 225 858 Mark Meild 0452 680 486  
t.owen@onarchitecture.com.au m.meild@onarchitecture.com.au

Project  
**ACCORD EDEN STIRLING**  
35 PARATOO ROAD, STIRLING CCC

Drawing  
GROUND FLOOR FINISHES PLAN

Scale 1 : 100  
Drawn AR  
Date 26/09/2024  
Job No. 202400038  
Dwg No. **A207** Rev: **P6** A1 SHEET





- CONC CONCRETE - OUTDOOR STORE
- VN1 VINYL TYPE 1 - FOYER, CORRIDOR, ACTIVITY ROOMS, STAFF
- VN2 VINYL TYPE 2 - WET AREA
- VN3 VINYL TYPE 3 - KITCHEN

**PRELIMINARY**  
WORK IN PROGRESS ISSUE

Rev.	Amendment	Date
P1	ISSUED FOR APPROVAL	28/03/2024
P2	FIRE TRACK CHANGE	17/06/2024
P3	SUBDIVISION	24/06/2024
P4	LAYOUT CHANGES	16/07/2024
P5	CARPARK REVISED	07/08/2024
P6	ISSUED FOR APPROVAL	26/09/2024



ON Architecture Pty Ltd abn 71 627 522 043  
242 Angas Street, Adelaide SA 5000  
Troy Owen 0432 225 858 Mark Meild 0432 680 486  
t.owen@onarchitecture.com.au m.meild@onarchitecture.com.au

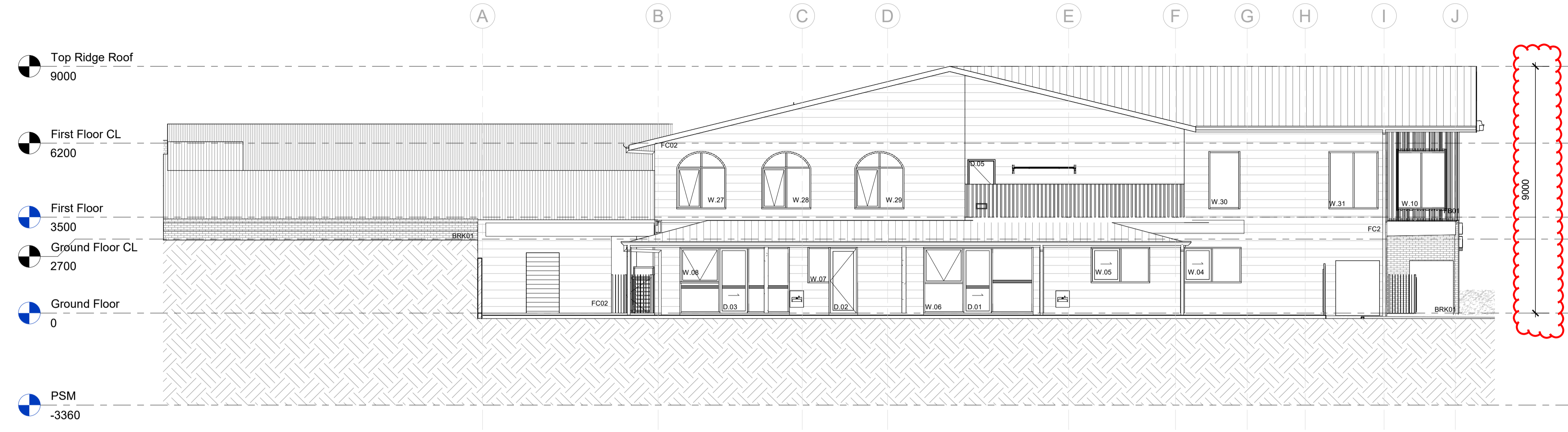
Project  
**ACCORD EDEN STIRLING**  
35 PARATOO ROAD, STIRLING CCC

Drawing  
FIRST FLOOR FINISHES PLAN

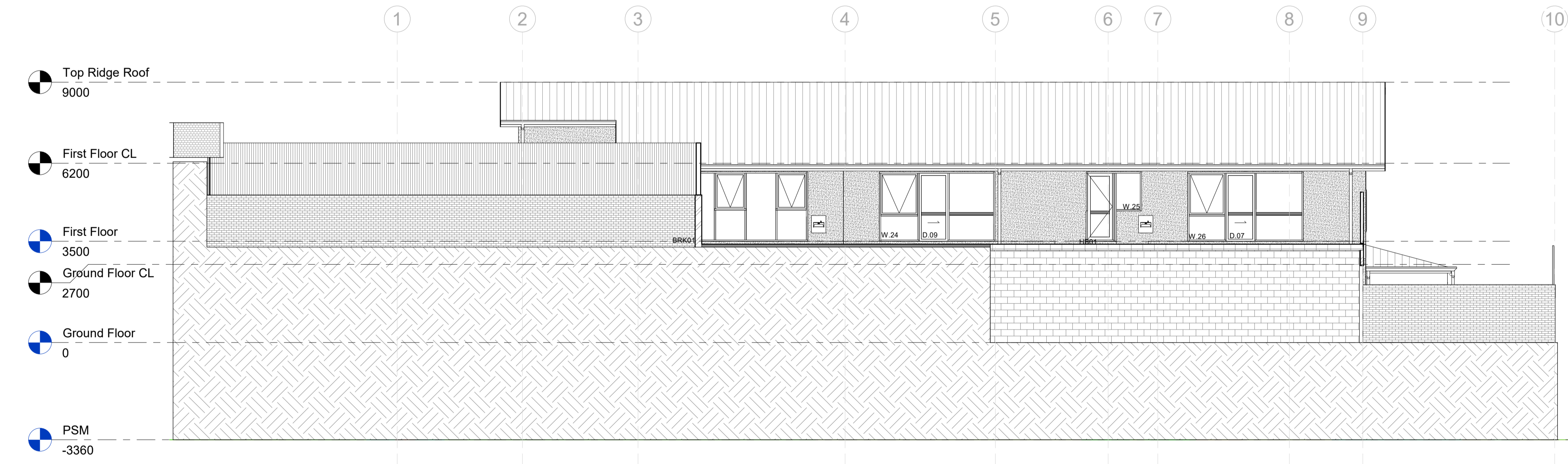
Scale 1 : 100  
Drawn Author  
Date 26/09/2024  
Job No. 202400038  
Dwg No. **A208** Rev: **P6** A1 SHEET

**1 First Floor Finish**  
1 : 100





**1 South Elevation**  
1 : 100



**2 West Elevation**  
1 : 100

**GENERAL NOTES**

- GLAZING WILL BE CONSTRUCTED IN ACCORDANCE WITH AS1288-2006
- GLAZING ASSEMBLIES WILL BE ASSEMBLED AND INSTALLED IN ACCORDANCE WITH AS204
- TERMITE PROTECTION WILL BE SELECTED AND INSTALLED IN ACCORDANCE WITH CURRENT AS3660.1
- FIRE HAZARD PROPERTIES OF WALL, FLOOR AND CEILING LININGS, THE AIR-CONDITIONING DUCT WORK WILL COMPLY WITH CLAUSE C2D11 AND SPECIFICATION 7 OF BCA 2022
- DOOR HARDWARE TO REQUIRED EXIT DOORS IN PATHS OF TRAVEL WILL BE OPERABLE IN ACCORDANCE WITH BCA-D3.26
- THE REQUIRED FORCE TO HOLD AND OPEN A DOOR DOES NOT EXCEED 20N AND DOOR CONTROLS COMPLY WITH CLAUSE 13.5 OF AS1428.1-2009
- PROVISIONS OF A MINIMUM OF 30% LUMINANCE CONTRAST TO IDENTIFY THE LOCATION OF ALL DOORWAYS IN ACCORDANCE WITH SECTION 13.1 OF AS1428.1-2009
- WET AREAS TO BE WATERPROOFED IN ACCORDANCE WITH BCA-F2 AND AS3740-2010.
- ACCESSIBLE AND AMBULANT TOILETS TO COMPLY WITH AS1428.1
- A PAN BACKREST IS INSTALLED COMPLYING WITH AS1428.1-2009 CLAUSE 15.2.4 CAPABLE OF WITHSTANDING A FORCE IN ANY DIRECTION OF 1100N.
- TOILET SEAT WILL BE LOAD-RATED TO 150KG AND HAVE A MINIMUM LUMINANCE CONTRAST OF 30% WITH THE BACKGROUND (i.e. PAN AND FLOOR).
- PROVISION OF AN IN-USE INDICATOR AND BOLT OR CATCH WHERE A SNIB CATCH IS USED, THE SNIB HANDLE SHALL HAVE A MINIMUM LENGTH OF 45MM FROM CENTRE OF THE SPINDLE. IN AN EMERGENCY, THE LATCH MECHANISM SHALL BE OPERABLE FROM THE OUTSIDE.
- OUTDOOR PLAY SPACES WILL HAVE A SAFETY BARRIER WHICH COMPLIES WITH AS1926.1
- ALL SARKING USED IN EXTERNAL WALLS TO HAVE A FLAMMABILITY INDEX NOT GREATER THAN 5, AND A THICKNESS NOT EXCEEDING 10MM.
- ALL EXTERNAL FENCES AND GATES TO BE INSTALLED IN ACCORDANCE WITH THE APPROVED ACOUSTIC REPORT, WHERE APPLICABLE.
- STAIR CONSTRUCTION TO COMPLY WITH BCA D3D14, D3D15, D3D17, D3D22, AS1428.1-2009 AND AS1170
- STAIR BALUSTRADE CONSTRUCTION TO COMPLY WITH BCA D3D17, D3D21 AND AS1170
- STORMWATER DRAINAGE SYSTEM WILL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH AS3500.3

**ELEVATION LEGEND**

- HBI** CSR HEBEL CLADDING, (RUN VERTICALLY)
- FC2** JAMES HARDIE LINEA WEATHERBOARD CLADDING, 150mm SMOOTH
- BRK01** 110mm STANDARD BRICK EXTERNAL LEAF, PGM MORADA COLLECTION - GENZIA
- FB01** JAMES HARDIE TIMBER BATTENS
- BLC01** 190mm STANDARD MASONRY BLOCK EXTERNAL, MIDLAND BRICKS AND BLOCKS

**KEYNOTE LEGEND**

- W.G.01** WINDOW NUMBER (LEVEL/NO)
- D01** DOOR TYPE
- AC** AIR CONDITIONING UNIT
- BAL** BALUSTRADE
- BOL** BOLLARD
- COL** COLUMN
- COL FR** COLUMN - FIRE RATED
- CS** CLEANER'S SINK
- CS1** CLOTHES LINE, WALL MOUNTED
- DB** DISTRIBUTION BOARD
- DF** DRINKING FOUNTAIN
- DP** DOWNPIPE TYPE
- FE** FIRE EXTINGUISHER & FIRE BLANKET
- GB** GARDEN BED
- LK1** LOCKERS
- SWS** SEWER STACK
- TI** TACTILE INDICATORS
- WS** WHEEL STOP
- FHR** FIRE HOSE REEL
- CM** COMMUNICATION RACK
- EXIT** SUPPLY AND INSTALL PROPRIETARY BRILLE EXIT SIGNAGE AS BELOW ON THE WALL ON THE LATCH SIDE OF THE DOOR WITH THE LEADING EDGE OF THE SIGN LOCATED BETWEEN 50 MM AND 300 MM FROM THE ARCHITRAVE, IN ACCORDANCE WITH BCA D3.6 & E4.5

**Exit Ground**

**PRELIMINARY**

WORK IN PROGRESS ISSUE

Rev.	Amendment	Date
P1	ISSUED FOR APPROVAL	28/03/2024
P2	FIRE TRACK CHANGE	17/06/2024
P3	SUBDIVISION	24/06/2024
P4	LAYOUT CHANGES	16/07/2024
P5	CARPARK REVISED	07/08/2024
P6	ISSUED FOR APPROVAL	26/09/2024



ON Architecture Pty Ltd abn 71 627 522 043  
242 Angas Street, Adelaide SA 5000  
Troy Owen 0822 225 858 Mark Meid 0853 680 486  
t.owen@onarchitecture.com.au m.meid@onarchitecture.com.au

Project  
**ACCORD EDEN STIRLING**  
35 PARATOO ROAD, STIRLING CCC

Drawing  
ELEVATIONS - BUILDING

Scale As indicated  
Drawn AR  
Date 26/09/2024  
Job No. 202400038  
Dwg No. **A300** Rev: **P6** A1 SHEET



**GENERAL NOTES**

- GLAZING WILL BE CONSTRUCTED IN ACCORDANCE WITH AS1288-2006
- GLAZING ASSEMBLIES WILL BE ASSEMBLED AND INSTALLED IN ACCORDANCE WITH AS204
- TERMITE PROTECTION WILL BE SELECTED AND INSTALLED IN ACCORDANCE WITH CURRENT AS3660.1
- FIRE HAZARD PROPERTIES OF WALL, FLOOR AND CEILING CEILING LINKS, THE AIR-CONDITIONING DUCT WORK WILL COMPLY WITH CLAUSE C2D11 AND SPECIFICATION 7 OF BCA 2022
- DOOR HARDWARE TO REQUIRED EXIT DOORS IN PATHS OF TRAVEL WILL BE OPERABLE IN ACCORDANCE WITH BCA-03.26
- THE REQUIRED FORCE TO HOLD AND OPEN A DOOR DOES NOT EXCEED 20N AND DOOR CONTROLS COMPLY WITH CLAUSE 13.5 OF AS1428.1-2009. PROVISIONS OF A MINIMUM OF 30% LUMINANCE CONTRAST TO IDENTIFY THE LOCATION OF ALL DOORWAYS IN ACCORDANCE WITH SECTION 13.1 OF AS1428.1-2009
- WET AREAS TO BE WATERPROOFED IN ACCORDANCE WITH BCA-F2 AND AS3740-2010.
- ACCESSIBLE AND AMBULANT TOILETS TO COMPLY WITH AS1428.1
- A PAN BACKREST IS INSTALLED COMPLYING WITH AS1428.1-2009 CLAUSE 15.2.4 CAPABLE OF WITHSTANDING A FORCE IN ANY DIRECTION OF 1100N.
- TOILET SEAT WILL BE LOAD-RATED TO 150KG AND HAVE A MINIMUM LUMINANCE CONTRAST OF 30% WITH THE BACKGROUND (i.e. PAN AND FLOOR).
- PROVISION OF AN IN-USE INDICATOR AND BOLT OR CATCH, WHERE A SMOKE CATCH IS USED, THE SMOKE HANDLE SHALL HAVE A MINIMUM LENGTH OF 45MM FROM CENTRE OF THE SPINDLE. IN AN EMERGENCY, THE LATCH MECHANISM SHALL BE OPERABLE FROM THE OUTSIDE.
- OUTDOOR PLAY SPACES WILL HAVE A SAFETY BARRIER WHICH COMPLIES WITH AS1926.1
- ALL SARKING USED IN EXTERNAL WALLS TO HAVE A FLAMMABILITY INDEX NOT GREATER THAN 5, AND A THICKNESS NOT EXCEEDING 1MM.
- ALL EXTERNAL FENCES AND GATES TO BE INSTALLED IN ACCORDANCE WITH THE APPROVED ACOUSTIC REPORT, WHERE APPLICABLE.
- STAIR CONSTRUCTION TO COMPLY WITH BCA D3D14, D3D15, D3D17, D3D22, AS1428.1-2009 AND AS1170
- STAIR BALUSTRADE CONSTRUCTION TO COMPLY WITH BCA D3D17- D3D21 AND AS1170
- STORMWATER DRAINAGE SYSTEM WILL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH AS3500.3

**ELEVATION LEGEND**

- HB1** CSR HEBEL CLADDING, (RUN VERTICALLY)
- FC2** JAMES HARDIE LINEA WEATHERBOARD CLADDING, 150mm SMOOTH
- BRK01** 110mm STANDARD BRICK EXTERNAL LEAF, PGH MORADA COLLECTION - CENZIA
- FBR** JAMES HARDIE TIMBER BATTENS
- BLCK1** 190mm STANDARD MASONRY BLOCK EXTERNAL, MIDLAND BRICKS AND BLOCKS

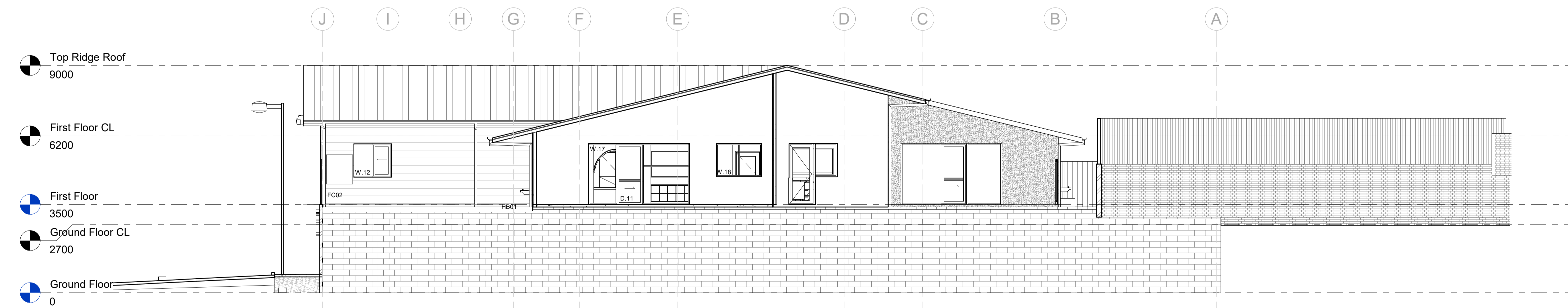
**KEYNOTE LEGEND**

- W.G.01** WINDOW NUMBER (LEVEL/NO) DOOR TYPE
- AC** AIR CONDITIONING UNIT
- BAL** BALUSTRADE
- BOL** BOLLARD
- COL** COLUMN
- COL FR** COLUMN - FIRE RATED
- CS** CLEANERS SINK
- CS1** CLOTHES LINE, WALL MOUNTED
- DB** DISTRIBUTION BOARD
- DF** DRINKING FOUNTAIN
- DP** DOWNPIPE TYPE
- FE** FIRE EXTINGUISHER & FIRE BLANKET
- GB** GARDEN BED
- LK1** LOCKERS
- SWS** SEWER STACK
- TI** TACTILE INDICATORS
- WS** WHEEL STOP
- FR** FIRE HOSE REEL
- CM** COMMUNICATION RACK
- EXIT** SUPPLY AND INSTALL PROPRIETARY BRAILLE EXIT SIGNAGE AS BELOW ON THE WALL ON THE LATCH SIDE OF THE DOOR WITH THE LEADING EDGE OF THE SIGN LOCATED BETWEEN 50 MM AND 300 MM FROM THE ARCHITRAVE. IN ACCORDANCE WITH BCA D3.6 & E4.5

**Exit Ground**



**1 East Elevation**  
1 : 100



**2 North Elevation**  
1 : 100

**PRELIMINARY**

WORK IN PROGRESS ISSUE

Rev.	Amendment	Date
P1	ISSUED FOR APPROVAL	28/03/2024
P2	FIRE TRACK CHANGE	17/06/2024
P3	SUBDIVISION	24/06/2024
P4	LAYOUT CHANGES	16/07/2024
P5	CARPARK REVISED	07/08/2024
P6	ISSUED FOR APPROVAL	26/09/2024



ON Architecture Pty Ltd abn 71 627 522 043  
242 Angas Street, Adelaide SA 5000  
Troy Owen 0422 225 858 Mark Meild 0452 680 486  
t.owen@onarchitecture.com.au m.meild@onarchitecture.com.au

Project  
**ACCORD EDEN STIRLING**  
35 PARATOO ROAD, STIRLING CCC

Drawing  
ELEVATIONS - BUILDING

Scale As indicated  
Drawn AR  
Date 26/09/2024  
Job No. 202400038  
Dwg No. **A301** Rev: **P6** A1 SHEET



**FIRE RATING NOTE**

- ALL GROUND FLOOR COLUMNS AND ANY MEMBERS PROVIDED DIRECT VERTICAL OR LATERAL SUPPORT FOR COLUMNS TO BE **FIRE RATED: 120/-** FLOOR AND FLOOR BEAMS AND ALL THE SUPPORT PARTS REQUIRE HIGHER FIRE RATED LEVEL TO BE **FIRE RATED: 120/-**. ALL EXTERNAL WALL TO BE NON-COMBUSTIBLE IN ACCORDANCE WITH NCC PART C2/D10

**CEILING LEGEND**

- XXX DOOR CEILING TYPE CEILING HEIGHT / RAKING
- CONC. PAINTED SURFACE TO UNDERSIDE OF SLAB
- CT 1200 x 600 ACOUSTIC CEILING TILE
- PB 13MM FLUSH PLASTERBOARD TO CEILING STRUCTURE
- PB-F 13MM FLUSH PLASTERBOARD TO CEILING STRUCTURE
- MR 13MM FLUSH PLASTERBOARD TO CEILING TO ALL WET AREAS TO AS3740 FIXED TO CEILING STRUCTURE
- FC 9MM FIBRE CEMENT SHEETING TO CEILING STRUCTURE WITH EXPRESSED JOINTS
- FR 13MM FLUSH PLASTERBOARD ON 3 LAYERS OF 16mm FIRESTOP PLASTERBOARD
- NC NO CEILING
- J-BH JOINERY BULKHEAD
- BH PLASTERBOARD FRAMED BULKHEAD
- K10 45MM KINGSPAN KOOLTHERM - K10 SOFFIT BOARD R 2.05

**INSULATION:**  
PROVIDE R3.2 BULK INSULATION TO ALL CEILING WITH THERMAL BREAK, AS PER ENERGY CONSULTANTS REPORT.

**KEYNOTE LEGEND**

- W.G.01 WINDOW NUMBER (LEVEL/NO)
- D01 DOOR TYPE
- AC AIR CONDITIONING UNIT
- BAL BALUSTRADE
- BOL BOLLARD
- COL COLUMN
- COL FR COLUMN - FIRE RATED
- CS CLEANER'S SINK
- CS1 CLOTHES LINE, WALL MOUNTED
- DB DISTRIBUTION BOARD
- DF DRINKING FOUNTAIN
- DP DOWNPIPE TYPE
- FE FIRE EXTINGUISHER & FIRE BLANKET
- GB GARDEN BED
- LKI LOCKERS
- SWS SEWER STACK
- TI TACTILE INDICATORS
- WS WHEEL STOP
- FHR FIRE HOSE REEL
- CM COMMUNICATION RACK

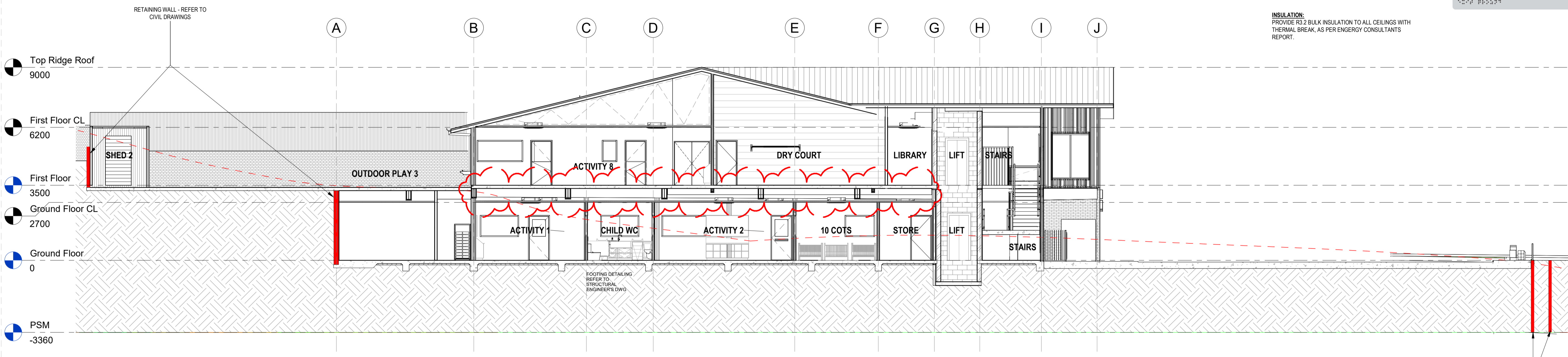
**EXIT**  
SUPPLY AND INSTALL PROPRIETARY BRILLE EXIT SIGNAGE AS BELOW ON THE WALL ON THE LATCH SIDE OF THE DOOR WITH THE LEADING EDGE OF THE SIGN LOCATED BETWEEN 50 MM AND 300 MM FROM THE ARCHITRAVE, IN ACCORDANCE WITH BCA D3.6 & E4.5

**WALL TYPES SCHEDULE**

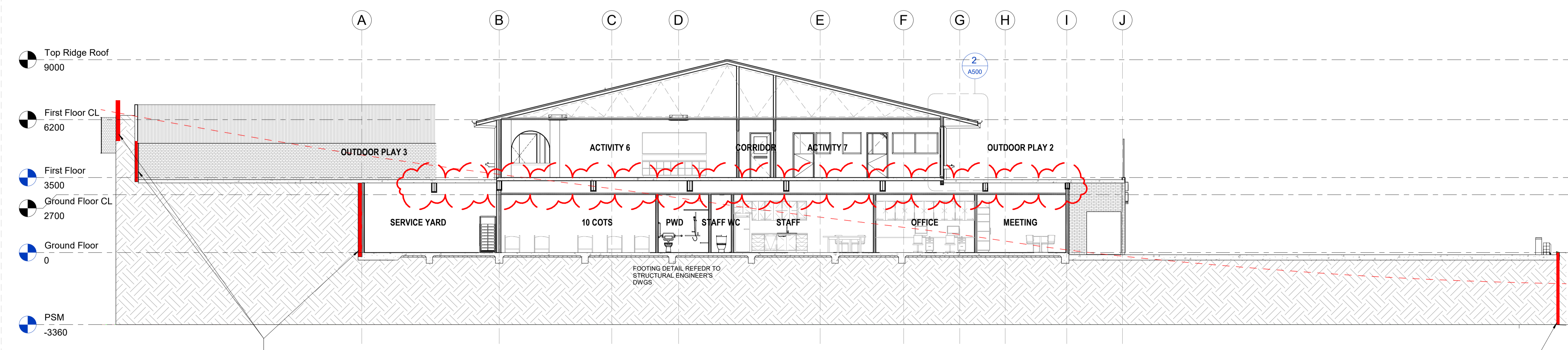
- HB01 HEBEL EXTERNAL WALL (EDEN COLOUR)  
75mm HEBEL PANEL WITH RENDE FINISH 35mm TOP HAT 90mm STEEL STUDS, R2.5 INSULATION TO STUDS, 13mm PLASTERBOARD (MR TO WET AREAS)
- HB02 HEBEL EXTERNAL WALL (EDEN COLOUR)  
75mm HEBEL PANEL WITH RENDE FINISH 35mm TOP HAT 90mm STEEL STUDS, R2.5 INSULATION TO STUDS, 2X15mm GYPROCK FYCHEK PLASTERBOARD (MR TO WET AREAS)  
**FRL : 120/120/120**
- WT02 LIGHT WEIGHT EXTERNAL WALL (WEATHERBOARD)  
16mm WEATHERBOARD DIRECT FIXED TO STUD, 90mm STEEL STUDS, R2.5 INSULATION TO STUDS, 13mm PLASTERBOARD (MR TO WET AREAS)
- WT03 LIGHTWEIGHT EXTERNAL WALL (BATTENS)  
KNOTWOOD 25x50mm BATTEN FIXED TO WALL (75mm CTS, REFER ELEVATIONS)  
JAMES HARDIE EASYLAP PANEL ON FURRINGS, INSTALLED TO MANUF. REQ., WITH THERMAL BREAK  
90mm STEEL STUDS, R2.5 INSULATION TO STUDS, 13mm PLASTERBOARD (MR TO WET AREAS)
- SF04 STEEL FRAMED INTERNAL WALL  
90mm STEEL STUDS WITH 90mm R2.5 INSULATION BOTH SIDES 13mm PLASTERBOARD (MR TO WET) NOTE - THIS APPLIES TO ALL INTERNAL WALLS, CODES NOT SHOWN ON PLANS FOR CLARITY
- BR01 EXTERNAL WALL - BRICK MASONRY 110/48/213  
110mm STANDARD BRICK EXTERNAL LEAF, PGH MORADA COLLECTION - CEINZA 40MM THERMAL BREAK AND SARKING  
92mm STEEL STUD INTERNAL LEAF W/ R2.0 INSULATION AS PER ENERGY CONSULTANTS DOCUMENTATION, 13mm PLASTERBOARD (MR TO WET AREAS) WITH PAINT FINISH AS SPECIFIED.
- MB06 EXTERNAL WALL - MASONRY BLOCK  
150mm STANDARD BLOCK EXTERNAL MIDLAND BRICK COLLECTION  
92mm STEEL STUD INTERNAL LEAF W/ R2.0 INSULATION AS PER ENERGY CONSULTANTS DOCUMENTATION, 13mm PLASTERBOARD (MR TO WET AREAS) WITH PAINT FINISH AS SPECIFIED.

**EXTERNAL WALL MATERIALS NOTE:**  
ALL EXTERNAL WALL TYPES MUST HAVE BEEN TESTED TO AS1530.1

**GENERAL NOTE:**  
MASTIC BEAD AT BOTTOM OF ALL FC SHEETS EXTERNALLY TO CREATE SMOOTH FINISH  
OPENING TO BE PROTECTED IN ACCORDANCE WITH BCA-C4D5



**1 Section 1**  
1 : 100



**2 Section 2**  
1 : 100

**PRELIMINARY**

WORK IN PROGRESS ISSUE

Rev.	Amendment	Date
P1	ISSUED FOR APPROVAL	28/03/2024
P2	FIRE TRACK CHANGE	17/06/2024
P3	SUBDIVISION	24/06/2024
P4	LAYOUT CHANGES	16/07/2024
P5	CARPARK REVISED	07/08/2024
P6	REVISED WALL TYPE & SECTIONS	13/08/2024
P7	ISSUED FOR APPROVAL	26/09/2024



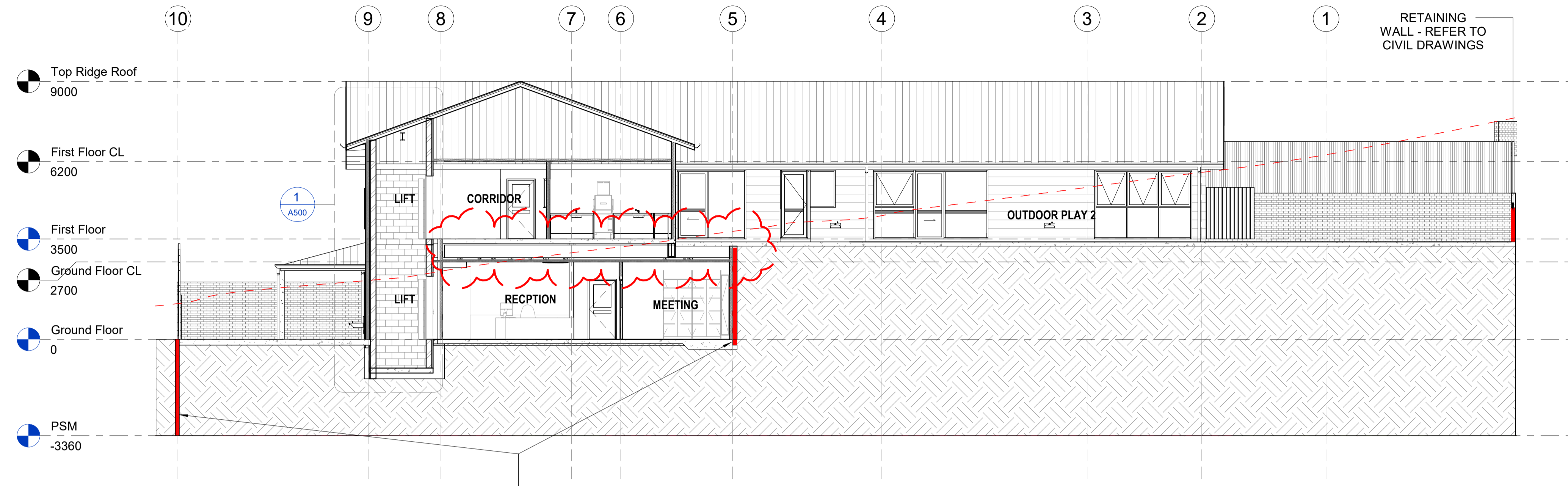
ON Architecture Pty Ltd abn 71 627 522 043  
242 Angas Street, Adelaide SA 5000  
Troy Owen 0422 225 858 Mark Meid 0413 680 486  
t.owen@onarchitecture.com.au m.meid@onarchitecture.com.au

Project  
**ACCORD EDEN STIRLING**  
35 PARATOO ROAD, STIRLING CCC

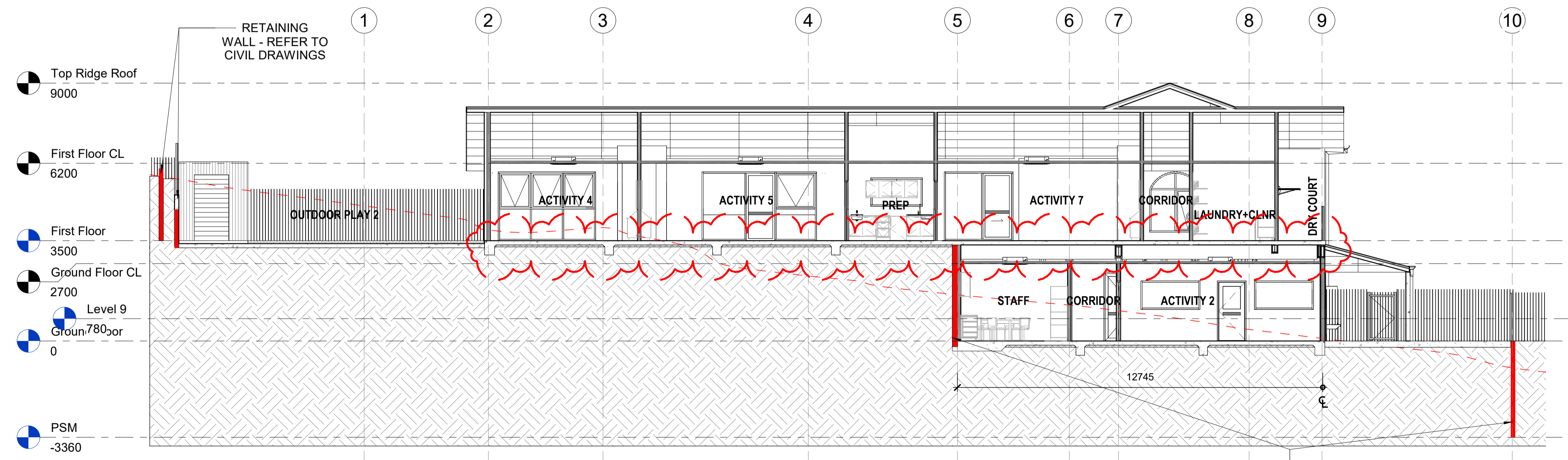
Drawing  
SECTIONS

Scale As indicated  
Drawn AR  
Date 26/09/2024  
Job No. 202400038  
Dwg No. **A400** Rev: **P7** A1 SHEET





**3 Section 3**  
1 : 100



**4 Section 4**  
1 : 100

**KEYNOTE LEGEND**

- W.G.01 WINDOW NUMBER (LEVEL/NO)
- D01 DOOR TYPE
- AC AIR CONDITIONING UNIT
- BAL BALUSTRADE
- BOL BOLLARD
- COL COLUMN
- COL FR COLUMN - FIRE RATED
- CS CLEANER'S SINK
- CS1 CLOTHES LINE, WALL MOUNTED
- DB DISTRIBUTION BOARD
- DF DRINKING FOUNTAIN
- DP DOWNPIPE TYPE
- FE FIRE EXTINGUISHER & FIRE BLANKET
- GB GARDEN BED
- LK1 LOCKERS
- SWS SEWER STACK
- TI TACTILE INDICATORS
- WS WHEEL STOP
- FHR FIRE HOSE REEL
- CM COMMUNICATION RACK
- EXIT EXIT

**Exit Ground**

**CEILING LEGEND**

- XXX CEILING TYPE
- 00R CEILING HEIGHT / RAKING
- CONC. PAINTED SURFACE TO UNDERSIDE OF SLAB
- CT 1200 x 600 ACOUSTIC CEILING TILE
- PB 13MM FLUSH PLASTERBOARD TO CEILING STRUCTURE
- PB-F 13MM FLUSH PLASTERBOARD TO CEILING STRUCTURE
- MR 13MM FLUSH PLASTERBOARD TO CEILING TO ALL WET AREAS TO ASS740 FIXED TO CEILING STRUCTURE
- FC 9MM FIBRE CEMENT SHEETING TO CEILING STRUCTURE WITH EXPRESSED JOINTS
- FR 13MM FLUSH PLASTERBOARD ON 3 LAYERS OF 16mm FIRESTOP PLASTERBOARD
- NC NO CEILING
- J-BH JOINERY BULKHEAD
- BH PLASTERBOARD FRAMED BULKHEAD
- K10 45MM KINGSPAN KOOL THERM - K10 SOFFIT BOARD R 2.05

**INSULATION:**  
PROVIDE R3.2 BULK INSULATION TO ALL CEILINGS WITH THERMAL BREAK, AS PER ENERGENCY CONSULTANTS REPORT.

**FIRE RATEING NOTE**

- ALL GROUND FLOOR COLUMNS AND ANY MEMBERS PROVIDED DIRECT VERTICAL OR LATERAL SUPPORT FOR COLUMNS TO BE **FIRE RATED: 120/-**.
- FLOOR AND FLOOR BEAMS AND ALL THE SUPPORT PARTS REQUIRE HIGHER FIRE RATED LEVEL TO BE **FIRE RATED: 120/-**.
- ALL EXTERNAL WALL TO BE NON-COMBUSTIBLE IN ACCORDANCE WITH NCC PART C2D10

**WALL TYPES SCHEDULE**

- HB01** HEBEL EXTERNAL WALL (EDEN COLOUR)  
75mm HEBEL PANEL WITH RENDE FINISH 35mm TOP HAT 90mm STEEL STUDS, R2.5 INSULATION TO STUDS, 13mm PLASTERBOARD (MR TO WET AREAS)
- HB02** HEBEL EXTERNAL WALL (EDEN COLOUR)  
75mm HEBEL PANEL WITH RENDE FINISH 35mm TOP HAT 90mm STEEL STUDS, R2.5 INSULATION TO STUDS, 2X16mm GYPROCK F/CHEK PLASTERBOARD (MR TO WET AREAS) R2.5 : 120/-
- WT02** LIGHT WEIGHT EXTERNAL WALL (WEATHERBOARD)  
16mm WEATHERBOARD DIRECT FIXED TO STUD, 90mm STEEL STUDS, R2.5 INSULATION TO STUDS, 13mm PLASTERBOARD (MR TO WET AREAS).
- WT03** LIGHTWEIGHT EXTERNAL WALL (BATTENS)  
KNOTWOOD 25x25mm BATTEN FIXED TO WALL (15mm CTS, REFER ELEVATIONS) JAMES HARDIE EASYLAP PANEL ON FURRINGS, INSTALLED TO MANUF. REQ., WITH THERMAL BREAK, 90mm STEEL STUDS, R2.5 INSULATION TO STUDS, 13mm PLASTERBOARD (MR TO WET AREAS).
- SF04** STEEL FRAMED INTERNAL WALL  
90mm STEEL STUDS WITH 90mm R2.5 INSULATION, BOTH SIDES 13mm PLASTERBOARD (MR TO WET) NOTE - THIS APPLIES TO ALL INTERNAL WALLS. CODES NOT SHOWN ON PLANS FOR CLARITY

- BR01** EXTERNAL WALL - BRICK MASONRY 110/49/2/13  
110mm STANDARD BRICK, EXTERNAL LEAF, PGM MORADA COLLECTION - CENZIA, 40MM THERMAL BREAK AND SARKING, 92mm STEEL STUD INTERNAL LEAF W/ R2.0 INSULATION AS PER ENERGENCY CONSULTANTS DOCUMENTATION, 13mm PLASTERBOARD (MR TO WET AREAS) WITH PAINT FINISH AS SPECIFIED.
- MB06** EXTERNAL WALL - MASONRY BLOCK  
190mm STANDARD BLOCK, EXTERNAL MIDLAND BRICK COLLECTION, 92mm STEEL STUD INTERNAL LEAF W/ R2.0 INSULATION AS PER ENERGENCY CONSULTANTS DOCUMENTATION, 13mm PLASTERBOARD (MR TO WET AREAS) WITH PAINT FINISH AS SPECIFIED.

**EXTERNAL WALL MATERIALS NOTE:**  
ALL EXTERNAL WALL TYPES MUST HAVE BEEN TESTED TO AS1530.1

**GENERAL NOTE:**  
MASTIC BEAD AT BOTTOM OF ALL FC SHEETS EXTERNALLY TO CREATE SMOOTH FINISH OPENING TO BE PROTECTED IN ACCORDANCE WITH BCA-C4D5

**PRELIMINARY**  
WORK IN PROGRESS ISSUE

Rev.	Amendment	Date
P1	ISSUED FOR APPROVAL	28/03/2024
P2	FIRE TRACK CHANGE	17/06/2024
P3	SUBDIVISION	24/06/2024
P4	LAYOUT CHANGES	16/07/2024
P5	CARPARK REVISED	07/08/2024
P6	REVISED WALL TYPE & SECTIONS	13/08/2024
P7	ISSUED FOR APPROVAL	26/09/2024



ON Architecture Pty Ltd abn 71 627 522 043  
242 Angas Street, Adelaide SA 5000  
Troy Owen 0432 225 858 Mark Meild 0432 680 486  
t.owen@onarchitecture.com.au m.meild@onarchitecture.com.au

Project  
**ACCORD EDEN STIRLING**  
35 PARATOO ROAD, STIRLING CCC

Drawing  
**SECTIONS**

Scale As indicated  
Drawn AR  
Date 26/09/2024  
Job No. 202400038  
Dwg No. **A401** Rev: **P7** A1 SHEET



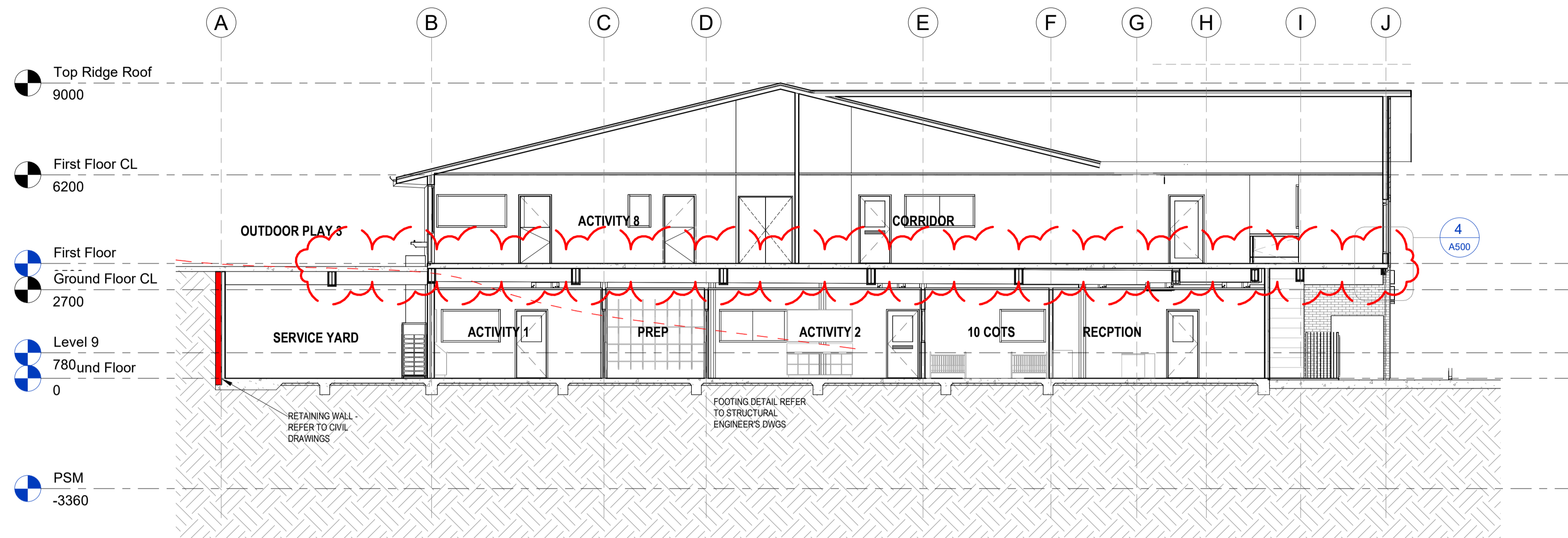
**FIRE RATING NOTE**

- ALL GROUND FLOOR COLUMNS AND ANY MEMBERS PROVIDED DIRECT VERTICAL OR LATERAL SUPPORT FOR COLUMNS TO BE **FIRE RATED: 120/4-**
- FLOOR AND FLOOR BEAMS AND ALL THE SUPPORT PARTS REQUIRE HIGHER FIRE RATED LEVEL TO BE **FIRE RATED: 120/4-**
- ALL EXTERNAL WALL TO BE NON-COMBUSTIBLE IN ACCORDANCE WITH NCC PART C2D10

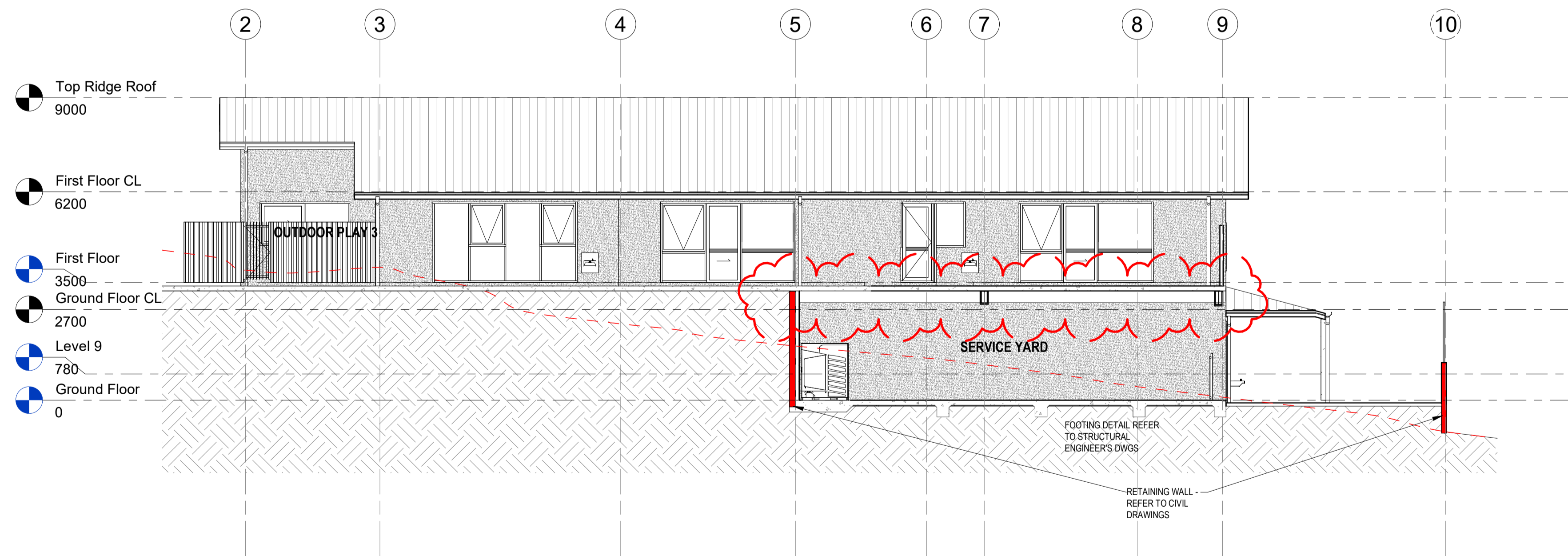
**KEYNOTE LEGEND**

- W.G.01 WINDOW NUMBER (LEVEL/NO)
- D01 DOOR TYPE
- AC AIR CONDITIONING UNIT
- BAL BALUSTRADE
- BOL BOLLARD
- COL COLUMN
- COL FR COLUMN - FIRE RATED
- CS CLEANER'S SINK
- CS1 CLOTHES LINE, WALL MOUNTED
- DB DISTRIBUTION BOARD
- DF DRINKING FOUNTAIN
- DP DOWNPIPE TYPE
- FE FIRE EXTINGUISHER & FIRE BLANKET
- GB GARDEN BED
- LK1 LOCKERS
- SWS SEWER STACK
- TI TACTILE INDICATORS
- WS WHEEL STOP
- FHR FIRE HOSE REEL
- CM COMMUNICATION RACK
- EXIT SUPPLY AND INSTALL PROPRIETARY BRAILLE EXIT SIGNAGE AS BELOW ON THE WALL ON THE LATCH SIDE OF THE DOOR WITH THE LEADING EDGE OF THE SIGN LOCATED BETWEEN 50 MM AND 300 MM FROM THE ARCHITRAVE. IN ACCORDANCE WITH BCA D3.6 & E4.5

**Exit Ground**



**5 Section 5**  
1 : 100



**2 Section 6**  
1 : 100

**PRELIMINARY**  
WORK IN PROGRESS ISSUE

Rev.	Amendment	Date
P1	ISSUED FOR PRELIMINARY	26/07/2024
P2	CARPARK REVISED	07/08/2024
P3	REVISED WALL TYPE & SECTIONS	13/08/2024
P4	ISSUED FOR APPROVAL	26/09/2024

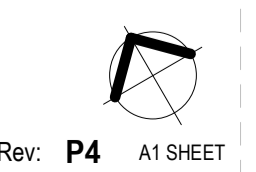


ON Architecture Pty Ltd abn 71 627 522 043  
242 Angas Street, Adelaide SA 5000  
Troy Owen 0432 225 858 Mark Meid 0432 680 486  
t.owen@onarchitecture.com.au m.meid@onarchitecture.com.au

Project  
**ACCORD EDEN STIRLING**  
35 PARATOO ROAD, STIRLING CCC

Drawing  
SECTIONS

Scale As indicated  
Drawn AR  
Date 26/09/2024  
Job No. 202400038  
Dwg No. **A402**



Rev: **P4** A1 SHEET



A large, decorative white line graphic is positioned on the left side of the page. It features a semi-circle at the top, followed by a horizontal line, then a shape resembling a stylized 'S' or a curved line, and finally a large, stylized 'N' shape at the bottom.

**APPENDIX 4**  
**Revised**  
**Landscape Plan**

# Paratoo Road Childcare Centre

## Landscape Design

### Submission:

08 June 2326\_Paratoo Road Childcare Centre\_Landscape Design\_Issue 01

02 August 2326\_Paratoo Road Childcare Centre\_Landscape Design\_Issue 02

25 August 2326\_Paratoo Road Childcare Centre\_Streetscape Perspective\_Issue 01

18 September 2326\_Paratoo Road Childcare Centre\_Landscape Design\_Issue 03

### Client:

**Accord Property**

### Location:

**35 Paratoo Road, Stirling SA 5152**

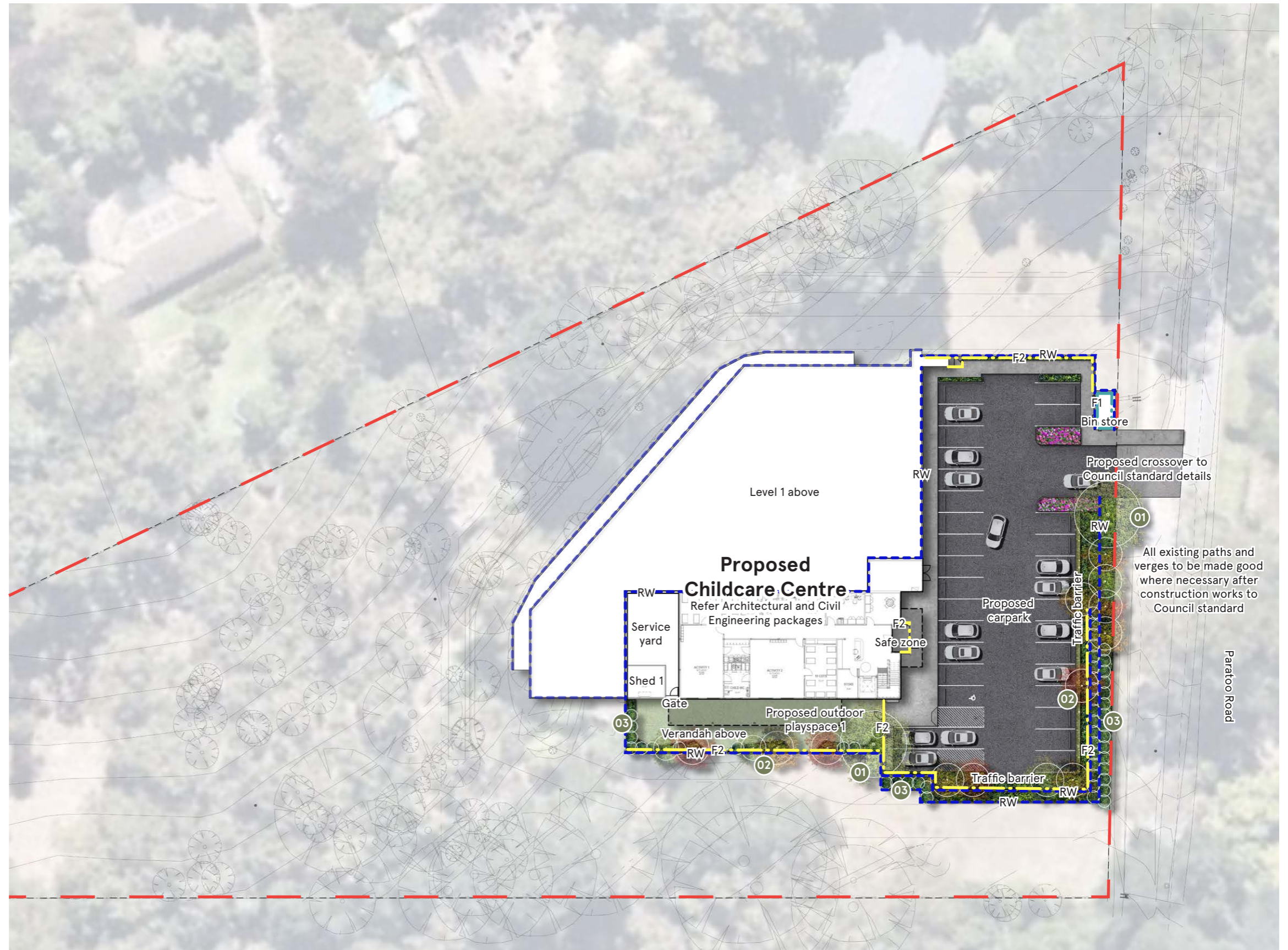
# Contents

- 01 Ground Floor Landscape Design
- 02 First Floor Landscape Design
- 03 Indicative Planting Palette

# 01 Ground Floor Landscape Design

## Legend

- Property boundary
- RW Proposed retaining wall (varying heights)  
Refer Civil Engineering package
- F1 Proposed fencing type 01  
Refer Architectural package
- F2 Proposed fencing type 02  
Refer Architectural package
- Proposed all-weather sealed concrete to all access ways, walkways and footpaths
- Proposed all-weather sealed asphalt to proposed carparks and crossovers
- Proposed mains irrigated assorted species of mass planted low-lying shrubs and groundcovers along car parking areas first 600mm of vehicle overhang to AS2890.1 Clause 2.4.1(a)(i)
- Proposed mains irrigated assorted species of mass planted small shrubs, low-lying shrubs and groundcovers to provide visual amenity to the entry and car park while maintaining clear sightlines
- Proposed mains irrigated assorted species of mass planted medium shrubs, small shrubs, low-lying shrubs and groundcovers to provide visual amenity
- 01 Proposed mains irrigated assorted species of large trees with understory low-lying shrubs and groundcovers to provide visual amenity and shading
- 02 Proposed mains irrigated assorted species of medium and small trees with understory low-lying shrubs and groundcovers to provide visual amenity and minor shading
- 03 Proposed mains irrigated assorted species of large shrubs to provide visual amenity and screening



**Note:**

- Refer to Architectural package for all proposed demolition/modifications and existing trees proposed to be retained/removed
- Refer to Engineering package(s) for any proposed RL's, contours, stormwater connections, pit locations, cut and fill requirements and retaining wall information
- Refer to '03 Indicative Planting Palette' sheet for sample suitable planting types and species
- Planting extents in playspaces to be finalised



Date 18 September 2024  
Scale 1:500  
Sheet A3

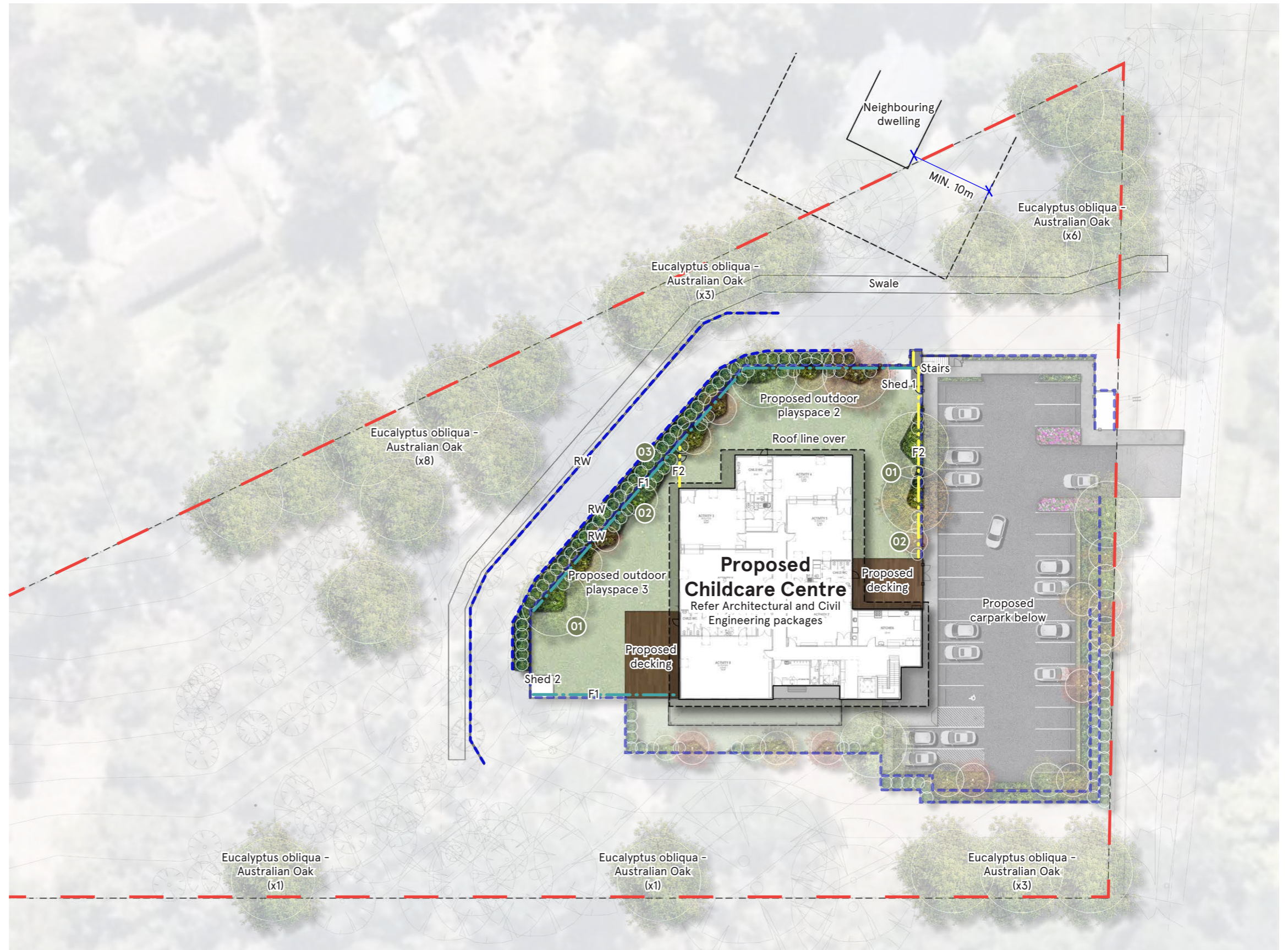
**daStudio**



# 02 First Floor Landscape Design

## Legend

- Property boundary
- RW- Proposed retaining wall (varying heights)  
Refer Civil Engineering package
- F1- Proposed fencing type 01  
Refer Architectural package
- F2- Proposed fencing type 02  
Refer Architectural package
- Proposed mains irrigated assorted species of mass planted medium shrubs, small shrubs, low-lying shrubs and groundcovers to provide visual amenity
- 01 Proposed mains irrigated assorted species of large trees with understory low-lying shrubs and groundcovers to provide visual amenity and shading
- 02 Proposed mains irrigated assorted species of medium and small trees with understory low-lying shrubs and groundcovers to provide visual amenity and minor shading
- 03 Proposed mains irrigated assorted species of large shrubs to provide visual amenity and screening



**Note:**

- Refer to Architectural package for all proposed demolition/modifications and existing trees proposed to be retained/removed
- Refer to Engineering package(s) for any proposed RL's, contours, stormwater connections, pit locations, cut and fill requirements and retaining wall information
- Refer to '03 Indicative Planting Palette' sheet for sample suitable planting types and species
- Planting extents in playspaces to be finalised



Date 18 September 2024  
Scale 1:500  
Sheet A3



# 03 Indicative Planting Palette



## INDICATIVE PLANTING PALETTE

CODE	BOTANICAL NAME	COMMON NAME	SPACING	HEIGHT & WIDTH AT MATURITY (m)
<b>LARGE TREES</b>				
Eo	<i>Eucalyptus obliqua</i>	Australian Oak	As shown	10-20 x 4-10 (H x W)
Ls	<i>Liquidambar styraciflua</i> *	Liquidambar	As shown	20+ x 6 (H x W)
Qc	<i>Quercus coccinea</i> *	Scarlet Oak	As shown	12 x 8 (H x W)
Qr	<i>Quercus robur</i> *	English Oak	As shown	11 x 11 (H x W)
Up	<i>Ulmus parvifolia</i> *	Chinese Elm	As shown	13 x 10 (H x W)
<b>MEDIUM AND SMALL TREES</b>				
An	<i>Acer negundo</i> 'Sensation' *	Box Elder	As shown	9 x 6 (H x W)
Fg	<i>Fraxinus griffithii</i> *	Evergreen Ash	As shown	6-8 x 4 (H x W)
Mi	<i>Malus ioensis</i> 'Plena' *	Iowa Crab Apple	As shown	6 x 4 (H x W)
Pc	<i>Pyrus calleryana</i> 'Chanticleer' *	'Chanticleer' Ornamental Pear	As shown	11 x 6 (H x W)
<b>LARGE SHRUBS</b>				
Ag	<i>Abelia grandiflora</i> *	Glossy Abelia	2000mm	1-2 x 1-2 (H x W)
Nd	<i>Nandina domestica</i> *	Sacred Bamboo	1500mm	1.5-2 x 1-1.5 (H x W)
PJ	<i>Pittosporum</i> 'James Stirling' *	'James Stirling' Pittosporum	1000mm	2-3 x 1 (H x W)
Pe	<i>Pittosporum eugenioides</i> 'Tarata' *	Green Tarata	4000mm	6 x 4 (H x W)
Vo	<i>Viburnum odoratissimum</i> 'Green Emerald' *	Sweet Viburnum	2000mm	3.5-4 x 1.5-2 (H x W)
<b>MEDIUM SHRUBS</b>				
Br	<i>Bauera rubioides</i> *	River Rose	1000mm	0.3-1.5 x 0.5-1 (H x W)
CA	<i>Correa</i> 'Aldgate Pink' *	'Aldgate pink' Correa	3000mm	0.2-1 x 0.6-3 (H x W)
CD	<i>Correa</i> 'Dusky Bells'	'Dusky Bells' Correa	3000mm	0.2-1 x 0.6-3 (H x W)
Dr	<i>Dianella revoluta</i> *	Black-anther Flax-lily	2000mm	0.3-1 x 0.5-2 (H x W)
Pm	<i>Philotheca myoporoides</i> *	Wax Flower	1000mm	0.8-1 x 0.8-1 (H x W)
Ro	<i>Rosmarinus officinalis</i> *	Rosemary	1000mm	1-1.5 x 0.8-1 (H x W)
Wf	<i>Westringia fruticosa</i>	Coastal Rosemary	1000mm	0.8-1 x 0.8-1 (H x W)
<b>SMALL SHRUBS</b>				
Bm	<i>Brachyscome multifida</i>	Cut Leaf Daisy	600mm	0.3-0.4 x 0.5-0.6 (H x W)
Dc	<i>Dianella caerulea</i> 'Little Jess'	'Little Jess' Dianella	400mm	0.3-0.4 x 0.3-0.4 (H x W)
Lm	<i>Lomandra multiflora</i>	Mat-rush	1500mm	0.2-0.3 x 0.5-1.5 (H x W)
SM	<i>Scaevola</i> 'Mauve Clusters'	Fan Flower	800mm	0.3-0.5 x 0.7-0.8 (H x W)
<b>LOW-LYING SHRUBS AND GROUNDCOVERS</b>				
Ca	<i>Chrysocephalum apiculatum</i>	Common Everlasting	400mm	0.1-0.2 x 0.3-0.4 (H x W)
Eg	<i>Eremophila glabra</i> 'Kalbarri Carpet'	Common Emu Bush	2000mm	0.1-0.2 x 1-2 (H x W)
Kp	<i>Kennedia prostrata</i>	Running Postman	4000mm	0-0.1 x 1-4 (H x W)
Mp	<i>Myoporum parvifolium</i>	Creeping Boobialla	3000mm	0.15-0.3 x 3 (H x W)

\* Endorsed by local Council

### Note:

- Indicative palette to showcase potential, suitable planting opportunities only
- Planting types, species, number of selections and spacings to be finalised
- Planting selections and pot sizes subject to location and supplier availability



**daStudio**


76 McLaren Street  
Adelaide SA 5000

(08) 7078 8110

[hello@das-studio.com.au](mailto:hello@das-studio.com.au)

[das-studio.com.au](https://das-studio.com.au)



A decorative white line graphic that starts as a semi-circle on the left, transitions into a horizontal line, and then continues as a series of geometric shapes including a semi-circle, a vertical rectangle, and a trapezoid on the right.

**APPENDIX 5**  
**Native**  
**Vegetation Data**  
**Report**

# Native Vegetation Clearance

## 35 Paratoo Road, Stirling Data Report

Clearance under the *Native Vegetation Regulations 2017*

August 2024

Prepared by Jeremy Ross-Carter



Copyright: This document is copyright. No part of this document may be reproduced or provided in any manner to any third party without the consent of Jeremy Ross-Carter.

Document Control:

Project: **Native Vegetation Clearance Assessment Data Report: 35 Paratoo Road, Stirling**

Client: Accord Property

Document Number: AP\_001

Version: 1.1

Assessor and Author: Jeremy Ross-Carter

Disclaimer and limitations: In compiling this report, the author has relied upon certain information and data provided by the client and other external sources. Where such information and data has been used, it has been assumed the information is correct unless otherwise stated. No responsibility is accepted by Jeremy Ross-Carter for incomplete or inaccurate information and data provided by others.

Any assessment made in this document are based solely on the information and data provided by published sources, the client and the existence of conditions and information made at the time of the site assessment and investigation. No warranty and guarantee, either expressed or implied, is made with respect to the information and data reported or to the findings, observations and conclusions expressed in this report.

This report has been prepared on the behalf of and for the exclusive use of the client and is subject to and issued in connection with the provisions of the agreement between Jeremy Ross-Carter and the client. Jeremy Ross-Carter accepts no liability or responsibility whatsoever for or in respect of any use or reliance upon this report by any third party.



# Table of contents

- 1. Application information .....4
- 2. Purpose of clearance.....5
- 3. Method .....7
- 4. Assessment Outcomes .....8
- 5. Clearance summary ..... 22
- 6. Significant Environmental Benefit..... 23
- 7. Appendices..... 24

# 1. Application information

## Application Details

Applicant:	Accord Property		
Key contact:	Robert Gagetti - Ekistics Planning and Design. Email: <a href="mailto:rgagetti@ekistics.com.au">rgagetti@ekistics.com.au</a>		
Landowner:	Accord Property		
Site Address:	35 Paratoo Road, Stirling SA 5152		
Local Government Area:	Adelaide Hills Council	Hundred:	Noarlunga
Title ID:	CT/5767/919	Parcel ID	F210897 A111

## Summary of proposed clearance

Purpose of clearance	Clearance required for the construction of a fire access track as part of the proposed childcare centre.
Native Vegetation Regulation	Regulation 9(2), Schedule 1; clause 22 – Fire access tracks
Description of the vegetation under application	9 Messmate Stringybark ( <i>Eucalyptus obliqua</i> ) and 1 Blackwood ( <i>Acacia melanoxylon</i> )
Total proposed clearance	10 scattered trees are proposed to be cleared.
Level of clearance	Level 2. May be escalated to Level 3 due to cumulative impacts with previous Application 2023_3272.
Overlay (Planning and Design Code)	Native Vegetation Overlay

### Map of proposed clearance area



Mitigation hierarchy	The applicant advised that the proposed fire access track was designed to avoid native vegetation where possible while still meeting the requirements of the National Construction Code. In addition, the applicant engaged Ecological Tree Consulting to complete an Arboricultural Impact Assessment and Tree Protection Plan for the site. The purpose of the assessment was to identify native vegetation where impacts will be unavoidable as part of the development and prepare a Tree Protection Plan to identify vegetation that can be retained. The Tree Protection Plan provides construction methodology to protect these nominated trees in accordance with AS 4970-2009 Protection of Trees on Development Sites. The nominated trees will be retained using tree sensitive development
----------------------	--

	activities and protections where required. As a result, 23 trees will avoid being impacted and be retained as part of the proposed development.
SEB Offset proposal	Payment of \$43,097.38

## 2. Purpose of clearance

### 2.1 Description

Jeremy Ross-Carter was commissioned by Accord Property to conduct a native vegetation clearance assessment for the construction of a fire access track as part of the proposed childcare centre at 35 Paratoo Road, Stirling (Map 1) and to assess the proposed clearance envelope against the Clearance Requirements of the *Native Vegetation Act 1991* and *Native Vegetation Regulations 2017*.

### 2.2 Background

The vegetation under application is located within the Uraidla IBRA Associations of South Australia.

The landform in the Uraidla IBRA Association is described as hilly uplands on sandstone shale dominated with parklands and orchards in an urban and urban fringe setting. Approximately 26% of the Uraidla IBRA Association is mapped as remnant native vegetation.

The property is located in an urban setting in the Central Adelaide Hills Region. Land use of the subject land is zoned as rural residential. The surrounding properties are zones as residential and education (NatureMaps 2024).

### 2.3 Details of the proposal

The applicant is proposing to construct a fire access track as part of the proposed childcare centre at 35 Paratoo Road, Stirling.

A previous application to clear vegetation (Application 2023\_3272) for the construction of the childcare centre and other associated infrastructure provided consent to remove 20 trees.

However, recently the Building Code of Australia (BCA) was amended to include additional requirements to address fire hazard for childcare centre's located within a Hazards (Bushfire – Medium Risk) Area. As a result, the development will now require a fire access track around the building for Building Consent to be granted. Refer to Appendix 1. 35 Paratoo Rd Stirling\_Tree Protection Impact Plan for further details.

As part of the development, Accord Property engaged Ecological Tree Consulting to complete an Arboricultural Impact Assessment and Tree Protection Plan for the site. The Arboricultural Impact Assessment and Tree Protection Plan highlighted 10 scattered native trees that will be impacted by the construction of the fire access track (Refer to Appendix 2\_35 Paratoo Rd Stirling\_Arboricultural Impact Assessment and Tree Protection Plan for further details).

### 2.4 Approvals required or obtained

- *Native Vegetation Act 1991*:
  - Consent to clear 20 scattered trees were granted as part of Application 2023\_3272 for the construction of the childcare centre and other associated infrastructure.
  - Consent to clear native vegetation for the fire access track is subject to this data report.
- Planning, Development and Infrastructure Act 2016: Development Application Number: 23018174.

### 2.5 Native Vegetation Regulation

Regulation 9(2), Schedule 1; clause 22 – Fire access tracks: To allow clearance for the establishment or maintenance of a fire access track constructed for use by vehicles undertaking firefighting activities.

**Note:** No applicable Bushfire Management Plan has been developed for the site. However, as noted above, there is a mandated requirement under the BCA for the installation of a fire access track at childcare centre's which has been approved by the CFS.

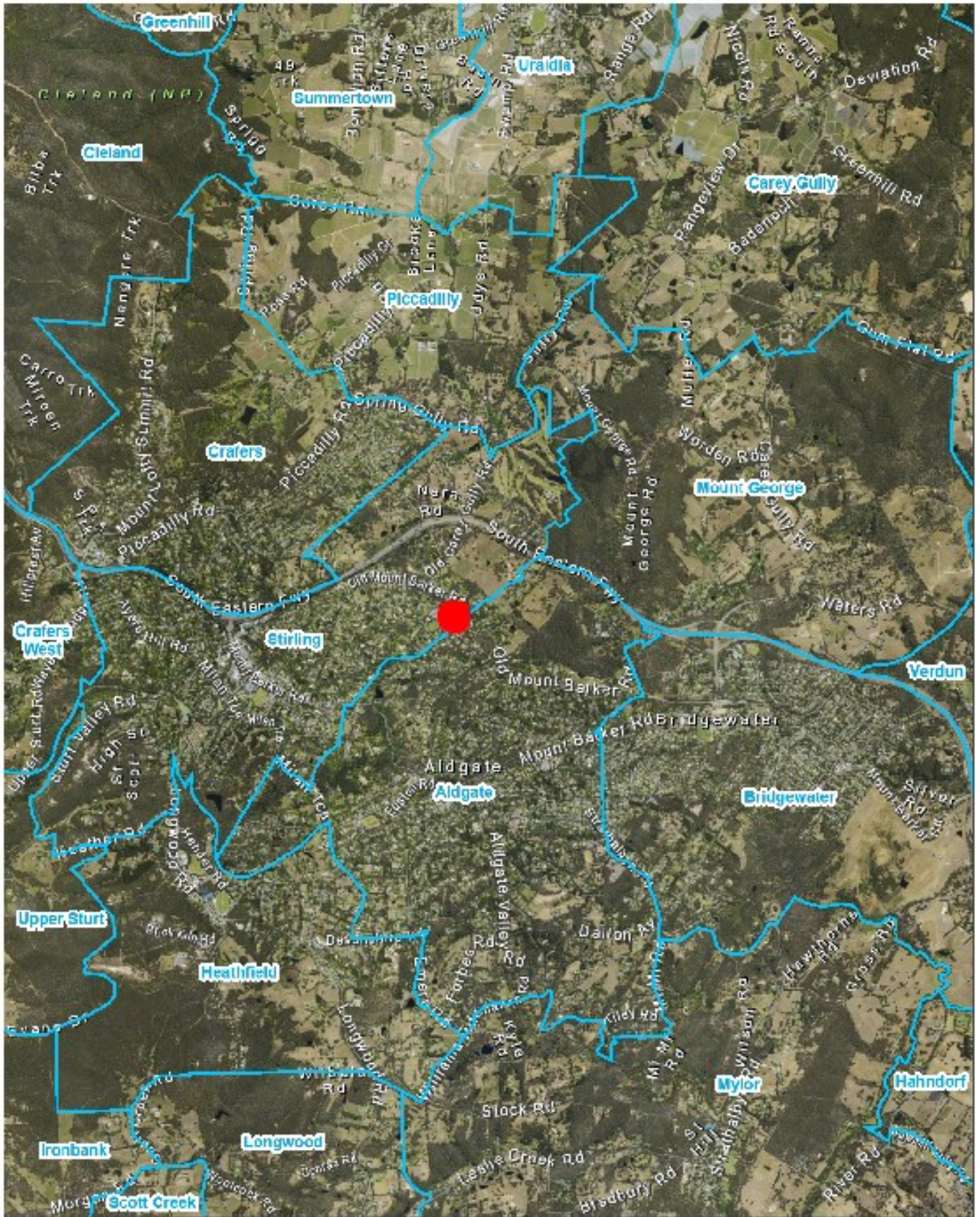
Development of the fire access track is in association with the proposed childcare centre (Regulation 12, Schedule 1; clause 33, House or Buildings).

### 2.6 Development Application information (if applicable)

Native Vegetation Overlay.



# Map 1. Location of 35 Paratoo Road, Stirling



Map data is compiled from a variety of sources and hence its accuracy is variable.

Copyright © Department for Environment and Water 2024. All Rights Reserved. All works and information displayed are subject to Copyright. For the reproduction or publication beyond that permitted by the Copyright Act 1968 (Cth) written permission must be sought from the Department. Although every effort has been made to ensure the accuracy of the information displayed, the Department, its agents, officers and employees make no representations, either express or implied, that the information displayed is accurate or fit for any purpose and expressly disclaims all liability for loss or damage arising from reliance upon the information displayed.



Compiled: 4-Aug-2024  
 Generated at: [www.naturemaps.sa.gov.au](http://www.naturemaps.sa.gov.au)  
 Datum: Geocentric Datum of Australia, 2020  
 Projection: Web Mercator (Auxiliary Sphere)





# 3. Method

Prior to the site survey the following desktop assessments were conducted:

- Review of Atlas Living Australia to determine the likelihood of State listed flora and fauna species that may be present on or near the subject land.
- Review of the EPBC Act 1999 Protected Matter Search Tool within 5km of the site to determine the likelihood of nationally listed flora species or habitat of conservation significance that may be present within the vicinity of the subject land.

The project site was surveyed on 3<sup>rd</sup> November 2024. The site survey was undertaken in accordance with the *Native Vegetation Council (NVC) Scattered Tree Assessment Manual 2020*. The aim of the site survey was to:

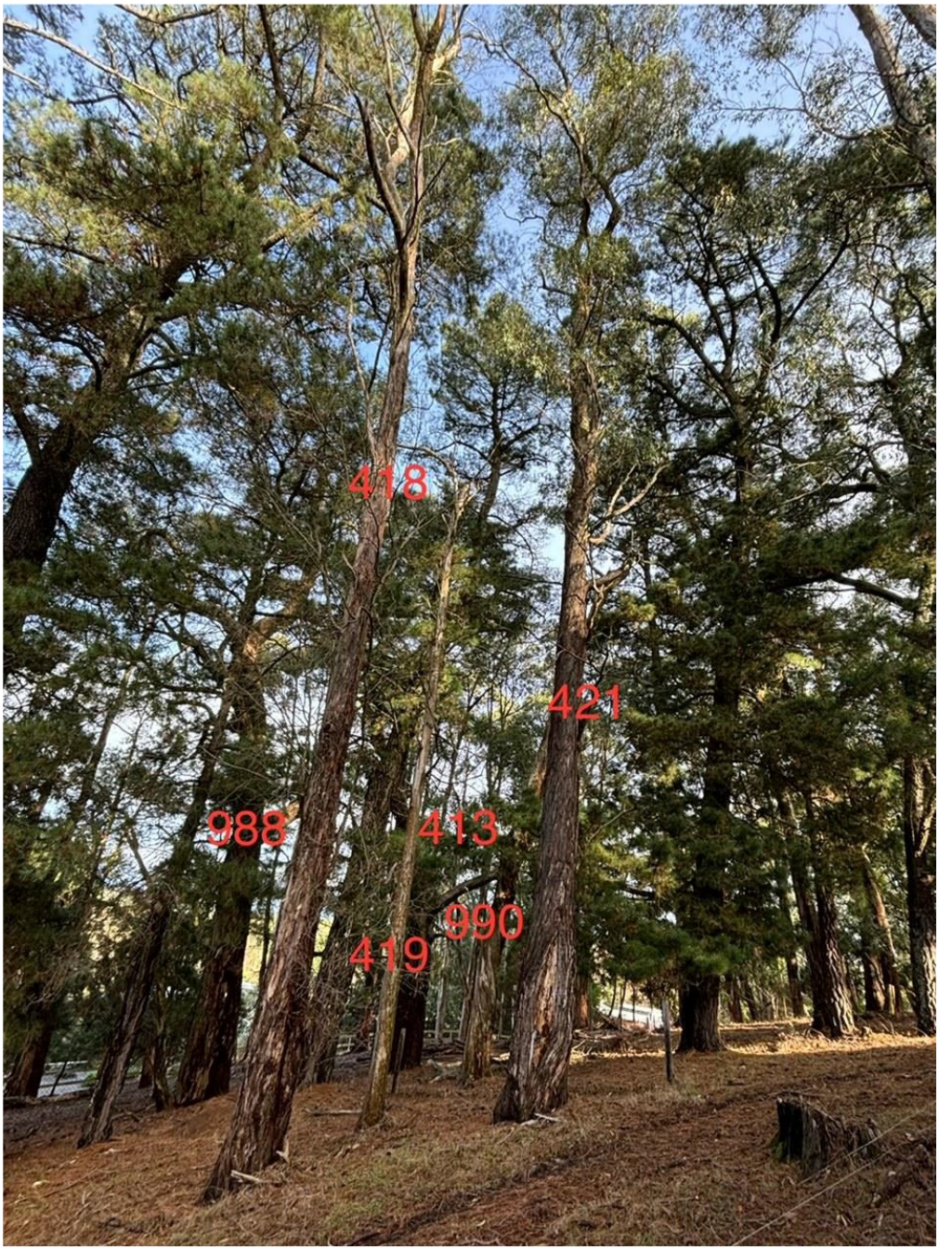
- record the vegetation association and flora species present;
- record the condition of the vegetation present;
- record any threatened flora species, if present;
- record any opportunistic fauna sightings;
- identify any suitable alternative locations to avoid or minimise the impacts to native vegetation; and
- to assess the proposed clearance against the Requirements of the *Native Vegetation Regulations 2017*.

# 4. Assessment Outcomes

## 4.1 Vegetation Assessment

Soils at the subject property are described as acidic sandy loam over brown or grey clay on rock. The land type is defined as non-arable hills and rises with shallow stony soil and variable rock outcrop (NatureMaps 2024).

### Details of the scattered trees proposed to be impacted

Tree ID –Tree 1 (421 in Arborist Report) Shown as 421 in image provided	
<i>Eucalyptus obliqua</i>	
Number of trees – 1	
Height (m) – 22	
Hollows – nil	
Diameter (cm) – 70	
Canopy dieback (%) – 15	
Total Biodiversity Score – 3.72	
<p>Large <i>Eucalyptus obliqua</i> (Messmate Stringybark) in good health with approximately 15% die-back of canopy. Tree 1 has no hollows. Tree 1 provides suitable habitat for the Scarlet Robin (<i>Petroica boodang</i>) which is listed as rare under the <i>National Parks and Wildlife Act 1972</i>. Tree 1 also provides habitat for the following near threatened bird species: Varied Sittella (<i>Daphoenositta chrysoptera</i>); Shining Bronze-cuckoo (<i>Chalcites lucidus</i>); White-throated Treecreeper (<i>Cormobates leucophaea</i>) and Spotted Pardalote (<i>Pardalotus punctatus</i>).</p>	



Tree ID –Tree 2 (422 in Arborist Report)
<i>Eucalyptus obliqua</i>
Number of trees – 1
Height (m) – 20
Hollows – nil
Diameter (cm) – 67
Canopy dieback (%) – 15
Total Biodiversity Score – 3.30



Large *Eucalyptus obliqua* (Messmate Stringybark) in good health with approximately 15% die-back of canopy. Tree 2 has no hollows. Tree 2 provides suitable habitat for the Scarlet Robin (*Petroica boodang*) which is listed as rare under the *National Parks and Wildlife Act 1972*. Tree 2 also provides habitat for the following near threatened bird species: Varied Sittella (*Daphoenositta chrysoptera*); Shining Bronze-cuckoo (*Chalcites lucidus*); White-throated Treecreeper (*Cormobates leucophaea*) and Spotted Pardalote (*Pardalotus punctatus*).



Tree ID –Tree 3 (420 in Arborist Report)
<i>Eucalyptus obliqua</i>
Number of trees – 1
Height (m) – 10
Hollows – nil
Diameter (cm) – 38
Canopy dieback (%) – 10
Total Biodiversity Score – 0.58



Medium *Eucalyptus obliqua* (Messmate Stringybark) in good health with approximately 10% die-back of canopy. Tree 3 has no hollows. Tree 3 provides suitable habitat for the Scarlet Robin (*Petroica boodang*) which is listed as rare under the *National Parks and Wildlife Act 1972*. Tree 3 also provides habitat for the following near threatened bird species: Varied Sittella (*Daphoenositta chrysoptera*); Shining Bronze-cuckoo (*Chalcites lucidus*); White-throated Treecreeper (*Cormobates leucophaea*) and Spotted Pardalote (*Pardalotus punctatus*).



Tree ID –Tree 4 (984 in Arborist Report)
<i>Eucalyptus obliqua</i>
Number of trees – 1
Height (m) – 5
Hollows – nil
Diameter (cm) – 8
Canopy dieback (%) – 5
Total Biodiversity Score – 0.17



Small *Eucalyptus obliqua* (Messmate Stringybark) in good health with approximately 5% die-back of canopy. Tree 4 has no hollows. Tree 4 provides suitable habitat for the Scarlet Robin (*Petroica boodang*) which is listed as rare under the *National Parks and Wildlife Act 1972*. Tree 4 also provides habitat for the following near threatened bird species: Varied Sittella (*Daphoenositta chrysoptera*); Shining Bronze-cuckoo (*Chalcites lucidus*); White-throated Treecreeper (*Cormobates leucophaea*) and Spotted Pardalote (*Pardalotus punctatus*).



Tree ID –Tree 5  
(977 in Arborist  
Report)

*Eucalyptus  
obliqua*

Number of  
trees – 1

Height (m) –  
22

Hollows – nil

Diameter (cm)  
– 91

Canopy  
dieback (%) –  
15

Total  
Biodiversity  
Score – 4.25



Large *Eucalyptus obliqua* (Messmate Stringybark) in good health with approximately 15% die-back of canopy. Tree 5 has no hollows. Tree 5 provides suitable habitat for the Scarlet Robin (*Petroica boodang*) which is listed as rare under the *National Parks and Wildlife Act 1972*. Tree 5 also provides habitat for the following near threatened bird species: Varied Sittella (*Daphoenositta chrysoptera*); Shining Bronze-cuckoo (*Chalcites lucidus*); White-throated Treecreeper (*Cormobates leucophaea*) and Spotted Pardalote (*Pardalotus punctatus*).



Tree ID –Tree 6  
(978 in Arborist  
Report)

*Eucalyptus  
obliqua*

Number of  
trees – 1

Height (m) –  
18

Hollows – nil

Diameter (cm)  
– 68

Canopy  
dieback (%) –  
15

Total  
Biodiversity  
Score – 2.42



Large *Eucalyptus obliqua* (Messmate Stringybark) in good health with approximately 15% die-back of canopy. Tree 6 has no hollows. Tree 6 provides suitable habitat for the Scarlet Robin (*Petroica boodang*) which is listed as rare under the *National Parks and Wildlife Act 1972*. Tree 6 also provides habitat for the following near threatened bird species: Varied Sittella (*Daphoenositta chrysoptera*); Shining Bronze-cuckoo (*Chalcites lucidus*); White-throated Treecreeper (*Cormobates leucophaea*) and Spotted Pardalote (*Pardalotus punctatus*).



Tree ID –Tree 7 (979 in Arborist Report)
<i>Eucalyptus obliqua</i>
Number of trees – 1
Height (m) – 10
Hollows – nil
Diameter (cm) – 29
Canopy dieback (%) – 25
Total Biodiversity Score – 0.40



Large *Eucalyptus obliqua* (Messmate Stringybark) in moderate health with approximately 25% die-back of canopy. Tree 7 has no hollows. Tree 7 provides suitable habitat for the Scarlet Robin (*Petroica boodang*) which is listed as rare under the *National Parks and Wildlife Act 1972*. Tree 7 also provides habitat for the following near threatened bird species: Varied Sittella (*Daphoenositta chrysoptera*); Shining Bronze-cuckoo (*Chalcites lucidus*); White-throated Treecreeper (*Cormobates leucophaea*) and Spotted Pardalote (*Pardalotus punctatus*).



Tree ID –Tree 8  
(980 in Arborist  
Report)

*Eucalyptus  
obliqua*

Number of  
trees – 1

Height (m) –  
24

Hollows – nil

Diameter (cm)  
– 103

Canopy  
dieback (%) –  
10

Total  
Biodiversity  
Score – 6.01



Large *Eucalyptus obliqua* (Messmate Stringybark) in good health with approximately 10% die-back of canopy. Tree 8 has no hollows. Tree 8 provides suitable habitat for the Scarlet Robin (*Petroica boodang*) which is listed as rare under the *National Parks and Wildlife Act 1972*. Tree 8 also provides habitat for the following near threatened bird species: Varied Sittella (*Daphoenositta chrysoptera*); Shining Bronze-cuckoo (*Chalcites lucidus*); White-throated Treecreeper (*Cormobates leucophaea*) and Spotted Pardalote (*Pardalotus punctatus*).



Tree ID –Tree 9 (981 in Arborist Report)
<i>Eucalyptus obliqua</i>
Number of trees – 1
Height (m) – 22
Hollows – nil
Diameter (cm) – 98
Canopy dieback (%) – 10
Total Biodiversity Score – 4.51



Large *Eucalyptus obliqua* (Messmate Stringybark) in good health with approximately 10% die-back of canopy. Tree 9 has no hollows. Tree 9 provides suitable habitat for the Scarlet Robin (*Petroica boodang*) which is listed as rare under the *National Parks and Wildlife Act 1972*. Tree 9 also provides habitat for the following near threatened bird species: Varied Sittella (*Daphoenositta chrysoptera*); Shining Bronze-cuckoo (*Chalcites lucidus*); White-throated Treecreeper (*Cormobates leucophaea*) and Spotted Pardalote (*Pardalotus punctatus*).



Tree ID –Tree 10 (T in Arborist Report)
<i>Acacia melanoxylon</i>
Number of trees – 1
Height (m) – 5
Hollows – nil
Diameter (cm) – 6
Canopy dieback (%) – 0
Total Biodiversity Score – 0.25



Small *Acacia melanoxylon* (Blackwood) in good health with approximately no die-back of canopy. Tree 10 has no hollows. Tree 10 provides suitable habitat for the Scarlet Robin (*Petroica boodang*) which is listed as rare under the *National Parks and Wildlife Act 1972*. Tree 10 also provides habitat for the following near threatened bird species: Varied Sittella (*Daphoenositta chrysoptera*); Shining Bronze-cuckoo (*Chalcites lucidus*); White-throated Treecreeper (*Cormobates leucophaea*) and Spotted Pardalote (*Pardalotus punctatus*).



## Map 2. Vegetation under application



Map data is compiled from a variety of sources and hence its accuracy is variable.

Copyright © Department for Environment and Water 2024. All Rights Reserved. All works and information displayed are subject to Copyright. For the reproduction or publication beyond that permitted by the Copyright Act 1968 (Cth) written permission must be sought from the Department. Although every effort has been made to ensure the accuracy of the information displayed, the Department, its agents, officers and employees make no representations, either express or implied, that the information displayed is accurate or fit for any purpose and expressly disclaims all liability for loss or damage arising from reliance upon the information displayed.



0 66 Metres

Compiled: 7-Aug-2024  
 Generated at: [www.naturemaps.sa.gov.au](http://www.naturemaps.sa.gov.au)  
 Datum: Geocentric Datum of Australia, 2020  
 Projection: Web Mercator (Auxiliary Sphere)



Government of South Australia  
 Department for Environment  
 and Water



## 4.2 Threatened Species assessment

The bird species listed in Table 1 were supplied by Graham Carpenter (personnel communication: 10 August 2020) from the Native Vegetation Group for a clearance application at 4 Halleday St, Aldgate in 2020, which is approximately 500m south of the property subject to this data report. The vegetation consists of the same species and is in similar density and absent of a native understorey.

**Table 1: Species the vegetation is considered to provide suitable habitat**

Species (common name)	Mount Lofty Ranges Region	NP&W Act	EPBC Act
Scarlet Robin ( <i>Petroica boodang</i> )	Vulnerable	Rare	
Varied Sittella ( <i>Daphoenositta chrysoptera</i> )	Vulnerable	Near Threatened	
Shining Bronze-cuckoo ( <i>Chalcites lucidus</i> )	Rare	Near Threatened	
White-throated Treecreeper ( <i>Cormobates leucophaea</i> )	Near Threatened	Near Threatened	
Spotted Pardalote ( <i>Pardalotus punctatus</i> )	Near Threatened	Near Threatened	

## 4.3 Cumulative impact

When exercising a power or making a decision under Division 5 of the Native Vegetation Regulations 2017, the NVC must consider the potential cumulative impact, both direct and indirect, that is reasonably likely to result from a proposed clearance activity.

### **Direct Impacts**

The direct impacts to native vegetation of the proposed development are discussed above in Section 4.1.

### **Indirect Impacts**

No indirect impacts are foreseen for the proposed development.

### **Cumulative Impacts**

Consent to clear 20 scattered trees were granted as part of Application 2023\_3272 for the construction of the childcare centre and other associated infrastructure.

## 4.4 Address the Mitigation Hierarchy

When exercising a power or making a decision under Division 5 of the Native Vegetation Regulations 2017, the NVC must have regard to the mitigation hierarchy. The NVC will also consider, with the aim to minimize, impacts on biological diversity, soil, water and other natural resources, threatened species or ecological communities under the EPBC Act or listed species under the NP&W Act.

### **a) Avoidance – outline measures taken to avoid clearance of native vegetation**

The applicant advised that the proposed fire access track was designed to avoid native vegetation where possible while still meeting the requirements of the National Construction Code. In addition, the applicant engaged Ecological Tree Consulting to complete an Arboricultural Impact Assessment and Tree Protection Plan for the site. The purpose of the assessment was to identify native vegetation where impacts will be unavoidable as part of the development and prepare a Tree Protection Plan to identify vegetation that can be retained. The Tree Protection Plan provides construction methodology to protect these nominated trees in accordance with AS 4970-2009 Protection of Trees on Development Sites. The nominated trees will be retained using tree sensitive development activities and protections where required. As a result, 23 trees will avoid being impacted and be retained as part of the proposed development.

- b) **Minimization – if clearance cannot be avoided, outline measures taken to minimize the extent, duration and intensity of impacts of the clearance on biodiversity to the fullest possible extent (whether the impact is direct, indirect or cumulative).**

See Section 4.4(a) above.

- c) **Rehabilitation or restoration – outline measures taken to rehabilitate ecosystems that have been degraded, and to restore ecosystems that have been degraded, or destroyed by the impact of clearance that cannot be avoided or further minimized, such as allowing for the re-establishment of the vegetation.**

Not applicable.

- d) **Offset – any adverse impact on native vegetation that cannot be avoided or further minimized should be offset by the achievement of a significant environmental benefit that outweighs that impact.**

As stated below in Section 6, the applicant has requested preference to provide the Significant Environmental Benefit (SEB) through payment into the NVC Fund.

## 4.5 Principles of Clearance (Schedule 1, Native Vegetation Act 1991)

The Native Vegetation Council will consider Principles 1(b), 1(c) and 1(d) when assigning a level of Risk under Regulation 16 of the Native Vegetation Regulations. The Native Vegetation Council will consider all the Principles of clearance of the Act as relevant, when considering an application referred under the *Planning, Development and Infrastructure Act 2016*.

Principle of clearance	Relevant information	Assessment against the principles	Moderating factors that may be considered by the NVC
<b>Principle 1b - significance as a habitat for wildlife</b>	<p><u>Tree 1-10:</u> Fauna Habitat Score: 1 Tree 1-10 provides suitable habitat for the Scarlet Robin (<i>Petroica boodang</i>) which is listed as rare under the <i>National Parks and Wildlife Act 1972</i>. Tree 1-10 also provides habitat for the following near threatened bird species: Varied Sittella (<i>Daphoenositta chrysoptera</i>); Shining Bronze-cuckoo (<i>Chalcites lucidus</i>); White-throated Treecreeper (<i>Cormobates leucophaea</i>) and Spotted Pardalote (<i>Pardalotus punctatus</i>).</p>	<p><b><u>At Variance –</u></b> Tree 1-10</p>	<p><i>Eucalyptus obliqua</i> (Messmate Stringybark) are well represented in the immediate area of the vegetation under application and the broader region. Therefore, clearance of these three trees may not significantly reduce the availability of habitat for this species in the region or lead to a long-term decrease in the size of its population.</p>
<b>Principle 1c - plants of a rare, vulnerable or endangered species</b>	Threatened Flora Scores: 0	<b><u>Not at Variance</u></b>	
<b>Principle 1d - the vegetation comprises the whole or</b>	Threatened Community Score: Not applicable to scattered trees	<b><u>Not at Variance</u></b>	



<b>part of a plant community that is Rare, Vulnerable or endangered:</b>			
--	--	--	--

## 4.6 Risk Assessment

*Determine the level of risk associated with the application*

<b>Total clearance</b>	No. of trees	10
	Area (ha)	0
	Total biodiversity Score	25.61
<b>Seriously at variance with principle 1(b), 1(c) or 1 (d)</b>	Nil	
<b>Risk assessment outcome</b>	Level 2. May be escalated to Level 3 due to cumulative impacts with previous Application 2023_3272.	

# 5. Clearance summary

**Scattered trees Summary table**

Tree or Cluster ID	Number of trees	Fauna Habitat score	Threatened flora score	Biodiversity score	Loss factor	SEB Points required	SEB Payment	Admin Fee
1	1	1	0	3.72	1	3.91	\$5,935.50	\$326.45
2	1	1	0	3.30	1	3.47	\$5,265.75	\$289.62
3	1	1	0	0.58	1	0.61	\$921.86	\$50.70
4	1	1	0	0.17	1	0.18	\$278.60	\$15.32
5	1	1	0	4.25	1	4.46	\$6,777.25	\$372.75
6	1	1	0	2.42	1	2.54	\$3,861.67	\$212.39
7	1	1	0	0.40	1	0.42	\$634.85	\$34.92
8	1	1	0	6.01	1	6.31	\$9,584.10	\$527.13
9	1	1	0	4.51	1	4.74	\$7,196.87	\$395.83
10	1	1	0	0.25	1	0.26	\$394.14	\$21.68
<b>Total</b>	<b>10</b>			<b>25.61</b>		<b>26.89</b>	<b>\$40,850.60</b>	<b>\$2,246.78</b>

**Totals summary table**

	Total Biodiversity score	Total SEB points required	SEB Payment	Admin Fee	Total Payment
<b>Application</b>	25.61	26.89	\$40,850.60	\$2,246.78	\$43,097.38

<b>Economies of Scale Factor</b>	0.5
<b>Rainfall (mm)</b>	1018



# 6. Significant Environmental Benefit

A Significant Environmental Benefit (SEB) is required for approval to clear under Division 5 of the *Native Vegetation Regulations 2017*. The NVC must be satisfied that as a result of the loss of vegetation from the clearance that an SEB will result in a positive impact on the environment that is over and above the negative impact of the clearance.

## **ACHIEVING AN SEB**

Indicate how the SEB will be achieved by ticking the appropriate box and providing the associated information:

- Establish a new SEB Area on land owned by the proponent.
- Use SEB Credit that the proponent has established.
- Apply to have SEB Credit assigned from another person or body.
- Apply to have an SEB to be delivered by a Third Party.
- Pay into the Native Vegetation Fund.

## **PAYMENT SEB**

If a proponent proposes to achieve the SEB by paying into the Native Vegetation Fund, summary information must be provided on the amount required to be paid and the manner of payment:

- Total Payment amount required (including admin. fee): \$43,097.38

# 7. Appendices

Appendix 1. 35 Paratoo Rd Stirling\_Tree Protection Impact Plan (Submitted in PDF format)









Appendix 2\_35 Paratoo Rd Stirling\_Arbicultural Impact Assessment and Tree Protection Plan (Submitted in PDF format)

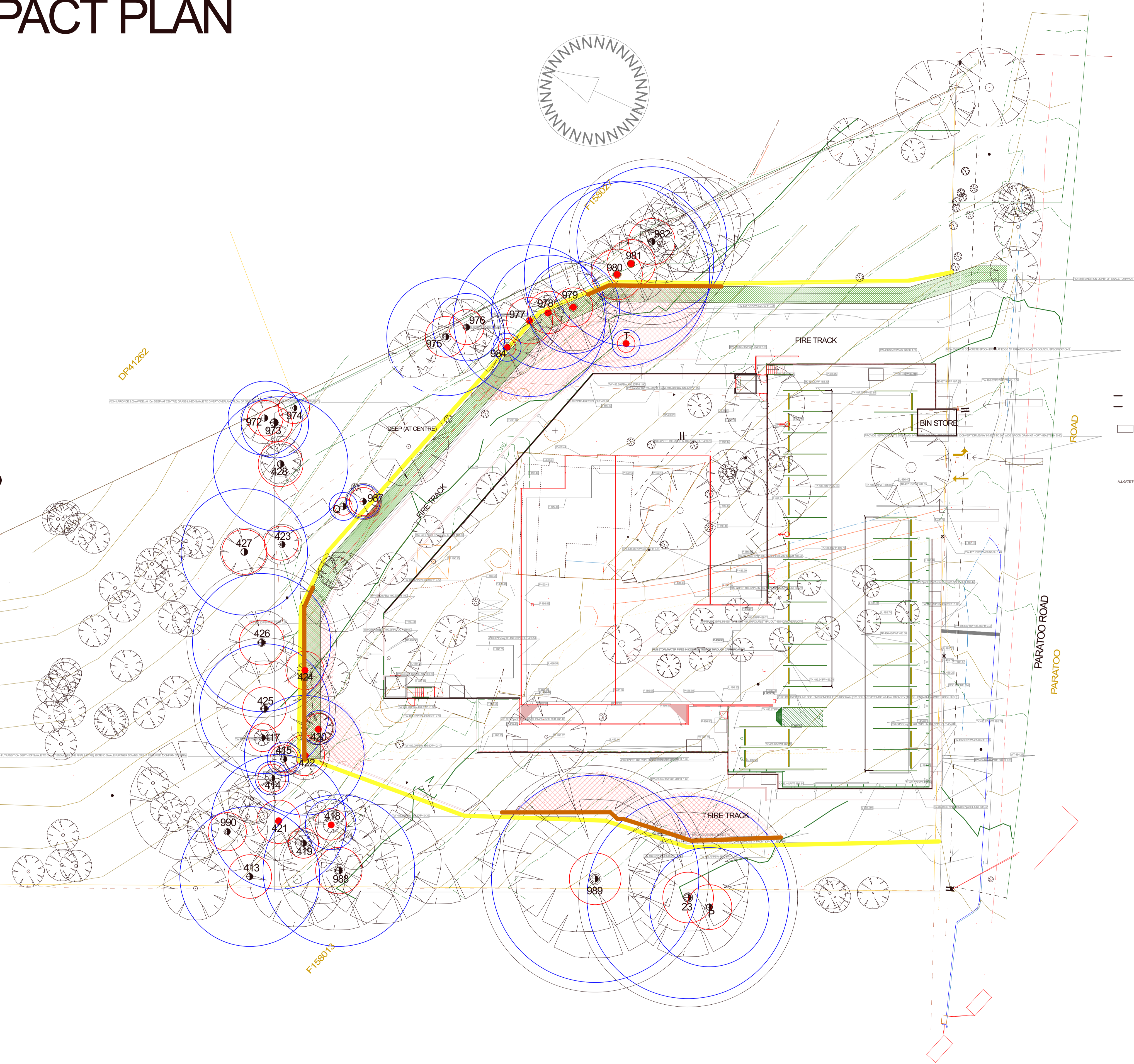
Appendix 3. 35 Paratoo Rd Stirling\_Scattered TreeScoresheet (Submitted in Excel format)



# TREE PROTECTION / IMPACT PLAN

## LEGEND

-  NOMINATED TREES TO BE RETAINED
-  NOMINATED TREES TO BE REMOVED
-  STRUCTURAL ROOT ZONE (SRZ)
-  TREE PROTECTION ZONE (TPZ)
-  EXTENDED TREE PROTECTION ZONE
-  TPZ IMPACT AREA
-  HYDROVAC TRENCHING AND ROOT PRUNING REQUIRED
-  TREE PROTECTION FENCING



**Ecological Tree Consulting**  
 PO BOX 1234  
 Glenelg South SA 5045

JESSIE TEMPEST  
 contact@ecologicaltrees.com  
 0416 879 242

DRAWN JT  
 DATE 31/07/2024  
 SCALE 1:200

CLIENT & SITE ADDRESS  
 ACCORD PROPERTY  
 35 PARATOO ROAD, STIRLING SA 5152

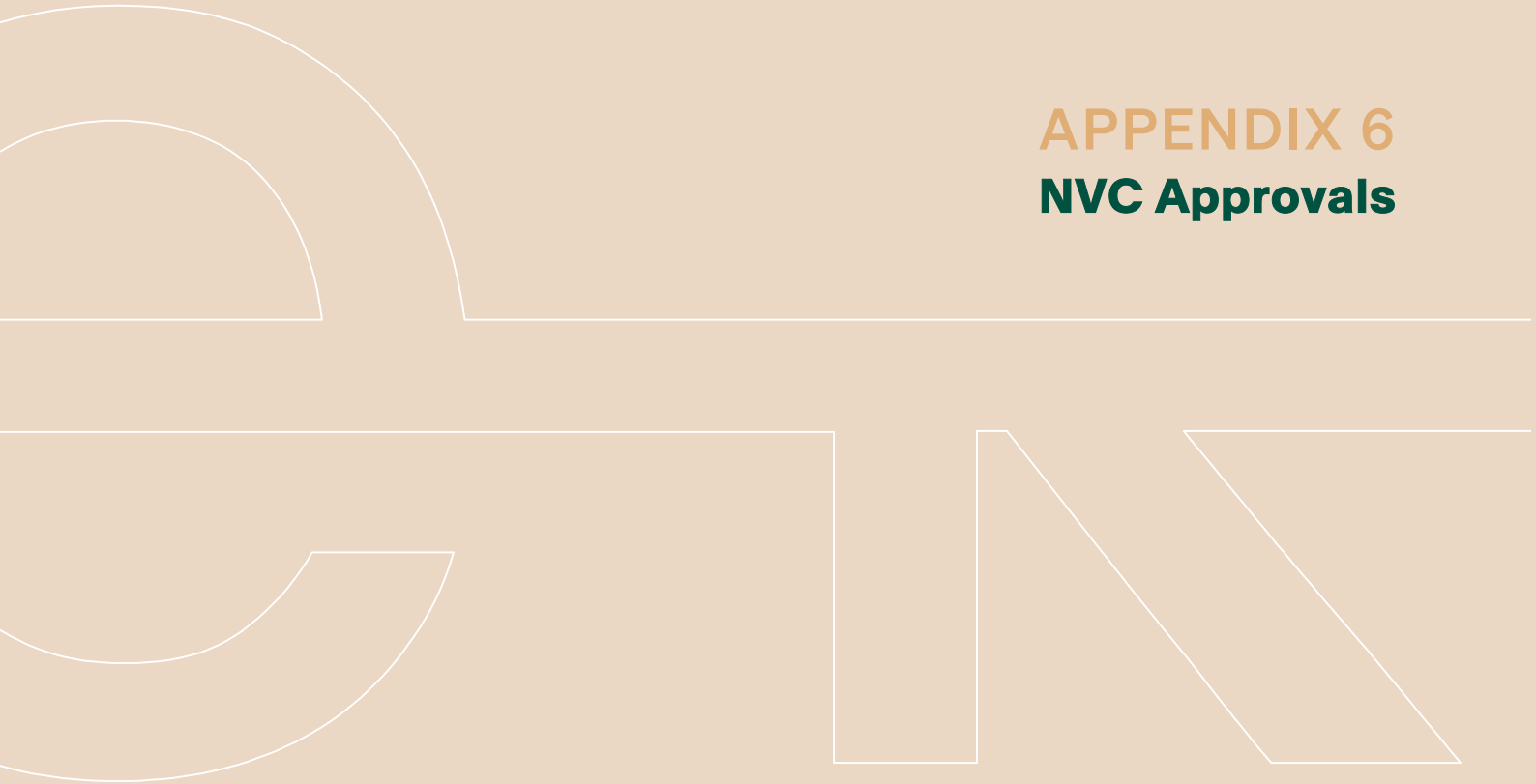








## APPENDIX 6 NVC Approvals



# Native Vegetation Council

81-95 Waymouth St, ADELAIDE SA 5000 | GPO Box 1047, ADELAIDE SA 5001  
Ph| 08 8303 9777; email| [nvc@sa.gov.au](mailto:nvc@sa.gov.au)



## DECISION NOTIFICATION *Native Vegetation Regulations 2017*

**Application Number: 2023/3272/473**

**To:** C/- Robert Gagetti  
Ekistics Planning and Design  
3/431 King William St  
Adelaide SA 5000  
Email: [rgagetti@ekistics.com.au](mailto:rgagetti@ekistics.com.au)

**Date Received:** 30/10/2023  
**Date Registered:** 30/10/2023

<b>Applicant</b>	Development Holding Pty Ltd
<b>Landholder</b>	Bruce Meaney
<b>Purpose of application</b>	Clearance required for the construction of a childcare centre and ancillary structures.
<b>Description of native vegetation under application</b>	17 Messmate Stringybark ( <i>Eucalyptus obliqua</i> ) trees in good condition, mostly saplings, and 3 young Blackwood ( <i>Acacia melanoxylon</i> ) trees.
<b>Location of the application</b>	35 Paratoo Road, Stirling F210897 A111 CT 5767/919 Hundred of Noarlunga

### Decision

The Native Vegetation Council has consider your application in accordance with the requirements of Regulation 12, Schedule 1; Clause 33 of the *Native Vegetation Regulations 2017*.

In respect of the application you are informed that the Native Vegetation Council:

1. **Grants consent** to the clearance of 20 trees in the area shown on the attached Decision Plan(s) 2023/3272/473 for the purpose as specified in this decision.

### Reason for Decision:

The clearance of native vegetation meets the requirements of Native Vegetation Regulation 12, Schedule 1; Clause 33.

### Conditions of approval

This approval is subject to the conditions specified below. These conditions have been imposed to ensure that the impacts on native vegetation and biodiversity from approved clearance is adequately minimised and mitigated;

1. The applicant must ensure that only native vegetation approved for removal in accordance with this decision is removed. Prior to clearance commencing, the applicant must advise all persons undertaking the vegetation removal or working on site, of all relevant conditions of approval and associated statutory requirements.




**Government  
of South Australia**



2. No clearance to occur until Development Approval has been obtained under the *Planning, Development and Infrastructure Act 2016* (including Building Rules Consent where required).
3. Prior to clearance commencing, the applicant must define the area or trees approved for clearance with markings, barriers, pegs, flags or temporary fencing. The markings, barriers, pegs, flags or temporary fencing must remain in place, in good condition and clearly visible, for the period in which clearance is occurring.
4. The Significant Environmental Benefit requirement (equivalent to 5.76 SEB points) is to be achieved by making a payment into the Native Vegetation Fund of \$9,235.30 (\$8,753.84 for clearance GST exclusive and \$481.46 for the administration fee GST inclusive) prior to any clearance occurring (Note an invoice will be sent once the attached form 'Decision Notification acknowledgement' form is signed and returned).
5. Non-compliance with any of the conditions of this approval must be reported to the Native Vegetation Council as soon as practical after the non-compliance being detected, but must be within a maximum of seven days. The report must include details of the nature of the breach, the location and extent of the breach and the actions taken and associated timing for completion of those actions, to address the breach.
6. No clearance is to occur until the attached form, "Decision Notification Acknowledgement", is signed and returned to confirm that the applicant and anyone else who is a party to the agreement, understand and will comply with the decision, including all the associated conditions.
7. Members of the NVC or a person who is an authorised officer under the Act may at a reasonable time enter the property of the landowner for the purpose of assessing and recording any matter relevant to this consent. A person undertaking such an assessment may be assisted by other suitable persons. Any such inspection will only be taken after there has been an attempt to contact the landowner.
8. The applicant must adequately inform any prospective purchaser, lessee or occupier of the land affected by conditions in this consent, of the relevant conditions.

### Expiry date of approval

The approval to clear native vegetation in accordance with this decision ceases after 2 years from the decision date.

Signature	
Name	Alison Wright
Position	<b>DELEGATE TO NATIVE VEGETATION COUNCIL</b>
Date	27/11/2023 (Decision Date)

### Notes

1. **Effect of Consent**

This Decision Notification grants consent under the *Native Vegetation Act 1991* only and does not imply approval under any other legislation. It is the responsibility of the landowner to obtain all relevant approvals for any proposed development. This includes any approval that might be required in relation to the *Commonwealth Environment Protection & Biodiversity Conservation Act 1999*.

**2. Conditions**

Please note that these conditions are an integral part of the consent and are legally binding under the *Native Vegetation Act 1991* and *Native Vegetation Regulations 2017*. Should **any** clearance occur in accordance with this decision, the conditions are enforceable in full.

Any conditions of consent are binding on and enforceable against the person granted the approval, any current and future owners of the land, any occupier of the land and any person who acquires the benefit of the clearance.

**3. Amended decisions**

Where a decision is amended, all previous versions of the decision are null and void.

If an application to amend a decision will substantially alter the nature of the original application or conditions of approval, the Native Vegetation Council may require a new application be submitted.

**4. SEB Areas**

All areas established as a condition of consent to provide a significant environmental benefit, whether through revegetation, management or protection of an area of native vegetation, are protected in perpetuity under the *Native Vegetation Act 1991*. No clearance of native vegetation within these areas can occur without the consent of the Native Vegetation Council.

**5. Monitoring**

The Native Vegetation Council undertakes a program of monitoring of conditions attached to any clearance consent. As part of this program, the landowner may be contacted by an officer of Department to arrange inspections. Should it be evident that the conditions have not be applied with in full, the landholder will be informed in writing of the nature of breach of the conditions and given an opportunity to comply with the conditions. However, if the breach of the conditions is substantial, ongoing or irreversibly, then the Council may take compliance actions under Section 31 of the *Native Vegetation Act 1991*.

**6. Use of cleared vegetation**

Native vegetation authorised for clearance under a Decision Notification may be a useful resource, as a source of seed for local revegetation projects, for woodcraft purposes or providing hollows for relocation. Please consider notifying any local seed collection groups to offer them the opportunity of collecting seed at the time of clearance, and making any timber from the cleared trees available for woodcraft or hollow relocation.



**DECISION NOTIFICATION ACKNOWLEDGEMENT**

**Application Number:**            2023/3272/473            **Development Holding Pty Ltd**

*The applicant, and all parties to the decision, have received a copy of the Decision Notification (decision date 27/11/2023) are fully aware and will comply with the decision and all the attached conditions.*

Name of applicant: .....

Signature of applicant or seal of Company and authorised signatory, including the signature of any other parties to the decision:

.....  
.....  
.....  
.....

Date : .....

**Note:**            *Sign and return this form by post or email to:*

**Send to:**        **Native Vegetation Branch**  
                  **C/o**  
                  **Department for Environment and Water**  
                  **GPO Box 1047 Adelaide SA 5001**

**Email:**         [peter.farmer@sa.gov.au](mailto:peter.farmer@sa.gov.au)

# Native Vegetation Clearance Application



## DECISION PLAN (1 of 1)




TO FORM PART OF THE DECISION OF THE NATIVE VEGETATION COUNCIL

APPLICATION NO. 2023/3272/473

HUNDRED of NOARLUNGA

F210897 A111

Certificate of Title Vol 5767 Fol 919

-  Clearance consent - scattered trees
-  Property/Section Boundary
-  Road

Produced for: Native Vegetation Council  
By: Native Vegetation Branch  
Department for Environment and Water

Imagery: AdelaideMetro\_22Feb-24Apr2023 75mm

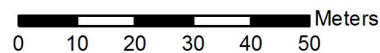
Date: 27/11/2023  
Version: 01  
Datum: GDA2020

Delegate, Native Vegetation Council

Decision Date: 27/11/2023



Native Vegetation Council



Scale: 1:1250

### DISCLAIMER

The Department for Environment and Water its employees and servants do not warrant or make any representation regarding the use, or results of use of the information contained herein as to its correctness, accuracy, currency or otherwise. The Department for Environment and Water, its employees and servants expressly disclaim all liability or responsibility to any person using the information or advice contained herein.

© Government of South Australia, through the Department for Environment and Water. This work is Copyright. Apart from any use permitted under the Copyright Act 1968 (Cwth), no part may be reproduced by any process without prior written permission obtained from the Department for Environment and Water. Requests and enquiries concerning reproduction and rights should be directed to the Chief Executive, Department for Environment and Water, GPO Box 1047, Adelaide SA 5001.



# Native Vegetation Council

81-95 Waymouth St, ADELAIDE SA 5000 | GPO Box 1047, ADELAIDE SA 5001  
Ph| 08 8303 9777; Email| [nvc@sa.gov.au](mailto:nvc@sa.gov.au)



## DECISION NOTIFICATION *Native Vegetation Regulations 2017*

### Application Number: 2023/3272/473 - Amendment

**To:** C/- Robert Gagetti  
Ekistics Planning and Design  
3/431 King William St  
Adelaide SA 5000  
Email: [rgagetti@ekistics.com.au](mailto:rgagetti@ekistics.com.au)

**Date Received:** 30/10/2023  
**Date Amendment Received:** 03/09/2024  
**Date Registered:** 30/10/2023

<b>Applicant</b>	Development Holding Pty Ltd
<b>Landholder</b>	Bruce Meaney
<b>Purpose of application</b>	Seek a variation to the area of approval and the conditions consent to accommodate construction of a fire access track as part of the proposed childcare centre development.
<b>Description of native vegetation under application</b>	Additional 10 trees required to allow for perimeter fire access track comprising: 9 Messmate Stringybark ( <i>Eucalyptus obliqua</i> ) and 1 Blackwood ( <i>Acacia melanoxylon</i> )
<b>Location of the application</b>	35 Paratoo Road, Stirling F210897 A111 CT 5767/919 Hundred of Noarlunga

### Decision

The Native Vegetation Council has considered your application in accordance with the requirements of Regulation 12, Schedule 1; Clause 33 of the *Native Vegetation Regulations 2017*.

In respect of the application you are informed that the Native Vegetation Council:

1. **Grants consent** to clear 10 trees in addition to the clearance approved in application 2023/3272/473 (decision date 27/11/2023).
2. **Grants consent** to clear a total of 30 trees as delineated in the attached Decision Plan 2023/3272/473 -Amendment, varied from the clearance approved in application 2023/3272/473 (decision date 27/11/2023).
3. **Grants consent** to the variation of condition of consent as approved in application 2023/3272/473 (decision date 27/11/2023).

### Reason for Decision:

The clearance of native vegetation meets the requirements of Native Vegetation Regulation 12, Schedule 1; Clause 33.



Government  
of South Australia

## Conditions of approval

This approval is subject to the conditions specified below. These conditions have been imposed to ensure that the impacts on native vegetation and biodiversity from approved clearance is adequately minimised and mitigated;

1. Compliance with the conditions as established in Decision Notification 2023/3272/473 (decision date – 27/11/2023), other than those as varied in accordance with the subsequent conditions.

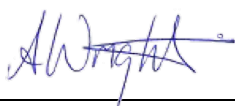
Replace clauses 4 of 2023/3272/473 (decision date – 27/11/2023) with:

4. The Significant Environmental Benefit requirement (equivalent to 32.65 SEB points) is to be achieved by making a payment into the Native Vegetation Fund of \$52,332.68 (\$49,604.44 for clearance GST exclusive and \$2,728.24 for the administration fee GST inclusive) prior to any clearance occurring

(Note an invoice will be sent once the attached form 'Decision Notification acknowledgement' form is signed and returned)

## Expiry date of approval

The approval to clear native vegetation in accordance with this decision ceases after 27/11/2025, being 2 years from the original decision date.

Signature	
Name	Alison Wright
Position	<b>DELEGATE TO NATIVE VEGETATION COUNCIL</b>
Date	17/09/2024 (Decision Date)

## Notes

### 1. Effect of Consent

This Decision Notification grants consent under the *Native Vegetation Act 1991* only and does not imply approval under any other legislation. It is the responsibility of the landowner to obtain all relevant approvals for any proposed development. This includes any approval that might be required in relation to the *Commonwealth Environment Protection & Biodiversity Conservation Act 1999*.

### 2. Conditions

Please note that these conditions are an integral part of the consent and are legally binding under the *Native Vegetation Act 1991* and *Native Vegetation Regulations 2017*. Should **any** clearance occur in accordance with this decision, the conditions are enforceable in full.

Any conditions of consent are binding on and enforceable against the person granted the approval, any current and future owners of the land, any occupier of the land and any person who acquires the benefit of the clearance.

### 3. Amended decisions

Where a decision is amended, all previous versions of the decision are null and void.

If an application to amend a decision will substantially alter the nature of the original application or conditions of approval, the Native Vegetation Council may require a new application be submitted.



**4. SEB Areas**

All areas established as a condition of consent to provide a significant environmental benefit, whether through revegetation, management or protection of an area of native vegetation, are protected in perpetuity under the *Native Vegetation Act 1991*. No clearance of native vegetation within these areas can occur without the consent of the Native Vegetation Council.

**5. Monitoring**

The Native Vegetation Council undertakes a program of monitoring of conditions attached to any clearance consent. As part of this program, the landowner may be contacted by an officer of Department to arrange inspections. Should it be evident that the conditions have not been applied in full, the landholder will be informed in writing of the nature of breach of the conditions and given an opportunity to comply with the conditions. However, if the breach of the conditions is substantial, ongoing or irreversibly, then the Council may take compliance actions under Section 31 of the *Native Vegetation Act 1991*.

**6. Use of cleared vegetation**

Native vegetation authorised for clearance under a Decision Notification may be a useful resource, as a source of seed for local revegetation projects, for woodcraft purposes or providing hollows for relocation. Please consider notifying any local seed collection groups to offer them the opportunity of collecting seed at the time of clearance, and making any timber from the cleared trees available for woodcraft or hollow relocation.

**DECISION NOTIFICATION ACKNOWLEDGEMENT**

**Application Number: 2023/3272/473 – Amendment Development Holding Pty Ltd**

***The applicant, and all parties to the decision, have received a copy of the Decision Notification (decision date 17/09/2024) are fully aware and will comply with the decision and all the attached conditions.***

Name of applicant: .....

Signature of applicant or seal of Company and authorised signatory, including the signature of any other parties to the decision:

.....  
.....  
.....  
.....

Date : .....

**Note:** Sign and return this form by post or email to:

**Send to:** Native Vegetation Branch  
C/o  
Department for Environment and Water  
GPO Box 1047 Adelaide SA 5001

**Email:** [peter.farmer@sa.gov.au](mailto:peter.farmer@sa.gov.au)



# Native Vegetation Clearance Application



## DECISION PLAN (1 of 1)

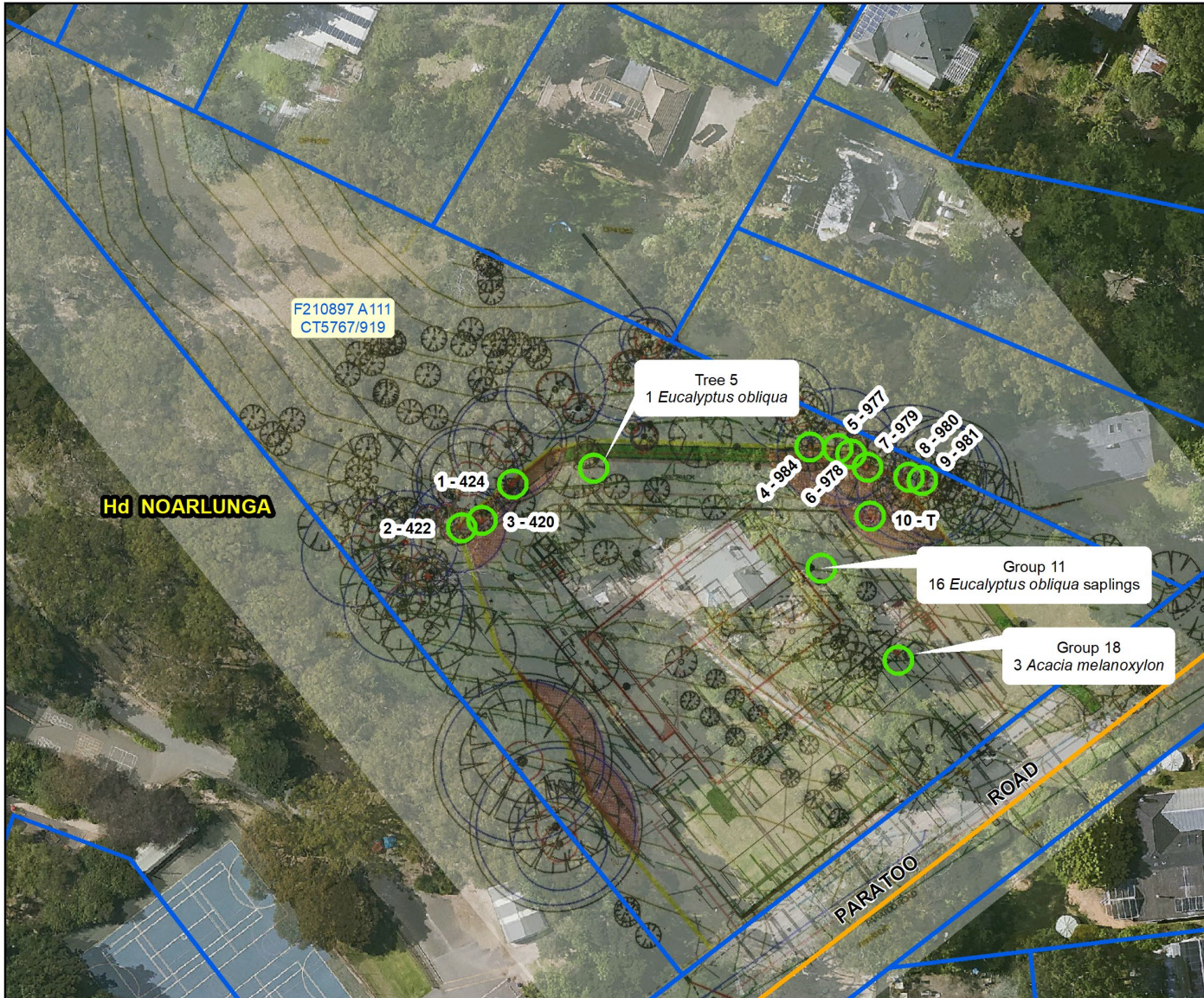
TO FORM PART OF THE DECISION OF THE NATIVE VEGETATION COUNCIL

APPLICATION NO. 2023/3272/473 - Amendment

HUNDRED of NOARLUNGA

F210897 A111

Certificate of Title Vol 5767 Fol 919



Clearance consent - Permitted under Regulation 12, Schedule 1, Clause 33

Property/Section Boundary

Road

Produced for: Native Vegetation Council  
By: Native Vegetation Branch  
Department for Environment and Water

Imagery: AdelaideMetro\_10-20Jan2024 75mm  
Overlay: Tree protection/Impact plan,  
Ecological Tree Consulting 31/07/2024

Date: 16/09/2024  
Version: 02  
Datum: GDA2020

Delegate, Native Vegetation Council

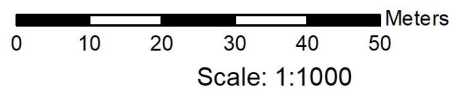
Decision Date: 17/09/2024



Native Vegetation Council

**DISCLAIMER**

The Department for Environment and Water its employees and servants do not warrant or make any representation regarding the use, or results of use of the information contained herein as to its correctness, accuracy, currency or otherwise. The Department for Environment and Water, its employees and servants expressly disclaim all liability or responsibility to any person using the information or advice contained herein.

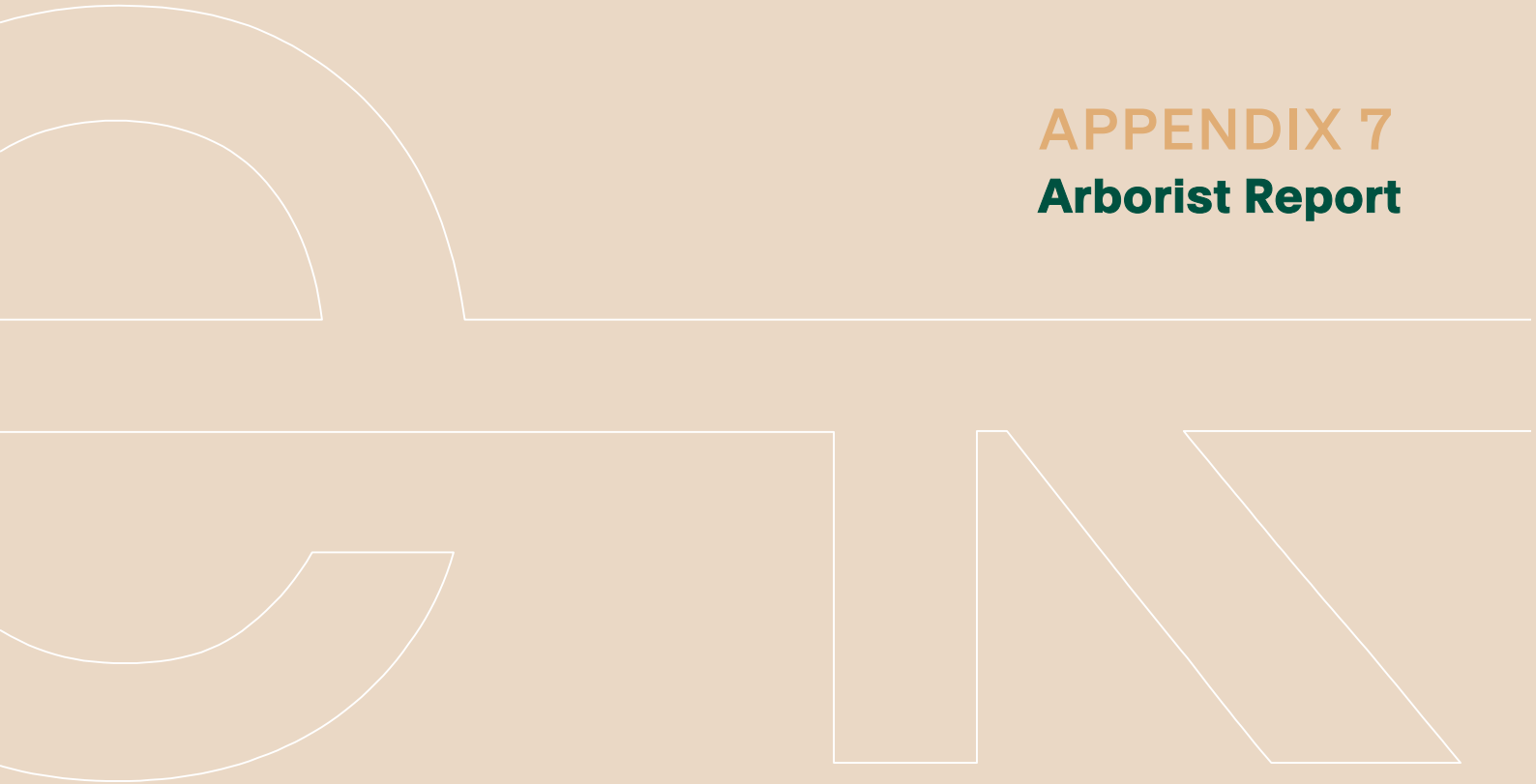


© Government of South Australia, through the Department for Environment and Water. This work is Copyright. Apart from any use permitted under the Copyright Act 1968 (Cwth), no part may be reproduced by any process without prior written permission obtained from the Department for Environment and Water. Requests and enquiries concerning reproduction and rights should be directed to the Chief Executive, Department for Environment and Water, GPO Box 1047, Adelaide SA 5001.

4-2



APPENDIX 7  
**Arborist Report**







**Ecological Tree Consulting**

Arborist Services with an ethical approach

# **ARBORICULTURAL IMPACT ASSESSMENT AND TREE PROTECTION PLAN**

**REV B**

**35 Paratoo Road, Stirling SA 5152**

**12 August 2024**

**Client:**

Accord Property  
01/89 Pirie Street, Adelaide SA 5000  
08 8359 3195  
hviney@accord.property  
Harry Viney 0448 777 3153

**Report prepared by: Jessie Tempest**

AQF Level 5 Diploma of Arboriculture (Dip Arb)  
QTRA Quantified Tree Risk Assessor User No. 6987  
ISA TRAQ International Society of Arboriculture Tree Risk Assessment Qualification  
Arboriculture Australia Member No. 11375  
ISA Member Number: 323337

## 1. TABLE OF CONTENTS:

<b>1. Table of Contents:</b>	<b>2</b>
<b>2. Introduction:</b>	<b>4</b>
<b>3. Methodology:</b>	<b>4</b>
<b>4. Discussion:</b>	<b>6</b>
<b>5. Assessment of the Nominated trees:</b>	<b>8</b>
Table 1: Assessment data for the nominated trees	10
<b>5.1 TPZ Encroachments and Impacts:</b>	<b>11</b>
1. Tree 989	11
2. Tree 422	11
3. Tree 425	11
4. Tree 426	11
5. Tree 977	11
6. Tree 23	11
7. Tree 978	11
8. Tree 980	12
9. Tree 981	12
10. Tree 982	12
11. Tree 979	12
12. Tree 987	12
13. Tree 420	12
14. Tree T	12
15. Tree 424	12
16. Tree 984	12
<b>5.2 TPZ and SRZ Encroachment Considerations (Trees with Major TPZ Impacts):</b>	<b>13</b>
<b>5.3 Legislation (Trees to be Removed)</b>	<b>14</b>
<b>6. Tree Protection Plan (Trees to be Retained):</b>	<b>16</b>
1. Site Meeting:	16
2. Tree Protection Fencing:	16
3. Machinery Access:	16
4. Neighbouring Sites:	16
5. Hydrovac Trench and Root Pruning:	16



6.	<i>Grade Changes / Tree Sensitive Methods Area:</i> .....	16
7.	<i>Project Arborist Site Inspection:</i> .....	16
8.	<i>Further Tree Protections:</i> .....	16
<b>7.</b>	<b>Recommendations:</b> .....	<b>18</b>
<b>8.</b>	<b>Disclaimer:</b> .....	<b>21</b>
<b>9.</b>	<b>References:</b> .....	<b>21</b>
<b>10.</b>	<b>Appendices:</b> .....	<b>22</b>
	<i>Appendix 1, SULE Rating:</i> .....	22
	<i>Appendix 2, Landscape Rating:</i> .....	23
	<i>Appendix 3, Tree and Site Photos:</i> .....	25
	Figures 1 - 8: Nominated trees assessed. ....	32
	Figure 9: Site Plan, trees are indicatively plotted.....	33
	<i>Appendix 4, Tree Protection / Impact Plan.</i> .....	34
	Figure 10: Tree Protection / Impact Plan for the Nominated trees.....	34
	<i>Appendix 5, Non-Compliance of Tree Protections and Legal Consequences:</i> .....	35

## 2. INTRODUCTION:

2.1 Harry Viney representing Accord Property engaged Ecological Tree Consulting to complete an Arboricultural Impact Assessment and Tree Protection Plan for the site 35 Paratoo Road, Stirling SA 5152. The client stated the trees have been nominated to be inspected in relation to a proposed development of the site.

2.2 This report is to include protected trees under the *South Australian Planning Development and Infrastructure Act 2016*, and the *South Australian Planning Development and Infrastructure (General) Regulations 2017* that may be affected by the proposed development. Trees protected under the *South Australian Native Vegetation Act 1991* and the *South Australian Native Vegetation Regulations 2017* have been included however an accredited Native Vegetation consultant must be engaged by the client to seek confirmation of tree protections under this act.

2.3 The site inspections of the nominated trees occurred during June and July 2024. This report will detail the condition of the nominated trees, specify the tree protection zone (TPZ) and structural root zone (SRZ) as a radius from the centre of the tree trunks at ground level and recommend tolerable incursions into these areas so the design process can consider these parameters. Recommendations for removal or retention will be based on the proposed works and compatibility of the trees with the works as well as SULE Rating and landscape/retention rating.

2.4 To achieve the objectives of the report, the trees will be assessed noting the species, size and general condition. The trees will be assessed using the internationally recognised Visual Tree Assessment (VTA) technique. Tree characteristics and eventual size will be taken into consideration as will the tree's position in relation to structures and hardscapes. Recommendations will be outlined in section 5 of the report.

2.5 The nominated tree numbers differ from the original numbering system on the site as the trees have since been tagged by the author to clearly identify the trees for this report and future reference on this job site (refer table 1 and appendix 3, figures 1 – 8).

## 3. METHODOLOGY:

3.1 The trees were assessed using the standard Visual Tree Assessment technique (VTA). The trees were assessed from the ground for this report.

3.2 Existing tree data already obtained by Project Green was extracted from Table 1: Native Tree data summary, of Project Green's Supplementary Advice V4 letter, dated 2 November 2023. A Yamayo Million diameter tape was used to obtain the circumference at 1 metre above ground level, diameter at breast height (DBH) and root buttress diameter (RBD) for all remaining nominated trees.

3.3 The height of the trees and spread of the canopies were estimated.

3.4 A smart phone was used to take all photographs in this report.

3.5 The health of the trees were assessed and rated within the following parameters,

1. **Good (G):** The tree / vegetation demonstrates a full canopy of foliage or living tissue for the species. The tree/ vegetation should be free of or exhibit only minor signs of decline or pest or disease signs and symptoms.



2. **Average (A):** The tree / vegetation demonstrates a moderate canopy of foliage or living tissue for the species. The canopy may contain dead branches and may exhibit minor to moderate signs of decline or pest or disease signs or symptoms.
3. **Below Average (BA):** The tree/ vegetation demonstrates a declining canopy of foliage or failing tissue for the species. The canopy may contain multiple dead or dying sections and may display moderate to significant signs of decline or pest or disease signs or symptoms.
4. **Poor (P):** The tree/ vegetation shows signs of extreme stress and or decline. A high percentage of the canopy foliage may be made up of declining epicormic growth. A high percentage of the canopy foliage may be chlorotic or necrotic. A high percentage of the canopy foliage and tissue may be dead. Or the tree has declined and is not producing defenses sufficient to stop secondary insect and or pathogen attack.
5. **Dead (D):** The tree / vegetation shows no signs of life.

3.6 The structure of the trees were assessed and rated within the following parameters,

1. **Good (G):** The approximate structural root zone appears unaffected; the trunk exhibits proportional buttressing and taper. Stem and branch unions are free of recognisable flaws, few if any insect or fungal signs or symptoms are visible.  
The tree is considered a good example of the species.
2. **Average (A):** Minor impacts may have occurred in the approximate structural root zone, the trunk exhibits proportional buttressing and taper, some second or third order branch unions may contain minor recognisable flaws, insect or fungal signs or symptoms may be visible. The tree could be retained with some corrective pruning.
3. **Below Average (BA):** Moderate impacts may have occurred in the approximate structural root zone, the trunk may exhibit moderate disproportional buttressing and taper, some second or third order branch unions may contain recognisable flaws, minor branch over extension may be occurring, minor to moderate inappropriate pruning may have occurred, the tree may have a moderate lean, insect or fungal signs or symptoms may be visible. The tree may not be able to be reasonably retained with some corrective pruning.
4. **Poor (P):** Damage to the structural root zone may be likely, damage to the trunk may be likely, the tree may exhibit multiple branch failures, trunk buttressing and taper may be disproportionate, the main union has recognisable flaws, first, second and/or third order branch unions may contain recognisable flaws, moderate to major branch over extension may be occurring, major inappropriate pruning may have occurred, the tree may have a lean near or above 25°, insect or fungal signs or symptoms are visible and have progressed to beyond moderate levels, the tree is unlikely to be reasonably retained with corrective pruning.

3.7 The SULE rating system has been used as a guide to assist in determining the Safe Useful Life Expectancy of the trees surveyed (Refer Appendix 1).

3.8 The landscape / retention rating of the trees were assessed using the Legend for S.T.A.R.S Footprint Green Matrix Assessment System (Refer Appendix 2).

## 4. DISCUSSION:

4.1 The Project Arborist must be engaged to advise and supervise the required tree protection actions to be undertaken during all of the development stages. The Project Arborist has the responsibility of both monitoring and certifying the Tree Protection Plan. There must be no deviation/alteration to the Tree Protection Plan without written consent from the Project Arborist under the written consent of the governing authority as required by AS 4970-2009 Protection of Trees on Development Sites.

- a) Unauthorised alteration of recommendations in this report actions absolute nullity of this report.
- b) Only the Project Arborist can write and submit the staged supervising and reporting as required within the Tree Protection Plan and Recommendations sections within this report as required by AS 4970-2009.

4.2 A TPZ and SRZ are not a total exclusion zone. However, it must be demonstrated that tree sensitive techniques with low or no tree impact are used within a TPZ and SRZ. Through a properly monitored construction process as required by AS 4970-2009, tree sensitive development systems inclusive of Project Arborist supervision, will allow for a tree sensitive design. When implementing properly monitored tree sensitive designs, the AS 4970-2009 TPZ and SRZ impact on trees is heavily reduced and or eliminated.

4.3 An engineering bore log must be used to assess the site soil.

- a) Removal of soil within a TPZ can remove roots causing tree damage. If fill is proposed within any TPZ, it must be of a coarser grade than the existing site soil. Due to gaseous exchange restrictions created by fill between the site grade and atmosphere leading to tree root asphyxiation, and excavations removing roots causing tree damage, any proposed grade change within a TPZ be it excavation or fill including depths and material must be approved in writing by the Project Arborist and the local authority (refer tree protection plan).

4.4 Based on the information provided by the client, approval for a childcare centre with associated landscaping has been granted at this site. Following development approval, a requirement to install a fire track around the perimeter of the centre is necessary and further trees will be affected by this development. This will include the fire track, a grass swale, battering and retaining. To achieve the works, the nominated trees are proposed to be retained and protected for the duration of the works in accordance with AS 4970-2009 Protection of Trees on Development Sites. The nominated trees will be retained using tree sensitive development activities and protections where required, to allow the works to proceed. **Options for managing the trees nominated in this report to be retained will be provided as required by AS 4970-2009 and will form part of the conditions of consent.** The trees nominated to be retained that may be affected by this development will be kept in the condition consistent with their predevelopment health for the duration of the works. This will be achieved using the Australian Standard AS 4970-2009 Protection of Trees on Development Sites and science based arboricultural literature for the basis of all tree management practices.

- a) AS 4970-2009 section 1.4.5 defines the SRZ as

*“Structural root zone (SRZ)*

*The area around the base of a tree required for the tree’s stability in the ground. The woody root growth and soil cohesion in this area are necessary to hold the tree upright. The SRZ is nominally circular with the trunk at its centre and is expressed by its radius in metres.*

*This zone considers a tree’s structural stability only, not the root zone required for a tree’s vigour and long-term viability, which will usually be a much larger area”.*



- b) AS 4970-2009 section 1.4.7 defines the TPZ as  
*“A specified area above and below ground and at a given distance from the trunk set aside for the protection of a tree’s roots and crown to provide for the viability and stability of a tree to be retained where it is potentially subject to damage by development.”*
- c) AS 4970-2009 section 3.3.2 defines a minor encroachment as  
*“3.3.2 Minor encroachment If the proposed encroachment is less than 10% of the area of the TPZ and is outside the SRZ (see Clause 3.3.5), detailed root investigations should not be required. The area lost to this encroachment should be compensated for elsewhere and contiguous with the TPZ. Variations must be made by the project arborist considering relevant factors listed in Clause 3.3.4. The figures in Appendix D demonstrate some examples of possible encroachment into the TPZ up to 10% of the area.”*
- d) AS 4970-2009 section 3.3.3 defines a major encroachment as  
*“If the proposed encroachment is greater than 10% of the TPZ or inside the SRZ (see Clause 3.3.5), the project arborist must demonstrate that the tree(s) would remain viable. The area lost to this encroachment should be compensated for elsewhere and contiguous with the TPZ. This may require root investigation by non-destructive methods and consideration of relevant factors listed in Clause 3.3.4.”*

## 5. ASSESSMENT OF THE NOMINATED TREES:

ORIGINAL TREE NUMBER	TAG NUMBER	SPECIES	CIRCUMFERENCE (m)	LEGAL STATUS *	HEIGHT (m)	SPREAD (m)	DBH (mm)	RBD (mm)	TPZ (m)	SRZ (m)	HEALTH	STRUCTURE	SULE	STARS	TPZ IMPACT	NOTES
6	989	<i>Eucalyptus obliqua</i>	3.7	SIGNIFICANT	22	18	1230	1290	14.8	3.7	A	A	2	M	9.4%	RETAIN AND PROTECT
9	988	<i>Eucalyptus obliqua</i>	2.8	SIGNIFICANT	22	12	900	1000	10.8	3.3	A	A	2	M	0.0%	RETAIN AND PROTECT
11	421	<i>Eucalyptus obliqua</i>	2.6	SIGNIFICANT	22	6	800	850	9.96	3.1	BA	A	3	HAZ	0.0%	TERMITES REMOVE TREE
12	422	<i>Eucalyptus obliqua</i>	2.1	SIGNIFICANT	20	10	710	730	8.52	2.9	A	A	2	M	100%	REMOVE TREE
13	413	<i>Eucalyptus obliqua</i>	2.6	SIGNIFICANT	20	12	830	860	9.96	3.1	A	A	2	M	0.0%	RETAIN AND PROTECT
15	425	<i>Eucalyptus obliqua</i>	2.4	SIGNIFICANT	20	10	770	860	9.24	3.1	A	A	2	M	13.5%	MAJOR ENCROACHMENT RETAIN AND PROTECT
16	426	<i>Eucalyptus obliqua</i>	2.6	SIGNIFICANT	20	8	820	920	9.84	3.2	A	A	2	M	12.9%	MAJOR ENCROACHMENT RETAIN AND PROTECT
17	427	<i>Eucalyptus obliqua</i>	2.4	SIGNIFICANT	24	10	750	920	9	3.2	A	A	2	M	0.0%	RETAIN AND PROTECT
18	428	<i>Eucalyptus obliqua</i>	2.5	SIGNIFICANT	22	10	800	920	9.6	3.2	A	A	2	M	0.0%	RETAIN AND PROTECT
19	975	<i>Eucalyptus obliqua</i>	2.1	SIGNIFICANT	20	10	700	730	8.04	2.9	A	A	2	M	0.0%	RETAIN AND PROTECT
21	977	<i>Eucalyptus obliqua</i>	3	EXEMPT	22	12	900	1000	10.8	3.3	A	A	2	M	41%	<20M DWELLING UNACCEPTABLE IMPACT & WITHIN SRZ REMOVE TREE
23	not tagged neighbours tree	<i>Eucalyptus obliqua</i>	>3	SIGNIFICANT	22	18	1200	1230	14	3.6	A	A	2	M	LOW	RETAIN AND PROTECT

24	978	<i>Eucalyptus obliqua</i>	2.2	EXEMPT	18	8	680	800	8.16	3	A	A	2	M	100%	<20M DWELLING UNACCEPTABLE IMPACT & WITHIN SRZ REMOVE TREE
25	980	<i>Eucalyptus obliqua</i>	3.5	EXEMPT	24	18	1100	1230	13.2	3.6	A	A	2	M	37.1%	<20M DWELLING UNACCEPTABLE IMPACT & WITHIN SRZ REMOVE TREE
26	981	<i>Eucalyptus obliqua</i>	3.1	SIGNIFICANT	22	16	980	1100	11.8	3.4	A	A	2	M	30.3%	UNACCEPTABLE IMPACT & WITHIN SRZ REMOVE TREE
27	982	<i>Eucalyptus obliqua</i>	2.8	SIGNIFICANT	20	12	890	1000	10.7	3.3	A	A	2	M	14.6%	MAJOR ENCROACHMENT RETAIN AND PROTECT
G	979	<i>Eucalyptus obliqua</i>	>1 & <2	EXEMPT	10	6	550	650	6.6	2.76	BA	BA	3	L	100%	<20M DWELLING <REMOVE TREE
H	976	<i>Eucalyptus obliqua</i>	>1 & <2	REGULATED	20	8	400	511	4.8	2.5	A	A	2	M	0.0%	RETAIN AND PROTECT
I	973	<i>Eucalyptus obliqua</i>	>1 & <2	REGULATED	18	8	400	511	4.8	2.5	A	BA	3	L	0.0%	RETAIN AND PROTECT
J	987	<i>Acacia melanoxylon</i>	<1	EXEMPT	8	4	200	300	2.4	2	G	G	2	L	9.8%	RETAIN AND PROTECT
K	420	<i>Eucalyptus obliqua</i>	>1 & <2	REGULATED	10	8	200	300	2.4	2	A	BA	3	L	100%	REMOVE TREE
L	415	<i>Eucalyptus obliqua</i>	<1 & <2	EXEMPT	7	6	200	300	2.4	2	A	BA	3	L	0.0%	RETAIN AND PROTECT
M	417	<i>Eucalyptus obliqua</i>	>1 & <2	EXEMPT	7	4	N/A	300	2.4	2	D	BA	4	L	0.0%	DEAD #NVC <2m at 300mm AGL RETAIN AND PROTECT
N	414	<i>Eucalyptus obliqua</i>	<1	EXEMPT	10	6	N/A	300	2.4	2	D	BA	4	L	0.0%	DEAD #NVC <2m at 300mm AGL RETAIN AND PROTECT
O	418	<i>Eucalyptus obliqua</i>	>1 & <2	EXEMPT	20	7	N/A	400	3.6	2.25	D	A	4	HAZ	0.0%	DEAD, TERMITES 2.1M at 300mm AGL REMOVE TREE
P	not tagged neighbours tree	<i>Eucalyptus obliqua</i>	>1 & <2	REGULATED	24	16	708	920	8.5	3.2	A	A	2	M	0.0%	RETAIN AND PROTECT
Q	not tagged 2x saplings	<i>Acacia melanoxylon</i>	<1	EXEMPT	4	3	100	100	2	1.5	G	G	2	L	0.0%	RETAIN AND PROTECT



T	not tagged sapling	<i>Acacia melanoxylon</i>	<1	EXEMPT	4	2	100	100	2	1.5	G	G	2	L	100%	REMOVE TREE
-	424	<i>Eucalyptus obliqua</i>	>1 & <2	EXEMPT	14	6	N/A	630	N/A	2.73	D	A	4	L	100%	DEAD #NVC 1.9m at 300mm AGL REMOVE TREE
-	423	<i>Eucalyptus obliqua</i>	>1 & <2	EXEMPT	10	4	N/A	480	N/A	2.43	D	BA	4	L	0.0%	DEAD #NVC 1.4m at 300mm AGL RETAIN & PROTECT
-	972	<i>Acacia melanoxylon</i>	>1 & <2	REGULATED	14	8	440	530	5.28	2.53	A	BA	3	L	0.0%	RETAIN & PROTECT
-	974	<i>Eucalyptus obliqua</i>	>1 & <2	EXEMPT	8	4	N/A	390	N/A	2.23	D	B	4	L	0.0%	DEAD #NVC <2m at 300mm AGL RETAIN & PROTECT
-	419	<i>Eucalyptus obliqua</i>	<1	EXEMPT	10	3	N/A	360	N/A	2.15	D	A	4	L	0.0%	DEAD #NVC <2m at 300mm AGL RETAIN & PROTECT
-	984	<i>Eucalyptus obliqua</i>	<1	EXEMPT	4	3	100	100	2	1.5	A	A	2	L	30.5%	UNACCEPTABLE IMPACT & WITHIN SRZ REMOVE TREE
-	990	<i>Eucalyptus obliqua</i>	>1 & <2	EXEMPT	18	6	N/A	630	N/A	2.73	D	BA	4	L	0.0%	DEAD #NVC 1.85m at 300mm AGL RETAIN & PROTECT

**Table 1: Assessment data for the nominated trees**

**LEGEND FOR ABOVE TABLE**

LEGAL STATUS \* Under the *Planning, Development and Infrastructure Act 2016* and the *Planning, Development and Infrastructure (General) Regulations 2017*

#NVC Seek advice from an Accredited Native Vegetation Consultant as this tree may be exempt under the *Native Vegetation Act 1991* and the *Native Vegetation Regulations 2017*.

## 5.1 TPZ ENCROACHMENTS AND IMPACTS:

5.1.1 Under AS 4970-2009 Protection of Trees on Development Sites, a 10% TPZ impact is recommended with no SRZ impact. AS 4970-2009 differentiates between encroachments and impacts stating that tree sensitive designs solutions reduce the impact of encroachments.

### 1. Tree 989

- The TPZ impact for the proposed retaining is 9.4% and is not within the SRZ.
- The TPZ encroachment for the proposed fire track and battering is low and acceptable due to tree sensitive methods used.
- The total TPZ impact for Tree 989 is 9.4% which is considered a low and acceptable TPZ impact.
- Tree 989 is to be retained and protected.

### 2. Tree 422

- Tree 422 is within the location of the proposed grass swale.
- The total TPZ and SRZ impact for Tree 422 is 100%.
- Tree 422 is to be removed.

### 3. Tree 425

- The TPZ impact for the proposed fire track, retaining and grass swale is 13.5% and is not within the SRZ.
- The total TPZ impact for Tree 425 is 13.5% which is considered a major TPZ impact under AS4970-2009 (Refer 5.2 TPZ and SRZ Encroachment Considerations and the Tree Protection Plan for further details).
- Tree 425 is to be retained and protected.

### 4. Tree 426

- The TPZ impact for the proposed fire track, retaining and grass swale is 12.9% and is not within the SRZ.
- The total TPZ impact for Tree 426 is 12.9% which is considered a major TPZ impact under AS4970-2009 (Refer 5.2 TPZ and SRZ Encroachment Considerations and the Tree Protection Plan for further details).
- Tree 426 is to be retained and protected.

### 5. Tree 977

- The TPZ impact for the proposed fire track and grass swale is 41% and is within the SRZ.
- The total TPZ impact for Tree 977 is 41% which is an unacceptable TPZ impact.
- Tree 977 is to be removed.

### 6. Tree 23

- The TPZ encroachment for the proposed fire track and battering is low and acceptable due to tree sensitive methods used (refer the tree protection plan).
- Tree 23 is to be retained and protected.

### 7. Tree 978

- Tree 978 is within the location of the proposed grass swale.
- The total TPZ and SRZ impact for Tree 978 is 100%.
- Tree 978 is to be removed.

**8. Tree 980**

- The TPZ impact for the proposed fire track and grass swale is 37.1% and is within the SRZ.
- The total TPZ impact for Tree 980 is 37.1% which is an unacceptable TPZ impact.
- Tree 980 is to be removed.

**9. Tree 981**

- The TPZ impact for the proposed fire track and grass swale is 30.3% and is within the SRZ.
- The total TPZ impact for Tree 981 is 30.3% which is an unacceptable TPZ impact.
- Tree 981 is to be removed.

**10. Tree 982**

- The TPZ impact for the proposed grass swale and retaining is 14.6% and is not within the SRZ.
- The total TPZ impact for Tree 982 is 14.6% which is considered a major TPZ impact under AS4970-2009 (Refer 5.2 TPZ and SRZ Encroachment Considerations and the Tree Protection Plan for further details).
- Tree 982 is to be retained and protected.

**11. Tree 979**

- Tree 979 is within the location of the proposed grass swale.
- The total TPZ and SRZ impact for Tree 979 is 100%.
- Tree 979 is to be removed.

**12. Tree 987**

- The TPZ impact for the proposed grass swale is 9.8% and is not within the SRZ.
- The total TPZ impact for Tree 987 is 9.8% which is considered a low and acceptable TPZ impact.
- Tree 987 is to be retained and protected.

**13. Tree 420**

- Tree 420 is within the location of the proposed grass swale.
- The total TPZ and SRZ impact for Tree 420 is 100%.
- Tree 420 is to be removed.

**14. Tree T**

- Tree T is within the location of the proposed fire track.
- The total TPZ and SRZ impact for Tree T is 100%.
- Tree T is to be removed.

**15. Tree 424**

- Tree 424 is within the location of the proposed grass swale.
- The total TPZ and SRZ impact for Tree 424 is 100%.
- Tree 424 is to be removed.

**16. Tree 984**

- The TPZ impact for the proposed grass swale is 30.5% and is within the SRZ.
- The total TPZ impact for Tree 984 is 30.5% which is an unacceptable TPZ impact.
- Tree 984 is to be removed.



## 5.2 TPZ AND SRZ ENCROACHMENT CONSIDERATIONS (TREES WITH MAJOR TPZ IMPACTS):

5.2.1 As stated in AS 4970-2009 Protection of trees on development sites, any TPZ encroachment greater than 10% must consider the following:

*“(a) Location and distribution of the roots to be determined through non-destructive investigation methods (pneumatic, hydraulic, hand digging or ground penetrating radar). Photographs should be taken and a root zone map prepared.*

*NOTE: Regardless of the method, roots must not be cut, bruised or frayed during the process. It is imperative that exposed roots are kept moist and the excavation back filled as soon as possible.*

**As specified in the tree protection plan, trenches as drawn in appendix 4 must be hydrovac'd under direct project arborist supervision and tree roots correctly pruned so the tree roots are not ripped out by an excavator or similar causing additional root damage beyond the proposed development.**

*(b) The potential loss of root mass resulting from the encroachment: number and size of roots.*

**The potential loss of root mass is negligible as the acceptable TPZ encroachments will have no adverse impacts on the nominated trees.**

*(c) Tree species and tolerance to root disturbance.*

***Eucalyptus obliqua* are shallow rooted and are intolerant to root disturbance. The proposed TPZ impacts are no larger than 14.6% which is slightly higher than the current recommended TPZ impact as specified in AS4970-2009 Protection of Trees on Development Sites. However, following the Tree Protection Plan will ensure minimal root disturbance.**

*(d) Age, vigour and size of the tree.*

**The age, vigor, and size of the trees are not a barrier to the proposed works. The health of all retained trees is to be monitored throughout development.**

*(e) Lean and stability of the tree. NOTE: Roots on the tension side are likely to be most important for supporting the tree and are likely to extend for a greater distance.*

**All trees appear stable in the ground, no structural roots will be damaged during development and therefore the trees to be retained are expected to remain stable.**

*(f) Soil characteristics and volume, topography and drainage.*

**The trees are growing well in the soil type and available soil volumes and the trees have evolved and acclimated in the site soil.**

*(g) The presence of existing or past structures or obstacles affecting root growth.*

**There is no evidence of existing or past structures or obstacles that have affected root growth.**

*(h) Design factors.”*

**Refer to the tree protection plan for the required tree protections throughout the proposed development.**

### 5.3 LEGISLATION (TREES TO BE REMOVED)

#### Desired Outcome

##### DO 1

**Conservation of regulated and significant trees to provide aesthetic and environmental benefits and mitigate tree loss.**

##### PO 1.1

**Regulated trees are retained where they:**

**(a) make an important visual contribution to local character and amenity:** Tree 420 is a structurally compromised specimen that is set back on the property and so is hidden from view in the locality. Therefore, the tree's contribution to the site is devalued and the tree does not make an "important" contribution to the character or amenity of the local area.

**(b) are indigenous to the local area and listed under the National Parks and Wildlife Act 1972 as a rare or endangered native species:** No, the tree is not indigenous to the local area and listed under the National Parks and Wildlife Act 1972 as a rare or endangered native species. As this criterion has the connective word "and" rather than the separative word "or", both parts must be achieved to fulfil this section of legislation. Both parts are not met.

**and / or**

**(c) provide an important habitat for native fauna:** Yes, the tree does represent an important habitat for native fauna.

##### PO 1.2

**Significant trees are retained where they:**

**(a) make an important contribution to the character or amenity of the local area:** No, the oxford dictionary definition of the word important is "having a great effect on people or things; of great value". Trees 421, 422 and 981 are set back on the property and so are hidden from view in the locality. Therefore, these tree's contribution in this area is devalued and the trees do not make an "important" contribution to the character or amenity of the local area.

**(b) are indigenous to the local area and are listed under the National Parks and Wildlife Act 1972 as a rare or endangered native species:** No, the trees are not indigenous to the local area and listed under the National Parks and Wildlife Act 1972 as a rare or endangered native species. As this criterion has the connective word "and" rather than the separative word "or", both parts must be met to fulfil this section of legislation. Both parts are not met.

**(c) represent an important habitat for native fauna:** Yes, the trees do represent an important habitat for native fauna.

**(d) are part of a wildlife corridor of a remnant area of native vegetation:** No, the trees are not part of a wildlife corridor of a remnant area of native vegetation. The locality of the tree is that of habitat fragmentation due to human development.

**(e) are important to the maintenance of biodiversity in the local environment:** No, large healthy trees with a long safe useful life expectancy have the highest biodiversity values. The trees display average health and have less than 40 year safe useful life expectancy. Therefore, the trees are not important to the maintenance of biodiversity in the local environment.

**and / or**

**(f) form a notable visual element to the landscape of the local area:** No, the trees are set back on the property and so are hidden from view in the local area. Therefore, these trees' contribution in this area is devalued. Therefore, the trees do not form a notable visual element to the landscape of the local area.

#### **PO 1.4**

**A tree-damaging activity in connection with other development satisfies all the following:**

**(a) it accommodates the reasonable development of land in accordance with the relevant zone or subzone where such development might not otherwise be possible:** Yes, development approval has been granted for a childcare centre on the site. Following approval, there is a requirement to install a fire track around the building. Therefore, tree damaging activity is required to accommodate the reasonable development of land in accordance with the relevant zone or subzone where such development might not otherwise be possible. Many trees will be retained and protected on the site during and following the development.

**(b) in the case of a significant tree, all reasonable development options and design solutions have been considered to prevent substantial tree-damaging activity occurring.** Yes, it is a legal requirement to install the fire track, and due to the number of trees on the site, loss of some trees is inevitable. Many trees will be retained and protected on the site during and following the development.



## 6. TREE PROTECTION PLAN (TREES TO BE RETAINED):

1. **Site Meeting:** A site meeting must occur between the Project Arborist and the builder addressing the tree protection plan before site works commence (AS 4970-2009).
2. **Tree Protection Fencing:** Prior to works commencing onsite, a two-metre-tall temporary chain mesh tree protection fence complying with AS 4687-2007 Temporary Fencing and Hoardings and AS 4970-2009 must be installed in the location as drawn in appendix 4. These measures will protect the TPZ and SRZ of all trees to be retained while allowing the works to proceed. Signage identifying the TPZ must be attached to the TPZ fencing complying with AS 4970-2009 and AS 1319-1994 *Safety Signs for the Occupational Environment*. **The Project Arborist must certify the tree protection measures are correctly installed with certification submitted to the local council.**
3. **Machinery Access:** No machinery access is permitted within the TPZ fenced off areas at any time.
4. **Neighbouring Sites:** Some TPZs extend into the neighbouring sites. No workers or machinery are to enter the neighbouring sites. This will ensure TPZ and SRZ protection within the neighbouring sites.
5. **Hydrovac Trench and Root Pruning:** Due to what AS4970-2009 Protection of Trees on Development Sites considers a major TPZ impact. 100mm wide trenches, as drawn in appendix 4 must be hydrovac'd under direct project arborist supervision. The trenches are to be to the depth of the proposed development. The pruning of tree roots must be pruned or supervised by the Project Arborist using sharp tools with square cuts. This will ensure any roots are pruned correctly (Gilman 2012) and the roots are not ripped out of the ground by an excavator or similar causing further damage closer to the nominated trees. **The Project Arborist must submit the certification documents to the local council (AS 4970-2009).**
6. **Grade Changes / Tree Sensitive Methods Area:** For the battering and fire track within the blue hatching area (refer appendix 4) the soil must not be cut to lower than the existing grade. Any fill must be of a coarser grade than the existing site soil.
7. **Project Arborist Site Inspection:** It is recommended that the Project Arborist complete a site inspection every three months during development and again at practical completion of the works when the removal of all tree protection measures is required. The trees herein this report will be inspected by the Project Arborist to determine if the trees have been maintained in accordance with this report. **From this inspection the certification of tree protection can be issued by the Project Arborist as required by AS 4970-2009 with certification submitted to the local council.**
8. **Further Tree Protections:** Unless specifically specified above, the following activities 1-14 inclusive are not permissible within any Tree Protection Zone and form part of the tree protection plan for the nominated trees to be retained.
  1. Machine excavation including trenching.
  2. Excavation for silt fencing
  3. cultivation
  4. Storage of materials.
  5. Preparation of chemicals including cement products.
  6. Parking of vehicles or plant.

7. Refueling.
8. Dumping of waste.
9. Washing and cleaning of equipment.
10. Placement/storage of fill.
11. Lighting of fires.
12. Soil level alterations
13. Temporary or permanent installation of utilities and signs.
14. Physical damage to the tree including attaching anything to the tree.

## 7. RECOMMENDATIONS:

7.1 After reviewing the site and the information provided by the client, the author of this report recommends the works that are proposed at this site proceed with the following actions:

- 7.1.1 The assessed design enables the retention and protection of trees 989, 988, 413, 425, 426, 427, 428, 975, 23, 982, 987, 976, 973, 415, 417, 414, P, Q, 423, 972, 974, 419 and 990.
- a) Trees 988, 413, 427, 428, 975, 976, 973, 415, 417, 414, P, Q, 423, 972, 974, 419 and 990 are not directly impacted by the proposed development; however, their retention and protection is essential during the proposed development by following all sections of the tree protection plan and recommendations in this report.
  - b) Tree 987 is protected under the *Native Vegetation Act 1991* and the *Native Vegetation Regulations 2017*. The TPZ impact for tree 987 is 9.8% which is considered a low and acceptable impact.
  - c) Trees 989 and 23 are protected under the *Planning, Development and Infrastructure Act 2016*, the *Planning, Development and Infrastructure (General) Regulations 2017*, the *Native Vegetation Act 1991* and the *Native Vegetation Regulations 2017*. The TPZ impact for tree 989 is 9.4% which is considered a low and acceptable impact. The TPZ encroachment for tree 23 is low and acceptable due to tree sensitive methods used.
  - d) The TPZ impacts for trees 425, 426, and 982 are considered major under the current Australian Standard, AS4970-2009 however these impacts are no greater than 14.6%. These trees are protected under the *Planning, Development and Infrastructure Act 2016*, the *Planning, Development and Infrastructure (General) Regulations 2017*, the *Native Vegetation Act 1991* and the *Native Vegetation Regulations 2017*. After considering the TPZ and SRZ considerations in AS4970-2009 Protection of Trees on Development Sites, the author recommends the retention of these trees and following the tree protection plan will ensure sufficient tree protection during the development and tree damaging activity will not occur.
- 7.1.2 Removal of trees 421, 422, 977, 978, 980, 981, 979, 420, 418, T, 424 and 984 are required to allow reasonable development of the site.
- a) Trees 421 and 418 are housing live termites and are considered hazardous, these trees are recommended for removal. Local council approval is required to remove tree 421 as this tree is protected as a significant tree under the *Planning, Development and Infrastructure Act 2016* and the *Planning, Development and Infrastructure (General) Regulations 2017*. Native Vegetation Council approval is required for trees 421 and 418 as both trees are protected under the *Native Vegetation Act 1991* and the *Native Vegetation Regulations 2017*.
  - b) Trees 977, 978, 980 and 979 are <20 metres from the existing dwelling in a medium risk bushfire area and therefore these trees are exempt from development controls under the *Planning, Development and Infrastructure Act 2016* and the *Planning, Development and Infrastructure (General) Regulations 2017*. Local council approval is not required for the removal of these trees, provided they are removed before the dwelling is demolished. However, these trees are protected under the *Native Vegetation Act 1991* and the *Native Vegetation Regulations 2017*, therefore Native Vegetation Council approval is required to remove these trees.



- c) The TPZ and SRZ impacts for trees 422, 981, 420 are considered major and unacceptable. Removal of these trees is required for the proposed development to proceed. Local council approval is required as trees 422 and 981 are protected as significant trees and tree 420 is protected as a regulated tree under the *Planning, Development and Infrastructure Act 2016* and the *Planning, Development and Infrastructure (General) Regulations 2017*. Native Vegetation Council approval is required for these trees as they are all protected under the *Native Vegetation Act 1991* and the *Native Vegetation Regulations 2017*.
- d) The TPZ and SRZ impacts for tree T and 984 are considered major and unacceptable. Removal of these trees is required for the proposed development to proceed. Tree T and 984 are protected under the *Native Vegetation Act 1991* and the *Native Vegetation Regulations 2017*; therefore, Native Vegetation Council approval is required to remove these trees.
- e) The TPZ and SRZ impact for tree 424 is considered major and unacceptable. Removal of this tree is required for the proposed development to proceed. Tree 424 is dead and therefore is exempt from development controls under the *Planning, Development and Infrastructure Act 2016* and the *Planning, Development and Infrastructure (General) Regulations 2017*. The circumference of the tree is 1.9 metres at 300 mm above ground level and may not be protected under the *Native Vegetation Act 1991* and the *Native Vegetation Regulations 2017*. Confirmation is required by an Accredited Native Vegetation Consultant

- 7.1.3 Granted development approval is required before proceeding with the recommendations herein this report.
- 7.1.4 All tree protection measures must be in place as described in the tree protection plan prior to the commencement of any works. The installation of tree protection measures will assist in reducing the impact to the trees nominated for retention. The Project Arborist must certify the tree protection measures are correctly installed prior to commencement of any site works with certification submitted to the local council.
- 7.1.5 Some works within the TPZ of the trees nominated in this report must be supervised and recorded by the Project Arborist as described in the tree protection plan with certification submitted to the local council. It is the client's responsibility to arrange site inspections and coordinate works with the Project Arborist.
- 7.1.6 TPZ inspections and reporting are recommended every three months to ensure the nominated trees are adequately protected.
- 7.1.7 At practical completion the removal of all tree protection measures is required. The trees herein this report will be inspected by the Project Arborist to determine if the trees have been maintained in accordance with this report. From this inspection the certification of tree protection can be issued by the Project Arborist as required by AS 4970-2009 with certification submitted to the local council. If the trees have been damaged or breaches of the Australian Standards have occurred, council will be contacted for further advice.

7.1.8 Following the tree protection plan and project arborist supervision recommendations for the retained trees within this report will protect the nominated trees during the proposed development, therefore, the proposed development will not constitute tree damaging activity and should proceed. All site-specific tree protection instructions must be strictly adhered to.

## 8. DISCLAIMER:

This report only covers identifiable defects present at the time of inspection. The author accepts no responsibility or can be held liable for any structural defect or unforeseen event/situation that may occur after the time of inspection.

The author cannot guarantee trees contained within this report will be structurally sound under all circumstances and cannot guarantee that the recommendations made will categorically result in any tree being made safe.

Unless specifically mentioned this report will only be concerned with above ground inspections, that will be undertaken visually from ground level. Trees are living organisms and as such cannot be classified as safe under any circumstances. The recommendations are made on the basis of what can be reasonably identified at the time of inspection therefore the author accepts no liability for any recommendations made.

Care has been taken to obtain all information from reliable sources. All data has been verified insofar as possible; however, the author can neither guarantee nor be responsible for the accuracy of information provided by others.

## 9. REFERENCES:

Footprint Green Pty Ltd 2001, Footprint Green Tree Significance & Retention Value Matrix, Avalon, NSW Australia, [www.footprintgreen.com.au](http://www.footprintgreen.com.au)

Dunster, J., Smiley, E., Matheny, N. and Lilly, S. (n.d.). *Tree risk assessment manual*. 2nd ed. Champaign, Illinois: International society of arboriculture.

Gilman, E. (2012). *An illustrated guide to pruning*. 3rd ed. Clifton Park, NY: Delmar.

Handreck, K. and Black, N. (2010). *Growing Media for ornamental plants and turf*. 4th ed. Sydney: University of New South Wales Press Ltd.

Hirons, A. and Thomas, P., n.d. 2018. *Applied tree biology*. The Atrium, Southern Gate, Chichester, West Sussex: John Wiley and Sons Ltd.

Lilly, S. (2010). *Arborists' certification study guide*. [Urbana, Ill.]: International Society of Arboriculture.

Lonsdale, D., 2013. *Principles of tree hazard assessment and management*. 7th ed. [London]: [TSO].

*Native Vegetation Act 1991*

*Native Vegetation Regulations 2017*

Roberts, J., Jackson, N. and Smith, D., 2018. *Tree roots in the built environment*. 3rd ed. Stonehouse UK: Arboricultural Association.

*South Australian Planning Development and Infrastructure Act 2016*

*South Australian Planning Development and Infrastructure (General) Regulations 2017*

Standards Australia, 1994, *Safety signs for the occupational environment*, Standards Australia, Sydney

Standards Australia 2009, *Protection of trees on development sites*, Standards Australia, Sydney.

Standards Australia, 2007, *Temporary fencing and hoardings*, Standards Australia, Sydney



## 10. APPENDICES:

### Appendix 1, SULE Rating:

**Safe Useful Life Expectancy (SULE):** Safe Useful life expectancy refers to an expected period of time the tree can be retained within the landscape before its amenity value declines to a point where it may detract from the appearance of the landscape and/or becomes potentially hazardous to people and/or property. SULE values consider tree species, current age, health, structure and location. SULE values are based on the tree at the time of assessment and do not consider future changes to the tree's location and environment which may influence the SULE value.

Category rating:	Category definition in years:	Category rating:
1	> 40 Years	Long SULE (High)
2	15 to 40 Years	Medium SULE (Medium)
3	Short 5-15 Years.	Short SULE (Low)
4	0 to 5 years.	Remove SULE (Remove)

## Appendix 2, Landscape Rating:

IACA Significance of a Tree, Assessment Rating System (STARS) © (IACA 2010) ©

In the development of this document IACA acknowledges the contribution and original concept of the Footprint Green Tree Significance & Retention Value Matrix, developed by Footprint Green Pty Ltd in June 2001.

The landscape significance of a tree is an essential criterion to establish the importance that a particular tree may have on a site. However, rating the significance of a tree becomes subjective and difficult to ascertain in a consistent and repetitive fashion due to assessor bias. It is therefore necessary to have a rating system utilising structured qualitative criteria to assist in determining the retention value for a tree. To assist this process all definitions for terms used in the Tree Significance - Assessment Criteria and Tree Retention Value - Priority Matrix, are taken from the IACA Dictionary for Managing Trees in Urban Environments 2009.

This rating system will assist in the planning processes for proposed works, above and below ground where trees are to be retained on or adjacent a development site. The system uses a scale of High, Medium and Low significance in the landscape. Once the landscape significance of an individual tree has been defined, the retention value can be determined.

### IACA Significance of a Tree, Assessment Rating System (STARS) © (IACA 2010) ©

		Significance				
		1. High Significance in Landscape	2. Medium Significance in Landscape	3. Low Significance in Landscape	4. Environmental Pest / Noxious Weed Species	5. Hazardous / Irreversible Decline
Estimated life expectancy	Long >40 years					
	Medium 15-40 Years					
	Short <1-15 Years					
	Dead					

#### Legend for Matrix Assessment:

	<b>Priority for Retention (High)</b> - These trees are considered important for retention and should be retained and protected. Design modification or re-location of building/s should be considered to accommodate the setbacks as prescribed by the Australian Standard AS4970 Protection of trees on development sites. Tree sensitive construction measures must be implemented e.g. pier and beam etc if works are to proceed within the Tree Protection Zone.
	<b>Consider for Retention (Medium)</b> - These trees may be retained and protected. These are considered less critical; however, their retention should remain priority with removal considered only if adversely affecting the proposed building/works and all other alternatives have been considered and exhausted.

	<b>Consider for Removal (Low)</b> - These trees are not considered important for retention, nor require special works or design modification to be implemented for their retention.
	<b>Priority for Removal</b> - These trees are considered hazardous, or in irreversible decline, or weeds and should be removed irrespective of development.

**Tree Significance - Assessment Criteria:**

**1. High Significance in landscape:**

The tree is in good condition and good vigour; - The tree has a form typical for the species; - The tree is a remnant or is a planted locally indigenous specimen and/or is rare or uncommon in the local area or of botanical interest or of substantial age; - The tree is listed as a Heritage Item, Threatened Species or part of an Endangered ecological community or listed on Councils Significant Tree Register; - The tree is visually prominent and visible from a considerable distance when viewed from most directions within the landscape due to its size and scale and makes a positive contribution to the local amenity; - The tree supports social and cultural sentiments or spiritual associations, reflected by the broader population or community group or has commemorative values; - The tree’s growth is unrestricted by above and below ground influences, supporting its ability to reach dimensions typical for the taxa in situ - tree is appropriate to the site conditions.

**2. Medium Significance in landscape**

The tree is in fair-good condition and good or low vigour; - The tree has form typical or atypical of the species; - The tree is a planted locally indigenous or a common species with its taxa commonly planted in the local area - The tree is visible from surrounding properties, although not visually prominent as partially obstructed by other vegetation or buildings when viewed from the street, - The tree provides a fair contribution to the visual character and amenity of the local area, - The tree’s growth is moderately restricted by above or below ground influences, reducing its ability to reach dimensions typical for the taxa in situ.

**3. Low Significance in landscape**

The tree is in fair-poor condition and good or low vigour; - The tree has form atypical of the species; - The tree is not visible or is partly visible from surrounding properties as obstructed by other vegetation or buildings, - The tree provides a minor contribution or has a negative impact on the visual character and amenity of the local area, - The tree is a young specimen which may or may not have reached dimension to be protected by local Tree Preservation orders or similar protection mechanisms and can easily be replaced with a suitable specimen, - The tree’s growth is severely restricted by above or below ground influences, unlikely to reach dimensions typical for the taxa in situ - tree is inappropriate to the site conditions, - The tree is listed as exempt under the provisions of the local Council Tree Preservation Order or similar protection mechanisms, - The tree has a wound or defect that has potential to become structurally unsound.

**4. Environmental Pest / Noxious Weed Species**

The tree is an Environmental Pest Species due to its invasiveness or poisonous/ allergenic properties, - The tree is a declared noxious weed by legislation.

**5. Hazardous/Irreversible Decline**

The tree is structurally unsound and/or unstable and is considered potentially dangerous, - The tree is dead, or is in irreversible decline, or has the potential to fail or collapse in full or part in the immediate to short term.

The tree is to have a minimum of three (3) criteria in a category to be classified in that group.

**Note:** The assessment criteria are for individual trees only, however, can be applied to a monocultural stand in its entirety e.g. hedge.



**Appendix 3, Tree and Site Photos:**











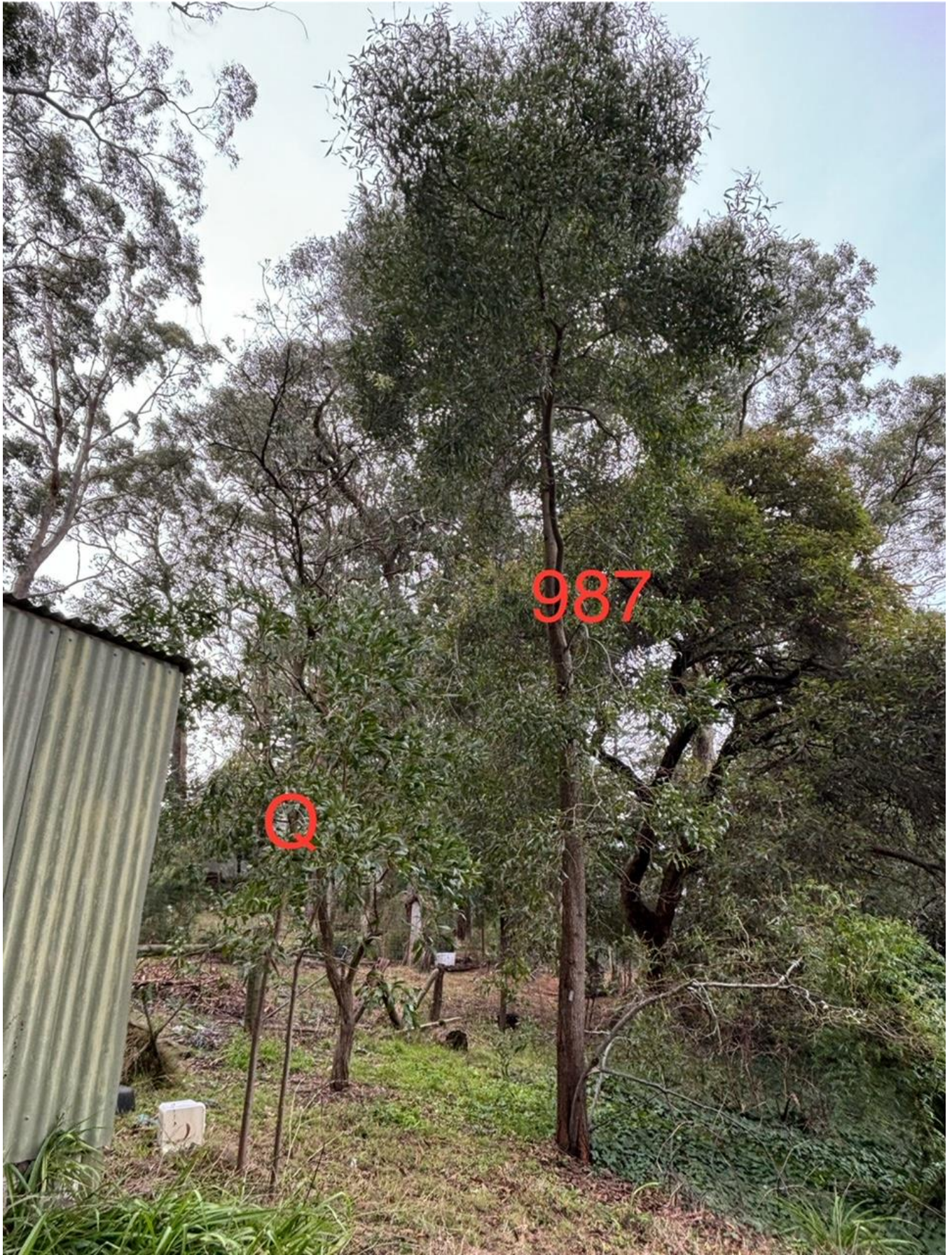




















Figures 1 - 8: Nominated trees assessed.





Figure 9: Site Plan, trees are indicatively plotted.



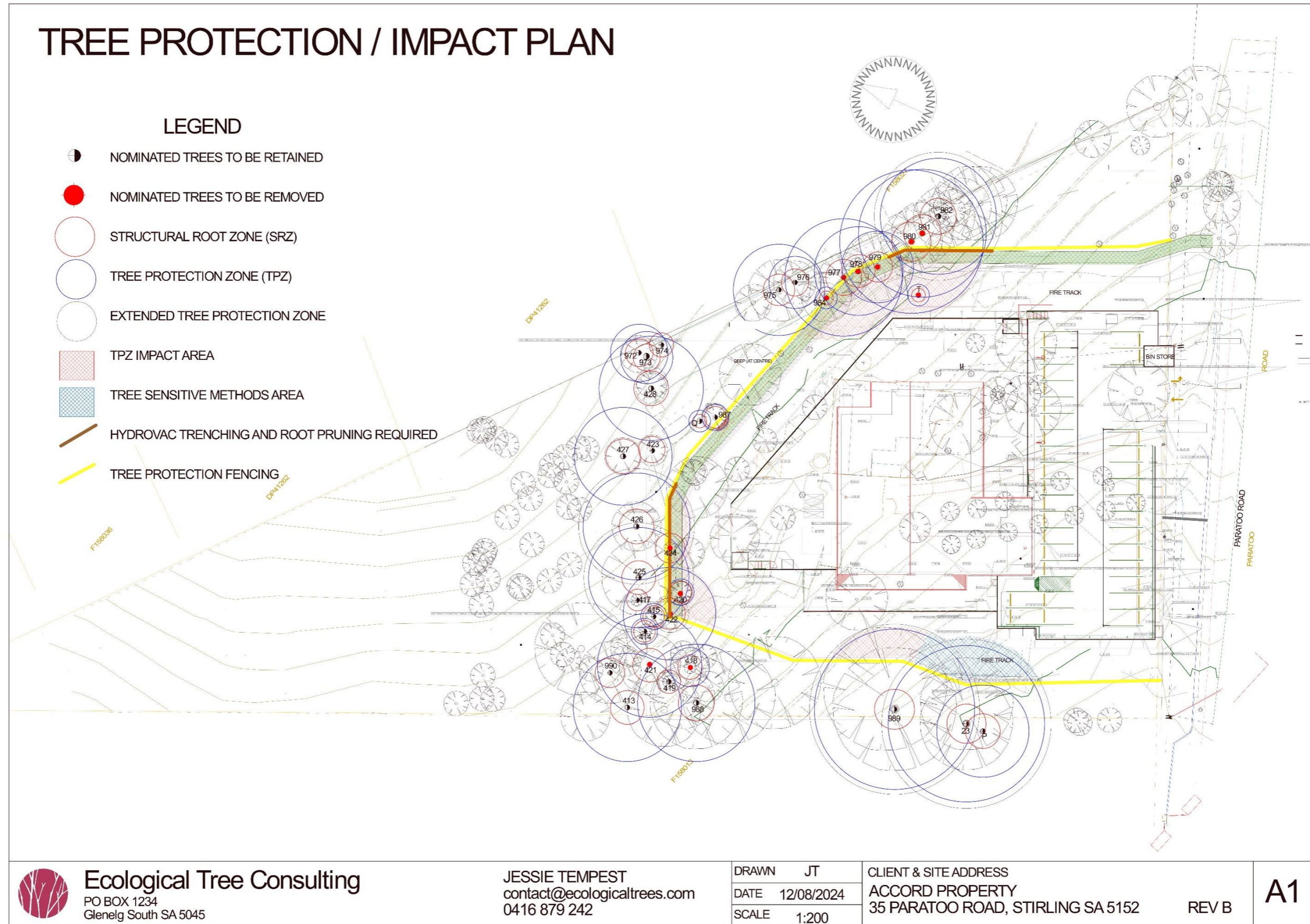


Figure 10: Tree Protection / Impact Plan for the Nominated trees.

## **Appendix 5, Non-Compliance of Tree Protections and Legal Consequences:**

NOTE: Failure to comply with any part of the tree protections within this report will result in the party taking responsibility for all associated legislated consequences under the *South Australian Planning Development and Infrastructure Act 2016*, the *South Australian Planning Development and Infrastructure Regulations 2017*, the *Native Vegetation Act 1991* and the *Native Vegetation Regulations 2017*.

A decorative white line graphic that starts with a semi-circle on the left, transitions into a horizontal line, then a vertical line, and finally a diagonal line that descends to the right, ending in a horizontal line.

**APPENDIX 8**  
**Stormwater**  
**Management**  
**Plan (Updated)**



**CIVIL NOTES**

- BUILDER SHALL VERIFY ALL LEVELS, DIMENSIONS AND LOCATIONS OF EXISTING SERVICES ON SITE PRIOR TO COMMENCEMENT OF ANY WORKS OR SHOP DRAWINGS.
- ANY DISCREPANCIES IN SITE CONDITIONS AND OR DOCUMENTATION TO BE REPORTED TO THE ARCHITECT IN CHARGE PRIOR TO COMMENCEMENT OF ANY WORKS.
- THIS DRAWING TO BE READ IN CONJUNCTION WITH ANY CIVIL, STRUCTURAL, ARCHITECTURAL AND SERVICES DRAWINGS FOR COORDINATION AND CONSTRUCTION. REFER ALSO TO SA POWER NETWORKS TECHNICAL STANDARD - TS-085 TRENCHING AND CONDUIT STANDARD FOR UNDERGROUND DISTRIBUTION CABLE NETWORKS, LATEST EDITION.
- ALL PIPE SIZES GIVEN ARE FOR MINIMUM INTERNAL DIAMETERS
- CONTRACTOR TO CONFIRM INVERTS OF ALL EXISTING PIPES AND SUMPS PRIOR TO CONNECTING AND LAYING NEW PIPEWORK. ADVISE ENGINEER IF THERE ARE ANY DISCREPANCIES TO DESIGN INTENT.
- REFER TO ARCHITECT FOR DEMOLITION AND SETOUT DETAILS. THE USE OF THESE DRAWINGS FOR SET OUT IS AT THE CONTRACTORS RISK. THESE DRAWINGS SHALL NOT BE USED FOR GPS CO-ORDINATES.
- WHERE NECESSARY GRADE BATTERS AT 1V : 4H TO MATCH FROM EXISTING LEVELS TO DESIGN LEVELS. UNLESS NOTED OTHERWISE, FILL BATTERS SHALL BE CONSTRUCTED OF SUB-GRADE MATERIAL AND COMPACTION AS PER THE SPECIFICATION. SUCH CUT AND FILL BATTERS SHALL BE COVERED WITH JUTE MATTING FOR EROSION CONTROL.
- CUT AND FILL BATTER EXTENTS ARE INDICATIVELY SHOWN ON PLAN. CONTRACTOR TO COMPLY WITH NOMINATED GRADIENTS.
- FILL BATTERS ON SLOPING SURFACE TO BE REVERSE KEYED INTO NATURAL GROUND.
- EXISTING BITUMEN SHALL BE SAWCUT IF NECESSARY AND AS SHOWN ON THE DRAWINGS TO PROVIDE A CLEAN EDGE WHERE PROPOSED NEW PAVING ABUTS.
- THE BUILDER SHALL BACKFILL TO TOP OF KERBS/PATHS IN ALL LANDSCAPING AREAS WITH APPROVED SITE TOPSOIL TO ARCHITECTS LANDSCAPE PLAN.
- ALL CARPARK ISLANDS NOT SHOWN PAVED ARE TO BE LANDSCAPED AND SHALL BE CLEARED OF ALL BUILDERS RUBBLE PRIOR TO BACKFILLING WITH TOPSOIL TO ARCHITECTS LANDSCAPE PLAN.
- CONTRACTOR TO ALLOW FOR AND ADJUST HEIGHTS OF COVERS TO EXISTING SERVICES, PITS AND GRATES ETC TO SUIT NEW PROPOSED LEVELS.
- THE CONTRACTOR SHALL ALLOW FOR AND REINSTATE ANY SURFACE NOT INCLUDED IN THE WORKS BUT WHICH HAS BEEN DISTURBED.
- ALL STORMWATER JUNCTION BOXES, GRATED INLET PITS, GRATED STRIP DRAINS ETC. TO HAVE HEAVY DUTY GRATES, COVERS AND FRAMES UNLESS NOTED OTHERWISE. (CLASS 'D' MINIMUM WITH LOCKED DOWN FIXINGS), HOT DIP GALVANIZED, U.N.O.
- ALL LINEMARKING AND SIGNAGE SHALL BE INSTALLED IN ACCORDANCE WITH AUSTRALIAN STANDARD A.S. 1742.
- EXISTING REDUNDANT STORMWATER PIPES REMOVED SHALL BE DISPOSED OF OFF SITE.
- CONSTRUCT ALL STORMWATER DRAINAGE IN ACCORDANCE WITH AS/NZS 3500.3 U.N.O.
- 1000 uPVC STORMWATER PIPES SHALL BE CLASS S44 U.N.O. 1500 AND 2250 uPVC STORMWATER PIPES SHALL BE CLASS S44 U.N.O. REINFORCED CONCRETE PIPES SHALL BE RUBBER RING JOINTED AND CLASS 3 U.N.O
- ALL MINOR CIVIL CONCRETE (KERBS, GUTTER, EDGE STRIPS ETC) TO BE GRADE N25 (UNLESS NOTED OTHERWISE). PROVIDE 50mm CLEAR COVER TO REINFORCEMENT (U.N.O). PROVIDE TOOLED GROOVE JOINTS AT 3.0m MAX CENTRES (OR TO MATCH LOCATIONS OF ADJACENT SLAB JOINTS) IN ALL KERBS AND KERB AND WATERTABLES. PROVIDE EXPANSION JOINTS AT 4.0m CENTRES MAX.
- ALL SEWER AND STORMWATER PIPES TO HAVE FLEXIBLE CONNECTIONS AND 40mm CLOSED CELL COMPRESSIBLE LAGGING.
- ALL PIPES TO BE SEALED, INCLUDING CONNECTIONS INTO JUNCTION BOXES, GRATED INLET PITS, GRATED STRIP DRAINS ETC.
- PROVIDE PROPRIETARY FIRST FLUSH SYSTEM TO RAINWATER TANK INLETS, INCLUDING LEAF SCREENS ETC. REFER ARCHITECT.
- SERVICE TRENCHING AT ALL LOCATIONS U.N.O. BACKFILL TO SERVICE TRENCHING TO BE COMPACTED TO 98% STANDARD OR 95% MODIFIED WHERE APPLICABLE. SERVICE TRENCHING THROUGH LANDSCAPE AREAS TO BE 95% STANDARD, REFER SITE PREPARATION FOR SUPERVISION AND TESTING REQUIREMENTS.
- CONTRACTOR IS TO PROVIDE AS CONSTRUCTED STORMWATER AND CIVIL SITEWORKS DRAWINGS AT TIME OF PRACTICAL COMPLETION. THIS IS TO INCLUDE PIPE SIZES, INVERT AND TOP OF PIT LEVELS. THE AS BUILT DRAWING SHOULD ALSO VERIFY SURFACE LEVELS COMPLY WITH DOCUMENTATION. WHERE AS BUILT SURFACE LEVELS VARY THE CIVIL CONTRACTOR MUST ENGAGE THE CONSULTING ENGINEER TO REVIEW AND CONFIRM ACCEPTANCE AT OWN COSTS. THE INFORMATION IS TO BE ISSUED IN AUTO CAD FORMAT AND PDF AND BEAR THE CIVIL CONTRACTORS DETAILS.
- CONTRACTOR TO UNDERTAKE CCTV INSPECTION AND REPORT OF ALL COMPLETED STORMWATER INFRASTRUCTURE.
- REFER TO STRUCTURAL NOTE SHEET FOR REQUIREMENTS OF EXTERNAL CONCRETE SLABS.
- NO SURFACE INLETS (SUMPS OR GRATED INLET PITS) PERMITTED INTO SEALED SYSTEM. SEALED SYSTEM TO BE CONSTRUCTED TO PRESSURE LINE STANDARD (SOLVENT WELDED JOINTS FOR UPVC PIPE) PREFERABLY STATIC WATER TESTED BEFORE BACKFILLING.
- DUE TO THE POSSIBLE SERIOUS CONSEQUENCE OF BLOCKAGE OF THE SYSTEM BY SILT OR LEAF LITTER ETC. - REGULAR FLUSHING AND MAINTENANCE (AT LEAST 4 TIMES PER YEAR) BY OWNER IS REQUIRED.
- NO SEALED SHEET METAL DOWNPIPES OR FITTINGS WITHIN A PRESSURISED SYSTEM ALLOWED.
- LEAF GUARDS AT DOWNPIPE DESIRABLE, BUT MUST BE CLEARED REGULARLY.
- LANDSCAPE RETAINING WALL SLOTTED AG PIPES ARE TO BE CONNECTED TO ADJACENT STORM WATER PITS OR SURFACE DRAINS.
- THE SUB-CONTRACTOR IS TO NOTE THAT STORMWATER PIPES ARE DESIGNED FOR INSERVICE LOADING AT FINISHED SURFACE. THE CONTRACTOR SHALL CHECK PIPE STRENGTHS FOR COMBINATIONS OF CONSTRUCTION TRAFFIC AT APPLIED LEVEL, INCREASE PIPE CLASSES TO ACCOMMODATE CONSTRUCTION LOADS AS REQUIRED, RESPONSIBILITY FOR STRUCTURAL INTEGRITY OF THE STORMWATER PIPES RESTS SOLELY WITH THE CONTRACTOR WHOM MUST UNDERTAKE MEASURES DEEMED APPROPRIATE TO ACHIEVE THIS.

**SITE PREPARATION (BENEATH BUILDING)**

- EXISTING TOPSOIL, TREE AND ROOT MATERIAL, ASPHALT, KERB BRICKWORK, NON-ENGINEERED FILL, MISCELLANEOUS STRUCTURAL ITEMS AND MATERIAL TO BE STRIPPED FROM CONSTRUCTION AREA. TOPSOIL TO BE STOCKPILED ON SITE FOR FUTURE LANDSCAPING AREAS. ALL OTHER MATERIAL TO BE EITHER RECYCLED OR LEGALLY DISPOSED OF. REFER TO GEOTECH REPORT FOR FURTHER GEOTECHNICAL INFORMATION.
- SUB-CONTRACTOR SHALL SUBMIT TESTING SCHEDULE AND METHODOLOGY FOR REVIEW PRIOR TO COMMENCING ON SITE. SUPERVISION AND TESTING SHALL BE TO LEVEL 1 IN ACCORDANCE WITH A.S. 3798 WITH CERTIFICATES ISSUED IMMEDIATELY UPON COMPLETION.
- AFTER FILL IS REMOVED, THE EXPOSED NATURAL MATERIAL SHALL BE CONDITIONED TO WITHIN ±3% OF THE OPTIMUM MOISTURE CONTENT AND COMPACTED WITH APPROPRIATE MACHINERY TO ACHIEVE AT LEAST 100% STANDARD MAXIMUM DRY DENSITY. ANY IDENTIFIED SOFT SPOTS TO BE FILLED WITH COMPACTED QUARRY RUBBLE
- SELECT FILL (REFER TO SPECIFICATION) SHALL BE COMPACTED IN LAYERS NOT EXCEEDING 250mm LOOSE THICKNESS TO A MINIMUM OF 95% MODIFIED MAXIMUM DRY DENSITY. REFER SPECIFICATION. FILLING IS TO OCCUR TO LEVELS OF TESTING AS PER NOTE 2 ABOVE. NOTE THAT THE USE OF RECYCLED MATERIALS IS NOT PERMITTED ON 'DECS' PROJECTS OR UNDER ASPHALT PAVEMENTS.
- THE REUSE OF SITE WON MATERIAL MAY BE PROPOSED BY THE CONTRACTOR FOR MATERIALS THAT ARE LOW IN REACTIVITY (NON CLAY), FREE FROM DELETERIOUS AND ORGANIC MATTER. COMPLY WITH SECTION 4 OF THE LATEST EDITION OF AS 3798 AND THE SPECIFICATION, AND THAT CAN BE READILY COMPACTED. THE CONTRACTOR MUST ALLOW IN THEIR TENDER FOR ALL ADDITIONAL COSTS ASSOCIATED WITH POTENTIAL INCREASES IN FOOTING SIZES INCLUDING ENGINEERING DESIGN FEES AND FOR THE REASSESSMENT OF THE SOIL PARAMETERS AND SITE CLASSIFICATION. WHERE THE USE OF SITE WON MATERIAL IS APPROVED, IT MUST BE COMPACTED TO 98% STANDARD DRY DENSITY AND ITS MOISTURE CONTENT MAINTAINED SO THAT IT DOES NOT UNDERGO ANY SIGNIFICANT VOLUME CHANGES DURING OR AFTER PLACEMENT. ANY ASSUMPTIONS MADE REGARDING THE SUITABILITY OF SITE WON MATERIAL FOR REUSE IS SOLELY AT THE CONTRACTORS OWN RISK AND COST.

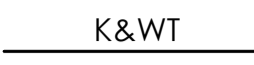
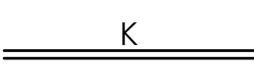
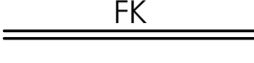

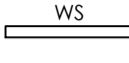
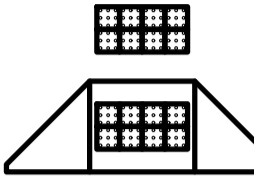

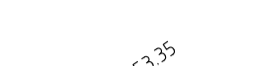


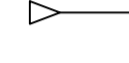




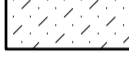
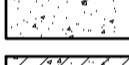


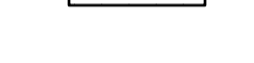






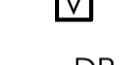


**EROSION CONTROL NOTES**

- CONTRACTOR TO ENSURE AGAINST EROSION DURING CONSTRUCTION. BUILDER TO SUBMIT PLAN FOR REVIEW.
- SEDIMENT CONTROL STRUCTURES TO BE IN ACCORDANCE WITH SECTION 5 OF THE STORMWATER POLLUTION PREVENTION CODE OF PRACTICE (EPA).
- VEGETATION AROUND THE SITE IS TO BE LEFT UNDISTURBED WHERE POSSIBLE.
- SILT TRAPS TO BE MAINTAINED DURING CONSTRUCTION.
- EROSION AND DRAINAGE MANAGEMENT MEASURES TO BE INSTALLED PRIOR TO COMMENCEMENT OF WORKS AND MAINTAINED DURING CONSTRUCTION.
- EROSION AND DRAINAGE MANAGEMENT MEASURES TO BE REMOVED AND SITE REHABILITATED TO ORIGINAL CONDITION UPON COMPLETION OF WORKS.

**SITE PREPARATION (BENEATH PAVEMENTS)**

- STRIP ALL TOPSOIL, LANDSCAPING AND ANY OTHER NON ENGINEERED FILLING. TOPSOIL TO BE STOCKPILED ON SITE FOR FUTURE LANDSCAPING AREAS. ALL OTHER MATERIAL TO BE EITHER RECYCLED OR LEGALLY DISPOSED OF. REFER TO GEOTECH REPORT FOR FURTHER GEOTECHNICAL INFORMATION.
- IN EXISTING PAVING AREAS REMOVE EXISTING ASPHALT SURFACE AND REMOVE EXISTING BASE AND SUB-BASE AS REQUIRED TO ENSURE SPECIFIED NEW BASE AND SUB-BASE THICKNESS BENEATH NEW PAVEMENTS ARE ACHIEVED (AS MINIMUM)
- PROOF ROLL TO IDENTIFY ANY SOFT SPOTS. SUCH MATERIAL SHALL BE COMPACTED AND / OR REMOVED. MINIMUM COMPACTION 98% STANDARD.
- WHERE NECESSARY PROVIDE CLEAN, IMPORTED QUARRY RUBBLE FILLING (PM2/20GG) TO SUB-BASE LEVEL. COMPACT IN LAYERS NOT EXCEEDING 200mm. IN THICKNESS TO ACHIEVE 95% MODIFIED COMPACTION. NOTE THAT THE USE OF RECYCLED MATERIALS IS NOT PERMITTED ON 'D.E.C.S.' PROJECTS OR UNDER ASPHALT PAVEMENTS.

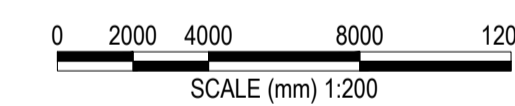
**LEGEND**

	CONCRETE KERB & WATERTABLE HEIGHT AS NOTED.
	CONCRETE KERB HEIGHT AS NOTED.
	FLUSH KERB.
	BOLLARD / REMOVABLE BOLLARD.
	WHEEL STOP.
	DENOTES TACTILE SURFACE INDICATORS TO ARCHITECTS DETAILS. PROVIDE 100 THICK SLAB. SL72 TOP FACE CO-ORDINATE WITH PAVING CONTRACTOR.
	PRAM RAMP COMPLETE WITH TACTILE INDICATORS. REFER DETAILS.
	RETAINING WALL. REFER DETAIL.
	EXISTING SPOT LEVELS FROM SURVEY.
	NEW CARPARK/DRIVEWAY PAVING CONTOUR LEVELS.
	DENOTES BATTER SLOPE
	P-PAVEMENT LEVEL TK-TOP OF KERB WT-WATER TABLE TP-TOP OF PIT IL-INVERT LEVEL EK-EXISTING LEVEL TW-TOP OF WALL L-LANDSCAPE LEVEL
	ALL WEATHER USE FIRE TRACK (IN ACCORDANCE WITH CFS REQUIREMENTS)
	NEW ASPHALT PAVEMENT - MEDIUM DUTY.
	NEW CONCRETE PAVEMENT - LIGHT DUTY.
	NEW CONCRETE PAVEMENT - HEAVY DUTY.
	NEW BRICK PAVING, ARCHITECTS SELECTION.
	LANDSCAPE AREA.
	NEW STORMWATER PIPE (UNSEALED SYSTEM).
	NEW STORMWATER PIPE (SEALED SYSTEM).
	GRATED INLET PIT
	JUNCTION BOX
	SIDE ENTRY PIT
	STORMWATER INSPECTION POINT.
	MAINTENANCE VALVE. REFER DETAIL.
	DOWN PIPES. ALL DOWN PIPES TO HAVE A uPVC TAIL MATCHING THE SIZE OF THE DOWNPIPE, CONNECTING TO MAIN STORM WATER RUN U.N.O.
	GROSS POLLUTANT TRAP ATLAN ECOCEPTOR 1500 SERIES OR SIMILAR APPROVED.
	3 x 5000L ABOVE GROUND SLOMLINE DETENTION TANKS (15000L TOTAL) FITTED WITH A 500 LOW LEVEL OUTLET/ORIFICE (ON END TANK) TO RESTRICT OUTFLOW.
	CONCRETE CULVERT WITH 6mm GALVANISED CHECKER PL.

D	16-09-2024	RE-ISSUED FOR APPROVAL	CM\MMNS
C	13-08-2024	ISSUED FOR APPROVAL	CM\MMNS
B	09-08-2024	ISSUED FOR APPROVAL	CM\MMNS
A	13-05-2024	ISSUED FOR INFORMATION	CM\HC
Issue	Date	Details	Eng\DR

**PRELIMINARY**

13/08/2024



Visit: 174 Fullarton Road Dulwich SA 5065  
P: 08 8332 1344 E: admin@cprengineers.com.au

CPR Engineers Pty. Ltd. © Copyright ABN 54 670 488 945

**PROPOSED CHILD CARE CENTRE**

35 PARATOO ROAD  
STIRLING SA 5152

**ACCORD PROPERTY LTD.**

ON Architecture  
242 Angas Street, Adelaide SA 5000  
Phone 0422 225 859

**CIVIL NOTES**

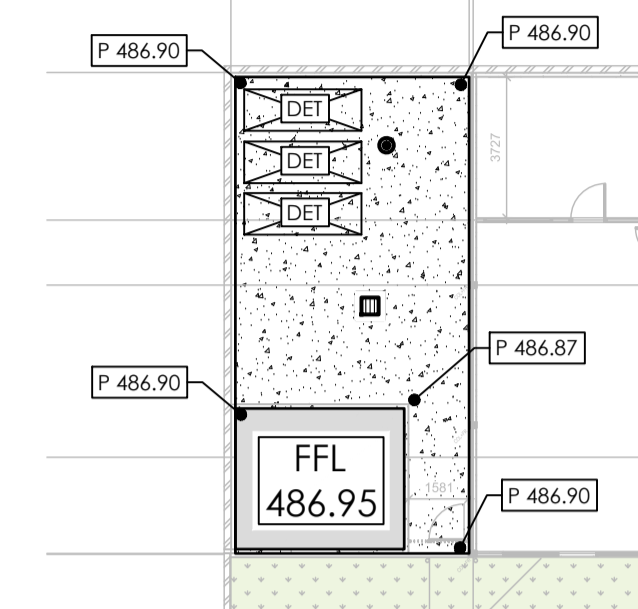
Designed HC	Drawn HC	Checked CM	Scale -	Date Sep-24
Drawing No.	220216-C100			Rev. D

PRINTED ON: 16/09/2024 2:54:21 PM ORIGINAL SHEET SIZE A1

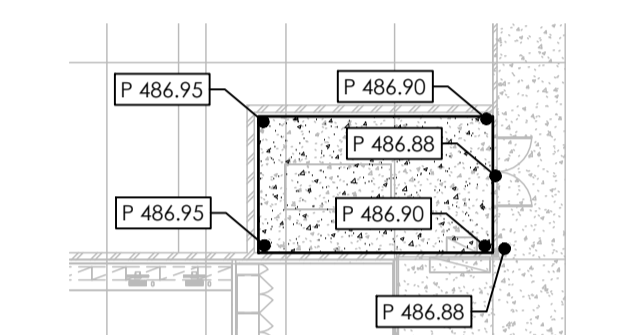


**GENERAL NOTES**

- REFER TO SHEET C100 FOR THE DRAWING LEGEND.
- REFER TO THE ARCHITECTURAL DRAWINGS FOR THE EXTENT OF DEMOLITION WORKS.



**PART PLAN - GROUND FLOOR SERVICE YARD**

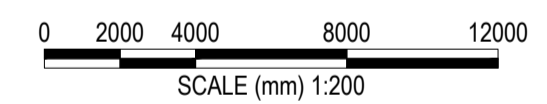


**PART PLAN - GROUND FLOOR MECHANICAL COMPOUND**

Issue	Date	Details	Eng/Dr
F	26-09-2024	RE-ISSUED FOR APPROVAL	CMV/MNS
E	17-09-2024	RE-ISSUED FOR APPROVAL	CMV/MNS
D	16-09-2024	RE-ISSUED FOR APPROVAL	CMV/MNS
C	13-06-2024	ISSUED FOR APPROVAL	CMV/MNS
B	09-08-2024	ISSUED FOR APPROVAL	CMV/MNS
A	13-05-2024	ISSUED FOR INFORMATION	CMV/HC

**PRELIMINARY**

13/08/2024



Visit: 174 Fullarton Road Dulwich SA 5065  
 P: 08 8332 1344 E: admin@cprengineers.com.au  
CPR Engineers Pty. Ltd. © Copyright ABN 54 670 488 945

**PROPOSED CHILD CARE CENTRE**

35 PARATOO ROAD  
 STIRLING SA 5152

**ACCORD PROPERTY LTD.**

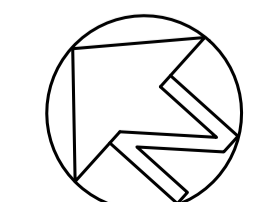
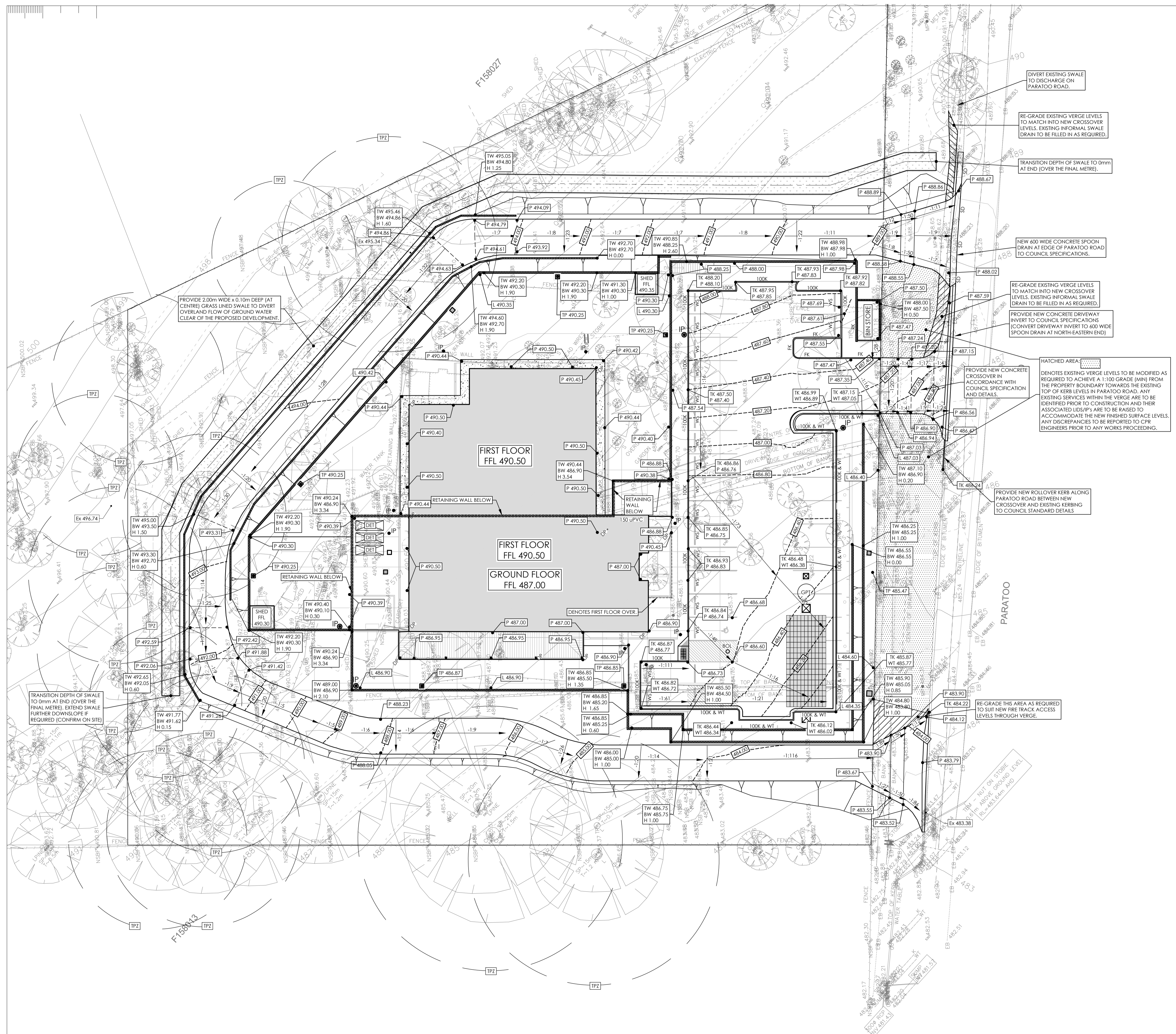
ON Architecture  
 242 Angas Street, Adelaide SA 5000  
 Phone 0422 225 859

**SITWORKS PLAN**

Designed	Drawn	Checked	Scale	Date
HC	HC	CM	1:200	Sep-24

Drawing No: **220216-C200** Rev: **F**

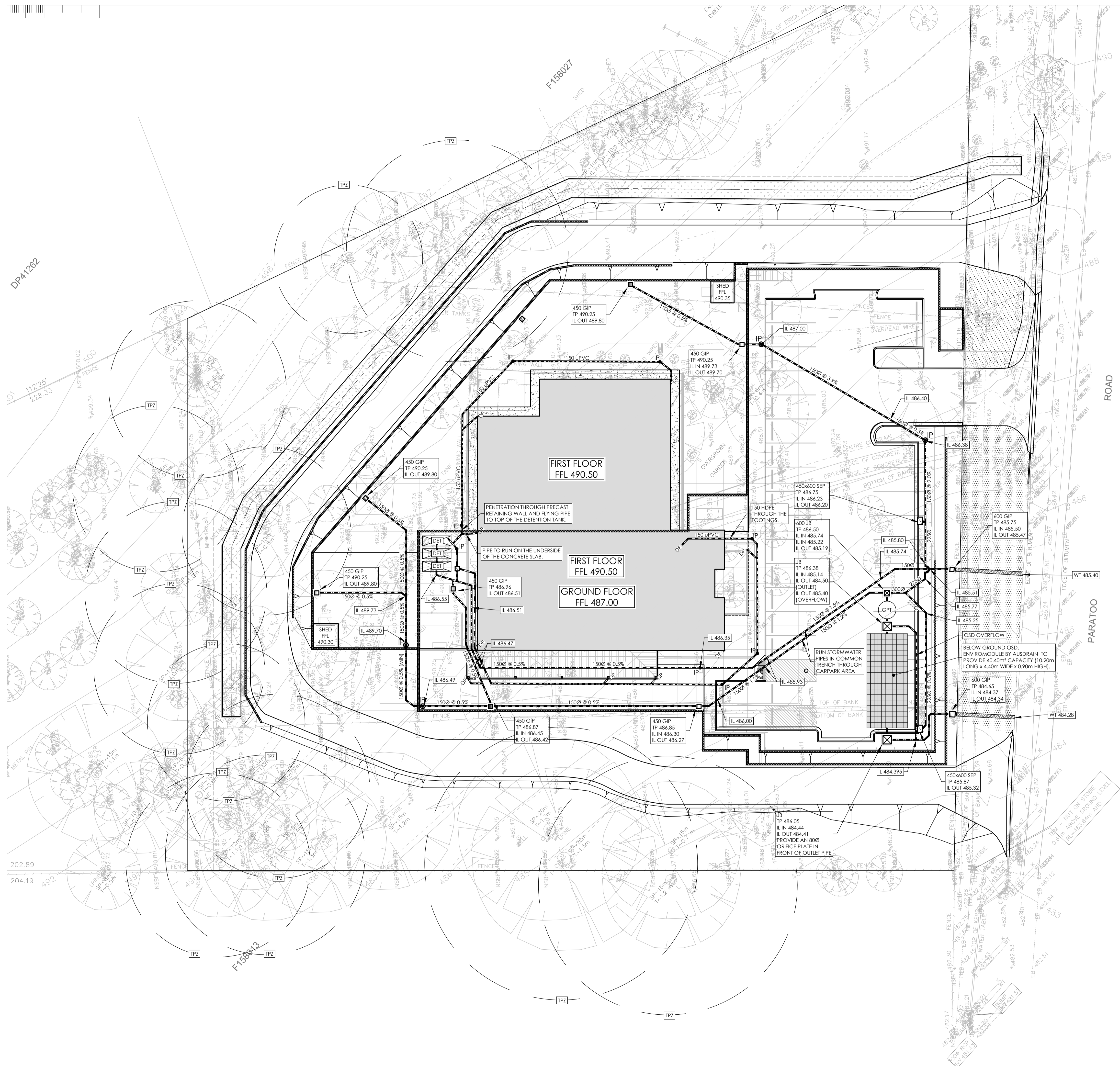
PRINTED ON: 26/09/2024 10:22:28 AM ORIGINAL SHEET SIZE A1





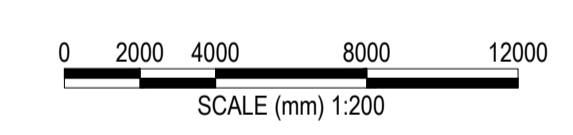
GENERAL NOTES

- REFER TO SHEET C100 FOR THE DRAWING LEGEND.
- REFER TO THE ARCHITECTURAL DRAWINGS FOR THE EXTENT OF DEMOLITION WORKS.



Issue	Date	Details	Eng/DR
D	26-09-2024	ISSUED FOR APPROVAL	CM/MNS
C	13-08-2024	ISSUED FOR APPROVAL	CM/MNS
B	09-08-2024	ISSUED FOR APPROVAL	CM/MNS
A	13-05-2024	ISSUED FOR INFORMATION	CM/HC

**PRELIMINARY**  
13/08/2024



Visit: 174 Fullarton Road Dulwich SA 5065  
P: 08 8332 1344 E: admin@cprengineers.com.au  
CPR Engineers Pty. Ltd. Copyright ABN 54 670 488 945

**PROPOSED CHILD CARE CENTRE**

35 PARATOO ROAD  
STIRLING SA 5152  
**ACCORD PROPERTY LTD.**

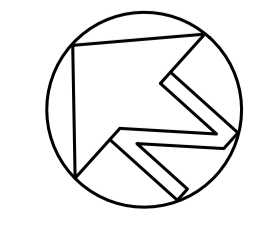
ON Architecture  
242 Angas Street, Adelaide SA 5000  
Phone 0422 225 859

**STORMWATER DRAINAGE PLAN**

Designed	Drawn	Checked	Scale	Date
HC	HC	CM	1:200	Sep-24

Drawing No. **220216-C201** Rev. **D**

PRINTED ON: 26/09/2024 10:19:32 AM ORIGINAL SHEET SIZE A1

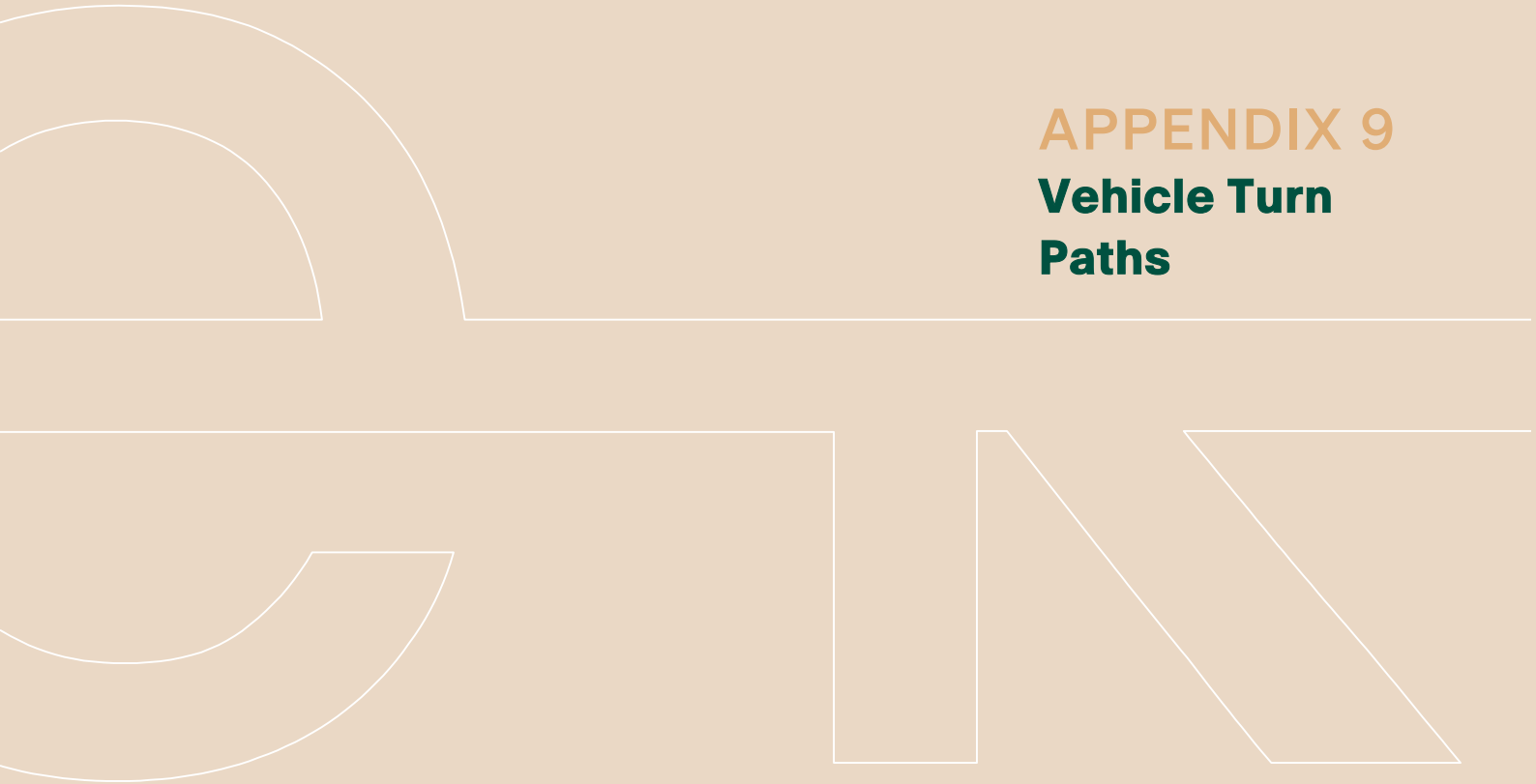




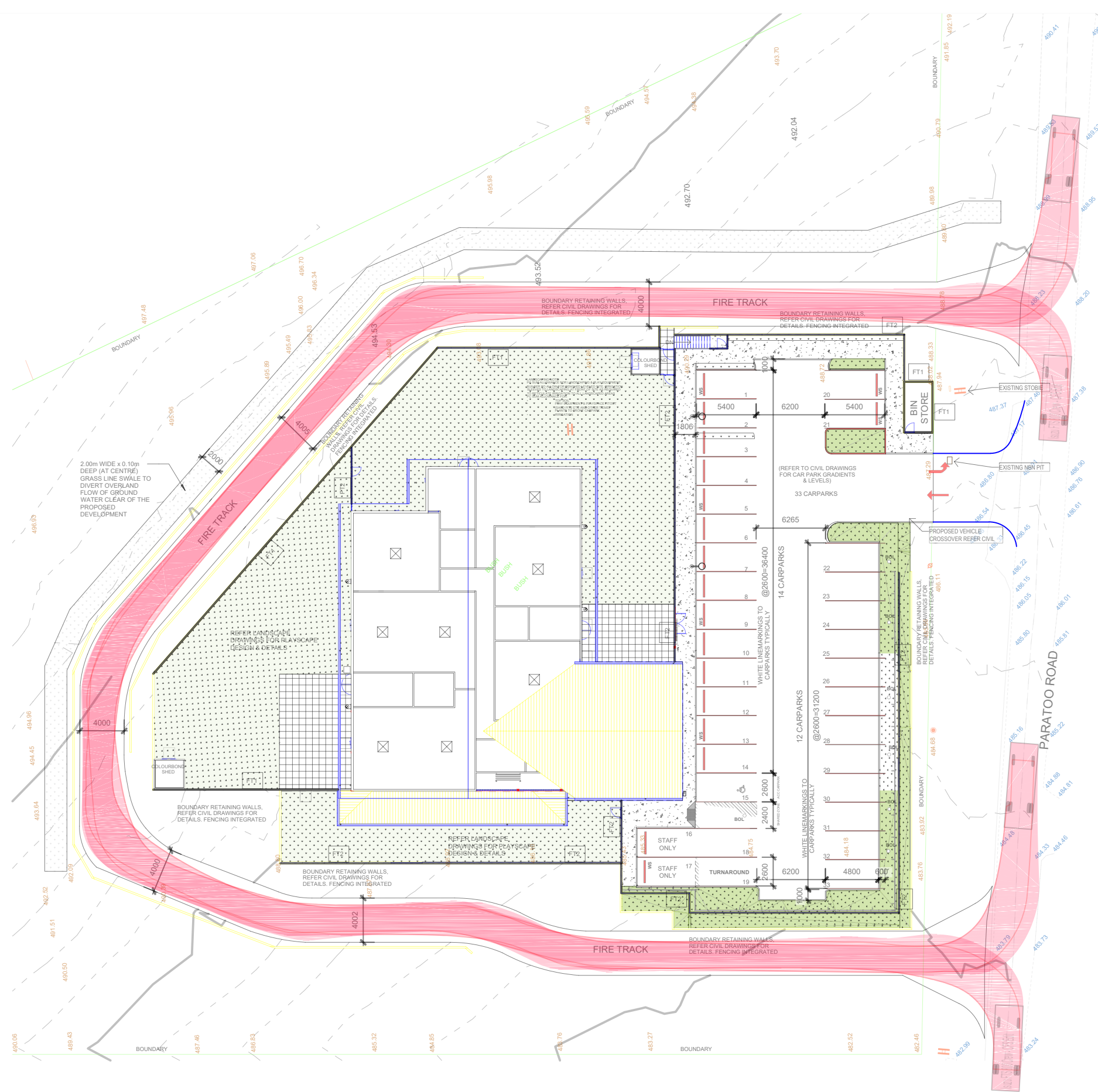


## APPENDIX 9

### Vehicle Turn Paths







NOTE: LANDSCAPING NOT PROPOSED IN PARKING SPACE 3



ABN: 17 606 952 309 | PO Box 144, Glenside SA 5065 | E: info@cirqa.com.au

This drawing is a concept plan only and subject to the provision of detailed survey information (by others) and the preparation of detailed design. The drawing is not suitable for construction purposes. The information and data identified within this drawing are the property of CIRQA Pty Ltd and copyright. This drawing and the information contained therein is for the use of the authorised Client noted below. The drawing may not be used, copied, reproduced or modified in whole or in part for any purpose other than for which it was supplied by CIRQA Pty Ltd. CIRQA Pty Ltd accepts no responsibility or liability to any other party who may use or rely upon this drawing or the information contained therein.

DRAWING AMENDMENTS					
VER	DATE	DESCRIPTION	DWN	CHK	
E	13/08/2024	TURN PATHS	JJB	BNW	
F	12/09/2024	UPDATE	JJB	BNW	

C22362\_03F.DWG 12/9/2024 4:13 PM



**CHILD CARE CENTRE**  
 35 PARATOO ROAD, STIRLING  
 CFS 7.7 M RURAL/URBAN TANKER TURN PATHS  
 PROJECT # 22362 SHEET # 03\_SH01





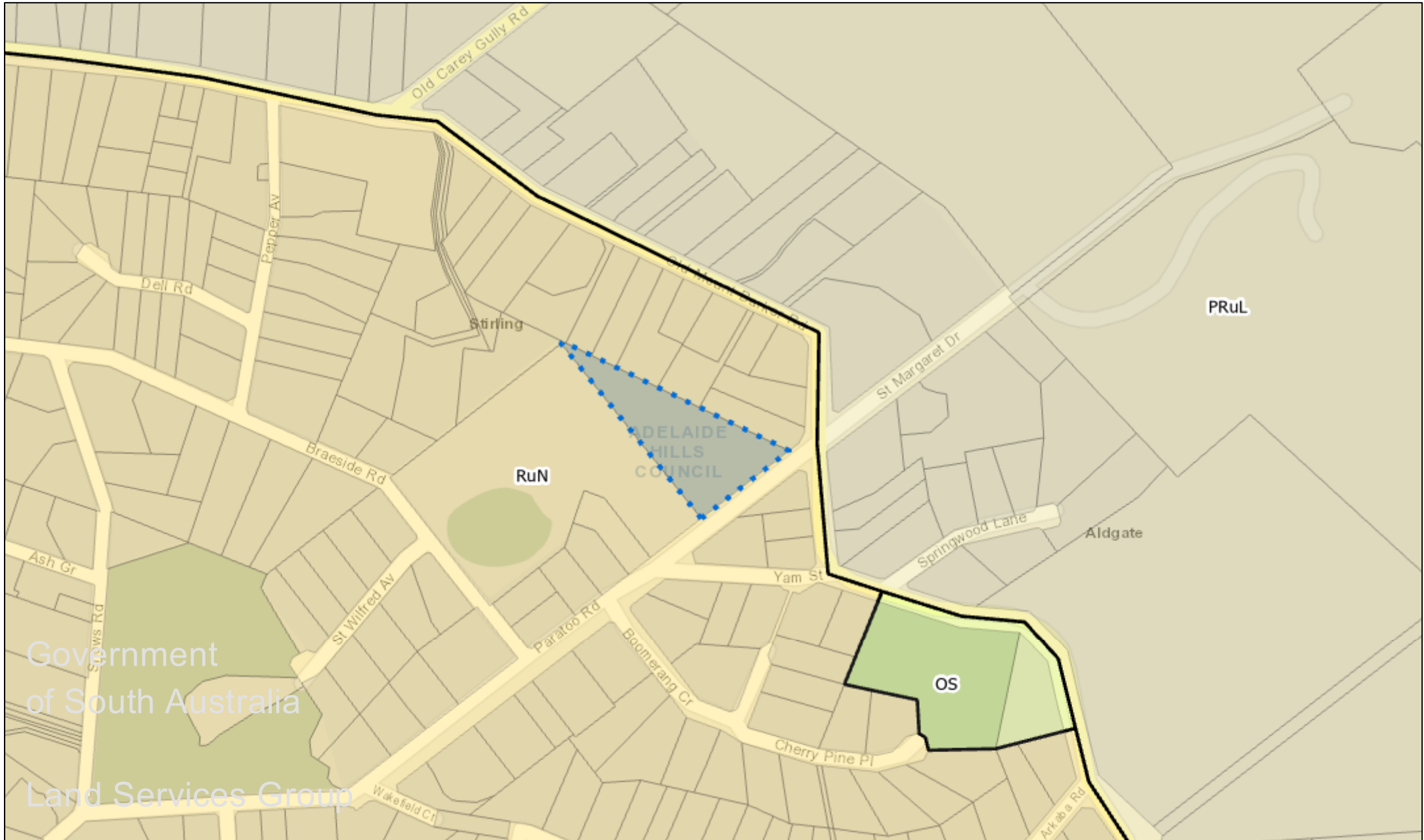


# SAPPA Report

The SA Property and Planning Atlas is available on the Plan SA website: <https://sappa.plan.sa.gov.au>

Date created:  
October 2, 2024

## SAPPA zoning



**Disclaimer:** The information provided above, is not represented to be accurate, current or complete at the time of printing this report. The Government of South Australia accepts no liability for the use of this data, or any reliance placed on it.





Annotations  
Subject Land





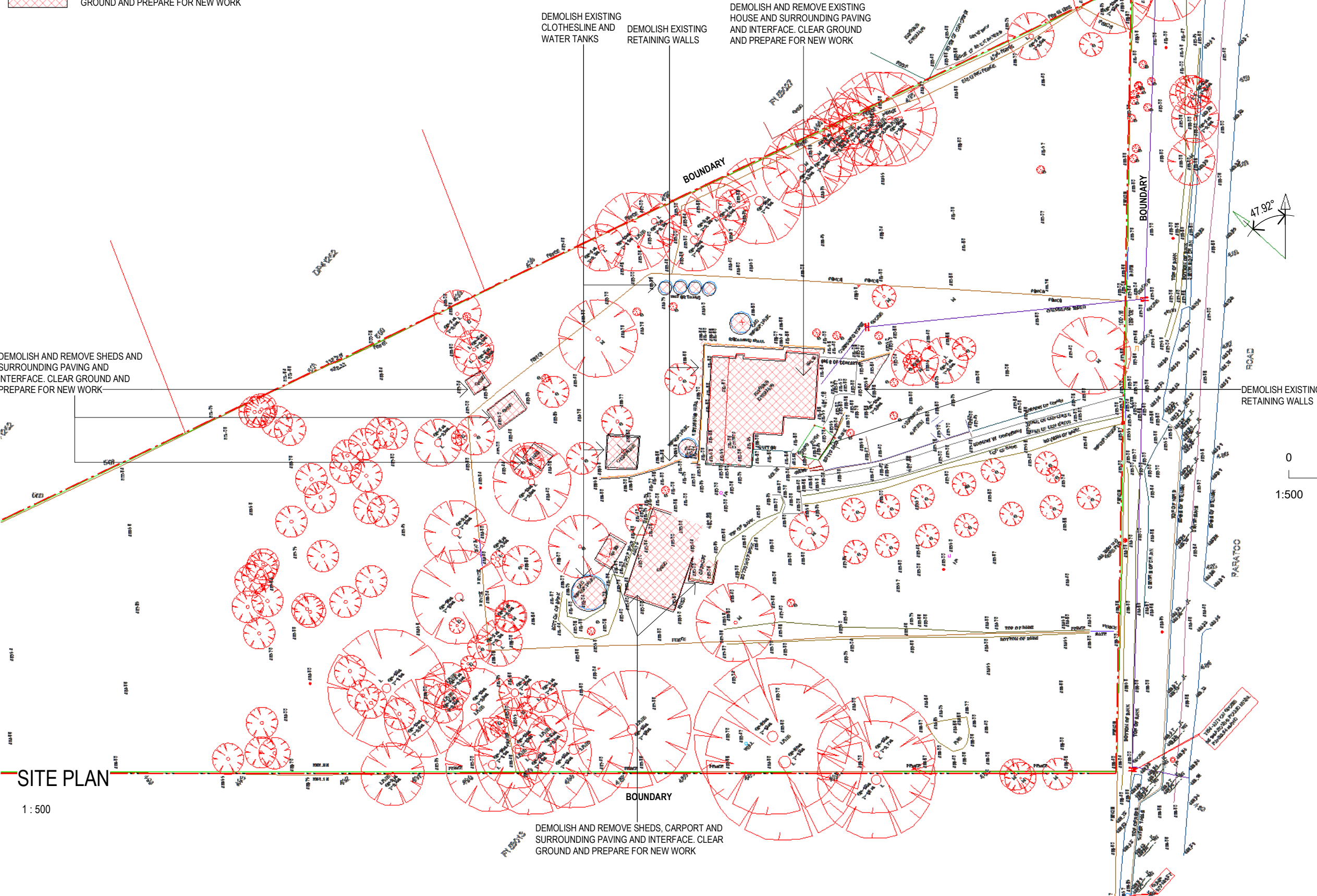
# DA ISSUE

ISSUED FOR DEVELOPMENT APPROVAL

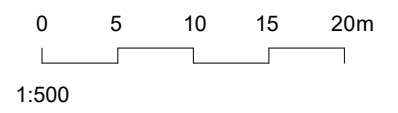
Rev	Amendment	Date
1	DA ISSUE	08/06/23

## LEGEND

-  SITE BOUNDARY
-  TO BE DEMOLISHED AND REMOVED INCLUDING SURROUNDING PAVING AND INTERFACE. CLEAR GROUND AND PREPARE FOR NEW WORK



**PLANNING CONSENT  
CONDITIONS & NOTES APPLY**  
DA: 23018174  
DATE: 10/01/2024



## BROWN FALCONER

28 Chesser Street, Adelaide, South Australia 5000  
Telephone : 08 8203 5800 Facsimile : 08 8223 2440  
ABN 65 007 846 586 brownfalconer.com.au

ACCORD PROPERTY LTD  
35 PARATOO ROAD, STIRLING CCC

### EXISTING CONDITIONS

Scale As indicated  
Drawn Author  
Date 24/05/2023  
Job No. 2022107  
Dwg No. **3567 DA02** Rev: 1 A3 SHEET





# DA ISSUE

ISSUED FOR DEVELOPMENT APPROVAL

13/10/2023 9:39:09 AM

Rev	Amendment	Date
1	DA ISSUE	08/06/23



PLANNING CONSENT  
CONDITIONS & NOTES APPLY  
DA: 23018174  
DATE: 10/01/2024



## BROWN FALCONER

28 Chesser Street, Adelaide, South Australia 5000  
Telephone : 08 8203 5800 Facsimile : 08 8223 2440  
ABN 65 007 846 586 brownfalconer.com.au

ACCORD PROPERTY LTD

35 PARATOO ROAD, STIRLING CCC

### CONTEXT & SITE ANALYSIS

Scale 1 : 1000

Drawn Author

Date 06/06/2023

Job No. 2022107

Dwg No. **3567 DA03** Rev: **1** A3 SHEET



# DA ISSUE

ISSUED FOR DEVELOPMENT APPROVAL

Rev	Amendment	Date
1	DA ISSUE	08/06/23
2	DA RFI RESPONSES	10/10/23

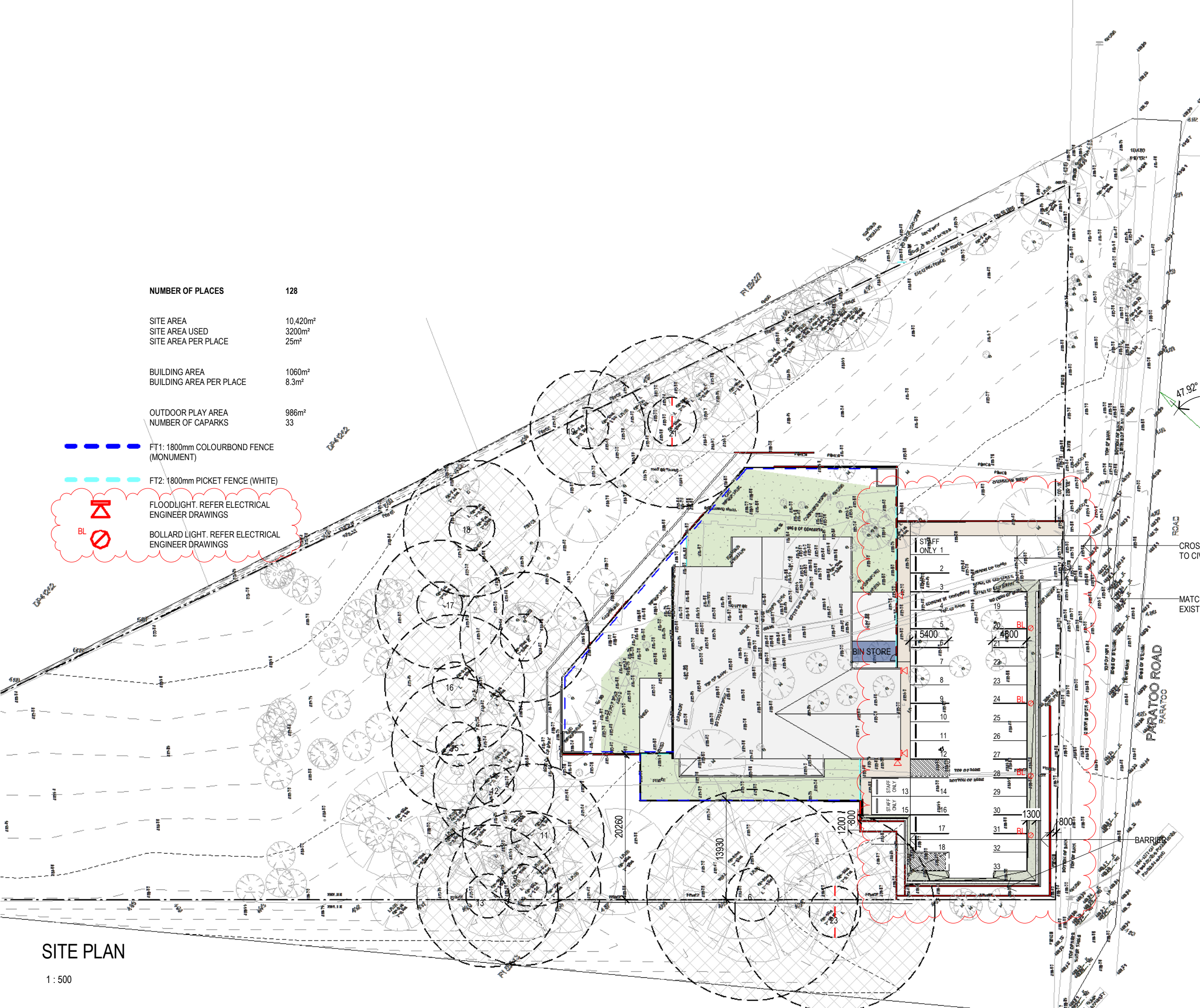
NUMBER OF PLACES	128
SITE AREA	10,420m <sup>2</sup>
SITE AREA USED	3200m <sup>2</sup>
SITE AREA PER PLACE	25m <sup>2</sup>
BUILDING AREA	1060m <sup>2</sup>
BUILDING AREA PER PLACE	8.3m <sup>2</sup>
OUTDOOR PLAY AREA	986m <sup>2</sup>
NUMBER OF CAPARKS	33

FT1: 1800mm COLOURBOND FENCE (MONUMENT)

FT2: 1800mm PICKET FENCE (WHITE)

FLOODLIGHT. REFER ELECTRICAL ENGINEER DRAWINGS

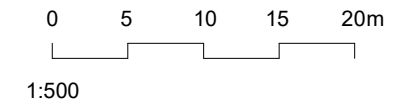
BL BOLLARD LIGHT. REFER ELECTRICAL ENGINEER DRAWINGS



**PLANNING CONSENT  
CONDITIONS & NOTES APPLY**  
DA: 23018174  
DATE: 10/01/2024

CROSSOVER DESIGN TO CIVIL PLAN SPECIFICATION

MATCH TO EXISTING



## BROWN FALCONER

28 Chesser Street, Adelaide, South Australia 5000  
Telephone : 08 8203 5800 Facsimile : 08 8223 2440  
ABN 65 007 846 586 brownfalconer.com.au

ACCORD PROPERTY LTD

35 PARATOO ROAD, STIRLING CCC

SITE PLAN

Scale 1 : 500  
Drawn TR  
Date 24/05/2023  
Job No. 2022107



Dwg No. **3567 DA04** Rev: **2** A3 SHEET

SITE PLAN

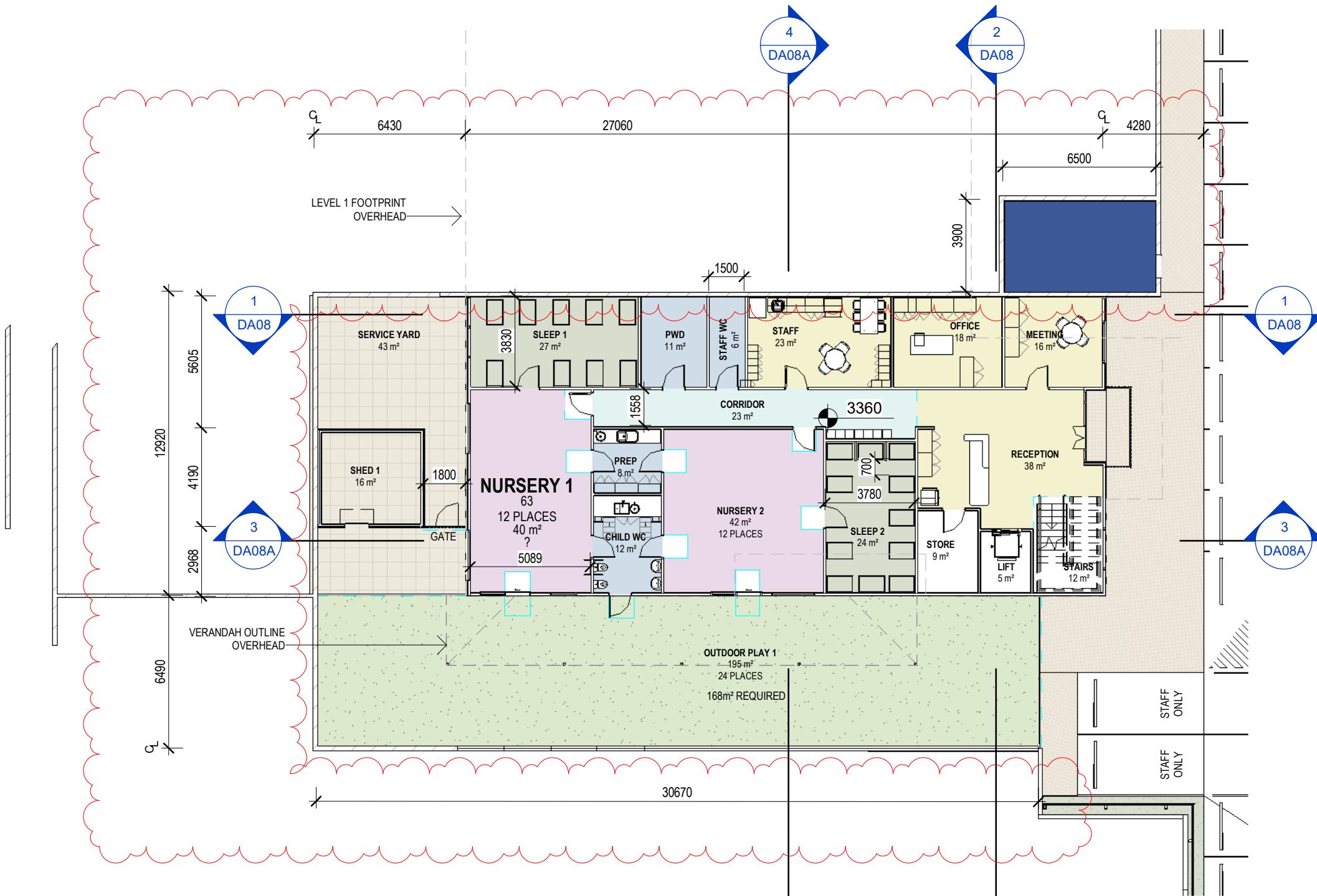
1 : 500



# DA ISSUE

ISSUED FOR DEVELOPMENT APPROVAL

Rev	Amendment	Date
1	DA ISSUE	08/06/23
2	DA RFI RESPONSES	10/10/23



NUMBER OF PLACES	128
SITE AREA	10,250m <sup>2</sup>
SITE AREA USED	3200m <sup>2</sup>
SITE AREA PER PLACE	25m <sup>2</sup>
BUILDING AREA	1060m <sup>2</sup>
BUILDING AREA PER PLACE	8.3m <sup>2</sup>
OUTDOOR PLAY AREA	986m <sup>2</sup>
NUMBER OF CAPARKS	32

## GROUND FLOOR PLAN

1 : 200



1:200



PLANNING CONSENT  
CONDITIONS & NOTES APPLY  
DA: 23018174  
DATE: 10/01/2024

## BROWN FALCONER

28 Chesser Street, Adelaide, South Australia 5000  
Telephone : 08 8203 5800 Facsimile : 08 8223 2440  
ABN 65 007 846 586 brownfalconer.com.au

ACCORD PROPERTY LTD

35 PARATOO ROAD, STIRLING CCC

GROUND FLOOR PLAN

Scale 1 : 200  
Drawn TR  
Date MAY 2023  
Job No. 2022107

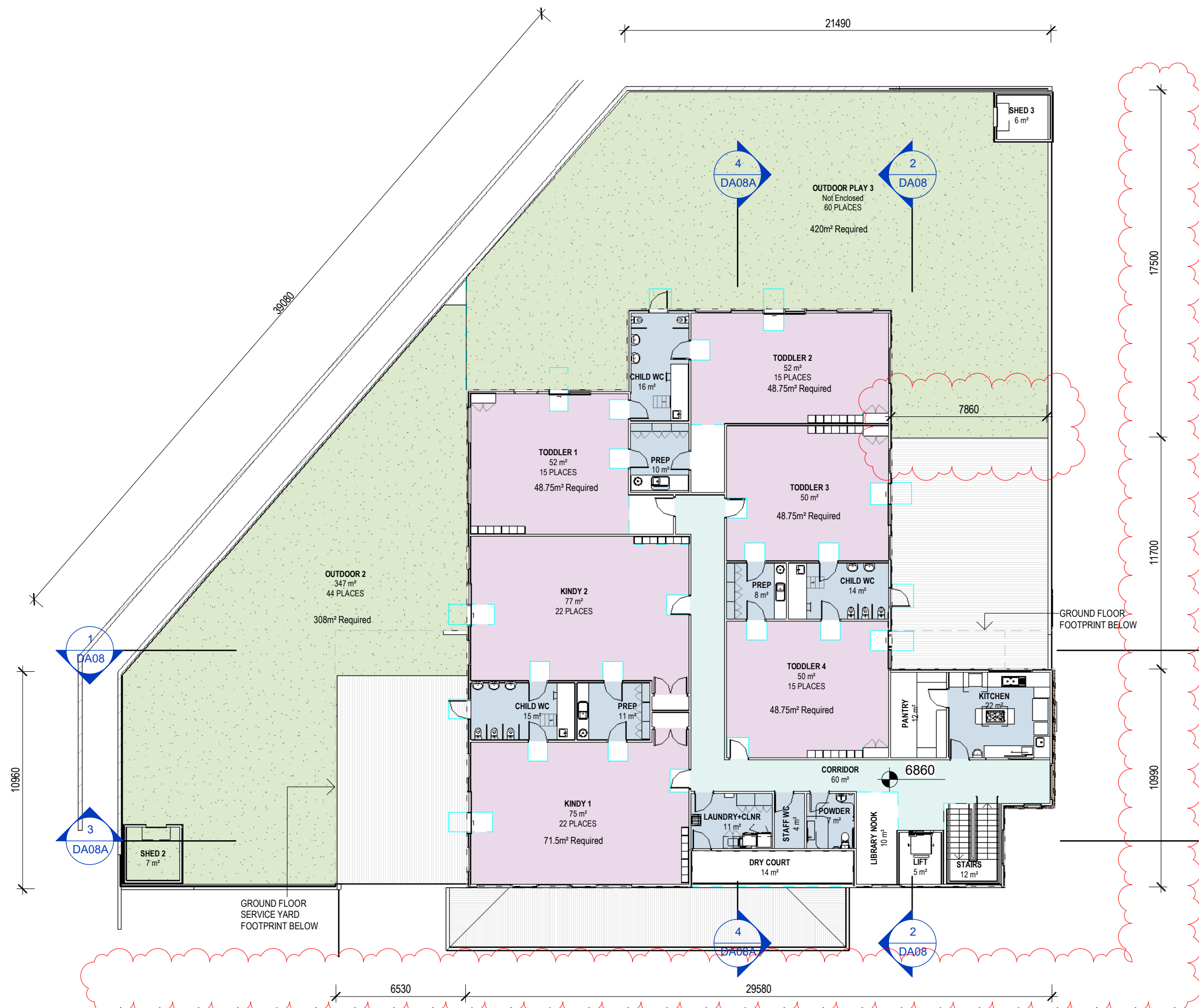


Dwg No. **3567 DA05** Rev: **2** A3 SHEET

# DA ISSUE

ISSUED FOR DEVELOPMENT APPROVAL

Rev	Amendment	Date
1	DA ISSUE	08/06/23
2	DA RFI RESPONSES	10/10/23



NUMBER OF PLACES	128
SITE AREA	10,250m <sup>2</sup>
SITE AREA USED	3200m <sup>2</sup>
SITE AREA PER PLACE	25m <sup>2</sup>
BUILDING AREA	1060m <sup>2</sup>
BUILDING AREA PER PLACE	8.3m <sup>2</sup>
OUTDOOR PLAY AREA	986m <sup>2</sup>
NUMBER OF CAPARKS	32

PLANNING CONSENT  
CONDITIONS & NOTES APPLY  
DA: 23018174  
DATE: 10/01/2024



## BROWN FALCONER

28 Chesser Street, Adelaide, South Australia 5000  
Telephone : 08 8203 5800 Facsimile : 08 8223 2440  
ABN 65 007 846 586 brownfalconer.com.au

ACCORD PROPERTY LTD

35 PARATOO ROAD, STIRLING CCC

LEVEL 1 FLOOR PLAN

Scale 1 : 200

Drawn TR

Date MAY 2023

Job No. 2022107

Dwg No. 3567 DA05Aev. 2

A3 SHEET

## LEVEL 1 FLOOR PLAN

1 : 200

0 2 4 6 8 m

1:200

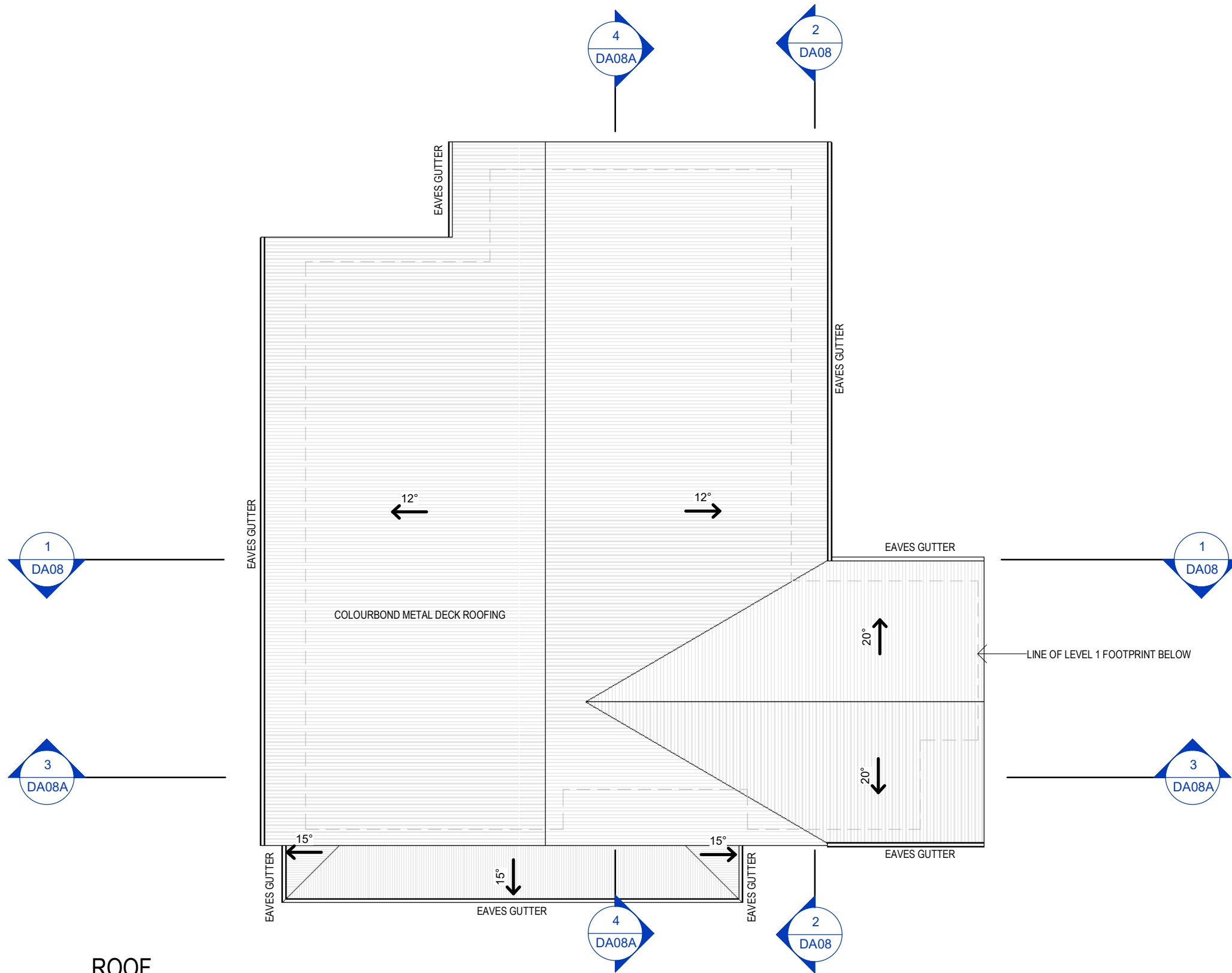




# DA ISSUE

ISSUED FOR DEVELOPMENT APPROVAL

Rev	Amendment	Date
1	DA ISSUE	08/06/23



## ROOF

1 : 200



1:200



PLANNING CONSENT  
CONDITIONS & NOTES APPLY  
DA: 23018174  
DATE: 10/01/2024

## BROWN FALCONER

28 Chesser Street, Adelaide, South Australia 5000  
Telephone : 08 8203 5800 Facsimile : 08 8223 2440  
ABN 65 007 846 586 brownfalconer.com.au

ACCORD PROPERTY LTD

35 PARATOO ROAD, STIRLING CCC

## ROOF PLAN

Scale 1 : 200  
Drawn TR  
Date 24/05/2023  
Job No. 2022107

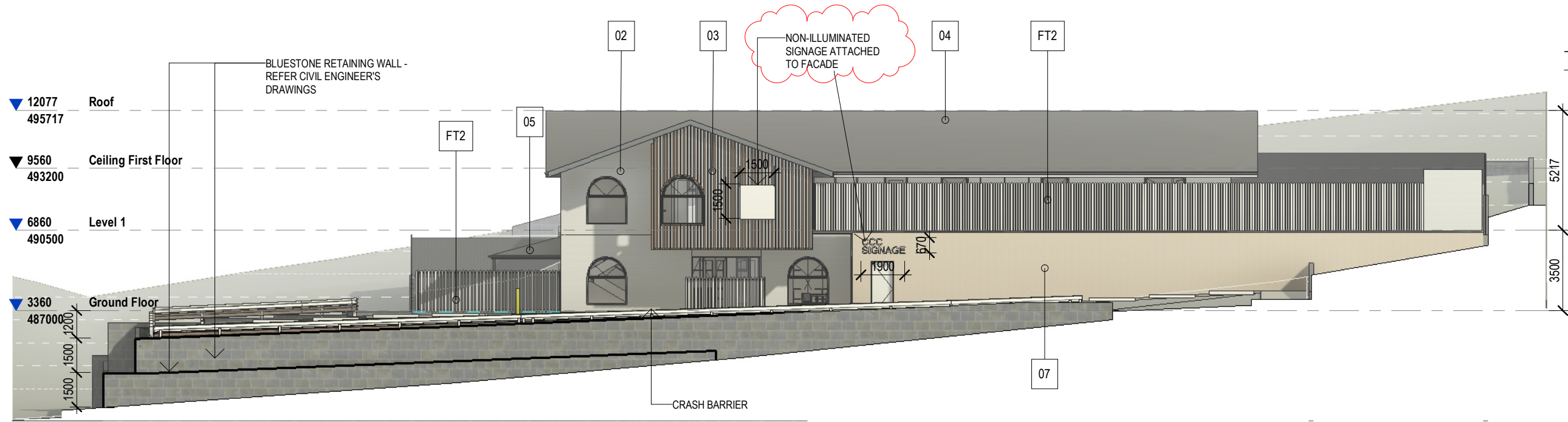


Dwg No. **3567 DA06** Rev: **1** A3 SHEET

# DA ISSUE

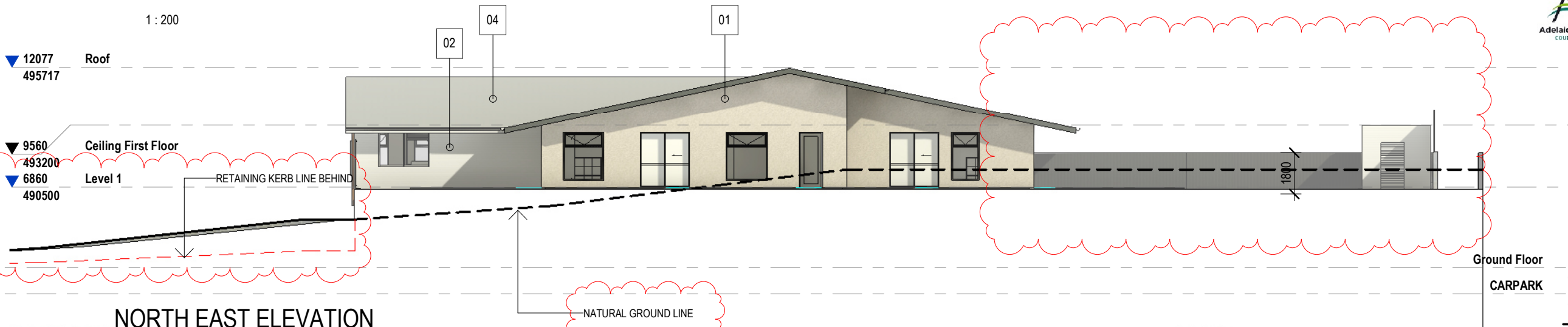
ISSUED FOR DEVELOPMENT APPROVAL

Rev	Amendment	Date
1	DA ISSUE	08/06/23
2	DA RFI RESPONSES	10/10/23



## PARATOO ROAD (SOUTH EAST) ELEVATION

1 : 200



## NORTH EAST ELEVATION

1 : 200



01 HEBEL PANEL-WHITE



02 WEATHERBOARD PAINT WHITE



03 TIMBER BATTANS



04 COLORBOND METAL ROOF IN WHITE



05 COLORBOND METAL ROOF IN GREY



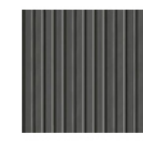
06 BRICK



07 RENDERED RETAINING WALL



CB CRASH BARRIER



FT1 FENCE - MONUMENT



FT2 PICKET FENCE



PLANNING CONSENT  
CONDITIONS & NOTES APPLY  
DA: 23018174  
DATE: 10/01/2024

# BROWN FALCONER

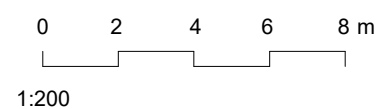
28 Chesser Street, Adelaide, South Australia 5000  
Telephone : 08 8203 5800 Facsimile : 08 8223 2440  
ABN 65 007 846 586 brownfalconer.com.au

ACCORD PROPERTY LTD

35 PARATOO ROAD, STIRLING CCC

## ELEVATIONS

Scale As indicated  
Drawn Author  
Date 24/05/2023  
Job No. 2022107



1:200

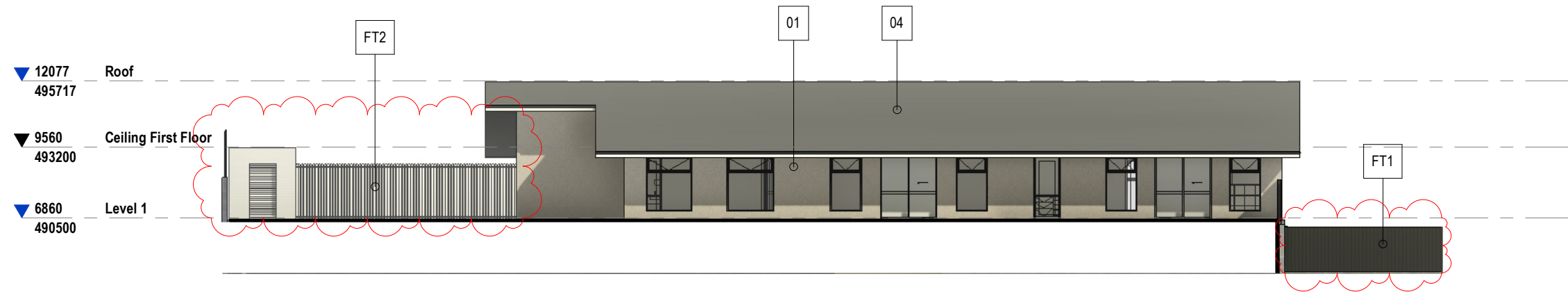
Dwg No. **3567 DA07** Rev: **2** A3 SHEET



# DA ISSUE

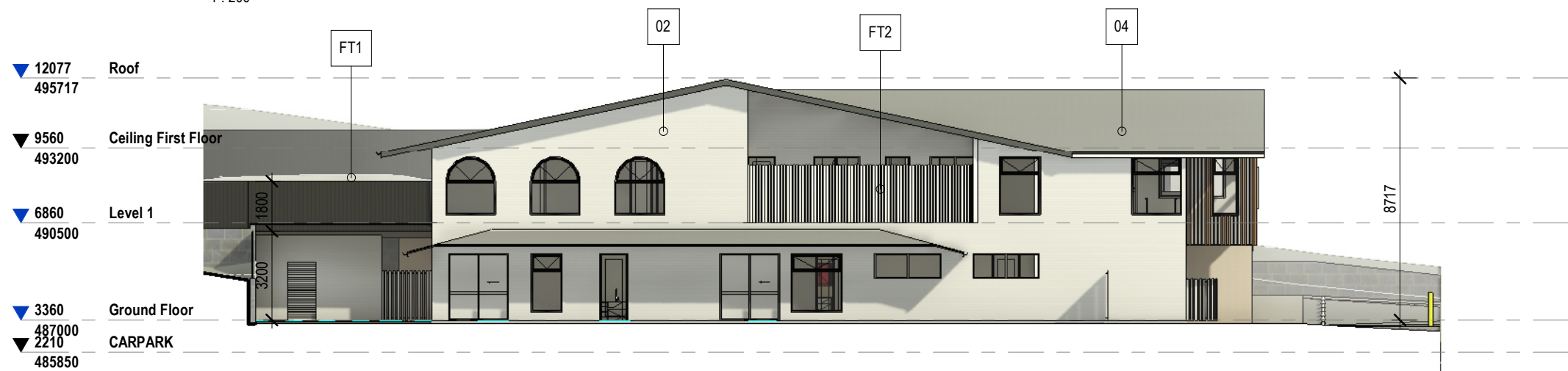
ISSUED FOR DEVELOPMENT APPROVAL

Rev	Amendment	Date
1	DA ISSUE	08/06/23
2	DA RFI RESPONSES	10/10/23



## NORTH WEST ELEVATION

1 : 200

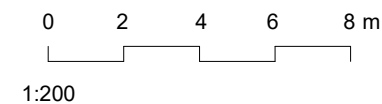
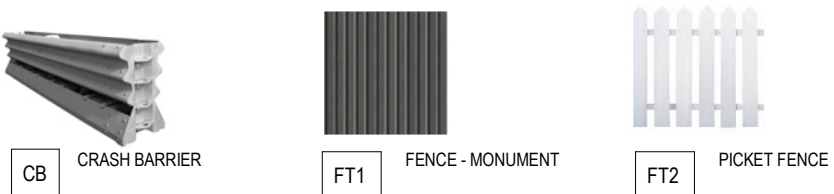
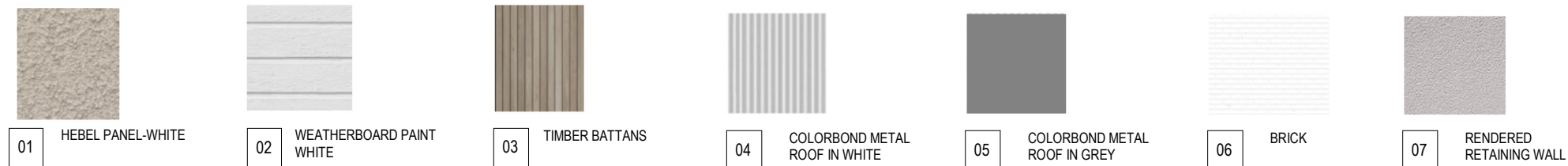


## SOUTH WEST ELEVATION

1 : 200



**PLANNING CONSENT  
CONDITIONS & NOTES APPLY**  
DA: 23018174  
DATE: 10/01/2024



# BROWN FALCONER

28 Chesser Street, Adelaide, South Australia 5000  
Telephone : 08 8203 5800 Facsimile : 08 8223 2440  
ABN 65 007 846 586 brownfalconer.com.au

ACCORD PROPERTY LTD

35 PARATOO ROAD, STIRLING CCC

## ELEVATIONS

Scale As indicated  
Drawn Author  
Date 24/05/2023  
Job No. 2022107

Dwg No. **3567 DA07A**ev: 2 A3 SHEET

# DA ISSUE

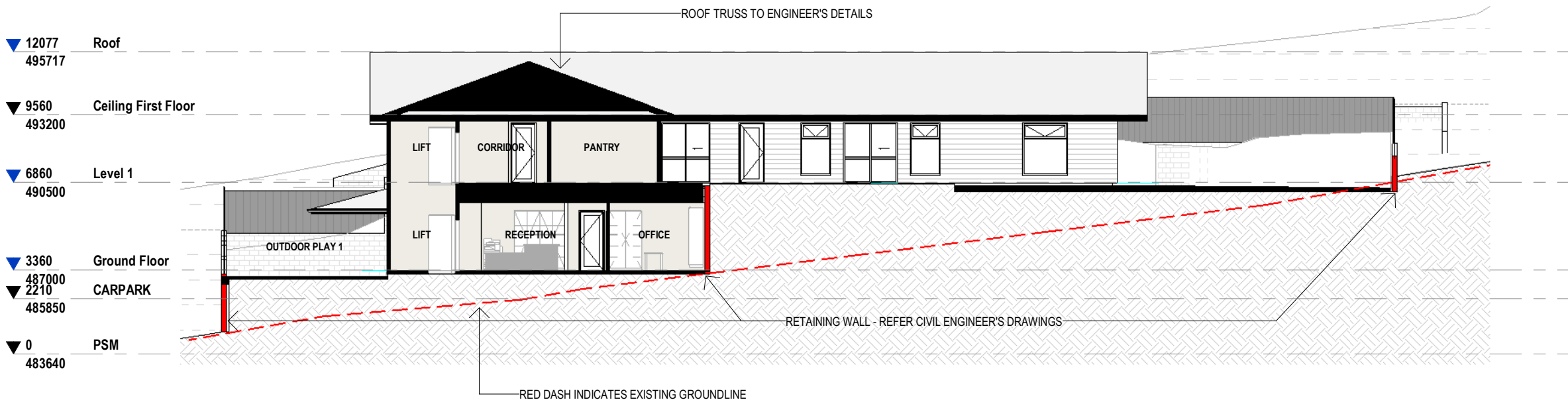
ISSUED FOR DEVELOPMENT APPROVAL

Rev	Amendment	Date
1	DA ISSUE	08/06/23



## SECTION 1

1 : 200



## SECTION 2

1 : 200



1:200



PLANNING CONSENT  
CONDITIONS & NOTES APPLY  
DA: 23018174  
DATE: 10/01/2024

# BROWN FALCONER

28 Chesser Street, Adelaide, South Australia 5000  
Telephone : 08 8203 5800 Facsimile : 08 8223 2440  
ABN 65 007 846 586 brownfalconer.com.au

ACCORD PROPERTY LTD

35 PARATOO ROAD, STIRLING CCC

SECTIONS

Scale 1 : 200

Drawn Author

Date 24/05/2023

Job No. 2022107

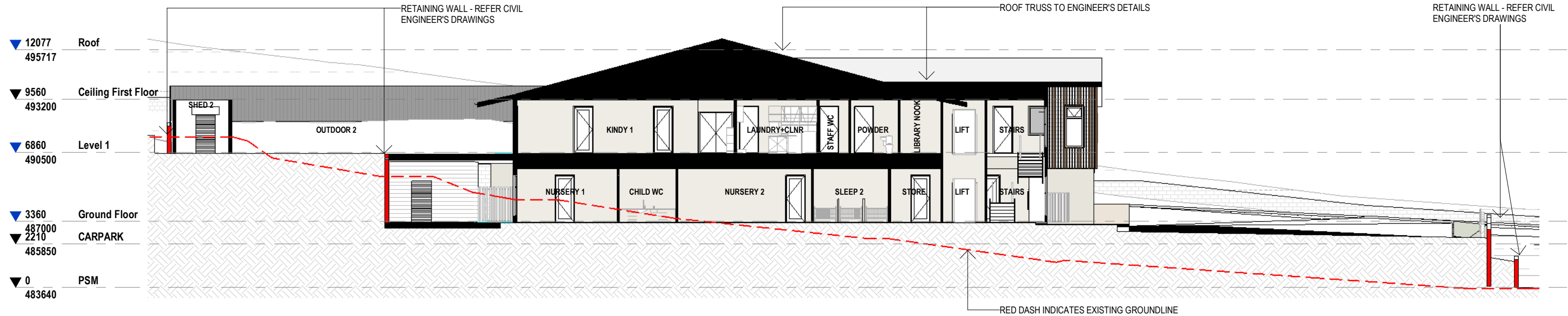
Dwg No. **3567 DA08** Rev: 1 A3 SHEET



# DA ISSUE

ISSUED FOR DEVELOPMENT APPROVAL

Rev	Amendment	Date
1	DA ISSUE	08/06/23

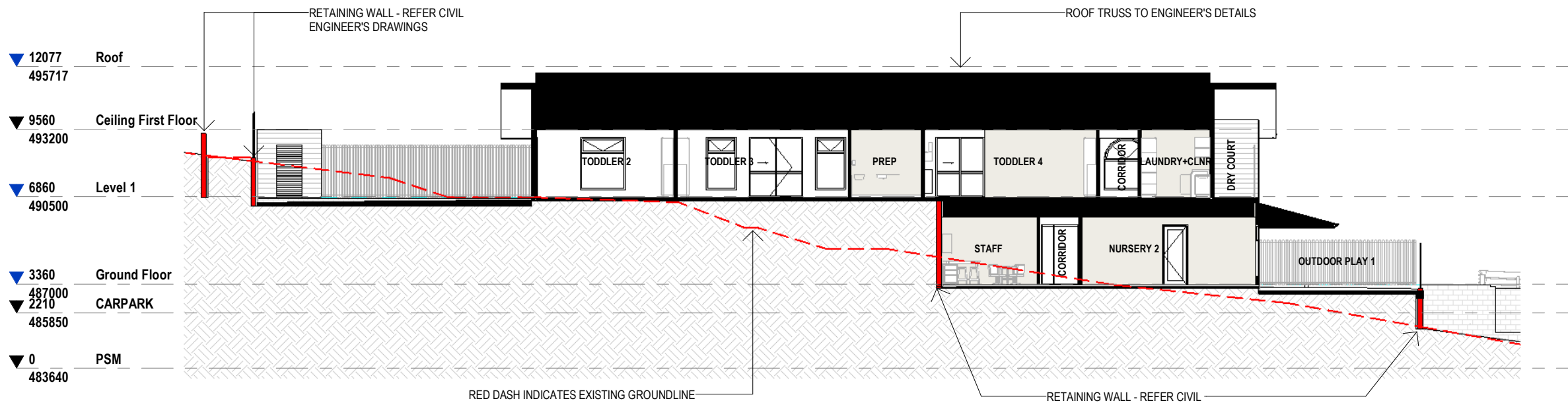


## SECTION 3

1 : 200

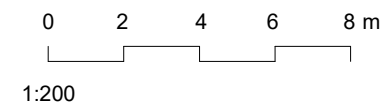


**PLANNING CONSENT  
CONDITIONS & NOTES APPLY**  
DA: 23018174  
DATE: 10/01/2024



## SECTION 4

1 : 200



# BROWN FALCONER

28 Chesser Street, Adelaide, South Australia 5000  
Telephone : 08 8203 5800 Facsimile : 08 8223 2440  
ABN 65 007 846 586 brownfalconer.com.au

ACCORD PROPERTY LTD

35 PARATOO ROAD, STIRLING CCC

SECTIONS 2

Scale 1 : 200

Drawn Author

Date 24/05/2023

Job No. 2022107

Dwg No. **3567 DA08A**ev: 1

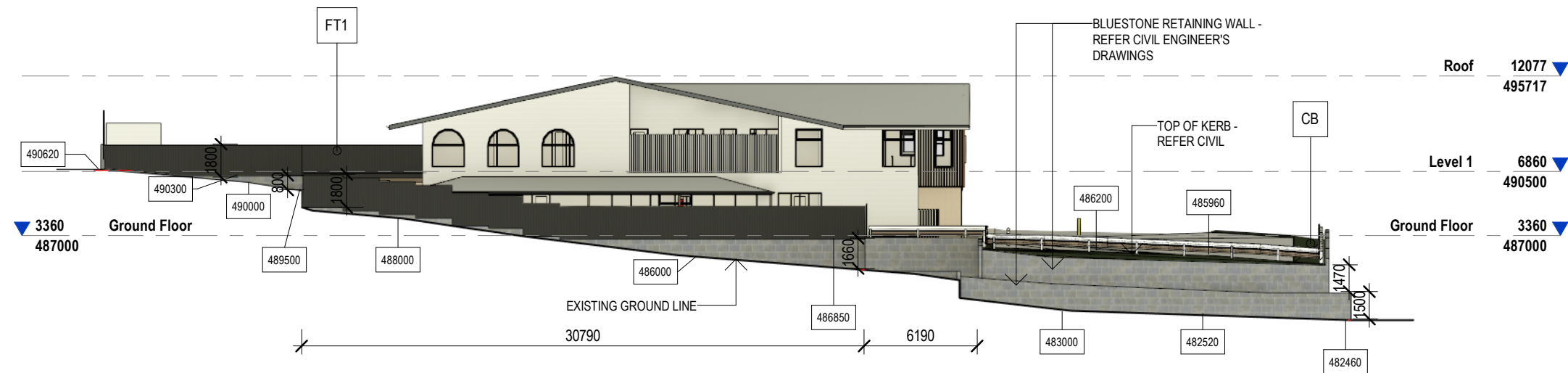
A3 SHEET

# DA ISSUE

ISSUED FOR DEVELOPMENT APPROVAL

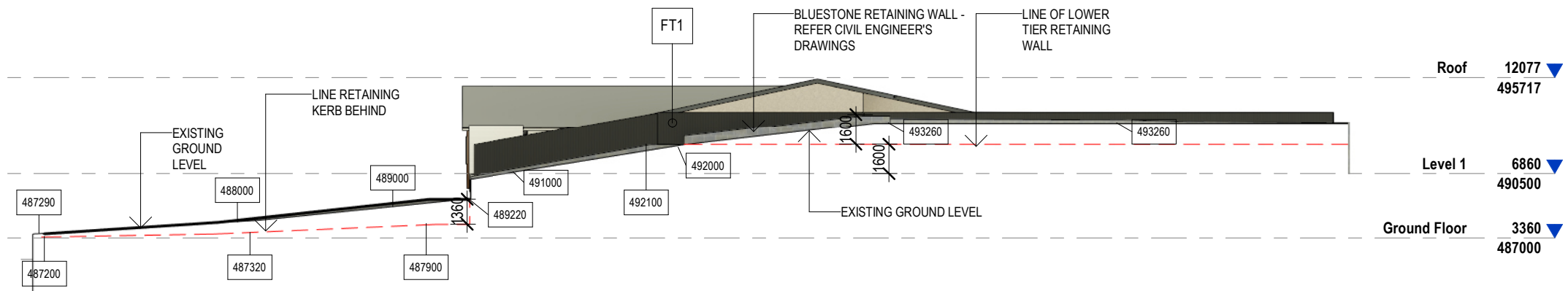
13/10/2023 10:29:50 AM

Rev	Amendment	Date
1	DA RFI RESPONSES	10/10/23



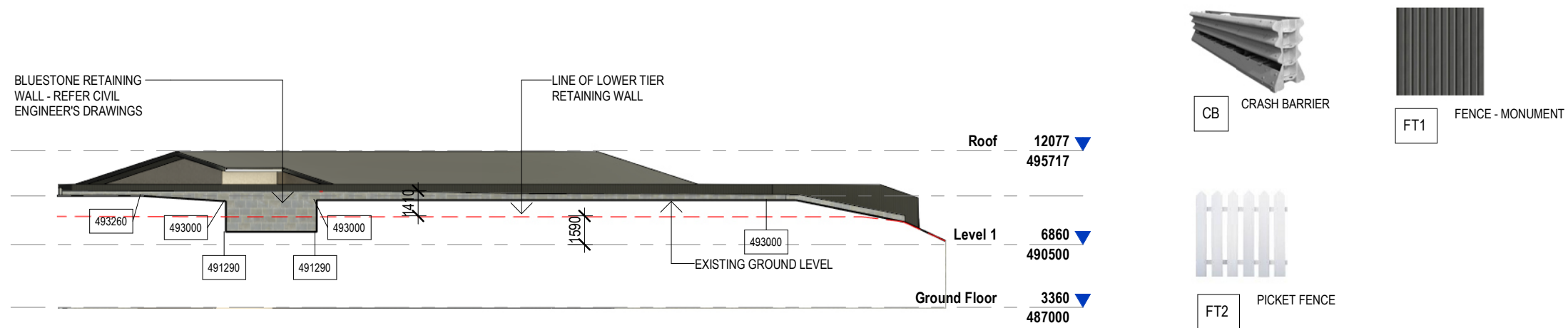
## SOUTH WEST FENCE ELEVATION

1 : 300



## NORTH EAST FENCE ELEVATION

1 : 300



## NORTH FENCE ELEVATION

1 : 300



PLANNING CONSENT  
CONDITIONS & NOTES APPLY  
DA: 23018174  
DATE: 10/01/2024

# BROWN FALCONER

28 Chesser Street, Adelaide, South Australia 5000  
Telephone : 08 8203 5800 Facsimile : 08 8223 2440  
ABN 65 007 846 586 brownfalconer.com.au

ACCORD PROPERTY LTD

35 PARATOO ROAD, STIRLING CCC

FENCE ELEVATIONS

Scale As indicated

Drawn Author

Date 09/13/23

Job No. 2022107

Dwg No. **3567 DA12** Rev: **1** A3 SHEET





Civil  
Environmental  
Mechanical  
Fire  
Lifts

Structural  
Geotechnical  
Electrical  
Hydraulics  
Green ESD

Level 6, 100 Pirie Street,  
Adelaide SA 5000  
Telephone 08 8238 4100  
Facsimile 08 8410 1405

 50W IP65 LED FLOODLIGHT

 20W LED IP66 WALL LIGHT

 16W LED BOLLARD (IP65)

 40W IP65 LED BATTEN


 16W IP65 LED DOWNLIGHT


NUMBER OF PLACES 128

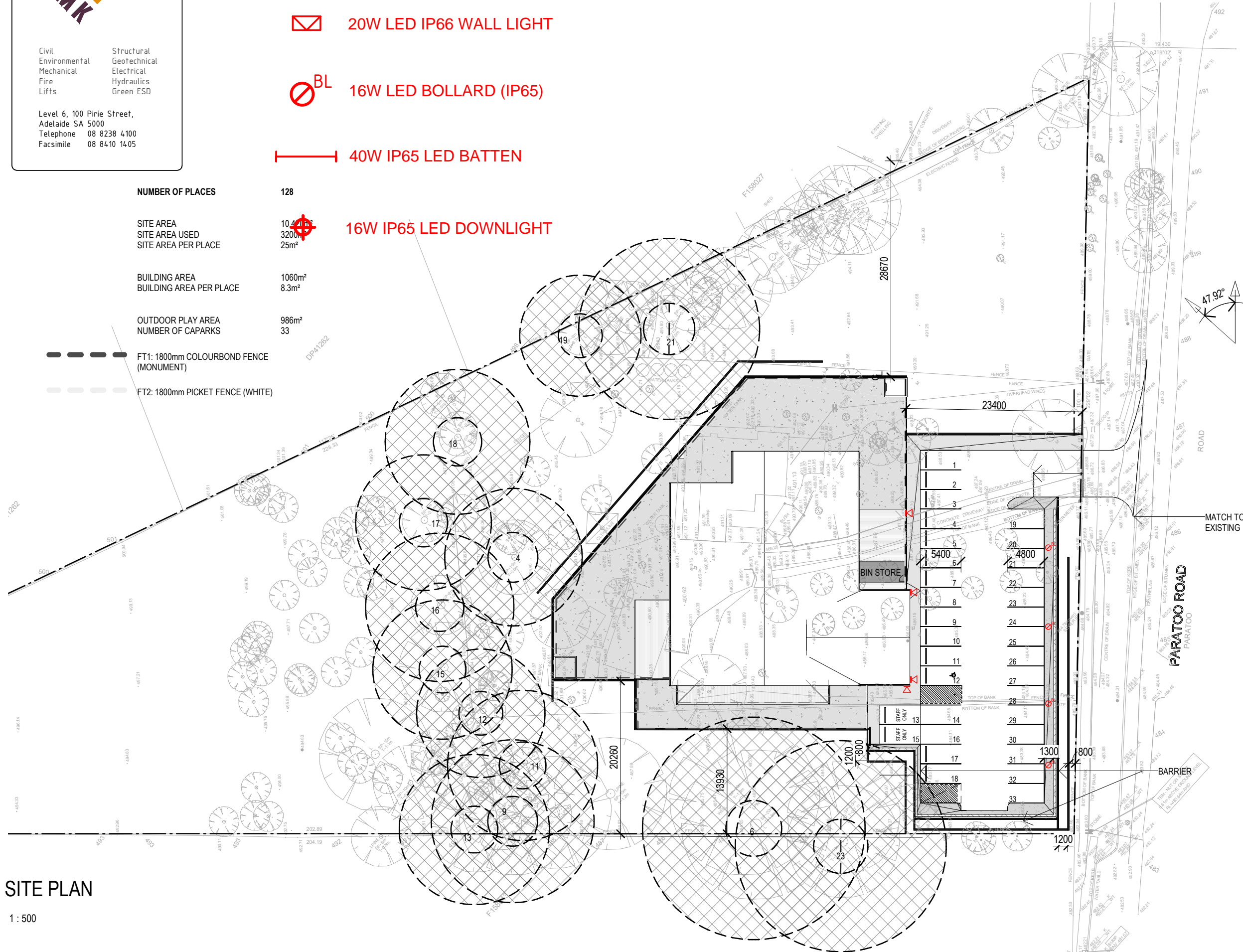
SITE AREA 104,402  
SITE AREA USED 32000  
SITE AREA PER PLACE 25m<sup>2</sup>

BUILDING AREA 1060m<sup>2</sup>  
BUILDING AREA PER PLACE 8.3m<sup>2</sup>

OUTDOOR PLAY AREA 986m<sup>2</sup>  
NUMBER OF CAPARKS 33

 FT1: 1800mm COLOURBOND FENCE (MONUMENT)

 FT2: 1800mm PICKET FENCE (WHITE)



# DA ISSUE

ISSUED FOR DEVELOPMENT APPROVAL

Rev	Amendment	Date
1	DA ISSUE	08/06/23



**PLANNING CONSENT  
CONDITIONS & NOTES APPLY**  
DA: 23018174  
DATE: 10/01/2024

0 5 10 15 20m

1:500

## BROWN FALCONER

28 Chesser Street, Adelaide, South Australia 5000  
Telephone : 08 8203 5800 Facsimile : 08 8223 2440  
ABN 65 007 846 586 brownfalconer.com.au

ACCORD PROPERTY LTD

35 PARATOO ROAD, STIRLING CCC

SITE PLAN

Scale 1 : 500

Drawn TR

Date 24/05/2023

Job No. 2022107

Dwg No. **3567 DA04** Rev: 1

A3 SHEET

SITE PLAN

1 : 500





Civil  
Environmental  
Mechanical  
Fire  
Lifts

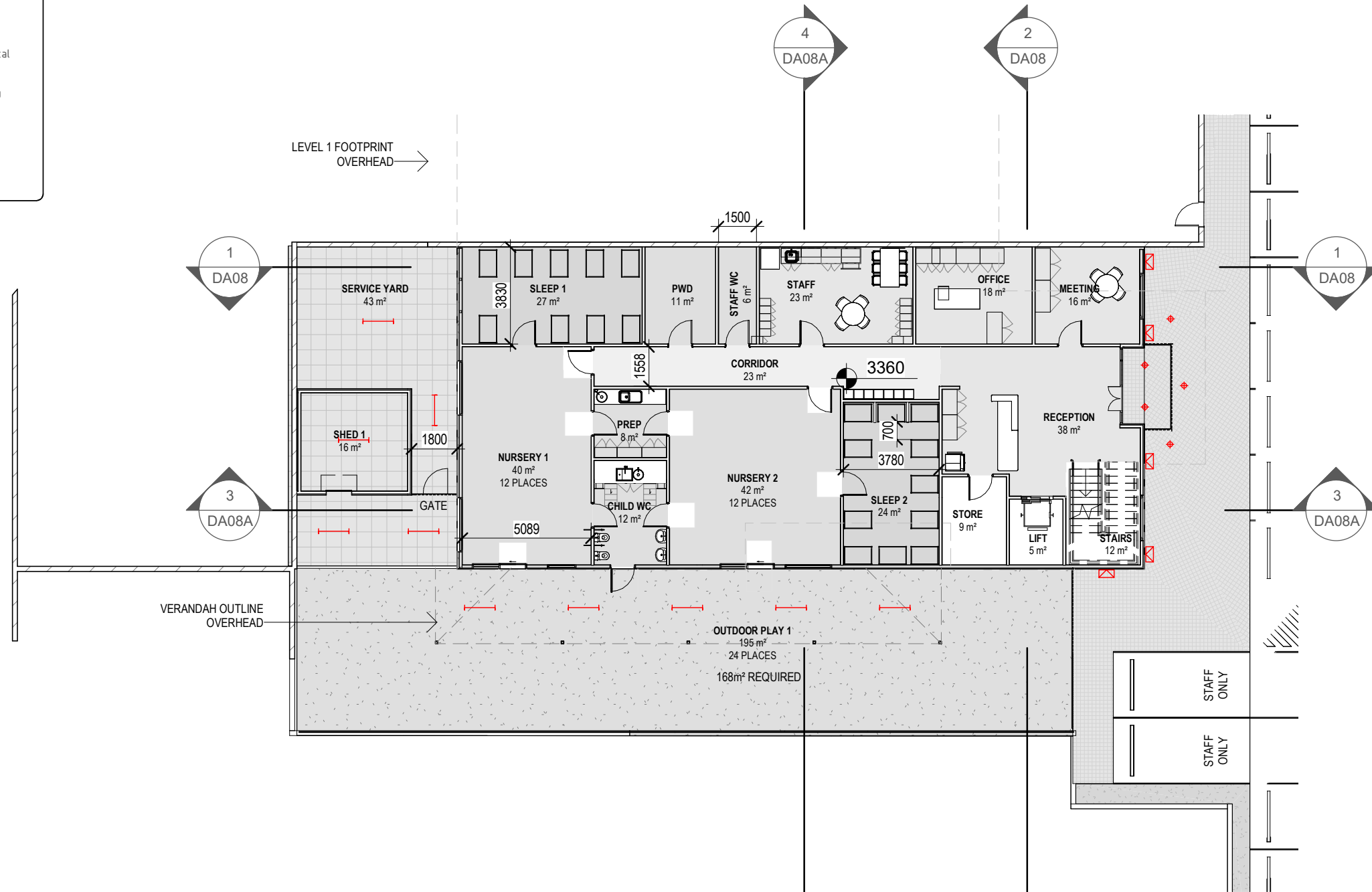
Structural  
Geotechnical  
Electrical  
Hydraulics  
Green ESD

Level 6, 100 Pirie Street,  
Adelaide SA 5000  
Telephone 08 8238 4100  
Facsimile 08 8410 1405

# DA ISSUE

ISSUED FOR DEVELOPMENT APPROVAL

Rev	Amendment	Date
1	DA ISSUE	08/06/23



## GROUND FLOOR PLAN

1 : 200

NUMBER OF PLACES	128
SITE AREA	10,250m <sup>2</sup>
SITE AREA USED	3200m <sup>2</sup>
SITE AREA PER PLACE	25m <sup>2</sup>
BUILDING AREA	1060m <sup>2</sup>
BUILDING AREA PER PLACE	8.3m <sup>2</sup>
OUTDOOR PLAY AREA	986m <sup>2</sup>
NUMBER OF CAPARKS	32

0 2 4 6 8 m

1:200



PLANNING CONSENT  
CONDITIONS & NOTES APPLY  
DA: 23018174  
DATE: 10/01/2024

# BROWN FALCONER

28 Chesser Street, Adelaide, South Australia 5000  
Telephone : 08 8203 5800 Facsimile : 08 8223 2440  
ABN 65 007 846 586 brownfalconer.com.au

ACCORD PROPERTY LTD

35 PARATOO ROAD, STIRLING CCC

GROUND FLOOR PLAN

Scale 1 : 200  
Drawn TR  
Date MAY 2023  
Job No. 2022107



Dwg No. **3567 DA05** Rev: **1** A3 SHEET





Civil  
Environmental  
Mechanical  
Fire  
Lifts

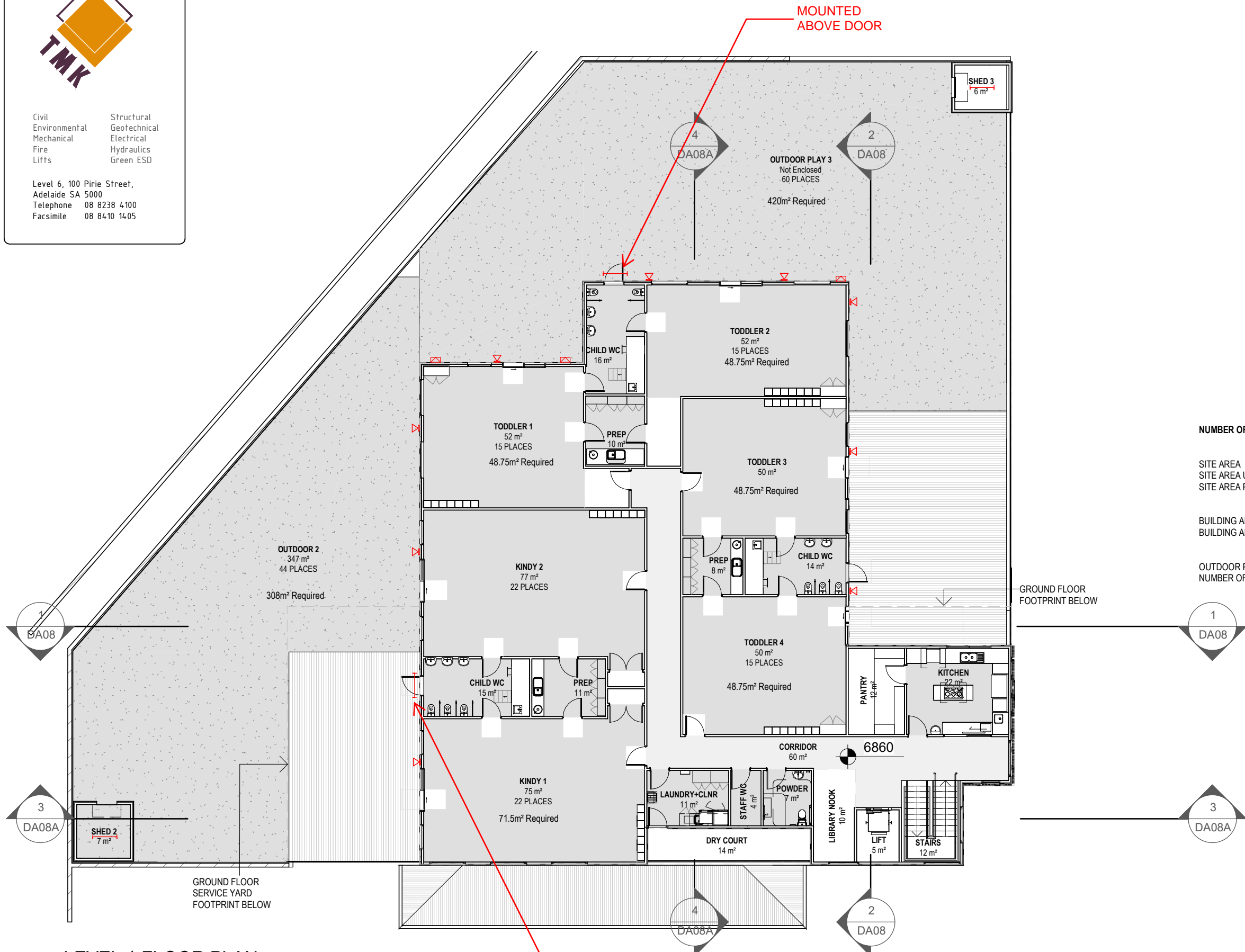
Structural  
Geotechnical  
Electrical  
Hydraulics  
Green ESD

Level 6, 100 Pirie Street,  
Adelaide SA 5000  
Telephone 08 8238 4100  
Facsimile 08 8410 1405

# DA ISSUE

ISSUED FOR DEVELOPMENT APPROVAL

Rev	Amendment	Date
1	DA ISSUE	08/06/23



NUMBER OF PLACES	128
SITE AREA	10,250m²
SITE AREA USED	3200m²
SITE AREA PER PLACE	25m²
BUILDING AREA	1060m²
BUILDING AREA PER PLACE	8.3m²
OUTDOOR PLAY AREA	986m²
NUMBER OF CAPARKS	32



**PLANNING CONSENT  
CONDITIONS & NOTES APPLY**  
DA: 23018174  
DATE: 10/01/2024

## BROWN FALCONER

28 Chesser Street, Adelaide, South Australia 5000  
Telephone : 08 8203 5800 Facsimile : 08 8223 2440  
ABN 65 007 846 586 brownfalconer.com.au

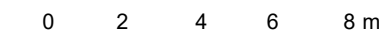
ACCORD PROPERTY LTD

35 PARATOO ROAD, STIRLING CCC

LEVEL 1 FLOOR PLAN

### LEVEL 1 FLOOR PLAN

1 : 200



1:200

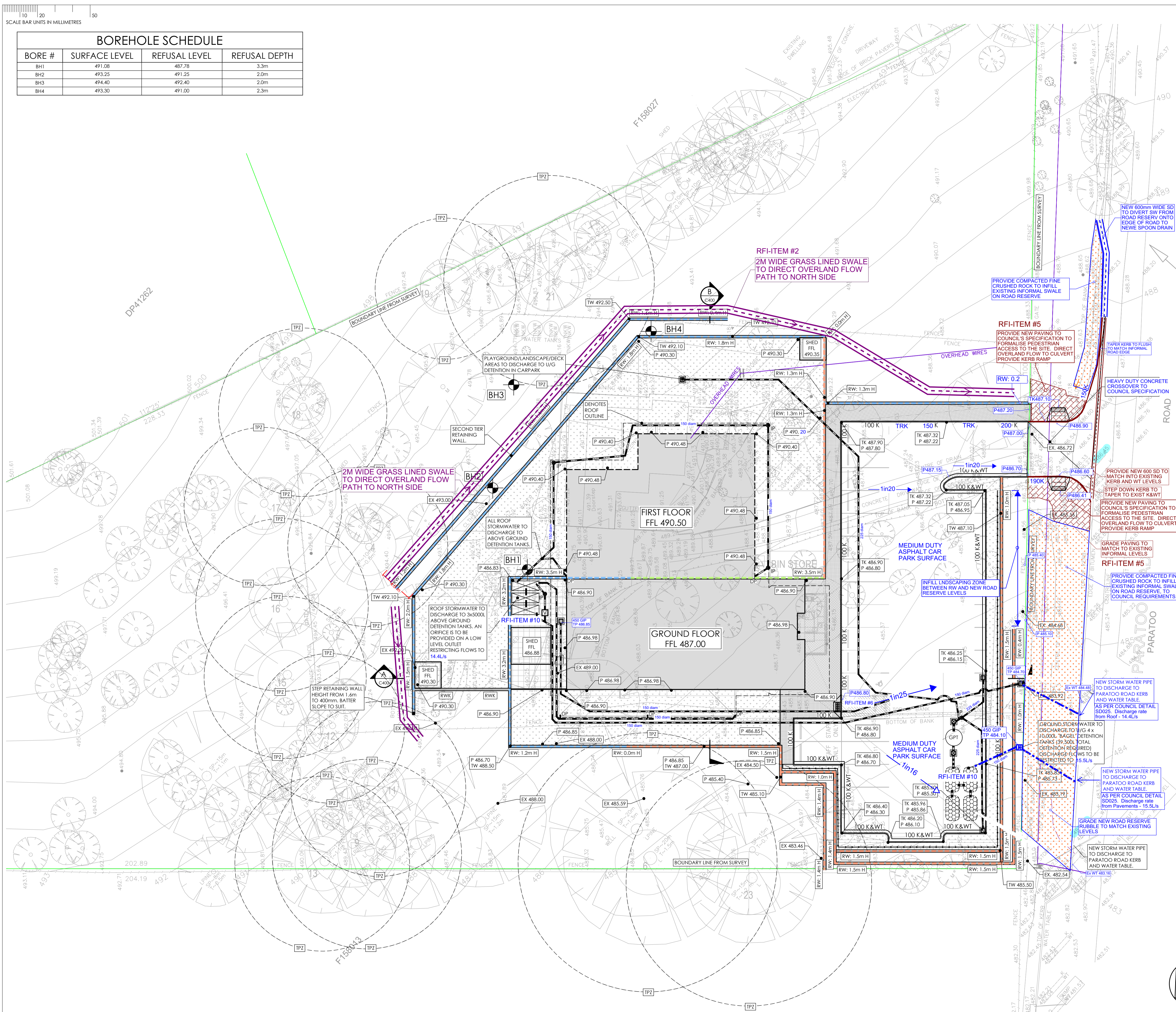
Scale 1 : 200  
Drawn TR  
Date MAY 2023  
Job No. 2022107



Dwg No. **3567 DA5A** Rev: 1 A3 SHEET



BOREHOLE SCHEDULE			
BORE #	SURFACE LEVEL	REFUSAL LEVEL	REFUSAL DEPTH
BH1	491.08	487.78	3.3m
BH2	493.25	491.25	2.0m
BH3	494.40	492.40	2.0m
BH4	493.30	491.00	2.3m

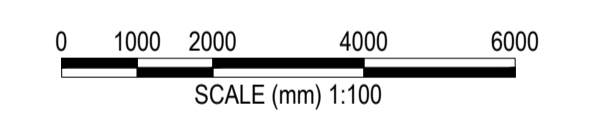


LEGEND	
	K&WT CONCRETE KERB & WATERTABLE HEIGHT AS NOTED.
	K CONCRETE KERB HEIGHT AS NOTED.
	FK FLUSH KERB.
	NEW STORMWATER PIPE (UNSEALED SYSTEM).
	NEW STORMWATER PIPE (SEALED SYSTEM).
	GRATED INLET PIT
	JUNCTION BOX
	STORMWATER INSPECTION POINT.
	MAINTENANCE VALVE. REFER DETAIL.
	DOWN PIPES. ALL DOWN PIPES TO HAVE A uPVC TAIL MATCHING THE SIZE OF THE DOWNPIPE, CONNECTING TO MAIN STORM WATER RUN U.N.O.
	SPELecceptor IN-LINE GROSS POLLUTANT TRAP WITH 900 SQ JB'S.
	CONCRETE CULVERT WITH 6mm GALVANISED CHECKER PL.
	RETAINING WALL WITH NEW FILL BEHIND.
	RETAINING WALL CUT INTO EXISTING SURFACE.
	RETAINING WALL CUT INTO EXISTING SURFACE WITH NEW FILL BEHIND.
	DENOTES ARMO CRASH BARRIER
	DESIGN LEVEL P-PAVEMENT LEVEL TK-TOP OF KERB WT-WATER TABLE TP-TOP OF PIT IL-INVERT LEVEL EX-EXISTING LEVEL TB-TOP BATTER BB-BOTTOM BATTER TW-TOP OF WALL L-LANDSCAPE LEVEL
	EXISTING SPOT LEVELS FROM SURVEY.
	DENOTES APPROX. LINE OF TREE PROTECTION ZONE. REFER TO ARCHITECTS DOCUMENTATION.

PLANNING CONSENT CONDITIONS & NOTES APPLY  
DA: 23018174  
DATE: 10/01/2024

Issue	Date	Details	M.A./T.A.C.	Eng./DR
C	11-12-23	RESPONSE TO 2ND COUNCIL RFI		
B	12-08-23	RESPONSE TO COUNCIL RFI		
A	09-06-23	ISSUED FOR APPROVAL	M.A./T.A.C.	Eng./DR

APPROVAL ONLY  
09-06-23



Visit: 174 Fullarton Road Dulwich SA 5065  
P: 08 8332 1344 E: plans@cprengineers.com.au  
Contra Precision Reynolds Pty. Ltd. is a trustee for the CPR Trust. © Copyright  
ACN 112 731 526 - ABN 112 731 526

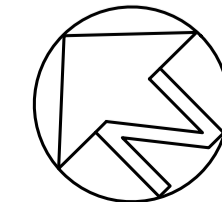
PROPOSED CHILD CARE CENTRE

35 PARATOO ROAD  
STIRLING SA 5152  
ACCORD PROPERTY LTD.

BROWN FALCONER  
28 CHESSER STREET, ADELAIDE SA 5000  
Phone (08) 8203 5800

STORMWATER MANAGEMENT PLAN

Designed	Drawn	Checked	Scale	Date
M.A.	T.A.C.	-	1:200	Jun-23
Drawing No.	220216-C201		Rev.	C





**CAP MEETING – 10 JANUARY 2024**

**ITEM 8.1**

<b>DEVELOPMENT NO.:</b>	23018174
<b>APPLICANT:</b>	Development Holdings Pty Ltd
<b>ADDRESS:</b>	35 PARATOO ROAD STIRLING SA 5152 CT 5767/919
<b>NATURE OF DEVELOPMENT:</b>	Two storey child care facility with attached signage, retaining walls, combined fence & retaining walls, decking & associated car parking
<b>ZONING INFORMATION:</b>	<p><b>Zones:</b></p> <ul style="list-style-type: none"> <li>• Rural Neighbourhood</li> </ul> <p><b>Subzones:</b></p> <ul style="list-style-type: none"> <li>• Adelaide Hills</li> </ul> <p><b>Overlays:</b></p> <ul style="list-style-type: none"> <li>• Hazards (Bushfire - Medium Risk)</li> <li>• Hazards (Flooding - Evidence Required)</li> <li>• Mount Lofty Ranges Water Supply Catchment (Area 2)</li> <li>• Native Vegetation</li> <li>• Prescribed Water Resources Area</li> <li>• Regulated and Significant Tree</li> </ul> <p><b>Technical Numeric Variations (TNVs):</b></p> <ul style="list-style-type: none"> <li>• Minimum Site Area (Minimum site area is 2,000 sqm)</li> </ul>
<b>LODGEMENT DATE:</b>	29 June 2023
<b>RELEVANT AUTHORITY:</b>	Assessment Panel at Adelaide Hills Council
<b>PLANNING &amp; DESIGN CODE VERSION:</b>	2023.9
<b>CATEGORY OF DEVELOPMENT:</b>	Code Assessed - Performance Assessed
<b>NOTIFICATION:</b>	Yes 13 November 2023 – 1 December 2023
<b>RECOMMENDING OFFICER:</b>	Marie Molinaro Statutory Planner
<b>REFERRALS STATUTORY:</b>	<ul style="list-style-type: none"> <li>• Native Vegetation Council</li> </ul>
<b>REFERRALS NON-STATUTORY:</b>	<ul style="list-style-type: none"> <li>• Council Environmental Health</li> <li>• Council Engineering</li> </ul>

**CONTENTS:**

<b>ATTACHMENT 1:</b>	<b>Application Documents</b>	<b>ATTACHMENT 5:</b>	<b>Response to Representations</b>
<b>ATTACHMENT 2:</b>	<b>Subject Land Map</b>	<b>ATTACHMENT 6:</b>	<b>Referral Response</b>
<b>ATTACHMENT 3:</b>	<b>Zoning Map</b>	<b>ATTACHMENT 7:</b>	<b>Relevant P&amp;D Code Policies</b>
<b>ATTACHMENT 4:</b>	<b>Representations</b>		

## CAP MEETING – 10 JANUARY 2024

### ITEM 8.1

#### DETAILED DESCRIPTION OF PROPOSAL:

The proposal is for demolition of a dwelling and associated outbuildings and construction of a child care facility.

A child care facility is described in the Planning & Design Code as:

*A place primarily for the care or instruction of children of less than primary school age, children with special needs or out-of-school-hours care (including vacation care) and not resident on the site.*

The child care facility will comprise the following:

- Construction of one (1) two storey building:
  - Ground level - 27m x 12.9m containing two (2) nursery rooms for 24 children with associated sleep rooms, toilets and food preparation space, reception area, staff amenities (meeting room, staff room, office and toilet), storage space with lift and stair access up to level 1. The ground level is sited lengthways into the land.

Associated with the ground level is a 30m x 6.4m outdoor play area on the southern side of the building, 12.9m x 6.4m service yard at the rear of the building and 6.5m x 3.9m enclosed waste storage space accessible from the front of the building. The ground floor outdoor play area is partly covered by a verandah.
  - Level 1– irregular shape, but approximately 29.5m x 22m containing four (4) toddler rooms for 45 children with associated toilet and food preparation spaces, two (2) kindy rooms for 59 children with associated toilet and food preparation spaces, separate kitchen, laundry and drying space, staff toilets and book storage space with lift and stair access down to ground level. Level 1 is sited lengthways across the land.

Associated with level 1 are two (2) irregular shaped outdoor play areas, one on the southern side of the building and one at the rear of the building both partly covered with timber deck flooring.
- The total floor area of the building is 1060 square metres.
- The total area of associated outdoor play areas is 986 square metres.
- The building has a maximum height of 8.7m, measured from ground level to the roof peak.
- External materials and colours are as follows:
  - Ground level walls – white weatherboard cladding and rendered beige wall on the front façade with remainder in white weatherboard.
  - Level 1 walls – white weatherboard and vertical brown timber cladding on the front façade with rendered white hebel panel on the northern side and rear facades and white weatherboard on the southern façade.
  - Roof – Colorbond sheeting in white colour for the building and Colorbond sheeting in grey colour for the verandah cover over part of the ground level outdoor play area.
- The facility is setback:
  - 22m from the front boundary as measured from the front of the building, with car park between the front of the building and the front boundary.
  - 13m from the southern side boundary as measured from the edge of the outdoor play area.
  - 17m from the northern side boundary as measured from the edge of the outdoor play area.

Associated with the construction of the child care facility are the following:

- Two (2) non-illuminated advertising signs to display the name of the child care facility on the front elevation.



## CAP MEETING – 10 JANUARY 2024

### ITEM 8.1

- Earthworks comprising:
  - Approximately 2.5-3m of fill at the south-eastern corner of the land below the car park area, to be supported by two-tiered retaining walls, wrapping around the front and southern side of the car park area. The maximum height of the individual retaining walls is 1.5m.
  - Approximately 3m of cut to create the outdoor level 1 play areas, to be supported by two-tiered retaining walls. The maximum height of the retaining walls is 3.5m. An additional 1.3m high cut retaining is required along the northern edge of the car park.
  - The fill retaining walls supporting the car park are to be a Bluestone finish, with the remainder to be concrete sleeper material.
- 1.8m high white timber picket fencing along the street facing frontage of the ground level and level 1 outdoor play areas.
- 1.8m high Colorbond 'Monument' fencing around the southern, rear and northern perimeters of the outdoor play areas attached to the retaining walls.
- Provision of a 6.2m wide cross-over to Paratoo Road with upgrading of the surrounding footpath and inclusion of drainage infrastructure. The cross-over will allow for two-way vehicle movements.
- Asphalt car park between the building and the front boundary with the provision of 33 car parking spaces, including three (3) designated staff parking spaces and one (1) universal access space. Included within the car park are four (4) bollard lights, with additional wall mounted lighting on the building.
- The car park has a total area of 955 square metres and is supported by a crash barrier attached to the top-tier retaining walls.
- Removal of native vegetation comprising 16 tree saplings, one medium tree and three young trees.
- Planting of landscaping between the edge of the car parking area and the front boundary and around the perimeter of the ground level and level 1 outdoor play areas. Landscaping is partly comprised of species from Council's Native Habitat and Landscaping Guide.
- Roof stormwater will be managed by 3 x 5,000L above ground detention tanks.
- Ground level run-off from the outdoor play areas will be directed to a swale on Paratoo Road and car park run-off will be directed to a gross pollutant trap connected to 4 x 10,000L underground detention tanks.
- Plant equipment of the facility will be located at ground level within a service yard space at the rear of the building.

Operational matters of the child care facility are as follows:

- Total capacity for a maximum of 128 children at any one time.
- Hours of operation – Monday to Friday, 6:30am until 6:30pm.
- Waste will be stored in an enclosed space on the ground level and collected by a private contractor between 9:00am and 7:00pm on Sunday or public holidays.
- Deliveries undertaken by small trucks and passenger vehicles will occur between 7:00am and 5:00pm Monday to Friday.

The plans and application information are included as **Attachment 1 – Application Documents**.

## CAP MEETING – 10 JANUARY 2024

### ITEM 8.1

#### BACKGROUND:

There are no development approvals on Council record relating to the subject land.

#### SUBJECT LAND & LOCALITY:

##### Site Description:

**Location reference:** 35 PARATOO RD STIRLING SA 5152

**Title ref.:** CT 5767/919 **Plan Parcel:** F210897 AL111 **Council:** ADELAIDE HILLS COUNCIL

The subject land is a triangular shaped allotment, with an area of 1.04 hectares. It is wider at the front, with a frontage to Paratoo Road of 100 metres.

The land is approximately 15m south of the intersection of Paratoo Road and Old Mount Barker Road, 50m north of the intersection of Paratoo Road and Yam Street and 200m north of the intersection of Paratoo Road and Braeside Road.

Old Mount Barker Road is the zone boundary, with land on the northern side of Old Mount Barker Road being within the Productive Rural Landscape Zone.

The use of the land is residential, comprised of a single storey detached dwelling with associated outbuildings. The dwelling is sited away from the road frontage, near the northern side boundary. It is surrounded by a cluster of trees at the rear, with garden between the dwelling and the front boundary.

The land is sloping, with a north-south cross-fall of approximately 1 in 6 through the development area. It is serviced by mains water, sewer and electricity supply. There is an easement at the rear of the land, which is unaffected by the proposal.

Paratoo Road is sealed Council roadway, provided in-part with upright kerb & gutter. It is a two-way road until near the southern boundary of the subject land, where at this point it narrows to a one-way road. Vehicles can only travel north past the frontage of the subject land.

The adjoining land to the south is the Stirling East Primary School, which has a main frontage to Braeside Road. A staff and student drop-off and pick-up car park is located on the Paratoo Road frontage. Entry to this car park is at the southern end and the exit point is at the northern end of the subject land. Road signage restricts vehicles leaving the car park from turning right. Road signage also restricts vehicles turning right onto Yam Street from Paratoo Road.

There is a sealed footpath in front of the primary school frontage, which turns into a compacted gravel footpath in front of the subject land. The footpath in front of the subject land is approximately 6m wide.

Road signage prevents on-street parking in front of the primary school frontage between 3:00pm and 4:00pm, however there are two unrestricted indented off-street parking spaces available near the southern boundary of the subject land. There is an un-signalised pedestrian crossing just below the indented street parking spaces and pedestrian warning signs on the approach to the primary school.

Aside from the primary school, the surrounding land use is residential comprised of single storey and two storey detached dwellings generally set well back from the boundaries and surrounded by vegetation and landscaped gardens. The area of these residential allotments is generally around 2000-3000 square metres.



## CAP MEETING – 10 JANUARY 2024

### ITEM 8.1

The subject land is identified on **Attachment 2 – Subject Land Map**. The zoning is shown in **Attachment 3 – Zoning Map**.

#### CONSENT TYPE REQUIRED:

Planning Consent

#### CATEGORY OF DEVELOPMENT:

- **PER ELEMENT:** Fence: Code Assessed - Performance Assessed  
Child Care Facility: Code Assessed - Performance Assessed  
Fences and walls  
Retaining wall: Code Assessed - Performance Assessed  
Deck: Code Assessed - Performance Assessed  
Advertisement: Code Assessed - Performance Assessed
- **OVERALL APPLICATION CATEGORY:**  
Code Assessed - Performance Assessed
- **REASON**  
The proposal is not listed as Accepted, Deemed to Satisfy or Restricted in the Planning & Design Code, so it defaults to being a Performance Assessed type of development.

#### PUBLIC NOTIFICATION

- **REASON**  
A child care facility is not listed as being exempt from public notification in Table 5 procedural matters of the Rural Neighbourhood Zone. The proposal is not considered to be a minor form of development, and therefore public notification was required.
- **LIST OF REPRESENTATIONS**  
Eight (8) representations were received during the public notification period. Two (2) representors wish to be heard in support of their written representation.

The representor details are below:

Representor Name	Representor's Address	Wishes to be Heard	Nominated Speaker (if relevant)
Tony Lockwood	142 Old Mount Barker Road, Aldgate	Yes	Simon Grose of Advantage Planning
Nicola Hastings	140 Old Mount Barker Road, Aldgate	Yes	Nick Simos of SA Urban and Regional Planning
Simon Gamble	3 Sharon Court, Aldgate	No	
Fenella Dermody	27 Ashenden Road, Aldgate	No	
Jace Haggett-Carmody	34 Paratoo Road, Aldgate	No	
Peter Rischbieth	10 St Margarets Drive, Aldgate	No	
Helene Nielsen	Not supplied	No	
Tina Comely	6 St Margarets Drive, Aldgate	No	

## CAP MEETING – 10 JANUARY 2024

### ITEM 8.1

- **SUMMARY**

The issues contained in the representations can be summarised as follows:

- Seeking further information regarding the location of plant equipment.
- Seeking the inclusion of noise attenuation methods as part of the proposal.
- Seeking a reduction in the opening time of the facility & seeking assurance that it will not operate beyond 6:30pm.
- Seeking further information regarding waste management to minimise potential odour impact.
- Seeking an amendment to the time for when waste is collected by the external contractor.
- Seeking further information regarding northern side boundary fencing treatment.
- Seeking further information regarding possible further development of the land.
- Concern regarding potential negative light spill impact on adjacent residential properties and wildlife, including from vehicle headlight glare.
- Comment that the scale and design of the facility is out character in the residential locality.
- Concern regarding potential traffic congestion resulting from the proposal as compounded by purported traffic and pedestrian hazard/danger associated with the adjoining primary school.
- Concern that the proposal will reduce the availability of off-street parking.
- Concern that the proposal will increase existing traffic and pedestrian hazard/danger in the area as compounded by purported traffic and pedestrian hazard/danger associated with the adjoining primary school.
- Comment that commercial development is out character in a residential area.

The representations are included in ***Attachment 4 – Representations*** and the applicant's response is provided in ***Attachment 5 – Response to Representations***.

No amendments were made to the design of the proposal in response to the representations. However, there was an alteration to the operation of external lighting.

#### AGENCY REFERRALS

- Native Vegetation Council

The Native Vegetation Council referral response is discussed further in the Planning Assessment section of the report.

This response is included in ***Attachment 6 – Referral Response***.

#### INTERNAL REFERRALS

- Council Environmental Health

Advised the applicant of food health requirements.

- Council Engineering

Reviewed the proposal for access/traffic and stormwater management arrangements with assistance of a peer review by BE Engineering Solutions. Their referral response is discussed further in the Planning Assessment section of the report.



## CAP MEETING – 10 JANUARY 2024

### ITEM 8.1

#### PLANNING ASSESSMENT

##### **Desired outcomes**

*Desired outcomes are policies designed to aid the interpretation of performance outcomes by setting a general policy agenda for a zone, subzone, overlay or general development policies module. Where a relevant authority is uncertain as to whether or how a performance outcome applies to a development, the desired outcome(s) may inform its consideration of the relevance and application of a performance outcome, or assist in assessing the merits of the development against the applicable performance outcomes collectively.*

##### **Performance outcomes**

*Performance outcomes are policies designed to facilitate assessment according to specified factors, including land use, site dimensions and land division, built form, character and hazard risk minimisation.*

##### **Designated performance features**

*In order to assist a relevant authority to interpret the performance outcomes, in some cases the policy includes a standard outcome which will generally meet the corresponding performance outcome (a designated performance feature or DPF). A DPF provides a guide to a relevant authority as to what is generally considered to satisfy the corresponding performance outcome but does not need to necessarily be satisfied to meet the performance outcome, and does not derogate from the discretion to determine that the outcome is met in another way, or from the need to assess development on its merits against all relevant policies.*

The application has been assessed against the relevant provisions of the Planning & Design Code, which are contained in **Attachment 7 – Relevant P&D Code Policies**.

#### Rural Neighbourhood Zone

Desired Outcome	
DO1	Housing on large allotments in a spacious rural setting, often together with large outbuildings. Easy access and parking for cars. Considerable space for trees and other vegetation around buildings, as well as on-site wastewater treatment where necessary. Limited goods, services and facilities that enhance rather than compromise rural residential amenity.
Performance Outcomes (PO) & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria	
Land Use & Intensity	PO 1.1 & DTS/DPF 1.1, PO 1.2 & DTS/DPF 1.2, PO 1.3, PO 1.4
Building Height	PO 2.1
Primary Street Setback	PO 3.1 & DTS/DPF 3.1
Side Boundary Setback	PO 5.1 & DTS/DPF 5.1
Rear Boundary Setback	PO 6.1 & DTS/DPF 6.1
Advertisements	PO 10.1 & DTS/DPF 10.1

The Land Use and Intensity Performance Outcomes of the Rural Neighbourhood Zone are discussed in full as they relate directly to the proposal.

## **CAP MEETING – 10 JANUARY 2024**

### **ITEM 8.1**

#### *PO 1.1*

*Predominantly residential development with complementary ancillary non-residential uses compatible with a spacious and peaceful lifestyle for individual households.*

Performance Outcome 1.1 anticipates non-residential uses, provided they are compatible with a spacious and peaceful lifestyle for individual households. Corresponding Designated Performance Feature 1.1 and Performance Outcome 1.4 lists child care facility (pre-school) as one of the contemplated non-residential uses.

The siting of the child care facility is considered to achieve a sense of spaciousness for the adjoining residential property to the north as it is sited away from this boundary, closer to the adjoining primary school. The 17m setback of the fenced northern outdoor play area is approximately 7m closer to the shared boundary than the existing dwelling and further, existing open-style post and wire fencing on this shared boundary is to remain. In addition, the building itself is setback approximately 35m from the dwelling on the adjoining land to the north (140 Old Mount Barker Road, Stirling), which is the nearest dwelling. On the side of this dwelling facing the shared boundary is a carport and solid wall.

With further regard to spaciousness the setbacks to the other side boundary and front boundary are large and considered to achieve the Performance Outcomes 3.1 and 5.1 which generally seek for setbacks to minimise impacts on adjoining properties. The adjoining property on the southern side is the primary school, and it is the car park area of this site which is adjacent the proposed child care facility.

The proposed use is considered to be compatible with a peaceful lifestyle for the adjoining and adjacent residential uses, as interface between land uses matters with regard to hours of operation, noise, light spill and traffic impact are considered to be adequately addressed. These matters are however discussed later in the report.

In consideration of this though the locality is not wholly residential, with the presence of the adjoining primary school. So in this sense the 'peacefulness' of this locality would not be the same as other parts of the Zone that are wholly residential.

#### *PO1.2*

*Commercial activities improve community access to services, are of a scale and type to maintain residential amenity.*

The scale of the proposed child care use is considered to maintain residential amenity with regard to hours of operation & capacity and its linked association with additional traffic movements on the surrounding road network. These matters are however discussed later in the report.

Further, considering scale relative to hours of operation and capacity this proposed facility is somewhat similar to another other recent child care facility proposal approved in Bridgewater and also in the Rural Neighbourhood Zone. The capacity of the Bridgewater facility is 80 children and hours of operation 6:30am to 6:30pm Monday to Friday.



## CAP MEETING – 10 JANUARY 2024

### ITEM 8.1

#### PO1.3

*Non-residential development sited and designed to complement the residential character and amenity of the neighbourhood.*

The siting of the proposed facility is well away from the site boundaries, which is typical of built form in the locality, and which assists in maintaining visual amenity in the form of providing a sense of spaciousness as desired in the Zone.

The proposed facility is sited on the cleared part of the land, meaning that substantial mature trees are for the most part retained, which is also desired in the Zone and common to the locality. The design of the proposal incorporates new landscaping around the car park and outdoor areas. This further assists with retention of landscape amenity. Landscaping is discussed further later in the report.

Despite the representations, the design of the built form is considered to complement the mostly residential character of the locality.

The two-storey building has a larger floor area than dwellings in the locality, but it is considered unreasonable to expect a desired form of community service development to be of a similar floor area to inherently smaller-scale residential development in the locality. Performance Outcome 4.1 only seeks non-residential development in the form of shops, consulting rooms and offices to be 'small-scale'. There is no such desired scale guide statement for community service development in Performance Outcome 4.1.

With that said, the design of the two-storey building is considered to be of a high standard and respectful of visual amenity. The bulk of the building is broken up by its articulated design, incorporation of different size openings and use of varying materials and colours. The mostly lighter colour shades are considered to be acceptable as they are of neutral tones. The height of the building is considered to not offend Performance Outcome 2.1 which seeks for buildings to contribute to a low-rise residential character and complement the height of nearby buildings. In this regard, the building is cut into the land so that level 1 is flush with ground level around the existing dwelling, resulting in the full two storeys only being apparent from the street and southern side elevation.

This design respects the privacy amenity of the adjoining residential property to the north with regard to overlooking potential. Privacy treatment to the level 1 south facing openings were not considered necessary as the adjoining site is the primary school and they provide potential for increased passive surveillance of the school car park.

Further, a single storey building design of the same floor area would result in more disturbance to the land both in terms of earthworks and tree removal and result in the facility being closer to the site boundaries.

Other built form elements of the proposal are fencing and retaining walls.

Solid 1.8m high Colorbond fencing is proposed around the perimeter of the outdoor play areas. Whilst solid fencing is considered uncommon in the Rural Neighbourhood Zone, this fencing should not impact on adjoining amenity as it is off-set from the boundaries. Further, the chosen 'Monument' colour is dark, which will help the solid fencing blend with the vegetated surrounds. Open style timber picket fencing to the outdoor play areas is included along the street facing elevation.

The fill retaining walls at the front of the land, supporting the car park are tiered, which breaks up the vertical profile/mass; and at the request of staff were altered from a concrete sleeper to natural Bluestone finish to blend with the surrounds. This is considered an acceptable design approach for a sloping site, and which supports the requirement of a level car park.

## CAP MEETING – 10 JANUARY 2024

### ITEM 8.1

#### PO1.4

*Non-residential development located and designed to improve community accessibility to services, primarily in the form of:*

- a) small-scale commercial uses such as offices, shops and consulting rooms*
- b) community services such as educational establishments, community centres, places of worship, pre-schools and other health and welfare services*
- c) services and facilities ancillary to the function or operation of support accommodation or retirement facilities*
- d) open space and recreation facilities*

The location of the proposed child care facility adjoining a primary school is considered to provide potential improved accessibility for parents/care-givers of both pre-school and school age children.

The proposal is one of the primarily desired non-residential uses as per part b) of the Performance Outcome.

#### Adelaide Hills Subzone

Desired Outcome	
DO1	Additional residential and tourist accommodation that retains and embraces the values of the established mature vegetation as a defining characteristic of the area.
Performance Outcomes (PO) & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria	
Land Use & Intensity	PO 1.1 & DTS/DPF 1.1

In the opinion of staff, the Subzone considers tourist accommodation as an additional desired commercial use in this part of the Rural Neighbourhood Zone. The Subzone is not viewed as aiming to restrict development to only residential and tourist accommodation development.

The proposal is considered to meet the part of Desired Outcome 1 which seeks for the retention and embracement of established mature vegetation as a defining characteristic of the area.

The proposed child care facility, comprising the two storey building, outdoor play spaces and car parking areas are sited on the most cleared part of the land. This results in the retention of most of the existing mature vegetation.



## CAP MEETING – 10 JANUARY 2024

### ITEM 8.1

#### Overlays

##### Hazards (Bushfire – Medium Risk) Overlay

<b>Desired Outcome</b>	
DO 1	Development, including land division responds to the medium level of bushfire risk and potential for ember attack and radiant heat by siting and designing buildings in a manner that mitigates the threat and impact of bushfires on life and property taking into account the increased frequency and intensity of bushfires as a result of climate change.
DO 2	To facilitate access for emergency service vehicles to aid the protection of lives and assets from bushfire danger.
<b>Performance Outcomes (PO) &amp; Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria</b>	
Siting PO 1.1	
Built Form PO 2.1	

Unlike the Hazards (Bushfire – High Risk) Overlay, the Hazards (Bushfire – Medium Risk) Overlay does not specifically address child care facility development.

However, with regard to Desired Outcome 2 the surrounding sealed, public road network facilitates emergency service access to the land and the car park area would provide on-site access to emergency service vehicles.

The building itself is fully enclosed and will be constructed of materials commonly used in dwellings to which the Overlay applies.

Recommended advisory note five (5) encourages the facility operator to develop a bushfire risk management plan.

##### Hazards (Flooding – Evidence Required) Overlay

<b>Desired Outcome</b>	
DO 1	Development adopts a precautionary approach to mitigate potential impacts on people, property, infrastructure and the environment from potential flood risk through the appropriate siting and design of development.
<b>Performance Outcomes (PO) &amp; Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria</b>	
Flood Resilience PO 1.1 & DTS/DPF 1.1	

The floor level of the building, car park area and outdoor play areas are more than 300mm above top of kerb. A swale has been included around the northern and rear perimeter of level 1 to restrict potential overland flows from entering the facility.

There are no nearby watercourses and the land is not within a flood prone area.

## CAP MEETING – 10 JANUARY 2024

### ITEM 8.1

#### Mount Lofty Ranges Water Supply Catchment (Area 2) Overlay

<b>Desired Outcome</b>	
DO 1	Safeguard Greater Adelaide’s public water supply by ensuring development has a neutral or beneficial effect on the quality of water harvested from secondary reservoirs or diversion weir catchments from the Mount Lofty Ranges.
<b>Performance Outcomes (PO) &amp; Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria</b>	
Water Quality PO 1.1 & PO 1.2 & DTS/DPF 1.2	
Wastewater PO 2.1, DTS/DPF 2.1	
Stormwater PO3.1, PO3.3, PO3.9 & DTS/DPF3.9	
Landscapes and Natural Features PO4.1	

As per Desired Outcome 1, and Performance Outcome 1.1 the proposal is considered to have a neutral effect on water quality.

This is because the land is connected to mains sewer as sought by Performance Outcome 2.1 and the corresponding Designated Performance Feature 2.1.

In addition, Council Engineering are satisfied with the stormwater management detail, that post-development stormwater discharged will not exceed pre-development quantities as desired by Performance Outcome 3.1. Water quality management specifically from the car park area is discussed later in the report.

#### Native Vegetation Overlay

<b>Desired Outcome</b>	
DO 1	Areas of native vegetation are protected, retained and restored in order to sustain biodiversity, threatened species and vegetation communities, fauna habitat, ecosystem services, carbon storage and amenity values.
<b>Performance Outcomes (PO) &amp; Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria</b>	
Environmental Protection PO 1.1 & DTS/DPF 1.1, PO 1.2, PO 1.4	

The construction of the proposed child care facility will require the associated removal of native vegetation comprising 16 sapling Stringybark (*Eucalyptus obliqua*) trees, one (1) medium size Stringybark (*Eucalyptus obliqua*) tree and three young (3) Blackwood (*Acacia melanoxylon*) trees (20 native trees/saplings total).

A data report produced by an accredited native vegetation consultant was included with the application, and the consultant categorised this clearance as of ‘Level 3’ category. As per Overlay procedural matters this designated level of clearance required the proposal to be referred to the Native Vegetation Council.



## CAP MEETING – 10 JANUARY 2024

### ITEM 8.1

Performance Outcome 1.1 recognises that where development cannot practically avoid native vegetation clearance, clearance should be minimised. It is considered that the level of clearance has been minimised by the siting of the facility and as noted in the data report:

*The concept aimed to be further than 10m away from any remnant trees – this has been achieved, except in the case of small regrown of Stringybarks and Blackwoods, which have regenerated amongst dense exotic amenity planted shrubs and trees.*

The native vegetation clearance is supported by the Native Vegetation Council, with the direction to include one (1) condition and one (1) advisory note. See condition 15 and advisory note nine (9).

A separate arborist report advises that for the remaining native vegetation the development comprises a minor level of encroachment into Tree Protection Zones and is “acceptable.” The tree canopy outlines on the civil plans show only a minor level of canopy extension into the outdoor play areas.

The arborist advice was that level of encroachment into the Tree Protection Zone of the medium size Stringybark to be removed is “major”, which is why it is required to be removed. This is tree 4 on figure 5.6 of the vegetation removal detail of the Ekistics Planning Statement document and tree 5 on figure 3 in the data report.

#### Prescribed Water Resources Area Overlay

Desired Outcome	
DO 1	Sustainable water use in prescribed water resources areas maintains the health and natural flow paths of surface water, watercourses and wells.
Performance Outcomes (PO) & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria	
N/A	

This Overlay is not relevant to the proposal as it relates to water taking activities such as horticulture and intensive animal husbandry or the alteration to a water body.

#### Regulated and Significant Tree Overlay

Desired Outcome	
DO 1	Conservation of regulated and significant trees to provide aesthetic and environmental benefits and mitigate tree loss.
Performance Outcomes (PO) & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria	
Tree Retention and Health PO 1.1, PO 1.4	
Ground Work Affecting Trees PO 2.1	

After public notification it was discovered that tree 4 is within 20m of the existing dwelling on the land. Trees within 20m of dwellings in the Hazards (Bushfire – Medium Risk) Overlay are excluded from being regulated or significant.

The description of the proposal was altered accordingly to remove regulated tree removal.

## CAP MEETING – 10 JANUARY 2024

### ITEM 8.1

#### General Development Policies

##### Advertisements

<b>Desired Outcome</b>	
DO 1	Advertisements and advertising hoardings are appropriate to context, efficient and effective in communicating with the public, limited in number to avoid clutter, and do not create hazard.
<b>Performance Outcomes (PO) &amp; Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria</b>	
Appearance PO 1.1 & DTS/DPF 1.1, PO 1.3 & DTS/DPF 1.3, PO1.5	
Proliferation of Advertisements PO 2.3 & DTS/DPF 2.3	
Advertising Content PO 3.1 & DTS/DPF 3.1	

Proposed are two (2) non-illuminated signs attached to the front elevation, which will identify the name of the facility operator. The proposed signage is considered to be discrete and meet Desired Outcome 1 and Performance Outcome 10.1 of the Zone, which relates directly to advertising.

##### Clearance from Overhead Powerlines

<b>Desired Outcome</b>	
DO 1	Protection of human health and safety when undertaking development in the vicinity of overhead transmission powerlines.
<b>Performance Outcomes (PO) &amp; Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria</b>	
Environmental Protection PO 1.1 & DTS/DP F1.1	

As part of their submission the applicant has declared that the development will not be contrary to the regulations prescribed for the purposes of section 86 of the Electricity Act 1996. This is consistent with Designated Performance Feature 1.1.



**CAP MEETING – 10 JANUARY 2024**

**ITEM 8.1**

Design

<b>Desired Outcome</b>	
DO 1	<p>Development is:</p> <ul style="list-style-type: none"> <li>a) contextual – by considering, recognising and carefully responding to its natural surroundings or built environment and positively contributes to the character of the immediate areas.</li> <li>b) dural – fit for purpose, adaptable and long lasting.</li> <li>c) inclusive – by integrating landscape design to optimise pedestrian and cyclist usability, privacy and equitable access, and promoting the provision of quality spaces integrated with the public realm that can be used for access and recreation and help optimise security and safety both internally and within the public realm for occupants and visitors.</li> <li>d) sustainable – by integrating sustainable techniques into the design and siting of development and landscaping to improve community health, urban heat, water management, environmental performance, biodiversity and local amenity and to minimise energy consumption.</li> </ul>
<b>Performance Outcomes (PO) &amp; Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria</b>	
All Development PO 1.4 & DTS/DPF 1.4, PO 1.5	
Safety PO 2.1, PO2.3, PO 2.3	
Landscaping PO 3.1, PO 3.2	
Carparking Appearance PO 7.2, PO 7.3, PO 7.4, PO 7.5, PO 7.6, PO7.7	
Earthworks & Sloping Land PO 8.1 & DTS/DPF 8.1, PO 8.4, PO 8.5	
Fences and Walls PO 9.1 & PO 9.2 & DTS/DPF 9.2	
Massing PO 15.1	
Car Parking, Access and Manoeuvrability PO 19.2 & DTS/DPF 19.2, PO19.3 & DTS/DPF 19.3, PO 19.4 & DTS/DPF 19.4, PO19.5 & DTS/DPF19.5, PO 19.6 & DTS/DPF 19.6	
All Non-Residential Development – Water Sensitive Design PO 31.1, PO 31.2	

The proposal is considered to meet part a) of Desired Outcome 1 in that the design is considered to carefully respond to the natural surrounds and built environment. Vegetation retention is maximised, the two-storey component of the building is away from the adjoining residential property and the facility including associated fencing and retaining walls will be constructed of non-reflective materials and finished in a neutral colour scheme.

## CAP MEETING – 10 JANUARY 2024

### ITEM 8.1

Earthworks associated with the proposal exceed the desired 1m depth sought by Designated Performance Feature 8.1, but it is recognised that level areas are required for outdoor play spaces and the car park area to ensure the facility is fit for purpose as per part b) of Desired Outcome 1. The outdoor play areas are excavated into the land, so the supporting retaining walls will not be visible from the adjoining residential property or the street. The car park is built up, however the supporting retaining walls are stepped, finished in a natural material and landscaped.

However, in recognition of the extent of earthworks it is recommended that submission of a satisfactory soil, erosion and drainage management plan (SEDMP) is required as a Reserved Matter prior to Development Approval. Further to this, recommended condition 14 seeks the inclusion of the accepted soil, erosion and drainage management details to be implemented prior to construction commencing.

The inclusion of landscaping around the car park perimeter achieves Performance Outcomes 7.4, 7.5 and 7.6 which all speak to the inclusion of landscaping within vehicle parking areas to improve appearance and enhance visual amenity. The inclusion of some plant species selected from Council's Native Habitat for Landscaping Guide achieves in part Performance Outcome 3.1.

The submitted landscaping plan is however considered by staff to be somewhat conceptual in nature and a further recommended Reserved Matter seeks a more detailed landscaping plan with the plant species and number of plants prepared by a Landscape Designer prior to Development Approval.

Furthermore, regarding the car park, Performance Outcome 7.2 seeks for car parking spaces to be located and designed to minimise impacts on adjacent receivers. There was representor concern that there may be nuisance caused by vehicle headlight glare. Vehicle headlight glare nuisance is considered to be limited noting the large landscaped separation distances to adjoining and adjacent residential properties and that the facility will close at a reasonable time of 6:30pm.

A gross-pollutant trap is included in the design of the car park, which achieves Performance Outcome 31.1.

A designated enclosed waste storage area is included at the front of the building on the ground level. This achieves Performance Outcome 1.5 and responds to representor feedback.

#### Infrastructure and Renewable Energy Facilities

<b>Desired Outcome</b>	
DO 1	Efficient provision of infrastructure networks and services, renewable energy facilities and ancillary development in a manner that minimises hazard, is environmentally and culturally sensitive and manages adverse visual impacts on natural and rural landscapes and residential amenity.
<b>Performance Outcomes (PO) &amp; Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria</b>	
Water Supply PO 11.1 & DTS/DPF 11.1	

The development will be serviced by mains water supply as sought by Performance Outcome 11.1. This module is silent on electricity and wastewater management, regardless the development will also be serviced by mains electricity and sewer.



## CAP MEETING – 10 JANUARY 2024

### ITEM 8.1

#### Interface between Land Uses

<b>Desired Outcome</b>	
DO 1	Development is located and designed to mitigate adverse effects on or from neighbouring and proximate uses.
<b>Performance Outcomes (PO) &amp; Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria</b>	
General Land Use Compatibility PO 1.2	
Hours of Operation PO 2.1 & DTS/DPF 2.1	
Activities Generating Noise or Vibration PO 4.1 & DTS/DPF 4.1, PO 4.2	
Light Spill PO 6.1, PO 6.2	

#### *Hours of Operation*

The proposed hours of operation of the child care facility, including deliveries are Monday to Friday from 6:30am to 6:30pm.

Performance Outcome 2.1 seeks for hours of operation of non-residential development to not unreasonably impact the amenity of sensitive receivers and sets-out that the following should be taken into account in determining if hours of operation will have an unreasonable impact – the nature of the development, measures to mitigate off-site impacts, the extent to which the development is desired in the zone and measures that might be taken in an adjacent zone primarily for sensitive receivers that mitigate adverse impacts without unreasonably compromising the intended use that land.

The Rural Neighbourhood Zone primarily desires residential development; however, some non-residential development is envisaged, particularly child care facilities are described as a form of community service development in the Zone. As this is a desired type of non-residential use in this Zone, this is considered to recognise that the nature of the development is appropriate and can sit comfortably with residential uses.

By its definition, child care facility includes out-of-school-hours care, and in light of the above the proposed hours of operation are not considered to have an unreasonable impact on sensitive receivers in the locality. Further, and as detailed earlier in the report these hours of operation are the same as the child care facility recently approved in Bridgewater within the Rural Neighbourhood Zone.

Therefore, despite the representations it is not considered necessary to setback the opening time of the facility to 7:00am.

The hours of operation are listed in recommended condition three (3). Any change to the hours of operation would require separate Development Approval to vary this condition.

Hours of waste collection are discussed later in the report.

## **CAP MEETING – 10 JANUARY 2024**

### **ITEM 8.1**

#### *Activities Generating Noise or Vibration*

Performance Outcome 4.1 seeks for development emitting noise to not unreasonably impact the amenity of adjacent receivers, through the achievement of the relevant Environment (Noise) Protection Policy. The Policy applicable at the time of application lodgement was the Environment Protection (Noise) Policy 2007.

An environmental noise impact assessment (acoustic) report by Sonus Engineers is included in support of the application. Advice in the report is that the Environment Protection (Noise) Policy 2007 excludes child care facilities, so instead an assessment of noise impact was made against a World Health Organisation (WHO) guideline.

The report concludes that without any acoustic treatments noise from the outdoor play areas would meet the WHO guideline. This finding was based on the maximum capacity of 128 children being outdoors for eight (8) hours per day.

A separate noise impact assessment was undertaken of plant equipment associated with the facility and from general car park use. The assessment found that both day and night time predicted noise levels will be within the Environment Protection (Noise) Policy 2007 Goal Noise levels. The assessment recommended housing plant equipment of the facility within the ground level rear service yard area to achieve compliance with the Noise Policy.

The representations sought noise attenuation methods to be included in the design of the proposal, mainly the addition of solid fencing along the street facing outdoor play areas and around the car park. However, based on the above findings of the noise impact assessment, no such noise attenuation methods are required. The street facing open style fencing and parking barriers are considered to be a better design approach, allowing for passive surveillance opportunity.

The representations also sought for clarification of where the plant equipment will be located. In response, the applicant has confirmed that plant equipment will be contained within the enclosed ground floor service yard at the rear of the building, in accordance with the recommendation of the noise impact assessment.

Recommended condition four (4) requires all plant equipment to be contained within the enclosed ground floor service yard area at the rear of the building.

#### *Light Spill*

Performance Outcome 6.1 seeks for external lighting to be positioned and designed so as to not cause unreasonable light spill impact to adjacent sensitive receivers.

The proposal includes lighting in the car park and attached to the building. In response to the representations, the applicant has agreed to only turn on external lighting during hours operation.

This is considered to be a reasonable response and recognising that positioning of lighting on the building is well away from adjoining and residential development and the design of lighting in the car parking is limited to four (4) low-level bollards.

Recommended condition seven (7) controls external lighting.



## CAP MEETING – 10 JANUARY 2024

### ITEM 8.1

#### Site Contamination

<b>Desired Outcome</b>	
DO 1	Ensure land is suitable for the proposed use in circumstances where it is, or may have been, subject to site contamination.
<b>Performance Outcomes (PO) &amp; Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria</b>	
PO 1.1 & DTS/DP F1.1	

The proposed child care facility use is not a more sensitive use than the existing residential use of the land. Therefore, the land is considered suitable for its intended use with regard to the risk of site contamination and site history investigation information was not requested. This is in accordance with Practice Direction 14.

#### Transport, Access and Parking

<b>Desired Outcome</b>	
DO 1	A comprehensive, integrated and connected transport system that is safe, sustainable, efficient, convenient and accessible to all users.
<b>Performance Outcomes (PO) &amp; Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria</b>	
Movement Systems PO 1.1, PO 1.4	
Sightlines PO 2.2	
Vehicle Access PO 3.1 & DTS/DP F3.1, PO 3.3, PO 3.4, PO 3.5 & DTS/DPF3.5, PO 3.6, PO3.8	
Access for People with Disabilities PO 4.1	
Vehicle Parking Rates PO5.1 & DTS/DPF5.1	
Vehicle Parking Areas PO 6.2, PO 6.4, PO 6.5	

Access to the car park of the facility is in the same location as the existing cross-over to the land. The cross-over will however be upgraded to be 6.2m wide and include some road verge/footpath alterations. Regarding the representations, there will therefore be no loss of on-street car parking as a result of the proposal. However, it is noted that vehicles should not be parked on the footpath in any event.

A traffic and parking report by Cirqa Traffic Engineers has been included in support of the proposal. A finding of the report is that sightline distances at the entry/exit point are above that of the relevant Australian standard.

The car park of the facility will include 33 parking spaces, one (1) of which is for universal access. Performance Outcome 5.1 and corresponding Designated Performance Feature 5.1 seek for sufficient on-site car parking with regard to Transport, Access and Parking Table 1 – General Off-Street Car parking Requirements. For a child care centre Table 1 seeks the provision of 0.25 parking spaces per child, which for this proposal would mean the provision of 32 parking spaces.

## CAP MEETING – 10 JANUARY 2024

### ITEM 8.1

The traffic and parking report advises that the design of the parking spaces and manoeuvring areas, including for universal access meet the relevant Australian standards. Therefore, Performance Outcome 5.1 for vehicle parking rates and Performance Outcome 4.1 for access for people with disabilities are met.

Further, regarding the design of the car park the traffic and parking report includes modelling to demonstrate that it will cater for forward entry and exit of larger vehicles associated with waste collection. The modelling shows the waste collection vehicle turnaround will be partly over vehicle parking spaces, so despite concern raised in the representations it is considered necessary for waste collection to occur outside of the hours of operation of the facility.

The nominated waste collection times are however considered within the parameters of the *Local Nuisance and Litter Control Act (2016)*, whereby noise generated by waste collection before 9:00am or after 7:00pm on any Sunday or public holiday or before 7:00am or after 7:00am any other day is a declared local nuisance.

Waste collection is considered unlikely to be undertaken for extended periods, so noise generated by this activity is not considered to be unreasonable with regard to duration. This is supported by a staff review of a waste management plan included for a recent 95 place child care facility elsewhere in, Stirling. The waste management plan with this application detailed that separate general waste and cardboard recycling waste pick-up by external contractors would occur once per week, with waste collection vehicles expected to be stopped on-site for 2-3 minutes (6-8 minutes total per week).

Recommended condition four (4) requires external contractors collecting waste to be provided with access to the enclosed waste storage area, to ensure waste is not put out into in the car park for pick-up.

Regarding movement systems, the traffic report includes estimates of vehicle trip movements likely to be generated by the facility; and modelling for how peak vehicle trip movements will affect intersection performance near the subject land. The report findings are that the adjacent road network will operate below capacity even during the adjacent school related traffic peaks.

Therefore, despite the concerns of the representors, it is considered unlikely that the proposal will lead to unreasonable traffic congestion. Council Engineering accept the findings of the Cirqa report.

In regard to representor concern regarding potential for increased traffic and pedestrian hazard, it is considered that peak vehicle movement times of the proposed child care facility are dispersed and not directly aligned with peak vehicle movement times of the adjoining primary school. Further, line of sight distance at the access to the facility are in excess of the relevant Australian standard.

Council Engineering are of the view that the recommended signage and line-marking upgrades to the Old Mount Barker Road and St Margaret's Drive intersections detailed in the traffic and parking report are not particularly required. This view was formed on the basis that Council traffic data has recorded only one (1) accident in this location. The accident occurred at 10:00am, outside of the peak traffic times of the primary school.



## **CAP MEETING – 10 JANUARY 2024**

### **ITEM 8.1**

#### **CONCLUSION**

The proposal is for demolition of a dwelling and construction of a child care facility in the Rural Neighbourhood Zone.

Regarding the use, child care facilities are a desired form of community service development in the Zone; and the proposal is considered to achieve all the performance outcomes of the Zone that speak directly to non-residential development.

The design of the two-storey building and associated supporting structures is considered to be of a high-standard; and its siting minimises disturbance to the land in the form of earthworks and tree removal to an acceptable level.

Recommended conditions of consent pertaining to capacity, hours of operation, waste management, management of lighting and noise generated from associated plant equipment are expected to manage off-site amenity impacts to an acceptable level.

Traffic concerns from the representors are noted, however the expert traffic advice is that there should be no adverse traffic congestion or increased hazard resulting from the proposal.

#### **RECOMMENDATION**

**It is recommended that the Council Assessment Panel resolve that:**

- 1) Pursuant to Section 107(2)(c) of the Planning, Development and Infrastructure Act 2016, and having undertaken an assessment of the application against the Planning and Design Code, the application is NOT seriously at variance with the provisions of the Planning and Design Code; and**
- 2) Development Application Number 23018174 by Development Holdings Pty Ltd for two storey child care facility with attached signage, retaining walls, combined fence & retaining walls, decking, & associated car parking at 35 Paratoo Road, Stirling, is GRANTED Planning Consent subject to the following reserved matters and conditions:**

#### **RESERVED MATTERS**

Pursuant to section 102 (3) of the Planning, Development and Infrastructure Act of 2016, the following matters shall be reserved for further assessment prior to the granting of Development Approval. The Assessment Manager is delegated to undertake this further assessment:

- 1) A detailed landscaping plan shall be prepared by a suitably qualified person and submitted with further details regarding plant species, locations, plant numbers and plant spacing, irrigation and mulching detail.**
- 2) A detailed soil, erosion and drainage management plan (SEDMP) shall be provided for construction of the child care facility. The SEDMP shall comprise a site plan and design sketches that detail erosion control methods and installation of sediment collection devices that will prevent soil moving off site during construction and soil transfer onto roadways by vehicles and machinery.**

Pursuant to Section 127(1) of the *Planning, Development and Infrastructure Act 2016*, the power to impose further conditions of consent in respect of the reserved matter above is delegated to the Assessment Manager.

## **CAP MEETING – 10 JANUARY 2024**

### **ITEM 8.1**

#### **CONDITIONS**

##### **Planning Consent**

- 1) The development granted shall be undertaken and completed in accordance with the stamped plans and documentation, except where varied by conditions below.**
- 2) The maximum capacity of the child care facility shall be 128 children at any one time.**
- 3) The hours of operation of the child care facility, including deliveries (but excluding waste collection) shall be 6:30am to 6:30pm, Monday to Friday.**
- 4) All solid waste shall be stored in closed containers with close fitting lids in the enclosed bin area shown on the approved site plan (drawing DA04, Rev. 2 dated 24/05/2023) prepared by Brown Falconer. External contractors accessing the site for waste collection shall be provided with access to enclosed bin area to ensure waste is not stored in the car park area for collection.**
- 5) The collection of waste shall not occur before 9:00am or after 7:00am Saturday, Sunday or public holidays, or before 7:00am or after 7:00pm Monday to Friday.**
- 6) Plant equipment of the child care facility shall only be located within the service yard area shown on the approved ground floor plan (drawing DA05, Rev. 2 dated May 2023) prepared by Brown Falconer.**
- 7) External lighting shall be installed in accordance with the approved lighting plans by TMK engineers; and once installed shielded if necessary in such a manner so to not cause unreasonable nuisance to adjoining and adjacent residential properties.**
- 8) External lighting shall be not be switched on before 6:30am Monday to Friday; and all external lighting shall be switched off no later than 6:30pm Monday to Friday.**
- 9) The cross-over & kerb and footpath alterations, vehicle-parking spaces, driveways and manoeuvring areas shall be constructed in accordance with the approved site plan (drawing DA04, Rev. 2 dated 24/05/2023) prepared by Brown Falconer and the approved stormwater management plan (drawing 220216-C201, Rev. C dated June 2023) prepared by CPR Engineers prior to the occupation of the child care facility. Clear visible line marking of vehicle parking spaces shall be completed prior to the occupation of the child care facility. The car park and line-marking shall thereafter be maintained in good condition at all times.**
- 10) Materials and goods shall not be stored on the land in areas delineated for use as vehicle parking.**
- 11) The external finishes to the child care facility shall be as follows:**
  - Two storey building:**
    - Walls:** White weatherboard cladding, rendered beige hebel panels & timber panelling.
    - Roof:** Colorbond sheeting in a white colour tone.
  - Fencing:** Open style white timber picket fencing to the play area street facing elevation and Colorbond 'Monument' to the remainder of the play area fencing.
- Retaining**
  - Walls:** Street facing retaining walls supporting the car park shall be of Bluestone construction.



## CAP MEETING – 10 JANUARY 2024

### ITEM 8.1

- 12) Landscaping accepted in the detailed landscaping plan shall be planted within the next available planting season following occupation of the child care facility. Such landscaping shall be maintained in good health and condition at all times, including through the installation of irrigation and mulching. Any such landscaping shall be replaced in the next planting season if and or when it dies or becomes seriously diseased.
- 13) All roof run-off from the building and run-off from the outdoor play areas and car park shall be managed in accordance with the approved stormwater management plan (drawing 220216-C201, Rev. C dated June 2023) prepared by CPR Engineers. All roof run-off generated by the development shall be directed to the stormwater management system within one (1) month of the roof cladding being installed.
- 14) Prior to construction of the approved development, straw bales or other soil erosion control methods as accepted in the soil, erosion and drainage management plan shall be placed and secured below areas of excavation and fill to prevent soil moving off the site during construction.

#### Conditions imposed by Native Vegetation Council under Section 122 of the Act

- 15) Prior to any clearance of native vegetation, the Native Vegetation Council must provide written confirmation that the Significant Environmental Benefit requirements under the *Native Vegetation Act 1991* have been satisfied.

#### ADVISORY NOTES

##### Planning Consent

- 1) No work can commence on this development unless a Development Approval has been obtained. If one or more consents have been granted on this Decision Notification Form, you must not start any site works or building work or change of use of the land until you have received notification that Development Approval has been granted.
- 2) Appeal rights – General rights of review and appeal exist in relation to any assessment, request, direction or act of a relevant authority in relation to the determination of this application, including conditions.
- 3) This Planning Consent is valid for a period of twenty-four (24) months commencing from the date of the decision, subject to the below or subject to an extension having been granted by the relevant authority. If applicable, Building Consent must be obtained prior to expiration of the Planning Consent.
- 4) Where an approved development has been substantially commenced within 2 years from the operative date of approval, the approval will then lapse 3 years from the operative date of the approval (unless the development has been substantially or fully completed within those 3 years, in which case the approval will not lapse).
- 5) It is recommended that the operator of the child care facility prepare and display a Bushfire Survival Plan (BSP) designed specifically for the purpose of staff, children or visitors that may be present during a bushfire event, especially during the Fire Danger Season.

The SA CFS 'Bushfire Safety Guide for Business' document should be utilised as a basis for information and the drafting of the BSP, along with industry body guidelines and recommendations.

- 6) The operator of the child care facility should consider reducing operating hours and including other restrictions on days of heightened bushfire danger and/or bushfire events and consider including any alterations to services offered due to actual or predicted conditions during the Fire Danger Season.

## **CAP MEETING – 10 JANUARY 2024**

### **ITEM 8.1**

- 7) It is the responsibility of the child care facility operator to ensure compliance with the relevant food safety legislation before operating. Food business notification must be provided to commencing any food (or consumable product) handling activities. This may be provided on-line at [www.fbn.sa.gov.au](http://www.fbn.sa.gov.au) or by obtaining a notification form from Council Environmental Health.**
- 8) The onus of ensuring that the development is located in the approved position on the correct allotment is the responsibility of the applicant/developer. This may necessitate a boundary survey being undertaken by a licensed surveyor prior to the work commencing and when building work is complete.**

#### **Advisory Note imposed by Native Vegetation Council under Section 122 of the Act**

- 9) The clearance of native vegetation must be undertaken in accordance with the approval of the Native Vegetation Council under the *Native Vegetation Act 1991* as set out in Decision Notification 2023/3272/473.**

#### **OFFICER MAKING RECOMMENDATION**

**Name:** Marie Molinaro  
**Title:** Senior Statutory Planner





## **COUNCIL ASSESSMENT PANEL**

### **AGENDA FOR MEETING**

**Wednesday 10 January 2024**

**6:30pm**

**The Stirling Conference Room, 63 Mt Barker Road, Stirling AND  
Zoom Virtual Meeting Room**

### **ORDER OF BUSINESS**

#### **1. COMMENCEMENT**

#### **2. OPENING STATEMENT**

“Council acknowledges that we meet on the traditional lands and waters of the Peramangk and Kurna people. We pay our respects to Elders past, present and emerging as the Custodians of this ancient and beautiful land. Together we will care for this country for the generations to come”.

#### **3. APOLOGIES/LEAVE OF ABSENCE**

3.1 Apologies

3.2 Leave of Absence

#### **4. PREVIOUS MINUTES**

Confirmation of the Minutes of the previous Special meeting held on Wednesday 20 December 2023

#### **5. PRESIDING MEMBER’S REPORT**

#### **6. DECLARATION OF INTEREST BY MEMBERS OF THE PANEL**

**7. MATTERS LYING ON THE TABLE/MATTERS DEFERRED**

7.1 Matters Lying on the Table  
Nil

7.2 Matters Deferred  
Nil

**8. DEVELOPMENT ASSESSMENT APPLICATIONS – PLANNING, DEVELOPMENT AND INFRASTRUCTURE ACT**

8.1 **Development Application 23018174 by Development Holdings Pty Ltd for two storey child care facility with attached signage, retaining walls, combined fence & retaining walls, decking and associated car parking at 35 Paratoo Road, Stirling – Marie Molinaro**

8.1.1 Representations

There were eight representations received, and the following wish to be heard:

<b>Name of Representor</b>	<b>Address of Representor</b>	<b>Nominated Speaker</b>
Nicola Hastings	140 Old Mount Barker Road Stirling	Nick Simos of SA Urban and Regional Planning
Tony Lockwood	142 Old Mount Barker Road Aldgate	Simon Grose of Advantage Planning

The applicant, or representatives, may be in attendance.

**9. DEVELOPMENT ASSESSMENT APPLICATIONS – DEVELOPMENT ACT**

**10. DEVELOPMENT ASSESSMENT APPLICATIONS - REVIEW OF DECISIONS OF ASSESSMENT MANAGER**

**11. ERD COURT APPEALS**

**12. POLICY ISSUES FOR ADVICE TO COUNCIL**

**13. OTHER BUSINESS**



**14. ORDER FOR EXCLUSION OF THE PUBLIC FROM THE MEETING TO DEBATE CONFIDENTIAL MATTERS**

That pursuant to Regulation 13(2)(a) and (b) of the Planning, Development and Infrastructure (General) Regulations 2017, an assessment panel may exclude the public from attendance at a meeting during so much of the meeting as is necessary to receive, discuss or consider matters in confidence:

- vii. Matters that should be considered in confidence in order to ensure that the assessment panel, or any other entity, does not breach any law, or any order or direction of a court or tribunal constituted by law, any duty of confidence, or other legal obligation or duty; and
- ix. Information relating to actual litigation

**15. CONFIDENTIAL ITEM**

**16. NEXT MEETING**

The next ordinary Council Assessment Panel meeting will be held on 14 February 2024

**17. CLOSE MEETING**

**Address:** 35 PARATOO RD STIRLING SA 5152

To view a detailed interactive property map in SAPPA click on the map below



### Property Zoning Details

#### Zone

Rural Neighbourhood

#### Sub Zone

Adelaide Hills

#### Overlay

Hazards (Bushfire - Medium Risk)  
 Hazards (Flooding - Evidence Required)  
 Mount Lofty Ranges Water Supply Catchment (Area 2)  
 Native Vegetation  
 Prescribed Water Resources Area  
 Regulated and Significant Tree

#### Local Variation (TNV)

Minimum Site Area (*Minimum site area is 2,000 sqm*)

### Development Pathways

#### ■ Rural Neighbourhood

##### 1. Accepted Development

Means that the development type does not require planning consent (planning approval). Please ensure compliance with relevant land use and development controls in the Code.

- Air handling unit, air conditioning system or exhaust fan
- Brush fence
- Building alterations
- Building work on railway land
- Carport
- Outbuilding
- Partial demolition of a building or structure
- Private bushfire shelter
- Shade sail
- Solar photovoltaic panels (roof mounted)
- Swimming pool or spa pool and associated swimming pool safety features
- Verandah
- Water tank (above ground)
- Water tank (underground)

2. Code Assessed - Deemed to Satisfy

Means that the development type requires consent (planning approval). Please ensure compliance with relevant land use and development controls in the Code.

- Carport
- Deck
- Land division
- Outbuilding
- Temporary accommodation in an area affected by bushfire
- Verandah

3. Code Assessed - Performance Assessed

Performance Assessed development types listed below are those for which the Code identifies relevant policies. Additional development types that are not listed as Accepted, Deemed to Satisfy or Restricted default to a Performance assessed Pathway. Please contact your local council for more information.

- Ancillary accommodation
- Carport
- Deck
- Demolition
- Detached dwelling
- Dwelling addition
- Dwelling or residential flat building undertaken by:
  - (a) the South Australian Housing Trust either individually or jointly with other persons or bodies
  - or
  - (b) a provider registered under the Community Housing National Law participating in a program relating to the renewal of housing endorsed by the South Australian Housing Trust.
- Fence
- Land division
- Outbuilding
- Retaining wall
- Verandah

4. Impact Assessed - Restricted

Means that the development type requires approval. Classes of development that are classified as Restricted are listed in Table 4 of the relevant Zones.

## Part 2 - Zones and Sub Zones

### Rural Neighbourhood Zone

#### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Housing on large allotments in a spacious rural setting, often together with large outbuildings. Easy access and parking for cars. Considerable space for trees and other vegetation around buildings, as well as on-site wastewater treatment where necessary. Limited goods, services and facilities that enhance rather than compromise rural residential amenity.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Land Use and Intensity	



<p>PO 1.1</p> <p>Predominantly residential development with complementary ancillary non-residential uses compatible with a spacious and peaceful lifestyle for individual households.</p>	<p>DTS/DPF 1.1</p> <p>Development comprises one or more of the following:</p> <ul style="list-style-type: none"> <li>(a) Ancillary accommodation</li> <li>(b) Child care facility</li> <li>(c) Consulting room</li> <li>(d) Detached dwelling</li> <li>(e) Office</li> <li>(f) Outbuilding</li> <li>(g) Recreation area</li> <li>(h) Shop</li> </ul>
<p>PO 1.2</p> <p>Commercial activities improve community access to services are of a scale and type to maintain residential amenity.</p>	<p>DTS/DPF 1.2</p> <p>A shop, consulting room or office (or any combination thereof) satisfies any one of the following:</p> <ul style="list-style-type: none"> <li>(a) it is located on the same allotment and in conjunction with a dwelling where all the following are satisfied: <ul style="list-style-type: none"> <li>(i) does not exceed 50m<sup>2</sup> gross leasable floor area</li> <li>(ii) does not involve the display of goods in a window or about the dwelling or its curtilage</li> </ul> </li> <li>(b) it reinstates a former shop, consulting room or office in an existing building (or portion of a building) and satisfies one of the following: <ul style="list-style-type: none"> <li>(i) the building is a State or Local Heritage Place</li> <li>(ii) is in conjunction with a dwelling and there is no increase in the gross leasable floor area previously used for non-residential purposes.</li> </ul> </li> </ul>
<p>PO 1.3</p> <p>Non-residential development sited and designed to complement the residential character and amenity of the neighbourhood.</p>	<p>DTS/DPF 1.3</p> <p>None are applicable.</p>
<p>PO 1.4</p> <p>Non-residential development located and designed to improve community accessibility to services, primarily in the form of:</p> <ul style="list-style-type: none"> <li>(a) small-scale commercial uses such as offices, shops and consulting rooms</li> <li>(b) community services such as educational facilities, community centres, places of worship, child care facilities and other health and welfare services</li> <li>(c) services and facilities ancillary to the function or operation of supported accommodation or retirement facilities</li> <li>(d) open space and recreation facilities.</li> </ul>	<p>DTS/DPF 1.4</p> <p>None are applicable.</p>
<b>Building Height</b>	
<p>PO 2.1</p> <p>Buildings contribute to a low-rise residential character and complement the height of nearby buildings.</p>	<p>DTS/DPF 2.1</p> <p>Building height (excluding garages, carports and outbuildings) is no greater than 2 building levels and 9m and wall height no greater than 7m (not including a gable end).</p>
<b>Primary Street Setback</b>	
<p>PO 3.1</p> <p>Buildings are set back from primary street boundaries consistent with the existing streetscape.</p>	<p>DTS/DPF 3.1</p> <p>Buildings setback from the primary street boundary in accordance with the following table:</p>

		Development Context	Minimum setback
		There is an existing building on both abutting sites sharing the same street frontage as the site of the proposed building.	The average setback of the existing buildings.
		There is an existing building on only one abutting site sharing the same street frontage as the site of the proposed building and the existing building is not on a corner site.	The setback of the existing building.
		There is an existing building on only one abutting site sharing the same street frontage as the site of the proposed building and the existing building is on a corner site.	(a) Where the existing building shares the same primary street frontage - the setback of the existing building (b) Where the existing building has a different primary street frontage - 8m
		There is no existing building on either of the abutting sites sharing the same street frontage as the site of the proposed building.	8m
For the purposes of <b>DTS/DPF 3.1:</b> <ul style="list-style-type: none"> <li>(a) the setback of an existing building on an abutting site to the street boundary that it shares with the site of the proposed building is to be measured from the closest building wall to that street boundary at its closest point to the building wall and any existing projection from the building such as a verandah, porch, balcony, awning or bay window is not taken to form part of the building for the purposes of determining its setback</li> <li>(b) any proposed projections such as a verandah, porch, balcony, awning or bay window may encroach not more than 1.5 metres into the minimum setback prescribed in the table</li> </ul>			
Secondary Street Setback			
PO 4.1	Buildings are set back from secondary street boundaries to maintain a pattern of separation between building walls and public thoroughfares and reinforce a streetscape character.	DTS/DPF 4.1	Buildings walls are set back at least 2m from the boundary of the allotment with the secondary street frontage.
Side Boundary Setback			
PO 5.1	Buildings are set back from side boundaries to allow maintenance and access around buildings and minimise impacts on adjoining properties.	DTS/DPF 5.1	Building walls are set back from the side boundaries at least 2m.
Rear Boundary Setback			
PO 6.1	Buildings are set back from rear boundaries to provide: <ul style="list-style-type: none"> <li>(a) separation between buildings in a way that complements the established character of the locality</li> <li>(b) access to natural light and ventilation for neighbours</li> <li>(c) open space recreational opportunities</li> <li>(d) space for landscaping and vegetation.</li> </ul>	DTS/DPF 6.1	Building walls are set back from the rear boundary at least 6m.
Ancillary Buildings and Structures			
PO 7.1	Residential ancillary buildings and structures are sited and designed to	DTS/DPF 7.1	Ancillary buildings and structures:

not detract from the streetscape or appearance of buildings on the site or neighbouring properties.

- (a) are ancillary to a dwelling erected on the site
- (b) have a floor area not exceeding
  - (i) 100m<sup>2</sup> on sites less than 2000m<sup>2</sup>
  - (ii) 120m<sup>2</sup> on sites 2000m<sup>2</sup> or more
- (c) are not constructed, added to or altered so that any part is situated:
  - (i) in front of any part of the building line of the dwelling to which it is ancillary
  - (ii) within 2m of a boundary of the allotment with a secondary street (if the land has boundaries on two or more roads)
  - (iii) within 2m of a side boundary
- (d) in the case of a garage or carport, have a primary street setback that is at least as far back as the dwelling
- (e) in the case of a garage or carport, do not exceed 10m or 50% of the site frontage (whichever is the lesser) when facing a primary street or secondary street
- (f) have a wall height or post height not exceeding 4m above natural ground level (and not including a gable end)
- (g) have a roof height where no part of the roof is more than 5m above the natural ground level
- (h) if clad in sheet metal, are pre-colour treated or painted in a non-reflective colour
- (i) retains a total area of soft landscaping in accordance with (i) or (ii), whichever is less:
- (ii) a total area as determined by the following table:
 

Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m <sup>2</sup> )	Minimum percentage of site
<150	10%
150-200	15%
201-450	20%
>450	25%
- (ii) the amount of existing soft landscaping prior to the development occurring.

PO 7.2

Ancillary buildings and structures do not impede on-site functional requirements such as private open space provision, car parking requirements and do not result in over-development of the site.

DTS/DPF 7.2

Ancillary buildings and structures do not result in:

- (a) less private open space than specified in Design Table 1 - Private Open Space
- (b) less on-site car parking than specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas to the nearest whole number.

PO 7.3

Buildings and structures that are ancillary to an existing non-residential use do not detract from the streetscape character, appearance of buildings on the site of the development, or the amenity of neighbouring properties.

DTS/DPF 7.3

Non-residential ancillary buildings and structures:

- (a) are ancillary and subordinate to an existing non-residential use on the same site
- (b) have a floor area not exceeding the following:
 

Allotment size	Floor area
≤500m <sup>2</sup>	60m <sup>2</sup>
>500m <sup>2</sup>	80m <sup>2</sup>
- (c) are not constructed, added to or altered so that any part is situated:



	<ul style="list-style-type: none"> <li>(i) in front of any part of the building line of the main building to which it is ancillary or</li> <li>(ii) within 900mm of a boundary of the allotment with a secondary street (if the land has boundaries on two or more roads)</li> </ul> <p>(d) in the case of a garage or carport, the garage or carport:</p> <ul style="list-style-type: none"> <li>(i) is set back at least 5.5m from the boundary of the primary street</li> </ul> <p>(e) if situated on a boundary (not being a boundary with a primary street or secondary street), do not exceed a length of 11.5m unless:</p> <ul style="list-style-type: none"> <li>(i) a longer wall or structure exists on the adjacent site and is situated on the same allotment boundary</li> <li>(ii) the proposed wall or structure will be built along the same length of boundary as the existing adjacent wall or structure to the same or lesser extent</li> </ul> <p>(f) if situated on a boundary of the allotment (not being a boundary with a primary street or secondary street), all walls or structures on the boundary will not exceed 45% of the length of that boundary</p> <p>(g) will not be located within 3m of any other wall along the same boundary unless on an adjacent site on that boundary there is an existing wall of a building that would be adjacent to or about the proposed wall or structure</p> <p>(h) have a wall height (or post height) not exceeding 3m (and not including a gable end)</p> <p>(i) have a roof height where no part of the roof is more than 5m above the natural ground level</p> <p>(j) if clad in sheet metal, is pre-colour treated or painted in a non-reflective colour.</p>
--	---

Site Dimensions and Land Division

<p>PO 8.1</p> <p>Allotments/sites created for residential purposes are consistent with the density and dimensions expressed in any relevant <i>Minimum Allotment Size Technical and Numeric Variation</i> or are of suitable size and dimension to contribute to a pattern of development consistent to the locality and suitable for their intended use.</p>	<p>DTS/DPF 8.1</p> <p>Development will not result in more than 1 dwelling on an existing allotment</p> <p>or</p> <p>Allotments/sites for residential purposes accord with the following:</p> <p>(a) where allotments/sites are connected to mains sewer or a Community Wastewater Management System site areas (or allotment areas in the case of land division) are not less than:</p> <table border="1" style="width: 100%; text-align: center;"> <tr> <td><b>Minimum Site Area</b></td> </tr> <tr> <td>Minimum site area is 2,000 sqm</td> </tr> </table> <p>(b) where allotments/sites are not connected to mains sewer or an approved common waste water disposal service site areas are not less than the greater of:</p> <ul style="list-style-type: none"> <li>(i) 1200m<sup>2</sup></li> <li>(ii) the following:</li> </ul> <table border="1" style="width: 100%; text-align: center;"> <tr> <td><b>Minimum Site Area</b></td> </tr> <tr> <td>Minimum site area is 2,000 sqm</td> </tr> </table> <p>(c) site frontages are not less than 20m.</p> <p>In relation to DTS/DPF 8.1, in instances where:</p>	<b>Minimum Site Area</b>	Minimum site area is 2,000 sqm	<b>Minimum Site Area</b>	Minimum site area is 2,000 sqm
<b>Minimum Site Area</b>					
Minimum site area is 2,000 sqm					
<b>Minimum Site Area</b>					
Minimum site area is 2,000 sqm					

	<ul style="list-style-type: none"> <li>(d) more than one value is returned in the same field, refer to the <i>Minimum Site Area Technical and Numeric Variation layer</i> in the SA planning database to determine the applicable value relevant to the site of the proposed development</li> <li>(e) no value is returned for DTS/DPF 8.1(a) (i.e. there is a blank field), then none are applicable and the relevant development cannot be classified as deemed-to-satisfy</li> <li>(f) no value is returned for DTS/DPF 8.1(b)(ii) then the value for DTS/DPF 8.1(b)(ii) is zero.</li> </ul>
<b>Concept Plans</b>	
<p>PO 9.1</p> <p>Development is compatible with the outcomes sought by any relevant Concept Plan contained within Part 12 - Concept Plans of the Planning and Design Code to support the orderly development of land through staging of development and provision of infrastructure.</p>	<p>DTS/DPF 9.1</p> <p>The site of the development is wholly located outside any relevant Concept Plan boundary. The following Concept Plans are relevant: In relation to DTS/DPF 9.1, in instances where:</p> <ul style="list-style-type: none"> <li>(a) one or more Concept Plan is returned, refer to Part 12 - Concept Plans in the Planning and Design Code to determine if a Concept Plan is relevant to the site of the proposed development. Note: multiple concept plans may be relevant.</li> <li>(b) in instances where 'no value' is returned, there is no relevant concept plan and DTS/DPF 9.1 is met.</li> </ul>
<b>Advertisements</b>	
<p>PO 10.1</p> <p>Advertisements identify the associated business activity, and do not detract from the residential character of the locality.</p>	<p>DTS/DPF 10.1</p> <p>Advertisements relating to a lawful business activity associated with a residential use do not exceed 0.3m<sup>2</sup> and mounted flush with a wall or fence.</p>

**Table 5 - Procedural Matters (PM) - Notification**

The following table identifies, pursuant to section 107(6) of the *Planning, Development and Infrastructure Act 2016*, classes of performance assessed development that are excluded from notification. The table also identifies any exemptions to the placement of notices when notification is required.

**Interpretation**

Notification tables exclude the classes of development listed in Column A from notification provided that they do not fall within a corresponding exclusion prescribed in Column B.

Where a development or an element of a development falls within more than one class of development listed in Column A, it will be excluded from notification if it is excluded (in its entirety) under any of those classes of development. It need not be excluded under all applicable classes of development.

Where a development involves multiple performance assessed elements, all performance assessed elements will require notification (regardless of whether one or more elements are excluded in the applicable notification table) unless every performance assessed element of the application is excluded in the applicable notification table, in which case the application will not require notification.

A relevant authority may determine that a variation to 1 or more corresponding exclusions prescribed in Column B is minor in nature and does not require notification.

Class of Development (Column A)	Exceptions (Column B)
1. Development which, in the opinion of the relevant authority, is of a minor nature only and will not unreasonably impact on the owners or occupiers of land in the locality of the site of the development.	None specified.
2. All development undertaken by:	Except development involving any of the following:

<ul style="list-style-type: none"> <li>(a) the South Australian Housing Trust either individually or jointly with other persons or bodies or</li> <li>(b) a provider registered under the Community Housing National Law participating in a program relating to the renewal of housing endorsed by the South Australian Housing Trust.</li> </ul>	<ul style="list-style-type: none"> <li>1. residential flat building(s) of 3 or more building levels</li> <li>2. the demolition (or partial demolition) of a State or Local Heritage Place (other than an excluded building)</li> <li>3. the demolition (or partial demolition) of a building in a Historic Area Overlay (other than an excluded building).</li> </ul>
<p>3. Any development involving any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> <li>(a) ancillary accommodation</li> <li>(b) detached dwelling</li> <li>(c) dwelling addition.</li> </ul>	<p>Except development that does not satisfy Rural Neighbourhood Zone DTS/DPF 2.1.</p>
<p>4. Any development involving any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> <li>(a) consulting room</li> <li>(b) office</li> <li>(c) shop.</li> </ul>	<p>Except development that does not satisfy any of the following:</p> <ul style="list-style-type: none"> <li>1. Rural Neighbourhood Zone DTS/DPF 1.2</li> <li>2. Rural Neighbourhood Zone DTS/DPF 2.1.</li> </ul>
<p>5. Any development involving any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> <li>(a) air handling unit, air conditioning system or exhaust fan</li> <li>(b) carport</li> <li>(c) deck</li> <li>(d) fence</li> <li>(e) internal building works</li> <li>(f) land division</li> <li>(g) outbuilding</li> <li>(h) pergola</li> <li>(i) private bushfire shelter</li> <li>(j) recreation area</li> <li>(k) replacement building</li> <li>(l) retaining wall</li> <li>(m) shade sail</li> <li>(n) solar photovoltaic panels (roof mounted)</li> <li>(o) swimming pool or spa pool and associated swimming pool safety features</li> <li>(p) temporary accommodation in an area affected by bushfire</li> <li>(q) tree damaging activity</li> <li>(r) verandah</li> <li>(s) water tank.</li> </ul>	<p>None specified.</p>
<p>6. Demolition.</p>	<p>Except any of the following:</p> <ul style="list-style-type: none"> <li>1. the demolition (or partial demolition) of a State or Local Heritage Place (other than an excluded building)</li> <li>2. the demolition (or partial demolition) of a building in a Historic Area Overlay (other than an excluded building).</li> </ul>
<p>7. Railway line.</p>	<p>Except where located outside of a rail corridor or rail reserve.</p>

**Placement of Notices - Exemptions for Performance Assessed Development**

None specified.

**Placement of Notices - Exemptions for Restricted Development**



None specified.

## Adelaide Hills Subzone

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Additional residential and tourist accommodation that retains and embraces the values of the established mature vegetation as a defining characteristic of the area.
DO 2	Land division is sympathetic to the allotment pattern and characteristics within the locality.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Land Use and Intensity	
PO 1.1 A limited additional range of accommodation options that complement the prevailing residential character.	DTS/DPF 1.1 Development comprises one or more of the land uses listed, in addition to those listed in Rural Neighbourhood Zone DTS 1.1:  (a) Supported accommodation (b) Tourist accommodation.
Site Dimensions and Land Division	
PO 2.1 Allotments/sites created for residential purposes are consistent with the established pattern of division surrounding the development site to maintain local character and amenity.	DTS/DPF 2.1 Development satisfies (a) or (b):  (a) it will not result in more than 1 dwelling on an existing allotment (b) allotments/sites have an area the greater of the following (excluding the area within the access 'handle' if in the form of a battle-axe development): (i) 2000m <sup>2</sup> (ii) the median allotment size of all residential allotments in the Adelaide Hills Subzone either wholly or partly within a radius of 200m measured from the centre of the main allotment frontage.
PO 2.2 Allotments/sites are sized and configured to maximise the retention of mature vegetation to maintain landscape amenity.	DTS/DPF 2.2 None are applicable.

## Part 3 - Overlays

### Hazards (Bushfire - Medium Risk) Overlay

#### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Development, including land division responds to the medium level of bushfire risk and potential for ember attack and radiant heat by siting and designing buildings in a manner that mitigates the threat and impact of bushfires on life and property taking into account the increased frequency and intensity of bushfires as a result of climate change.
DO 2	To facilitate access for emergency service vehicles to aid the protection of lives and assets from bushfire danger.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Siting	
PO 1.1 Buildings and structures are located away from areas that pose an unacceptable bushfire risk as a result of vegetation cover and type, and terrain.	DTS/DPF 1.1 None are applicable.
Built Form	
PO 2.1 Buildings and structures are designed and configured to reduce the impact of bushfire through using designs that reduce the potential for trapping burning debris against or underneath the building or structure, or between the ground and building floor level in the case of transportable buildings and buildings on stilts.	DTS/DPF 2.1 None are applicable.
PO 2.2 Extensions to buildings, outbuildings and other ancillary structures are sited and constructed using materials to minimise the threat of fire spread to residential and tourist accommodation (including boarding houses, hostels, dormitory style accommodation, student accommodation and Workers' accommodation) in the event of bushfire.	DTS/DPF 2.2 Outbuildings and other ancillary structures are sited no closer than 6m from the habitable building.
Habitable Buildings	
PO 3.1 To minimise the threat, impact and potential exposure to bushfires on life and property, residential and tourist accommodation and habitable buildings for vulnerable communities (including boarding houses, hostels, dormitory style accommodation, student accommodation and workers' accommodation) is sited on the flatter portion of allotments away from steep slopes.	DTS/DPF 3.1 None are applicable.
PO 3.2 Residential, tourist accommodation and habitable buildings for vulnerable communities (including boarding houses, hostels, dormitory style accommodation, student accommodation and workers' accommodation) is sited away from vegetated areas that pose an unacceptable bushfire risk.	DTS/DPF 3.2 Residential, tourist accommodation and habitable buildings for vulnerable communities are provided with asset protection zone(s) in accordance with (a) and (b):  (a) the asset protection zone has a minimum width of at least: (i) 50 metres to unmanaged grasslands (ii) 100 metres to hazardous bushland vegetation  (b) the asset protection zone is contained wholly within the allotment of the development.
PO 3.3 Residential, tourist accommodation and habitable buildings for vulnerable communities, (including boarding houses, hostels, dormitory style accommodation, student accommodation and workers' accommodation), has a dedicated area available that is capable of accommodating a bushfire protection system comprising firefighting	DTS/DPF 3.3 None are applicable.

equipment and water supply in accordance with <i>Ministerial Building Standard MBS 008 - Designated bushfire prone areas - additional requirements.</i>	
Land Division	
PO 4.1 Land division is designed and incorporates measures to minimise the danger of fire hazard to residents and occupants of buildings, and to protect buildings and property from physical damage in the event of a bushfire.	DTS/DPF 4.1 None are applicable.
PO 4.2 Land division is designed to provide a continuous street pattern to facilitate the safe movement and evacuation of emergency vehicles, residents, occupants and visitors.	DTS/DPF 4.2 None are applicable.
PO 4.3 Where 10 or more new allotments are proposed, land division includes at least two separate and safe exit points to enable multiple avenues of evacuation in the event of a bushfire.	DTS/DPF 4.3 None are applicable.
PO 4.4 Land division incorporates perimeter roads of adequate design in conjunction with bushfire buffer zones to achieve adequate separation between residential allotments and areas of unacceptable bushfire risk and to support safe access for the purposes of fire-fighting.	DTS/DPF 4.4 None are applicable.
Vehicle Access - Roads, Driveways and Fire Tracks	
PO 5.1 Roads are designed and constructed to facilitate the safe and effective:  (a) access, operation and evacuation of fire-fighting vehicles and emergency personnel (b) evacuation of residents, occupants and visitors.	DTS/DPF 5.1 Roads:  (a) are constructed with a formed, all-weather surface (b) have a gradient of not more than 16 degrees (1-in-3.5) at any point along the road (c) have a cross fall of not more than 6 degrees (1-in-9.5) at any point along the road (d) have a minimum formed road width of 6m (e) provide overhead clearance of not less than 4.0m between the road surface and overhanging branches or other obstructions including buildings and/or structures (Figure 1) (f) allow fire-fighting services (personnel and vehicles) to travel in a continuous forward movement around road curves by constructing the curves with a minimum external radius of 12.5m (Figure 2) (g) incorporating cul-de-sac endings or dead end roads do not exceed 200m in length and the end of the road has either: (i) a turning area with a minimum formed surface radius of 12.5m (Figure 3) or (ii) a 'T' or 'Y' shaped turning area with a minimum formed surface length of 11m and minimum internal radii of 9.5m (Figure 4)  (h) incorporate solid, all-weather crossings over any watercourse that support fire-fighting vehicles with a gross vehicle mass (GVM) of 21 tonnes.
PO 5.2 Access to habitable buildings is designed and constructed to facilitate the safe and effective:  (a) access, operation and evacuation of fire-fighting vehicles and emergency personnel (b) evacuation of residents, occupants and visitors.	DTS/DPF 5.2 Access is in accordance with (a) or (b):  (a) a clear and unobstructed vehicle or pedestrian pathway of not greater than 60 metres in length is available between the most distant part of the habitable building and the nearest part of a formed public access road (b) driveways:



	<ul style="list-style-type: none"> <li>(i) do not exceed 600m in length</li> <li>(ii) are constructed with a formed, all-weather surface</li> <li>(iii) are connected to a formed, all-weather public road with the transition area between the road and driveway having a gradient of not more than 7 degrees (1-in-8)</li> <li>(iv) have a gradient of not more than 16 degrees (1-in-3.5) at any point along the driveway</li> <li>(v) have a crossfall of not more than 6 degrees (1-in-9.5) at any point along the driveway</li> <li>(vi) have a minimum formed width of 3m (4m where the gradient of the driveway is steeper than 12 degrees (1-in-4.5)) plus 0.5 metres clearance either side of the driveway from overhanging branches or other obstructions, including buildings and/or structures (Figure 1)</li> <li>(vii) incorporate passing bays with a minimum width of 6m and length of 17m every 200m (Figure 5)</li> <li>(viii) provide overhead clearance of not less than 4.0m between the driveway surface and overhanging branches or other obstructions, including buildings and/or structures (Figure 1)</li> <li>(ix) allow fire-fighting services (personnel and vehicles) to travel in a continuous forward movement around driveway curves by constructing the curves with a minimum external radius of 12.5m (Figure 2)</li> <li>(x) allow fire-fighting vehicles to safely enter and exit an allotment in a forward direction by using a 'U' shaped drive through design or by incorporating at the end of the driveway either:             <ul style="list-style-type: none"> <li>A. a loop road around the building or</li> <li>B. a turning area with a minimum radius of 12.5m (Figure 3) or</li> <li>C. a 'T' or 'Y' shaped turning area with a minimum formed length of 11 m and minimum internal radii of 9.5m (Figure 4)</li> </ul> </li> <li>(xi) incorporate solid, all-weather crossings over any watercourse that support fire-fighting vehicles with a gross vehicle mass (GVM) of 21 tonnes.</li> </ul>
<p>PO 5.3 Development does not rely on fire tracks as means of evacuation or access for fire-fighting purposes unless there are no safe alternatives available.</p>	<p>DTS/DPF 5.3 None are applicable.</p>

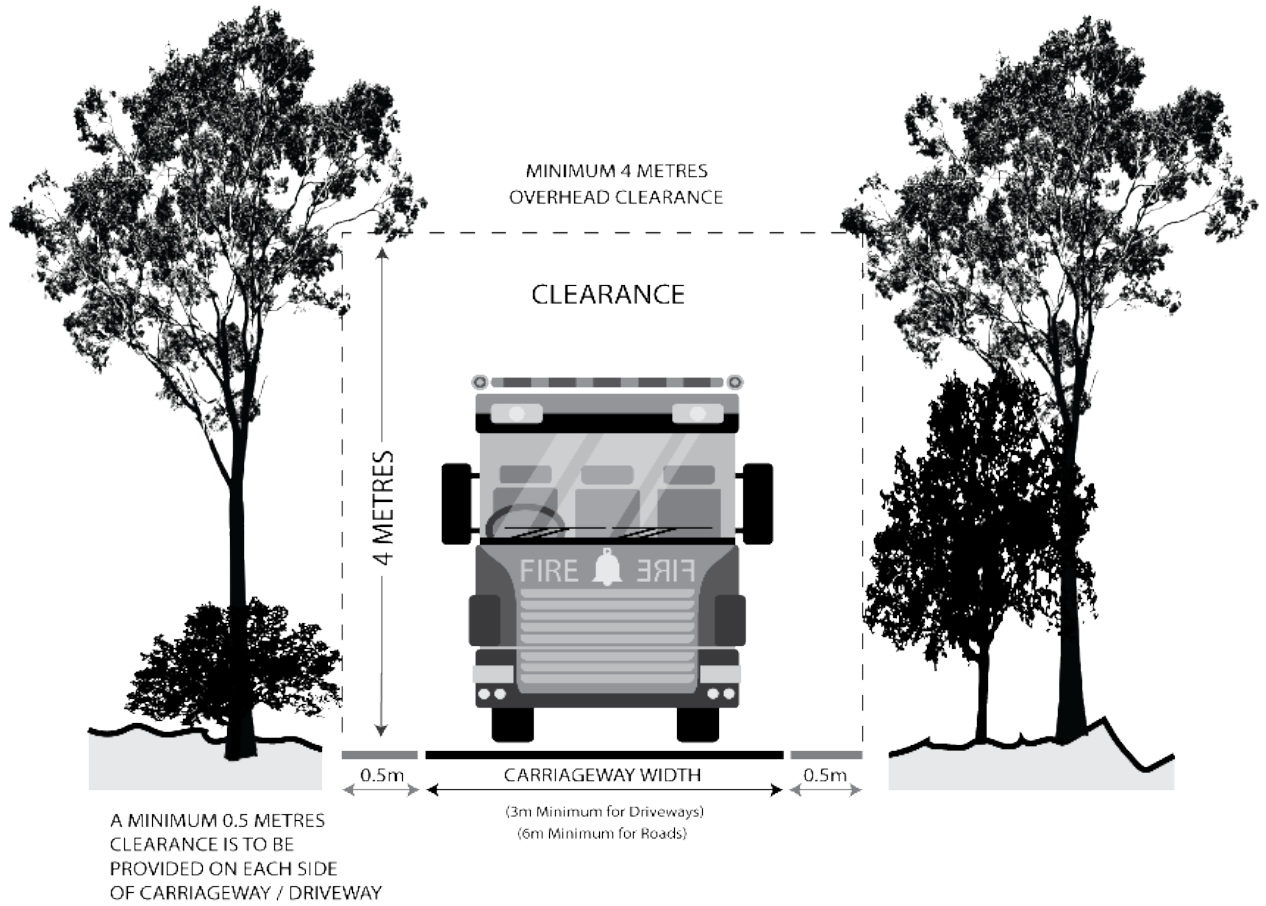
**Procedural Matters (PM) - Referrals**

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

**Figures and Diagrams**

Fire Engine and Appliance Clearances
Figure 1 - Overhead and Side Clearances



Roads and Driveway Design

Figure 2 - Road and Driveway Curves

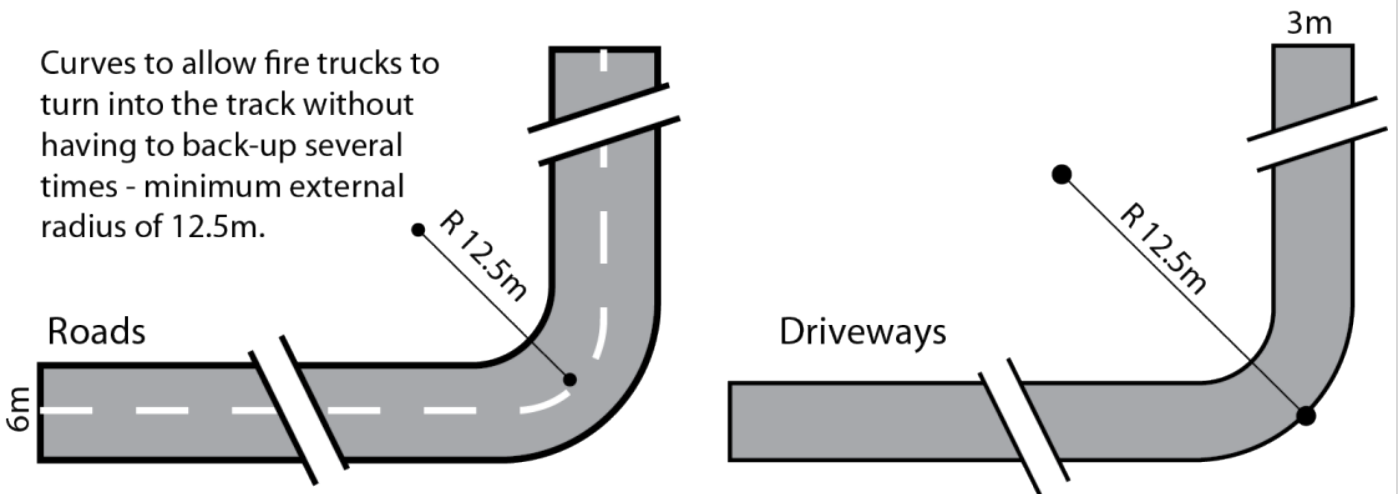


Figure 3 - Full Circle Turning Area

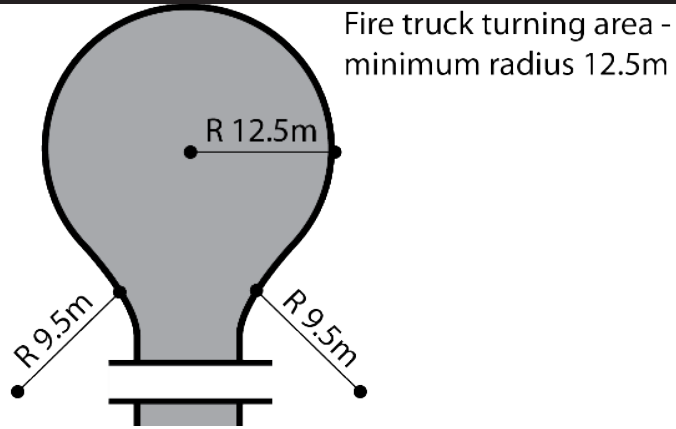
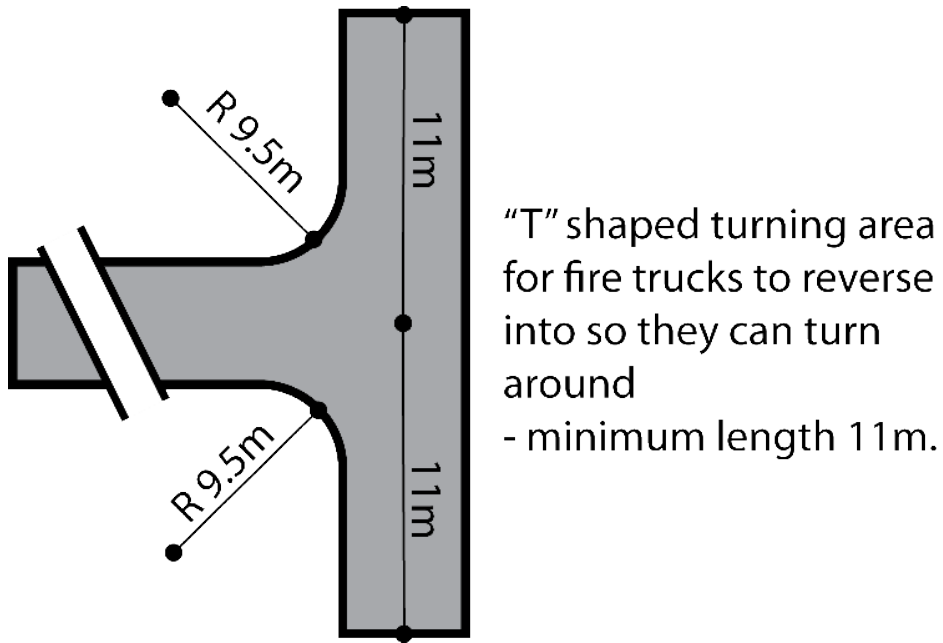


Figure 4 - 'T' or 'Y' Shaped Turning Head





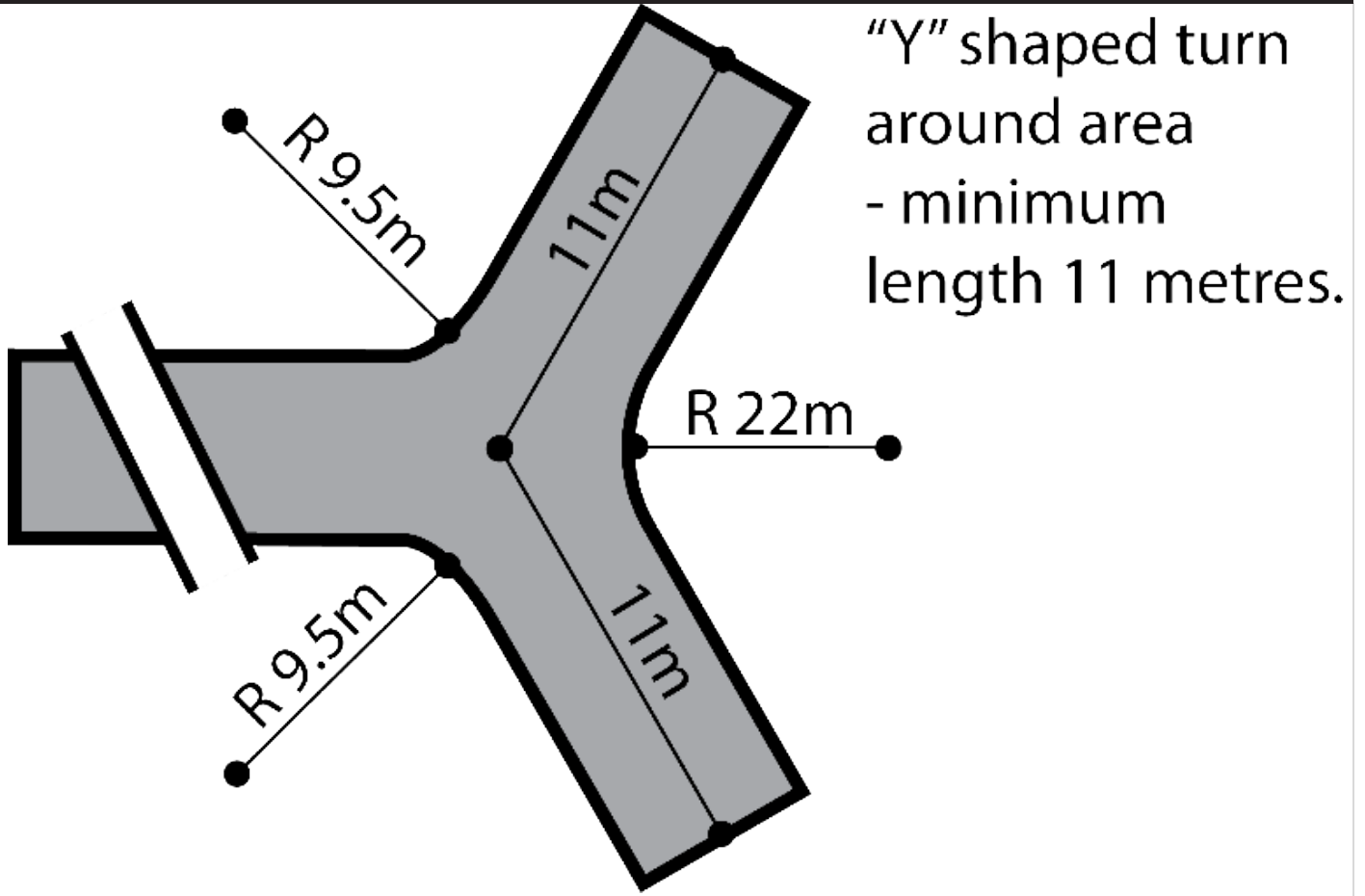
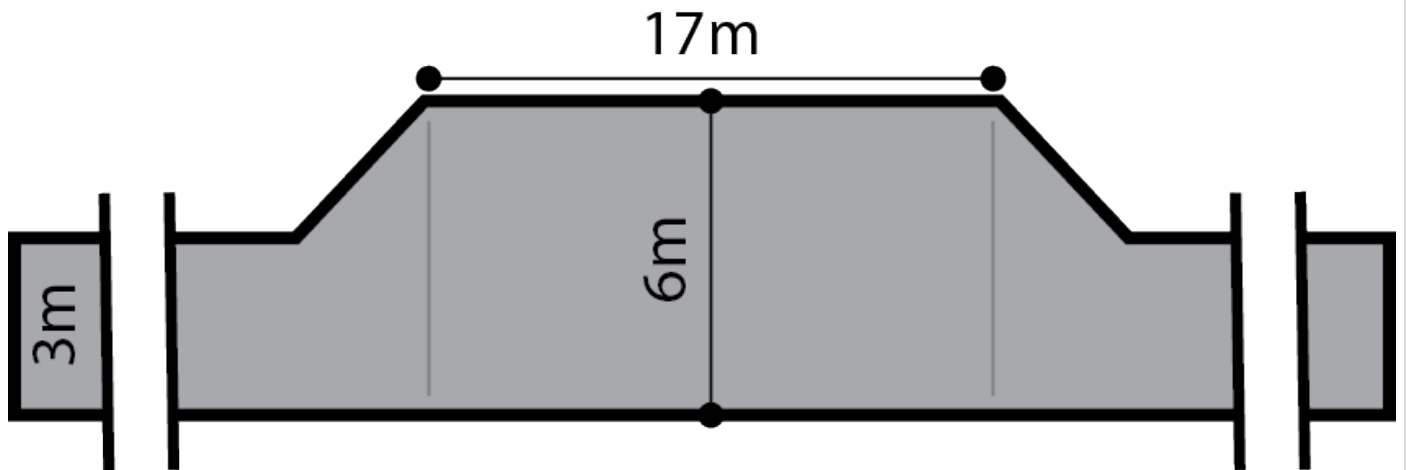


Figure 5 - Driveway Passing Bays

Passing bay for fire trucks - minimum width 6 metres, minimum length 17 metres.



Hazards (Flooding - Evidence Required) Overlay

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Development adopts a precautionary approach to mitigate potential impacts on people, property, infrastructure and the environment from potential flood risk through the appropriate siting and design of development.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Flood Resilience	
PO 1.1 Development is sited, designed and constructed to minimise the risk of entry of potential floodwaters where the entry of flood waters is likely to result in undue damage to or compromise ongoing activities within buildings.	DTS/DPF 1.1 Habitable buildings, commercial and industrial buildings, and buildings used for animal keeping incorporate a finished floor level at least 300mm above: <ul style="list-style-type: none"> <li>(a) the highest point of top of kerb of the primary street or</li> <li>(b) the highest point of natural ground level at the primary street boundary where there is no kerb</li> </ul>
Environmental Protection	
PO 2.1 Buildings and structures used either partly or wholly to contain or store hazardous materials are designed to prevent spills or leaks leaving the confines of the building.	DTS/DPF 2.1 Development does not involve the storage of hazardous materials.

**Procedural Matters (PM) - Referrals**

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

**Mount Lofty Ranges Water Supply Catchment (Area 1) Overlay**

**Assessment Provisions (AP)**

Performance Outcomes (PO) and Deemed to Satisfy (DTS) / Designated Performance Feature (DPF) Criteria

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Stormwater	
DTS/DPF 3.4 Development includes: <ul style="list-style-type: none"> <li>(a) rainwater tanks with a minimum capacity of 1,000L connected to carports, verandahs and outbuildings or</li> <li>(b) rainwater tanks with a minimum capacity of 4,500L connected to agricultural buildings exceeding 100m<sup>2</sup>.</li> </ul>	DTS/DPF 3.5 Dwelling additions are connected to a rainwater tank with a minimum capacity of 1,000L.
DTS/DPF 3.9 Excavation and/or filling satisfy all the following: <ul style="list-style-type: none"> <li>(a) is located 50m or more from watercourses</li> <li>(b) is located 100m or more from public water supply reservoirs and diversion weirs</li> <li>(c) does not involve excavation exceeding a vertical height of 0.75m</li> </ul>	

- (d) does not involve filling exceeding a vertical height of 0.75m
- (e) does not involve a total combined excavation and filling vertical height of 1.5m.

## Mount Lofty Ranges Water Supply Catchment (Area 2) Overlay

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Safeguard Greater Adelaide's public water supply by ensuring development has a neutral or beneficial effect on the quality of water harvested from secondary reservoirs or diversion weir catchments from the Mount Lofty Ranges.

Performance Outcomes (PO) and Deemed to Satisfy (DTS) / Designated Performance Feature (DPF) Criteria

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Water Quality	
PO 1.1 Development results in a neutral or beneficial effect on the quality of water draining from the site to maintain and enhance the role of the catchment as a water supply.	DTS/DPF 1.1 None are applicable.
PO 1.2 Development does not include land uses that have the potential to cause adverse impacts on the quality of water draining into secondary public water supply reservoirs and weirs.	DTS/DPF 1.2 Development does not involve any one or combination of the following: (a) landfill (b) special industry.
Wastewater	
PO 2.1 Development that generates human wastewater, including alterations and additions, are established at an intensity and in a manner to minimise potential adverse impact on water quality within secondary reservoir and weir catchment areas.	DTS/DPF 2.1 Development including alterations and additions, in combination with existing built form and activities within an allotment:  (a) do not generate a combined total of more than 1500 litres of wastewater per day and (b) will be connected to the same on-site wastewater system that is compliant with relevant South Australian standards  or is otherwise connected to a sewer or community wastewater management system.
PO 2.2 Dairy development is of a scale and design that will avoid adverse water quality impacts.	DTS/DPF 2.2 Dairy development satisfies all of the following:  (a) is located at least 100 metres from any watercourse, dam, bore or well (b) is connected to a wastewater management system that is located 200 metres from any watercourse, dam, bore or well and is designed and constructed to avoid leakage to groundwater or overflow under extreme rainfall conditions (c) treated wastewater irrigation areas: (i) have a slope of less than 1-in-5 (20 percent)



	<p>(ii) are greater than 100 metres from any watercourse, dam, bore or well</p> <p>are suitable to provide for seasonal wastewater irrigation without causing pollution of surface or groundwater.</p>
<p>PO 2.3</p> <p>Development that generates trade or industrial wastewater is designed to ensure wastewater disposal avoids adverse impacts on the quality of water draining into secondary public water supply reservoirs and weirs.</p>	<p>DTS/DPF 2.3</p> <p>Development that generates trade or industrial wastewater is connected to:</p> <ul style="list-style-type: none"> <li>(a) a sewer or community wastewater management system with sufficient hydraulic and treatment capacity to accept the inflow or</li> <li>(b) an on-site wastewater holding tank which has storage capacity of more than four days total flow during peak operations and is contained within an impervious, bunded area with a total liquid holding capacity of more than 120 percent of the total holding tank capacity, prior to transporting for off-site disposal.</li> </ul>
<p>PO 2.4</p> <p>Wastewater management systems result in a neutral or beneficial effect on the quality of water draining from the site.</p>	<p>DTS/DPF 2.4</p> <p>Development results in:</p> <ul style="list-style-type: none"> <li>(a) a building or land use that is currently connected to an existing on-site wastewater system that is non-compliant with relevant South Australian standards being connected to a new or upgraded system that complies with such standards or</li> <li>(b) an existing on-site wastewater system being decommissioned and wastewater being disposed of to a sewer or community wastewater management system that complies with relevant South Australian standards.</li> </ul>
<p>PO 2.5</p> <p>Surface and groundwater protected from wastewater discharge pollution.</p>	<p>DTS/DPF 2.5</p> <p>All components of an effluent disposal area are:</p> <ul style="list-style-type: none"> <li>(a) setback 50 metres or more from a watercourse</li> <li>(b) setback 100 metres or more from a public water supply reservoir</li> <li>(c) located on land with a slope no greater than 1-in-5 (20%)</li> <li>(d) located on land with 1.2m or more depth to bedrock or a seasonal or permanent water table</li> <li>(e) above the 10% AEP flood level.</li> </ul>
<p>Stormwater</p>	
<p>PO 3.1</p> <p>Post-development peak stormwater discharge quantities and rates do not exceed pre-development quantities and rates to maintain water quality leaving the site.</p>	<p>DTS/DPF 3.1</p> <p>None are applicable.</p>
<p>PO 3.2</p> <p>Stormwater run-off from areas not likely to be subject to pollution diverted away from areas that could cause pollution.</p>	<p>DTS/DPF 3.2</p> <p>None are applicable.</p>
<p>PO 3.3</p> <p>Polluted stormwater is treated prior to discharge from the site.</p>	<p>DTS/DPF 3.3</p> <p>None are applicable.</p>
<p>PO 3.4</p> <p>Stormwater from carports, verandahs, outbuildings and agricultural buildings captured to protect water quality.</p>	<p>DTS/DPF 3.4</p> <p>Development includes:</p> <ul style="list-style-type: none"> <li>(a) rainwater tanks with a minimum capacity of 1,000L connected to carports, verandahs and outbuildings or</li> <li>(b) rainwater tanks with a minimum capacity of 4,500L connected to agricultural buildings exceeding 100m<sup>2</sup>.</li> </ul>

<p>PO 3.5 Stormwater from dwelling additions captured to protect water quality.</p>	<p>DTS/DPF 3.5 Dwelling additions are connected to a rainwater tank with a minimum capacity of 1,000L.</p>
<p>PO 3.6 Stormwater from shops and tourist accommodation is managed to protect water quality.</p>	<p>DTS/DPF 3.6 Shops and tourist accommodation satisfy all the following:</p> <ul style="list-style-type: none"> <li>(a) are located 50m or more from watercourses, wetlands, land prone to waterlogging and bores</li> <li>(b) are located 100m or more from public water supply reservoirs and diversion weirs</li> <li>(c) are located on land with a slope not exceeding 20%</li> <li>(d) includes buildings connected to rainwater tanks with a minimum capacity of 1,000L</li> <li>(e) includes swales that divert clean stormwater away from areas where it could be polluted.</li> </ul>
<p>PO 3.7 Stormwater from horse keeping and low intensity animal husbandry is managed to protect water quality.</p>	<p>DTS/DPF 3.7 Horse keeping and low intensity animal husbandry satisfy all the following:</p> <ul style="list-style-type: none"> <li>(a) is located 50m or more from watercourses, wetlands, land prone to waterlogging and bores</li> <li>(b) is located on land with a slope not exceeding 10%</li> <li>(c) includes stables, shelters or other roofed structures connected to rainwater tanks with a minimum capacity of 1,000L</li> <li>(d) includes swales that divert clean stormwater away from areas (including yards, manure storage areas, and watering points) within which it could be polluted.</li> </ul>
<p>PO 3.8 Stormwater from horticulture is managed to protect water quality.</p>	<p>DTS/DPF 3.8 Horticulture satisfies all the following:</p> <ul style="list-style-type: none"> <li>(a) is located 50m or more from watercourses, wetlands, land prone to waterlogging and bores</li> <li>(b) is located 100m or more from public water supply reservoirs and diversion weirs</li> <li>(c) is located on land with a slope not exceeding 10%</li> <li>(d) includes swales or other structures that divert clean stormwater away from areas (including plant growing areas, chemical storage areas and plant waste storage areas) within which it could be polluted.</li> </ul>
<p>PO 3.9 Stormwater from excavated and filled areas is managed to protect water quality.</p>	<p>DTS/DPF 3.9 Excavation and/or filling satisfy all the following:</p> <ul style="list-style-type: none"> <li>(a) is located 50m or more from watercourses</li> <li>(b) is located 100m or more from public water supply reservoirs and diversion weirs</li> <li>(c) does not involve excavation exceeding a vertical height of 0.75m</li> <li>(d) does not involve filling exceeding a vertical height of 0.75m</li> <li>(e) does not involve a total combined excavation and filling vertical height of 1.5m.</li> </ul>
<p>Landscapes and Natural Features</p>	
<p>PO 4.1 Development minimises the need to modify landscapes and natural features.</p>	<p>DTS/DPF 4.1 None are applicable.</p>
<p>Land Division</p>	
<p>PO 5.1 Land division does not result in an increased risk of pollution to surface</p>	<p>DTS/DPF 5.1 Land division does not create additional allotments and satisfies (a)</p>

<p>or underground water.</p>	<p>and/or (b):</p> <ul style="list-style-type: none"> <li>(a) is for realignment of allotment boundaries to correct an anomaly in the placement of those boundaries with respect to the location of existing buildings or structures</li> <li>or</li> <li>(b) is for realignment of allotment boundaries in order to improve management of the land for primary production and/or conservation of natural features.</li> </ul>
<p>PO 5.2 Realignment of allotment boundaries does not create development potential for a dwelling and associated onsite wastewater management system where no such potential currently exists.</p>	<p>DTS/DPF 5.2 None are applicable.</p>

**Procedural Matters (PM)**

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
<p>Any of the following classes of development that are not connected (or not proposed to be connected) to a community wastewater management system or sewerage infrastructure:</p> <ul style="list-style-type: none"> <li>(a) land division creating one or more additional allotments, either partly or wholly within the area of the overlay</li> <li>(b) function venue with more than 75 seats for customer dining purposes</li> <li>(c) restaurant with more than 40 seats for customer dining purposes</li> <li>(d) restaurant with more than 30 seats for customer dining purposes in association with a cellar door</li> <li>(e) dwelling where a habitable dwelling or tourist accommodation or workers' accommodation already exists on the same allotment (including where a valid planning authorisation exists to erect a dwelling or tourist accommodation or workers' accommodation on the same allotment), except where the existing habitable dwelling or tourist accommodation or workers' accommodation on the same allotment is proposed to be demolished and the existing on-site wastewater system is proposed to be decommissioned</li> <li>(f) tourist accommodation where a habitable dwelling or tourist accommodation or workers' accommodation already exists on the same allotment (including where a valid planning authorisation exists to erect a habitable dwelling or tourist accommodation or workers' accommodation on the same allotment), except where the existing habitable dwelling or tourist accommodation or workers' accommodation on the same allotment is proposed to be demolished and the existing on-site wastewater system is proposed to be decommissioned</li> </ul>	<p>Environment Protection Authority.</p>	<p>To provide expert technical assessment and direction to the relevant authority on whether a proposed development will have a neutral or beneficial impact on water quality.</p>	<p>Development of a class to which Schedule 9 clause 3 item 9 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.</p>



<p>(g) workers' accommodation where a habitable dwelling or tourist accommodation or workers' accommodation already exists on the same allotment (including where a valid planning authorisation exists to erect a habitable dwelling or tourist accommodation or workers' accommodation on the same allotment), except where the existing habitable dwelling or tourist accommodation or workers' accommodation on the same allotment is proposed to be demolished and the existing on-site wastewater system is proposed to be decommissioned</p> <p>(h) any other development that generates human wastewater from a peak loading capacity of more than 40 persons (or more than 6,000 litres/day)</p>			
<p>Composting works (excluding a prescribed approved activity) - being a depot, facility or works with the capacity to treat, during a 12 month period more than 200 tonnes of organic waste or matter (EPA Licence)</p>			
<p>Wastewater treatment works - being sewage treatment works, a community wastewater management system, winery wastewater treatment works or any other wastewater treatment works with the capacity to treat, during a 12 month period more than 2.5 ML of wastewater (EPA Licence required at more than 5ML)</p>			
<p>Feedlots - being carrying on an operation for holding in confined yard or area and feeding principally by mechanical means or by hand not less than an average of 200 cattle (EPA Licence) or 1,600 sheep or goats per day over any period of 12 months, but excluding any such operation carried on at an abattoir, slaughterhouse or saleyard or for the purpose only of drought or other emergency feeding</p>			
<p>Piggeries - being the conduct of a piggery (being premises having confined or roofed structures for keeping pigs) with a capacity of 130 or more standard pig units (EPA Licence required at 650 or more standard pig units)</p>			
<p>Dairies - carrying on of a dairy with a total processing capacity exceeding 100 milking animals at any one time.</p>			

## Native Vegetation Overlay

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Areas of native vegetation are protected, retained and restored in order to sustain biodiversity, threatened species and vegetation communities, fauna habitat, ecosystem services, carbon storage and amenity values.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Environmental Protection	
<p>PO 1.1</p> <p>Development avoids, or where it cannot be practically avoided, minimises the clearance of native vegetation taking into account the siting of buildings, access points, bushfire protection measures and building maintenance.</p>	<p>DTS/DPF 1.1</p> <p>An application is accompanied by:</p> <ul style="list-style-type: none"> <li>(a) a declaration stating that the proposal will not, or would not, involve clearance of native vegetation under the Native Vegetation Act 1991, including any clearance that may occur:                             <ul style="list-style-type: none"> <li>(i) in connection with a relevant access point and / or driveway</li> <li>(ii) within 10m of a building (other than a residential building or tourist accommodation)</li> <li>(iii) within 20m of a dwelling or addition to an existing dwelling for fire prevention and control</li> <li>(iv) within 50m of residential or tourist accommodation in connection with a requirement under a relevant overlay to establish an asset protection zone in a bushfire prone area</li> </ul> </li> </ul> <p>or</p> <ul style="list-style-type: none"> <li>(b) a report prepared in accordance with Regulation 18(2)(a) of the Native Vegetation Regulations 2017 that establishes that the clearance is categorised as 'Level 1 clearance'.</li> </ul>
<p>PO 1.2</p> <p>Native vegetation clearance in association with development avoids the following:</p> <ul style="list-style-type: none"> <li>(a) significant wildlife habitat and movement corridors</li> <li>(b) rare, vulnerable or endangered plants species</li> <li>(c) native vegetation that is significant because it is located in an area which has been extensively cleared</li> <li>(d) native vegetation that is growing in, or in association with, a wetland environment.</li> </ul>	<p>DTS/DPF 1.2</p> <p>None are applicable.</p>
<p>PO 1.3</p> <p>Intensive animal husbandry, commercial forestry and agricultural activities are sited, set back and designed to minimise impacts on native vegetation, including impacts on native vegetation in an adjacent State Significant Native Vegetation Area, from:</p> <ul style="list-style-type: none"> <li>(a) in the case of commercial forestry, the spread of fires from a plantation</li> <li>(b) the spread of pest plants and phytophthora</li> <li>(c) the spread of non-indigenous plants species</li> <li>(d) excessive nutrient loading of the soil or loading arising from surface water runoff</li> <li>(e) soil compaction</li> <li>(f) chemical spray drift.</li> </ul>	<p>DTS/DPF 1.3</p> <p>Development within 500 metres of a boundary of a State Significant Native Vegetation Area does not involve any of the following:</p> <ul style="list-style-type: none"> <li>(a) horticulture</li> <li>(b) intensive animal husbandry</li> <li>(c) dairy</li> <li>(d) commercial forestry</li> <li>(e) aquaculture.</li> </ul>
<p>PO 1.4</p> <p>Development restores and enhances biodiversity and habitat values through revegetation using locally indigenous plant species.</p>	<p>DTS/DPF 1.4</p> <p>None are applicable.</p>
Land division	
<p>PO 2.1</p> <p>Land division does not result in the fragmentation of land containing native vegetation, or necessitate the clearance of native vegetation, unless such clearance is considered minor, taking into account the</p>	<p>DTS/DPF 2.1</p> <p>Land division where:</p> <ul style="list-style-type: none"> <li>(a) an application is accompanied by one of the following:</li> </ul>

<p>location of allotment boundaries, access ways, fire breaks, boundary fencing and potential building siting or the like.</p>	<ul style="list-style-type: none"> <li>(i) a declaration stating that none of the allotments in the proposed plan of division contain native vegetation under the <i>Native Vegetation Act 1991</i></li> <li>(ii) a declaration stating that no native vegetation clearance under the <i>Native Vegetation Act 1991</i> will be required as a result of the division of land</li> <li>(iii) a report prepared in accordance with Regulation 18(2) (a) of the <i>Native Vegetation Regulations 2017</i> that establishes that the vegetation to be cleared is categorised as 'Level 1 clearance'</li> </ul> <p>or</p> <ul style="list-style-type: none"> <li>(b) an application for land division which is being considered concurrently with a proposal to develop each allotment which will satisfy, or would satisfy, the requirements of DTS/DPF 1.1, including any clearance that may occur</li> </ul> <p>or</p> <ul style="list-style-type: none"> <li>(c) the division is to support a Heritage Agreement under the <i>Native Vegetation Act 1991</i> or the <i>Heritage Places Act 1993</i>.</li> </ul>
--	--

**Procedural Matters (PM) - Referrals**

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
<p>Development that is the subject of a report prepared in accordance with Regulation 18(2)(a) of the <i>Native Vegetation Regulations 2017</i> that categorises the clearance, or potential clearance, as 'Level 3 clearance' or 'Level 4 clearance'.</p>	<p>Native Vegetation Council</p>	<p>To provide expert assessment and direction to the relevant authority on the potential impacts of development on native vegetation.</p>	<p>Development of a class to which Schedule 9 clause 3 item 11 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.</p>

**Prescribed Water Resources Area Overlay**

**Assessment Provisions (AP)**

Desired Outcome (DO)

Desired Outcome	
DO 1	Sustainable water use in prescribed water resources areas maintains the health and natural flow paths of surface water, watercourses and wells.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
PO 1.1	DTS/DPF 1.1



<p>All development, but in particular development involving any of the following:</p> <ul style="list-style-type: none"> <li>(a) horticulture</li> <li>(b) activities requiring irrigation</li> <li>(c) aquaculture</li> <li>(d) industry</li> <li>(e) intensive animal husbandry</li> <li>(f) commercial forestry</li> </ul> <p>has a lawful, sustainable and reliable water supply that does not place undue strain on water resources in prescribed water resource areas.</p>	<p>Development satisfies either of the following:</p> <ul style="list-style-type: none"> <li>(a) the applicant has a current water licence in which sufficient spare capacity exists to accommodate the water needs of the proposed use or</li> <li>(b) the proposal does not involve the taking of water for which a licence would be required under the <i>Landscape South Australia Act 2019</i>.</li> </ul>
<p>PO 1.2</p> <p>Development comprising the erection, construction, modification, enlargement or removal of a dam, wall or other structure that will collect or divert surface water flowing over land is undertaken in a manner that maintains the quality and quantity of flows required to meet the needs of the environment as well as downstream users.</p>	<p>DTS/DPF 1.2</p> <p>None are applicable.</p>

### Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
<p>Development that comprises the erection, construction, modification, enlargement or removal of a dam, wall or other structure that will collect or divert, or collects or diverts surface water flowing over land.</p>	<p>Relevant authority under the <i>Landscape South Australia Act 2019</i> that would, if it were not for the operation of section 106(1)(e) of that Act, have the authority under that Act to grant or refuse a permit to undertake the subject development.</p>	<p>To provide expert assessment and direction to the relevant authority on potential impacts from development on the health, sustainability and/or natural flow paths of water resources in accordance with the provisions of the relevant water allocation plan or regional landscape plan or equivalent.</p>	<p>Development of a class to which Schedule 9 clause 3 item 12 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.</p>
<p>Any of the following classes of development that require or may require water to be taken in addition to any allocation that has already been granted under the <i>Landscape South Australia Act 2019</i>:</p> <ul style="list-style-type: none"> <li>(a) horticulture</li> <li>(b) activities requiring irrigation</li> <li>(c) aquaculture</li> <li>(d) industry</li> <li>(e) intensive animal husbandry</li> <li>(f) commercial forestry</li> </ul> <p>Commercial forestry that requires a forest water licence under Part 8 Division 6 of the <i>Landscape South Australia Act 2019</i>.</p>	<p>The Chief Executive of the Department of the Minister responsible for the administration of the <i>Landscape South Australia Act 2019</i>.</p>	<p>To provide expert technical assessment and direction to the relevant authority on the taking of water to ensure development is undertaken sustainably and maintains the health and natural flow paths of water resources.</p>	<p>Development of a class to which Schedule 9 clause 3 item 13 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.</p>

### Regulated and Significant Tree Overlay

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Conservation of regulated and significant trees to provide aesthetic and environmental benefits and mitigate tree loss.

Performance Outcomes (PO) and Deemed to Satisfy (DTS) / Designated Performance Feature (DPF) Criteria

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Tree Retention and Health	
PO 1.1 Regulated trees are retained where they: <ul style="list-style-type: none"> <li>(a) make an important visual contribution to local character and amenity</li> <li>(b) are indigenous to the local area and listed under the <i>National Parks and Wildlife Act 1972</i> as a rare or endangered native species and / or</li> <li>(c) provide an important habitat for native fauna.</li> </ul>	DTS/DPF 1.1 None are applicable.
PO 1.2 Significant trees are retained where they: <ul style="list-style-type: none"> <li>(a) make an important contribution to the character or amenity of the local area</li> <li>(b) are indigenous to the local area and are listed under the <i>National Parks and Wildlife Act 1972</i> as a rare or endangered native species</li> <li>(c) represent an important habitat for native fauna</li> <li>(d) are part of a wildlife corridor of a remnant area of native vegetation</li> <li>(e) are important to the maintenance of biodiversity in the local environment and / or</li> <li>(f) form a notable visual element to the landscape of the local area.</li> </ul>	DTS/DPF 1.2 None are applicable.
PO 1.3 A tree damaging activity not in connection with other development satisfies (a) and (b): <ul style="list-style-type: none"> <li>(a) tree damaging activity is only undertaken to:                             <ul style="list-style-type: none"> <li>(i) remove a diseased tree where its life expectancy is short</li> <li>(ii) mitigate an unacceptable risk to public or private safety due to limb drop or the like</li> <li>(iii) rectify or prevent extensive damage to a building of value as comprising any of the following:                                     <ul style="list-style-type: none"> <li>A. a Local Heritage Place</li> <li>B. a State Heritage Place</li> <li>C. a substantial building of value</li> </ul> </li> </ul> </li> </ul>	DTS/DPF 1.3 None are applicable.

<p>and there is no reasonable alternative to rectify or prevent such damage other than to undertake a tree damaging activity</p> <ul style="list-style-type: none"> <li>(iv) reduce an unacceptable hazard associated with a tree within 20m of an existing residential, tourist accommodation or other habitable building from bushfire</li> <li>(v) treat disease or otherwise in the general interests of the health of the tree and / or</li> <li>(vi) maintain the aesthetic appearance and structural integrity of the tree</li> </ul> <p>(b) in relation to a significant tree, tree-damaging activity is avoided unless all reasonable remedial treatments and measures have been determined to be ineffective.</p>	
<p>PO 1.4 A tree-damaging activity in connection with other development satisfies all the following:</p> <ul style="list-style-type: none"> <li>(a) it accommodates the reasonable development of land in accordance with the relevant zone or subzone where such development might not otherwise be possible</li> <li>(b) in the case of a significant tree, all reasonable development options and design solutions have been considered to prevent substantial tree-damaging activity occurring.</li> </ul>	<p>DTS/DPF 1.4 None are applicable.</p>
<p>Ground work affecting trees</p>	
<p>PO 2.1 Regulated and significant trees, including their root systems, are not unduly compromised by excavation and / or filling of land, or the sealing of surfaces within the vicinity of the tree to support their retention and health.</p>	<p>DTS/DPF 2.1 None are applicable.</p>
<p>Land Division</p>	
<p>PO 3.1 Land division results in an allotment configuration that enables its subsequent development and the retention of regulated and significant trees as far as is reasonably practicable.</p>	<p>DTS/DPF 3.1 Land division where:</p> <ul style="list-style-type: none"> <li>(a) there are no regulated or significant trees located within or adjacent to the plan of division or</li> <li>(b) the application demonstrates that an area exists to accommodate subsequent development of proposed allotments after an allowance has been made for a tree protection zone around any regulated tree within and adjacent to the plan of division.</li> </ul>

**Procedural Matters (PM) - Referrals**

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

**Part 4 - General Development Policies**



# Advertisements

## Assessment Provisions (AP)


Desired Outcome (DO)

Desired Outcome	
DO 1	Advertisements and advertising hoardings are appropriate to context, efficient and effective in communicating with the public, limited in number to avoid clutter, and do not create hazard.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Appearance	
PO 1.1 Advertisements are compatible and integrated with the design of the building and/or land they are located on.	DTS/DPF 1.1 Advertisements attached to a building satisfy all of the following: <ul style="list-style-type: none"> <li>(a) are not located in a Neighbourhood-type zone</li> <li>(b) where they are flush with a wall:                             <ul style="list-style-type: none"> <li>(i) if located at canopy level, are in the form of a fascia sign</li> <li>(ii) if located above canopy level:                                     <ul style="list-style-type: none"> <li>A. do not have any part rising above parapet height</li> <li>B. are not attached to the roof of the building</li> </ul> </li> </ul> </li> <li>(c) where they are not flush with a wall:                             <ul style="list-style-type: none"> <li>(i) if attached to a verandah, no part of the advertisement protrudes beyond the outer limits of the verandah structure</li> <li>(ii) if attached to a two-storey building:                                     <ul style="list-style-type: none"> <li>A. has no part located above the finished floor level of the second storey of the building</li> <li>B. does not protrude beyond the outer limits of any verandah structure below</li> <li>C. does not have a sign face that exceeds 1m2 per side.</li> </ul> </li> </ul> </li> <li>(d) if located below canopy level, are flush with a wall</li> <li>(e) if located at canopy level, are in the form of a fascia sign</li> <li>(f) if located above a canopy:                             <ul style="list-style-type: none"> <li>(i) are flush with a wall</li> <li>(ii) do not have any part rising above parapet height</li> <li>(iii) are not attached to the roof of the building.</li> </ul> </li> <li>(g) if attached to a verandah, no part of the advertisement protrudes beyond the outer limits of the verandah structure</li> <li>(h) if attached to a two-storey building, have no part located above the finished floor level of the second storey of the building</li> <li>(i) where they are flush with a wall, do not, in combination with any other existing sign, cover more than 15% of the building facade to which they are attached.</li> </ul>
PO 1.2	DTS/DPF 1.2

Advertising hoardings do not disfigure the appearance of the land upon which they are situated or the character of the locality.	Where development comprises an advertising hoarding, the supporting structure is: <ul style="list-style-type: none"> <li>(a) concealed by the associated advertisement and decorative detailing or</li> <li>(b) not visible from an adjacent public street or thoroughfare, other than a support structure in the form of a single or dual post design.</li> </ul>
PO 1.3 Advertising does not encroach on public land or the land of an adjacent allotment.	DTS/DPF 1.3 Advertisements and/or advertising hoardings are contained within the boundaries of the site.
PO 1.4 Where possible, advertisements on public land are integrated with existing structures and infrastructure.	DTS/DPF 1.4 Advertisements on public land that meet at least one of the following: <ul style="list-style-type: none"> <li>(a) achieves Advertisements DTS/DPF 1.1</li> <li>(b) are integrated with a bus shelter.</li> </ul>
PO 1.5 Advertisements and/or advertising hoardings are of a scale and size appropriate to the character of the locality.	DTS/DPF 1.5 None are applicable.
<b>Proliferation of Advertisements</b>	
PO 2.1 Proliferation of advertisements is minimised to avoid visual clutter and untidiness.	DTS/DPF 2.1 No more than one freestanding advertisement is displayed per occupancy.
PO 2.2 Multiple business or activity advertisements are co-located and coordinated to avoid visual clutter and untidiness.	DTS/DPF 2.2 Advertising of a multiple business or activity complex is located on a single advertisement fixture or structure.
PO 2.3 Proliferation of advertisements attached to buildings is minimised to avoid visual clutter and untidiness.	DTS/DPF 2.3 Advertisements satisfy all of the following: <ul style="list-style-type: none"> <li>(a) are attached to a building</li> <li>(b) other than in a Neighbourhood-type zone, where they are flush with a wall, cover no more than 15% of the building facade to which they are attached</li> <li>(c) do not result in more than one sign per occupancy that is not flush with a wall.</li> </ul>
<b>Advertising Content</b>	
PO 3.1 Advertisements are limited to information relating to the lawful use of land they are located on to assist in the ready identification of the activity or activities on the land and avoid unrelated content that contributes to visual clutter and untidiness.	DTS/DPF 3.1 Advertisements contain information limited to a lawful existing or proposed activity or activities on the same site as the advertisement.
<b>Amenity Impacts</b>	
PO 4.1 Light spill from advertisement illumination does not unreasonably compromise the amenity of sensitive receivers.	DTS/DPF 4.1 Advertisements do not incorporate any illumination.
<b>Safety</b>	
PO 5.1 Advertisements and/or advertising hoardings erected on a verandah or projecting from a building wall are designed and located to allow for safe and convenient pedestrian access.	DTS/DPF 5.1 Advertisements have a minimum clearance of 2.5m between the top of the footpath and base of the underside of the sign.
PO 5.2	DTS/DPF 5.2

<p>Advertisements and/or advertising hoardings do not distract or create a hazard to drivers through excessive illumination.</p>	<p>No advertisement illumination is proposed.</p>
<p>PO 5.3 Advertisements and/or advertising hoardings do not create a hazard to drivers by:</p> <ul style="list-style-type: none"> <li>(a) being liable to interpretation by drivers as an official traffic sign or signal</li> <li>(b) obscuring or impairing drivers' view of official traffic signs or signals</li> <li>(c) obscuring or impairing drivers' view of features of a road that are potentially hazardous (such as junctions, bends, changes in width and traffic control devices) or other road or rail vehicles at/or approaching level crossings.</li> </ul>	<p>DTS/DPF 5.3 Advertisements satisfy all of the following:</p> <ul style="list-style-type: none"> <li>(a) are not located in a public road or rail reserve</li> <li>(b) are located wholly outside the land shown as 'Corner Cut-Off Area' in the following diagram</li> </ul>  <p>The diagram illustrates a corner cut-off area at the intersection of a road and an allotment. A dashed line represents the 'Allotment Boundary'. A shaded triangular area at the corner is labeled 'Corner Cut-Off Area'. Two dimensions of 4.5M are shown: one along the road edge and one along the allotment boundary edge. A dashed line below the road is labeled 'Road Reserve'.</p>
<p>PO 5.4 Advertisements and/or advertising hoardings do not create a hazard by distracting drivers from the primary driving task at a location where the demands on driver concentration are high.</p>	<p>DTS/DPF 5.4 Advertisements and/or advertising hoardings are not located along or adjacent to a road having a speed limit of 80km/h or more.</p>
<p>PO 5.5 Advertisements and/or advertising hoardings provide sufficient clearance from the road carriageway to allow for safe and convenient movement by all road users.</p>	<p>DTS/DPF 5.5 Where the advertisement or advertising hoarding is:</p> <ul style="list-style-type: none"> <li>(a) on a kerbed road with a speed zone of 60km/h or less, the advertisement or advertising hoarding is located at least 0.6m from the roadside edge of the kerb</li> <li>(b) on an unkerbed road with a speed zone of 60km/h or less, the advertisement or advertising hoarding is located at least 5.5m from the edge of the seal</li> <li>(c) on any other kerbed or unkerbed road, the advertisement or advertising hoarding is located a minimum of the following distance from the roadside edge of the kerb or the seal:             <ul style="list-style-type: none"> <li>(a) 110 km/h road - 14m</li> <li>(b) 100 km/h road - 13m</li> <li>(c) 90 km/h road - 10m</li> <li>(d) 70 or 80 km/h road - 8.5m.</li> </ul> </li> </ul>
<p>PO 5.6 Advertising near signalised intersections does not cause unreasonable distraction to road users through illumination, flashing lights, or moving or changing displays or messages.</p>	<p>DTS/DPF 5.6 Advertising:</p> <ul style="list-style-type: none"> <li>(a) is not illuminated</li> <li>(b) does not incorporate a moving or changing display or message</li> <li>(c) does not incorporate a flashing light(s).</li> </ul>

## Animal Keeping and Horse Keeping

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Animals are kept at a density that is not beyond the carrying capacity of the land and in a manner that minimises their adverse effects on the environment, local amenity and surrounding development.



Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
<b>Siting and Design</b>	
PO 1.1 Animal keeping, horse keeping and associated activities do not create adverse impacts on the environment or the amenity of the locality.	DTS/DPF 1.1 None are applicable.
PO 1.2 Animal keeping and horse keeping is located and managed to minimise the potential transmission of disease to other operations where animals are kept.	DTS/DPF 1.2 None are applicable.
<b>Horse Keeping</b>	
PO 2.1 Water from stable wash-down areas is directed to appropriate absorption areas and/or drainage pits to minimise pollution of land and water.	DTS/DPF 2.1 None are applicable.
PO 2.2 Stables, horse shelters or associated yards are sited appropriate distances away from sensitive receivers and/or allotments in other ownership to avoid adverse impacts from dust, erosion and odour.	DTS/DPF 2.2 Stables, horse shelters and associated yards are sited in accordance with all of the following:  (a) 30m or more from any sensitive receivers (existing or approved) on land in other ownership (b) where an adjacent allotment is vacant and in other ownership, 30m or more from the boundary of that allotment.
PO 2.3 All areas accessible to horses are separated from septic tank effluent disposal areas to protect the integrity of that system. Stable flooring is constructed with an impervious material to facilitate regular cleaning.	DTS/DPF 2.3 Septic tank effluent disposal areas are enclosed with a horse-proof barrier such as a fence to exclude horses from this area.
PO 2.4 To minimise environmental harm and adverse impacts on water resources, stables, horse shelters and associated yards are appropriately set back from a watercourse.	DTS/DPF 2.4 Stables, horse shelters and associated yards are set back 50m or more from a watercourse.
PO 2.5 Stables, horse shelters and associated yards are located on slopes that are stable to minimise the risk of soil erosion and water runoff.	DTS/DPF 2.5 Stables, horse shelters and associated yards are not located on land with a slope greater than 10% (1-in-10).
<b>Kennels</b>	
PO 3.1 Kennel flooring is constructed with an impervious material to facilitate regular cleaning.	DTS/DPF 3.1 The floors of kennels satisfy all of the following:  (a) are constructed of impervious concrete (b) are designed to be self-draining when washed down.
PO 3.2 Kennels and exercise yards are designed and sited to minimise noise nuisance to neighbours through measures such as:  (a) adopting appropriate separation distances (b) orientating openings away from sensitive receivers.	DTS/DPF 3.2 Kennels are sited 500m or more from the nearest sensitive receiver on land in other ownership.
PO 3.3 Dogs are regularly observed and managed to minimise nuisance impact on adjoining sensitive receivers from animal behaviour.	DTS/DPF 3.3 Kennels are sited in association with a permanent dwelling on the land.

Wastes	
PO 4.1 Storage of manure, used litter and other wastes (other than wastewater lagoons) is designed, constructed and managed to minimise attracting and harbouring vermin.	DTS/DPF 4.1 None are applicable.
PO 4.2 Facilities for the storage of manure, used litter and other wastes (other than wastewater lagoons) are located to minimise the potential for polluting water resources.	DTS/DPF 4.2 Waste storage facilities (other than wastewater lagoons) are located outside the 1% AEP flood event areas.

## Aquaculture

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Aquaculture facilities are developed in an ecologically, economically and socially sustainable manner to support an equitable sharing of marine, coastal and inland resources and mitigate conflict with other water-based and land-based uses.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Land-based Aquaculture	
PO 1.1 Land-based aquaculture and associated components are sited and designed to mitigate adverse impacts on nearby sensitive receivers.	DTS/DPF 1.1 Land-based aquaculture and associated components are located to satisfy all of the following:  (a) 200m or more from a sensitive receiver in other ownership (b) 500m or more from the boundary of a zone primarily intended to accommodate sensitive receivers  or  The development is the subject of an aquaculture lease and/or licence (as applicable) granted under the <i>Aquaculture Act 2001</i> .
PO 1.2 Land-based aquaculture and associated components are sited and designed to prevent surface flows from entering ponds in a 1% AEP sea flood level event.	DTS/DPF 1.2 None are applicable.
PO 1.3 Land-based aquaculture and associated components are sited and designed to prevent pond leakage that would pollute groundwater.	DTS/DPF 1.3 The development is the subject of an aquaculture lease and/or licence (as applicable) granted under the <i>Aquaculture Act 2001</i> .
PO 1.4 Land-based aquaculture and associated components are sited and designed to prevent farmed species escaping and entering into any waters.	DTS/DPF 1.4 The development is the subject of an aquaculture lease and/or licence (as applicable) granted under the <i>Aquaculture Act 2001</i> .
PO 1.5 Land-based aquaculture and associated components, including intake	DTS/DPF 1.5 None are applicable.

and discharge pipes, are designed to minimise the need to traverse sensitive areas to minimise impact on the natural environment.	
PO 1.6 Pipe inlets and outlets associated with land-based aquaculture are sited and designed to minimise the risk of disease transmission.	DTS/DPF 1.6 The development is the subject of an aquaculture lease and/or licence (as applicable) granted under the <i>Aquaculture Act 2001</i> .
PO 1.7 Storage areas associated with aquaculture activity are integrated with the use of the land and sited and designed to minimise their visual impact on the surrounding environment.	DTS/DPF 1.7 None are applicable.
<b>Marine Based Aquaculture</b>	
PO 2.1 Marine aquaculture is sited and designed to minimise its adverse impacts on sensitive ecological areas including:  (a) creeks and estuaries (b) wetlands (c) significant seagrass and mangrove communities (d) marine habitats and ecosystems.	DTS/DPF 2.1 None are applicable.
PO 2.2 Marine aquaculture is sited in areas with adequate water current to disperse sediments and dissolve particulate wastes to prevent the build-up of waste that may cause environmental harm.	DTS/DPF 2.2 The development is the subject of an aquaculture lease and/or licence (as applicable) granted under the <i>Aquaculture Act 2001</i> .
PO 2.3 Marine aquaculture is designed to not involve discharge of human waste on the site, on any adjacent land or into nearby waters.	DTS/DPF 2.3 The development does not include toilet facilities located over water.
PO 2.4 Marine aquaculture (other than inter-tidal aquaculture) is located an appropriate distance seaward of the high water mark.	DTS/DPF 2.4 Marine aquaculture development is located 100m or more seaward of the high water mark  or  The development is the subject of an aquaculture lease and/or licence (as applicable) granted under the <i>Aquaculture Act 2001</i> .
PO 2.5 Marine aquaculture is sited and designed to not obstruct or interfere with:  (a) areas of high public use (b) areas, including beaches, used for recreational activities such as swimming, fishing, skiing, sailing and other water sports (c) areas of outstanding visual or environmental value (d) areas of high tourism value (e) areas of important regional or state economic activity, including commercial ports, wharfs and jetties (f) the operation of infrastructure facilities including inlet and outlet pipes associated with the desalination of sea water.	DTS/DPF 2.5 None are applicable.
PO 2.6 Marine aquaculture is sited and designed to minimise interference and obstruction to the natural processes of the coastal and marine environment.	DTS/DPF 2.6 None are applicable.
PO 2.7 Marine aquaculture is designed to be as unobtrusive as practicable by incorporating measures such as:	DTS/DPF 2.7 None are applicable.



<p>(a) using feed hoppers painted in subdued colours and suspending them as close as possible to the surface of the water</p> <p>(b) positioning structures to protrude the minimum distance practicable above the surface of the water</p> <p>(c) avoiding the use of shelters and structures above cages and platforms unless necessary to exclude predators and protected species from interacting with the farming structures and/or stock inside the cages, or for safety reasons</p> <p>(d) positioning racks, floats and other farm structures in unobtrusive locations landward from the shoreline.</p>	
<p>PO 2.8</p> <p>Access, launching and maintenance facilities utilise existing established roads, tracks, ramps and paths to or from the sea where possible to minimise environmental and amenity impacts.</p>	<p>DTS/DPF 2.8</p> <p>The development utilises existing established roads, tracks, ramps and/or paths (as applicable) to access the sea.</p>
<p>PO 2.9</p> <p>Access, launching and maintenance facilities are developed as common user facilities and are co-located where practicable to mitigate adverse impacts on coastal areas.</p>	<p>DTS/DPF 2.9</p> <p>The development utilises existing established roads, tracks, ramps and/or paths (as applicable) to access the sea.</p>
<p>PO 2.10</p> <p>Marine aquaculture is sited to minimise potential impacts on, and to protect the integrity of, reserves under the <i>National Parks and Wildlife Act 1972</i>.</p>	<p>DTS/DPF 2.10</p> <p>Marine aquaculture is located 1000m or more seaward of the boundary of any reserve under the <i>National Parks and Wildlife Act 1972</i>.</p>
<p>PO 2.11</p> <p>Onshore storage, cooling and processing facilities do not impair the coastline and its visual amenity by:</p> <p>(a) being sited, designed, landscaped and of a scale to reduce the overall bulk and appearance of buildings and complement the coastal landscape</p> <p>(b) making provision for appropriately sited and designed vehicular access arrangements, including using existing vehicular access arrangements as far as practicable</p> <p>(c) incorporating appropriate waste treatment and disposal.</p>	<p>DTS/DPF 2.11</p> <p>The development does not include any onshore facilities in conjunction with a proposal for marine aquaculture.</p>
<b>Navigation and Safety</b>	
<p>PO 3.1</p> <p>Marine aquaculture sites are suitably marked to maintain navigational safety.</p>	<p>DTS/DPF 3.1</p> <p>The development is the subject of an aquaculture lease and/or licence (as applicable) granted under the <i>Aquaculture Act 2001</i>.</p>
<p>PO 3.2</p> <p>Marine aquaculture is sited to provide adequate separation between farms for safe navigation.</p>	<p>DTS/DPF 3.2</p> <p>The development is the subject of an aquaculture lease and/or licence (as applicable) granted under the <i>Aquaculture Act 2001</i>.</p>
<b>Environmental Management</b>	
<p>PO 4.1</p> <p>Marine aquaculture is maintained to prevent hazards to people and wildlife, including breeding grounds and habitats of native marine mammals and terrestrial fauna, especially migratory species.</p>	<p>DTS/DPF 4.1</p> <p>None are applicable.</p>
<p>PO 4.2</p> <p>Marine aquaculture is designed to facilitate the relocation or removal of structures in the case of emergency such as oil spills, algal blooms and altered water flows.</p>	<p>DTS/DPF 4.2</p> <p>None are applicable.</p>
<p>PO 4.3</p> <p>Marine aquaculture provides for progressive or future reclamation of disturbed areas ahead of, or upon, decommissioning.</p>	<p>DTS/DPF 4.3</p> <p>None are applicable.</p>
<p>PO 4.4</p>	<p>DTS/DPF 4.4</p>

Aquaculture operations incorporate measures for the removal and disposal of litter, disused material, shells, debris, detritus, dead animals and animal waste to prevent pollution of waters, wetlands, or the nearby coastline.	The development is the subject of an aquaculture lease and/or licence (as applicable) granted under the <i>Aquaculture Act 2001</i> .
--	---

## Beverage Production in Rural Areas

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Mitigation of potential amenity and environmental impacts of value-adding beverage production facilities such as wineries, distilleries, cideries and breweries.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Odour and Noise	
PO 1.1 Beverage production activities are designed and sited to minimise odour impacts on rural amenity.	DTS/DPF 1.1 None are applicable.
PO 1.2 Beverage production activities are designed and sited to minimise noise impacts on sensitive receivers.	DTS/DPF 1.2 None are applicable.
PO 1.3 Fermentation, distillation, manufacturing, storage, packaging and bottling activities occur within enclosed buildings to improve the visual appearance within a locality and manage noise associated with these activities.	DTS/DPF 1.3 None are applicable.
PO 1.4 Breweries are designed to minimise odours emitted during boiling and fermentation stages of production.	DTS/DPF 1.4 Brew kettles are fitted with a vapour condenser.
PO 1.5 Beverage production solid wastes are stored in a manner that minimises odour impacts on sensitive receivers in other ownership.	DTS/DPF 1.5 Solid waste from beverage production is collected and stored in sealed containers and removed from the site within 48 hours.
Water Quality	
PO 2.1 Beverage production wastewater management systems (including wastewater irrigation) are set back from watercourses to minimise adverse impacts on water resources.	DTS/DPF 2.1 Wastewater management systems are set back 50m or more from the banks of watercourses and bores.
PO 2.2 The storage or disposal of chemicals or hazardous substances is undertaken in a manner to prevent pollution of water resources.	DTS/DPF 2.2 None are applicable.
PO 2.3	DTS/DPF 2.3

Stormwater runoff from areas that may cause contamination due to beverage production activities (including vehicle movements and machinery operations) is drained to an onsite stormwater treatment system to manage potential environmental impacts.	None are applicable.
PO 2.4 Stormwater runoff from areas unlikely to cause contamination by beverage production and associated activities (such as roof catchments and clean hard-paved surfaces) is diverted away from beverage production areas and wastewater management systems.	DTS/DPF 2.4 None are applicable.
<b>Wastewater Irrigation</b>	
PO 3.1 Beverage production wastewater irrigation systems are designed and located to not contaminate soil and surface and ground water resources or damage crops.	DTS/DPF 3.1 None are applicable.
PO 3.2 Beverage production wastewater irrigation systems are designed and located to minimise impact on amenity and avoid spray drift onto adjoining land.	DTS/DPF 3.2 Beverage production wastewater is not irrigated within 50m of any dwelling in other ownership.
PO 3.3 Beverage production wastewater is not irrigated onto areas that pose an undue risk to the environment or amenity such as:  (a) waterlogged areas (b) land within 50m of a creek, swamp or domestic or stock water bore (c) land subject to flooding (d) steeply sloping land (e) rocky or highly permeable soil overlaying an unconfined aquifer.	DTS/DPF 3.3 None are applicable.

## Bulk Handling and Storage Facilities

### Assessment Provisions (AP)

Desired Outcome (DO)

<b>Desired Outcome</b>	
DO 1	Facilities for the bulk handling and storage of agricultural, mineral, petroleum, rock, ore or other similar commodities are designed to minimise adverse impacts on transport networks, the landscape and surrounding land uses.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

<b>Performance Outcome</b>	<b>Deemed-to-Satisfy Criteria / Designated Performance Feature</b>
<b>Siting and Design</b>	
PO 1.1 Bulk handling and storage facilities are sited and designed to minimise risks of adverse air quality and noise impacts on sensitive receivers.	DTS/DPF 1.1 Facilities for the handling, storage and dispatch of commodities in bulk (excluding processing) meet the following minimum separation distances from sensitive receivers:



	<ul style="list-style-type: none"> <li>(a) bulk handling of agricultural crop products, rock, ores, minerals, petroleum products or chemicals at a wharf or wharf side facility (including sea-port grain terminals), where the handling of these materials into or from vessels does not exceed 100 tonnes per day: 300m or more from residential premises not associated with the facility</li> <li>(b) bulk handling of agricultural crop products, rock, ores, minerals, petroleum products or chemicals to or from any commercial storage facility: 300m or more from residential premises not associated with the facility</li> <li>(c) bulk petroleum storage involving individual containers with a capacity up to 200 litres and a total on-site storage capacity not exceeding 1,000 cubic metres: 500m or more</li> <li>(d) coal handling with:                         <ul style="list-style-type: none"> <li>a. capacity up to 1 tonne per day or a storage capacity up to 50 tonnes: 500m or more</li> <li>b. capacity exceeding 1 tonne per day but not exceeding 100 tonnes per day or a storage capacity exceeding 50 tonnes but not exceeding 5000 tonnes: 1000m or more.</li> </ul> </li> </ul>
<b>Buffers and Landscaping</b>	
<p>PO 2.1</p> <p>Bulk handling and storage facilities incorporate a buffer area for the establishment of dense landscaping adjacent road frontages to enhance the appearance of land and buildings from public thoroughfares.</p>	<p>DTS/DPF 2.1</p> <p>None are applicable.</p>
<p>PO 2.2</p> <p>Bulk handling and storage facilities incorporate landscaping to assist with screening and dust filtration.</p>	<p>DTS/DPF 2.2</p> <p>None are applicable.</p>
<b>Access and Parking</b>	
<p>PO 3.1</p> <p>Roadways and vehicle parking areas associated with bulk handling and storage facilities are designed and surfaced to control dust emissions and prevent drag out of material from the site.</p>	<p>DTS/DPF 3.1</p> <p>Roadways and vehicle parking areas are sealed with an all-weather surface.</p>
<b>Slipways, Wharves and Pontoons</b>	
<p>PO 4.1</p> <p>Slipways, wharves and pontoons used for the handling of bulk materials (such as fuel, oil, catch, bait and the like) incorporate catchment devices to avoid the release of materials into adjacent waters.</p>	<p>DTS/DPF 4.1</p> <p>None are applicable.</p>

## Clearance from Overhead Powerlines

### Assessment Provisions (AP)

Desired Outcome (DO)

<b>Desired Outcome</b>	
DO 1	Protection of human health and safety when undertaking development in the vicinity of overhead transmission powerlines.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

<b>Performance Outcome</b>	<b>Deemed-to-Satisfy Criteria / Designated Performance Feature</b>
PO 1.1	DTS/DPF 1.1

Buildings are adequately separated from aboveground powerlines to minimise potential hazard to people and property.	<p>One of the following is satisfied:</p> <p>(a) a declaration is provided by or on behalf of the applicant to the effect that the proposal would not be contrary to the regulations prescribed for the purposes of section 86 of the <i>Electricity Act 1996</i></p> <p>(b) there are no aboveground powerlines adjoining the site that are the subject of the proposed development.</p>
---	---

## Design

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	<p>Development is:</p> <p>(a) contextual - by considering, recognising and carefully responding to its natural surroundings or built environment and positively contributes to the character of the immediate area</p> <p>(b) durable - fit for purpose, adaptable and long lasting</p> <p>(c) inclusive - by integrating landscape design to optimise pedestrian and cyclist usability, privacy and equitable access, and promoting the provision of quality spaces integrated with the public realm that can be used for access and recreation and help optimise security and safety both internally and within the public realm, for occupants and visitors</p> <p>(d) sustainable - by integrating sustainable techniques into the design and siting of development and landscaping to improve community health, urban heat, water management, environmental performance, biodiversity and local amenity and to minimise energy consumption.</p>

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
All development	
External Appearance	
PO 1.1 Buildings reinforce corners through changes in setback, articulation, materials, colour and massing (including height, width, bulk, roof form and slope).	DTS/DPF 1.1 None are applicable.
PO 1.2 Where zero or minor setbacks are desirable, development provides shelter over footpaths ( <u>in the form of verandahs, awnings, canopies and the like, with adequate lighting</u> ) to positively contribute to the walkability, comfort and safety of the public realm.	DTS/DPF 1.2 None are applicable.
PO 1.3 Building elevations facing the primary street (other than ancillary buildings) are designed and detailed to convey purpose, identify main access points and complement the streetscape.	DTS/DPF 1.3 None are applicable.
PO 1.4 Plant, exhaust and intake vents and other technical equipment is integrated into the building design to minimise visibility from the public realm and negative impacts on residential amenity by: <p>(a) positioning plant and equipment in unobtrusive locations viewed from public roads and spaces</p>	DTS/DPF 1.4 Development does not incorporate any structures that protrude beyond the roofline.

<p>(b) screening rooftop plant and equipment from view</p> <p>(c) when located on the roof of non-residential development, locating the plant and equipment as far as practicable from adjacent sensitive land uses.</p>	
<p>PO 1.5</p> <p>The negative visual impact of outdoor storage, waste management, loading and service areas is minimised by integrating them into the building design and screening them from public view (such as fencing, landscaping and built form) taking into account the form of development contemplated in the relevant zone.</p>	<p>DTS/DPF 1.5</p> <p>None are applicable.</p>
<b>Safety</b>	
<p>PO 2.1</p> <p>Development maximises opportunities for passive surveillance of the public realm by providing clear lines of sight, appropriate lighting and the use of visually permeable screening wherever practicable.</p>	<p>DTS/DPF 2.1</p> <p>None are applicable.</p>
<p>PO 2.2</p> <p>Development is designed to differentiate public, communal and private areas.</p>	<p>DTS/DPF 2.2</p> <p>None are applicable.</p>
<p>PO 2.3</p> <p>Buildings are designed with safe, perceptible and direct access from public street frontages and vehicle parking areas.</p>	<p>DTS/DPF 2.3</p> <p>None are applicable.</p>
<p>PO 2.4</p> <p>Development at street level is designed to maximise opportunities for passive surveillance of the adjacent public realm.</p>	<p>DTS/DPF 2.4</p> <p>None are applicable.</p>
<p>PO 2.5</p> <p>Common areas and entry points of buildings (such as the foyer areas of residential buildings), and non-residential land uses at street level, maximise passive surveillance from the public realm to the inside of the building at night.</p>	<p>DTS/DPF 2.5</p> <p>None are applicable.</p>
<b>Landscaping</b>	
<p>PO 3.1</p> <p>Soft landscaping and tree planting is incorporated to:</p> <ul style="list-style-type: none"> <li>(a) minimise heat absorption and reflection</li> <li>(b) maximise shade and shelter</li> <li>(c) maximise stormwater infiltration</li> <li>(d) enhance the appearance of land and streetscapes</li> <li>(e) contribute to biodiversity.</li> </ul>	<p>DTS/DPF 3.1</p> <p>None are applicable.</p>
<p>PO 3.2</p> <p>Soft landscaping and tree planting maximises the use of locally indigenous plant species, incorporates plant species best suited to current and future climate conditions and avoids pest plant and weed species.</p>	<p>DTS/DPF 3.2</p> <p>None are applicable.</p>
<b>Environmental Performance</b>	
<p>PO 4.1</p> <p>Buildings are sited, oriented and designed to maximise natural sunlight access and ventilation to main activity areas, habitable rooms, common areas and open spaces.</p>	<p>DTS/DPF 4.1</p> <p>None are applicable.</p>
<p>PO 4.2</p> <p>Buildings are sited and designed to maximise passive environmental performance and minimise energy consumption and reliance on</p>	<p>DTS/DPF 4.2</p> <p>None are applicable.</p>



mechanical systems, such as heating and cooling.	
PO 4.3 Buildings incorporate climate-responsive techniques and features such as building and window orientation, use of eaves, verandahs and shading structures, water harvesting, at ground landscaping, green walls, green roofs and photovoltaic cells.	DTS/DPF 4.3 None are applicable.
Water Sensitive Design	
PO 5.1 Development is sited and designed to maintain natural hydrological systems without negatively impacting:  (a) the quantity and quality of surface water and groundwater (b) the depth and directional flow of surface water and groundwater (c) the quality and function of natural springs.	DTS/DPF 5.1 None are applicable.
On-site Waste Treatment Systems	
PO 6.1 Dedicated on-site effluent disposal areas do not include any areas to be used for, or could be reasonably foreseen to be used for, private open space, driveways or car parking.	DTS/DPF 6.1 Effluent disposal drainage areas do not:  (a) encroach within an area used as private open space or result in less private open space than that specified in Design Table 1 - Private Open Space (b) use an area also used as a driveway (c) encroach within an area used for on-site car parking or result in less on-site car parking than that specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas.
Carparking Appearance	
PO 7.1 Development facing the street is designed to minimise the negative impacts of any semi-basement and undercroft car parking on the streetscapes through techniques such as:  (a) limiting protrusion above finished ground level (b) screening through appropriate planting, fencing and mounding (c) limiting the width of openings and integrating them into the building structure.	DTS/DPF 7.1 None are applicable.
PO 7.2 Vehicle parking areas are appropriately located, designed and constructed to minimise impacts on adjacent sensitive receivers through measures such as ensuring they are attractively developed and landscaped, screen fenced and the like.	DTS/DPF 7.2 None are applicable.
PO 7.3 Safe, legible, direct and accessible pedestrian connections are provided between parking areas and the development.	DTS/DPF 7.3 None are applicable.
PO 7.4 Street level vehicle parking areas incorporate tree planting to provide shade and reduce solar heat absorption and reflection.	DTS/DPF 7.4 None are applicable.
PO 7.5 Street level parking areas incorporate soft landscaping to improve visual appearance when viewed from within the site and from public places.	DTS/DPF 7.5 None are applicable.

PO 7.6 Vehicle parking areas and associated driveways are landscaped to provide shade and positively contribute to amenity.	DTS/DPF 7.6 None are applicable.
PO 7.7 Vehicle parking areas and access ways incorporate integrated stormwater management techniques such as permeable or porous surfaces, infiltration systems, drainage swales or rain gardens that integrate with soft landscaping.	DTS/DPF 7.7 None are applicable.
<b>Earthworks and sloping land</b>	
PO 8.1 Development, including any associated driveways and access tracks, minimises the need for earthworks to limit disturbance to natural topography.	DTS/DPF 8.1 Development does not involve any of the following:  (a) excavation exceeding a vertical height of 1m  (b) filling exceeding a vertical height of 1m  (c) a total combined excavation and filling vertical height of 2m or more.
PO 8.2 Driveways and access tracks are designed and constructed to allow safe and convenient access on sloping land (with a gradient exceeding 1 in 8).	DTS/DPF 8.2 Driveways and access tracks on sloping land (with a gradient exceeding 1 in 8) satisfy (a) and (b):  (a) do not have a gradient exceeding 25% (1-in-4) at any point along the driveway  (b) are constructed with an all-weather trafficable surface.
PO 8.3 Driveways and access tracks on sloping land (with a gradient exceeding 1 in 8):  (a) do not contribute to the instability of embankments and cuttings (b) provide level transition areas for the safe movement of people and goods to and from the development (c) are designed to integrate with the natural topography of the land.	DTS/DPF 8.3 None are applicable.
PO 8.4 Development on sloping land (with a gradient exceeding 1 in 8) avoids the alteration of natural drainage lines and includes on-site drainage systems to minimise erosion.	DTS/DPF 8.4 None are applicable.
PO 8.5 Development does not occur on land at risk of landslip nor increases the potential for landslip or land surface instability.	DTS/DPF 8.5 None are applicable.
<b>Fences and Walls</b>	
PO 9.1 Fences, walls and retaining walls are of sufficient height to maintain privacy and security without unreasonably impacting the visual amenity and adjoining land's access to sunlight or the amenity of public places.	DTS/DPF 9.1 None are applicable.
PO 9.2 Landscaping incorporated on the low side of retaining walls is visible from public roads and public open space to minimise visual impacts.	DTS/DPF 9.2 A vegetated landscaped strip 1m wide or more is provided against the low side of a retaining wall.
<b>Overlooking / Visual Privacy (in building 3 storeys or less)</b>	
PO 10.1 Development mitigates direct overlooking from upper level windows to	DTS/DPF 10.1 Upper level windows facing side or rear boundaries shared with a

<p>habitable rooms and private open spaces of adjoining residential uses.</p>	<p>residential allotment/site satisfy one of the following:</p> <ul style="list-style-type: none"> <li>(a) are permanently obscured to a height of 1.5m above finished floor level and are fixed or not capable of being opened more than 200mm</li> <li>(b) have sill heights greater than or equal to 1.5m above finished floor level</li> <li>(c) incorporate screening with a maximum of 25% openings, permanently fixed no more than 500mm from the window surface and sited adjacent to any part of the window less than 1.5 m above the finished floor level.</li> </ul>
<p>PO 10.2 Development mitigates direct overlooking from balconies, terraces and decks to habitable rooms and private open space of adjoining residential uses.</p>	<p>DTS/DPF 10.2 One of the following is satisfied:</p> <ul style="list-style-type: none"> <li>(a) the longest side of the balcony or terrace will face a public road, public road reserve or public reserve that is at least 15m wide in all places faced by the balcony or terrace or</li> <li>(b) all sides of balconies or terraces on upper building levels are permanently obscured by screening with a maximum 25% transparency/openings fixed to a minimum height of: <ul style="list-style-type: none"> <li>(i) 1.5m above finished floor level where the balcony is located at least 15 metres from the nearest habitable window of a dwelling on adjacent land or</li> <li>(ii) 1.7m above finished floor level in all other cases</li> </ul> </li> </ul>
<p>All Residential development</p>	
<p>Front elevations and passive surveillance</p>	
<p>PO 11.1 Dwellings incorporate windows along primary street frontages to encourage passive surveillance and make a positive contribution to the streetscape.</p>	<p>DTS/DPF 11.1 Each dwelling with a frontage to a public street:</p> <ul style="list-style-type: none"> <li>(a) includes at least one window facing the primary street from a habitable room that has a minimum internal room dimension of 2.4m</li> <li>(b) has an aggregate window area of at least 2m<sup>2</sup> facing the primary street.</li> </ul>
<p>PO 11.2 Dwellings incorporate entry doors within street frontages to address the street and provide a legible entry point for visitors.</p>	<p>DTS/DPF 11.2 Dwellings with a frontage to a public street have an entry door visible from the primary street boundary.</p>
<p>Outlook and amenity</p>	
<p>PO 12.1 Living rooms have an external outlook to provide a high standard of amenity for occupants.</p>	<p>DTS/DPF 12.1 A living room of a dwelling incorporates a window with an outlook towards the street frontage or private open space, public open space, or waterfront areas.</p>
<p>PO 12.2 Bedrooms are separated or shielded from active communal recreation areas, common access areas and vehicle parking areas and access ways to mitigate noise and artificial light intrusion.</p>	<p>DTS/DPF 12.2 None are applicable.</p>
<p>Ancillary Development</p>	
<p>PO 13.1 Residential ancillary buildings and structures are sited and designed to not detract from the streetscape or appearance of buildings on the site or neighbouring properties.</p>	<p>DTS/DPF 13.1 Ancillary buildings:</p> <ul style="list-style-type: none"> <li>(a) are ancillary to a dwelling erected on the same site</li> <li>(b) have a floor area not exceeding 60m<sup>2</sup></li> <li>(c) are not constructed, added to or altered so that any part is situated:</li> </ul>



- (i) in front of any part of the building line of the dwelling to which it is ancillary or
  - (ii) within 900mm of a boundary of the allotment with a secondary street (if the land has boundaries on two or more roads)
- (d) in the case of a garage or carport, the garage or carport:
- (i) is set back at least 5.5m from the boundary of the primary street
  - (ii) when facing a primary street or secondary street, has a total door / opening not exceeding:
    - A. for dwellings of single building level - 7m in width or 50% of the site frontage, whichever is the lesser
    - B. for dwellings comprising two or more building levels at the building line fronting the same public street - 7m in width
- (e) if situated on a boundary (not being a boundary with a primary street or secondary street), do not exceed a length of 11.5m unless:
- (i) a longer wall or structure exists on the adjacent site and is situated on the same allotment boundary and
  - (ii) the proposed wall or structure will be built along the same length of boundary as the existing adjacent wall or structure to the same or lesser extent
- (f) if situated on a boundary of the allotment (not being a boundary with a primary street or secondary street), all walls or structures on the boundary will not exceed 45% of the length of that boundary
- (g) will not be located within 3m of any other wall along the same boundary unless on an adjacent site on that boundary there is an existing wall of a building that would be adjacent to or about the proposed wall or structure
- (h) have a wall height or post height not exceeding 3m above natural ground level (and not including a gable end)
- (i) have a roof height where no part of the roof is more than 5m above the natural ground level
- (j) if clad in sheet metal, is pre-colour treated or painted in a non-reflective colour
- (k) retains a total area of soft landscaping in accordance with (i) or (ii), whichever is less:
- (i) a total area as determined by the following table:
- | Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m <sup>2</sup> ) | Minimum percentage of site |
|--|----------------------------|
| <150   | 10%                        |
| 150-200  | 15%                        |
| 201-450  | 20%                        |
| >450   | 25%                        |
- (ii) the amount of existing soft landscaping prior to the development occurring.
- (l) in relation to ancillary accommodation in the Rural Zone, Productive Rural Landscape Zone, or Rural Horticulture Zone, is located within 20m of an existing dwelling.

<p>Ancillary buildings and structures do not impede on-site functional requirements such as private open space provision or car parking requirements and do not result in over-development of the site.</p>	<p>Ancillary buildings and structures do not result in:</p> <ul style="list-style-type: none"> <li>(a) less private open space than specified in Design in Urban Areas Table 1 - Private Open Space</li> <li>(b) less on-site car parking than specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas.</li> </ul>
---	--

<p>PO 13.3 Fixed plant and equipment in the form of pumps and/or filtration systems for a swimming pool or spa is positioned and/or housed to not cause unreasonable noise nuisance to adjacent sensitive receivers.</p>	<p>DTS/DPF 13.3 The pump and/or filtration system is ancillary to a dwelling erected on the same site and is:</p> <ul style="list-style-type: none"> <li>(a) enclosed in a solid acoustic structure that is located at least 5m from the nearest habitable room located on an adjoining allotment or</li> <li>(b) located at least 12m from the nearest habitable room located on an adjoining allotment.</li> </ul>
--	--

<p>PO 13.4 Buildings and structures that are ancillary to an existing non-residential use do not detract from the streetscape character, appearance of buildings on the site of the development, or the amenity of neighbouring properties.</p>	<p>DTS/DPF 13.4 Non-residential ancillary buildings and structures:</p> <ul style="list-style-type: none"> <li>(a) are ancillary and subordinate to an existing non-residential use on the same site</li> <li>(b) have a floor area not exceeding the following: <table border="1" data-bbox="906 869 1206 963"> <thead> <tr> <th>Allotment size</th> <th>Floor area</th> </tr> </thead> <tbody> <tr> <td>≤500m<sup>2</sup></td> <td>60m<sup>2</sup></td> </tr> <tr> <td>&gt;500m<sup>2</sup></td> <td>80m<sup>2</sup></td> </tr> </tbody> </table> </li> <li>(c) are not constructed, added to or altered so that any part is situated: <ul style="list-style-type: none"> <li>(i) in front of any part of the building line of the main building to which it is ancillary or</li> <li>(ii) within 900mm of a boundary of the allotment with a secondary street (if the land has boundaries on two or more roads)</li> </ul> </li> <li>(d) in the case of a garage or carport, the garage or carport: <ul style="list-style-type: none"> <li>(i) is set back at least 5.5m from the boundary of the primary street</li> </ul> </li> <li>(e) if situated on a boundary (not being a boundary with a primary street or secondary street), do not exceed a length of 11.5m unless: <ul style="list-style-type: none"> <li>(i) a longer wall or structure exists on the adjacent site and is situated on the same allotment boundary</li> <li>(ii) the proposed wall or structure will be built along the same length of boundary as the existing adjacent wall or structure to the same or lesser extent</li> </ul> </li> <li>(f) if situated on a boundary of the allotment (not being a boundary with a primary street or secondary street), all walls or structures on the boundary will not exceed 45% of the length of that boundary</li> <li>(g) will not be located within 3m of any other wall along the same boundary unless on an adjacent site on that boundary there is an existing wall of a building that would be adjacent to or about the proposed wall or structure</li> <li>(h) have a wall height (or post height) not exceeding 3m (and not including a gable end)</li> <li>(i) have a roof height where no part of the roof is more than 5m above the natural ground level</li> <li>(j) if clad in sheet metal, is pre-colour treated or painted in a non-reflective colour.</li> </ul>	Allotment size	Floor area	≤500m <sup>2</sup>	60m <sup>2</sup>	>500m <sup>2</sup>	80m <sup>2</sup>
Allotment size	Floor area						
≤500m <sup>2</sup>	60m <sup>2</sup>						
>500m <sup>2</sup>	80m <sup>2</sup>						

Garage appearance

<p>PO 14.1</p>	<p>DTS/DPF 14.1</p>
----------------	---------------------

<p>Garaging is designed to not detract from the streetscape or appearance of a dwelling.</p>	<p>Garages and carports facing a street:</p> <ul style="list-style-type: none"> <li>(a) are situated so that no part of the garage or carport is in front of any part of the building line of the dwelling</li> <li>(b) are set back at least 5.5m from the boundary of the primary street</li> <li>(c) have a garage door / opening not exceeding 7m in width</li> <li>(d) have a garage door /opening width not exceeding 50% of the site frontage unless the dwelling has two or more building levels at the building line fronting the same public street.</li> </ul>
--	---

**Massing**

<p>PO 15.1 The visual mass of larger buildings is reduced when viewed from adjoining allotments or public streets.</p>	<p>DTS/DPF 15.1 None are applicable</p>
--	---

**Dwelling additions**

<p>PO 16.1 Dwelling additions are sited and designed to not detract from the streetscape or amenity of adjoining properties and do not impede on-site functional requirements.</p>	<p>DTS / DPF 16.1 Dwelling additions:</p> <ul style="list-style-type: none"> <li>(a) are not constructed, added to or altered so that any part is situated closer to a public street</li> <li>(b) do not result in:             <ul style="list-style-type: none"> <li>(i) excavation exceeding a vertical height of 1m</li> <li>(ii) filling exceeding a vertical height of 1m</li> <li>(iii) a total combined excavation and filling vertical height of 2m or more</li> <li>(iv) less Private Open Space than specified in Design Table 1 - Private Open Space</li> <li>(v) less on-site parking than specified in Transport Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas</li> <li>(vi) upper level windows facing side or rear boundaries unless:                 <ul style="list-style-type: none"> <li>A. they are permanently obscured to a height of 1.5m above finished floor level that is fixed or not capable of being opened more than 200mm</li> <li>or</li> <li>B. have sill heights greater than or equal to 1.5m above finished floor level</li> <li>or</li> <li>C. incorporate screening to a height of 1.5m above finished floor level</li> </ul> </li> <li>(vii) all sides of balconies or terraces on upper building levels are permanently obscured by screening with a maximum 25% transparency/openings fixed to a minimum height of:                 <ul style="list-style-type: none"> <li>A. 1.5m above finished floor level where the balcony is located at least 15 metres from the nearest habitable window of a dwelling on adjacent land</li> <li>B. 1.7m above finished floor level in all other cases.</li> </ul> </li> </ul> </li> </ul>
--	---

**Private Open Space**

<p>PO 17.1 Dwellings are provided with suitable sized areas of usable private open space to meet the needs of occupants.</p>	<p>DTS/DPF 17.1 Private open space is provided in accordance with Design Table 1 - Private Open Space.</p>
--	--

**Water Sensitive Design**



<p>PO 18.1</p> <p>Residential development creating a common driveway / access includes stormwater management systems that minimise the discharge of sediment, suspended solids, organic matter, nutrients, bacteria, litter and other contaminants to the stormwater system, watercourses or other water bodies.</p>	<p>DTS/DPF 18.1</p> <p>Residential development creating a common driveway / access that services 5 or more dwellings achieves the following stormwater runoff outcomes:</p> <ul style="list-style-type: none"> <li>(a) 80 per cent reduction in average annual total suspended solids</li> <li>(b) 60 per cent reduction in average annual total phosphorus</li> <li>(c) 45 per cent reduction in average annual total nitrogen.</li> </ul>
<p>PO 18.2</p> <p>Residential development creating a common driveway / access includes a stormwater management system designed to mitigate peak flows and manage the rate and duration of stormwater discharges from the site to ensure that the development does not increase the peak flows in downstream systems.</p>	<p>DTS/DPF 18.2</p> <p>Development creating a common driveway / access that services 5 or more dwellings:</p> <ul style="list-style-type: none"> <li>(a) maintains the pre-development peak flow rate from the site based upon a 0.35 runoff coefficient for the 18.1% AEP 30-minute storm and the stormwater runoff time to peak is not increased or captures and retains the difference in pre-development runoff volume (based upon a 0.35 runoff coefficient) vs post development runoff volume from the site for an 18.1% AEP 30-minute storm; and</li> <li>(b) manages site generated stormwater runoff up to and including the 1% AEP flood event to avoid flooding of buildings.</li> </ul>
<p>Car parking, access and manoeuvrability</p>	
<p>PO 19.1</p> <p>Enclosed parking spaces are of a size and dimensions to be functional, accessible and convenient.</p>	<p>DTS/DPF 19.1</p> <p>Residential car parking spaces enclosed by fencing, walls or other structures have the following internal dimensions (separate from any waste storage area):</p> <ul style="list-style-type: none"> <li>(a) single width car parking spaces: <ul style="list-style-type: none"> <li>(i) a minimum length of 5.4m per space</li> <li>(ii) a minimum width of 3.0m</li> <li>(iii) a minimum garage door width of 2.4m</li> </ul> </li> <li>(b) double width car parking spaces (side by side): <ul style="list-style-type: none"> <li>(i) a minimum length of 5.4m</li> <li>(ii) a minimum width of 5.4m</li> <li>(iii) minimum garage door width of 2.4m per space.</li> </ul> </li> </ul>
<p>PO 19.2</p> <p>Uncovered parking spaces are of a size and dimensions to be functional, accessible and convenient.</p>	<p>DTS/DPF 19.2</p> <p>Uncovered car parking spaces have:</p> <ul style="list-style-type: none"> <li>(a) a minimum length of 5.4m</li> <li>(b) a minimum width of 2.4m</li> <li>(c) a minimum width between the centre line of the space and any fence, wall or other obstruction of 1.5m</li> </ul>
<p>PO 19.3</p> <p>Driveways and access points are located and designed to facilitate safe access and egress while maximising land available for street tree planting, pedestrian movement, domestic waste collection, landscaped street frontages and on-street parking.</p>	<p>DTS/DPF 19.3</p> <p>Driveways and access points on sites with a frontage to a public road of 10m or less have a width between 3.0 and 3.2 metres measured at the property boundary and are the only access point provided on the site.</p>
<p>PO 19.4</p> <p>Vehicle access is safe, convenient, minimises interruption to the operation of public roads and does not interfere with street infrastructure or street trees.</p>	<p>DTS/DPF 19.4</p> <p>Vehicle access to designated car parking spaces satisfy (a) or (b):</p> <ul style="list-style-type: none"> <li>(a) is provided via a lawfully existing or authorised access point or an access point for which consent has been granted as part of an application for the division of land</li> <li>(b) where newly proposed:</li> </ul>

- (i) is set back 6m or more from the tangent point of an intersection of 2 or more roads
- (ii) is set back outside of the marked lines or infrastructure dedicating a pedestrian crossing
- (iii) does not involve the removal, relocation or damage to of mature street trees, street furniture or utility infrastructure services.

PO 19.5  
 Driveways are designed to enable safe and convenient vehicle movements from the public road to on-site parking spaces.

DTS/DPF 19.5  
 Driveways are designed and sited so that:

- (a) the gradient of the driveway does not exceed a grade of 1 in 4 and includes transitions to ensure a maximum grade change of 12.5% (1 in 8) for summit changes, and 15% (1 in 6.7) for sag changes, in accordance with AS 2890.1:2004 to prevent vehicles bottoming or scraping
- (b) the centreline of the driveway has an angle of no less than 70 degrees and no more than 110 degrees from the street boundary to which it takes its access as shown in the following diagram:

- (c) if located to provide access from an alley, lane or right of way - the alley, land or right of way is at least 6.2m wide along the boundary of the allotment / site

PO 19.6  
 Driveways and access points are designed and distributed to optimise the provision of on-street visitor parking.

DTS/DPF 19.6  
 Where on-street parking is available abutting the site's street frontage, on-street parking is retained in accordance with the following requirements:

- (a) minimum 0.33 on-street spaces per dwelling on the site (rounded up to the nearest whole number)
- (b) minimum car park length of 5.4m where a vehicle can enter or exit a space directly
- (c) minimum carpark length of 6m for an intermediate space located between two other parking spaces or to an end obstruction where the parking is indented.

Waste storage

PO 20.1

DTS/DPF 20.1

Provision is made for the adequate and convenient storage of waste bins in a location screened from public view.	None are applicable.
--	----------------------

**Design of Transportable Dwellings**

PO 21.1 The sub-floor space beneath transportable buildings is enclosed to give the appearance of a permanent structure.	DTS/DPF 21.1 Buildings satisfy (a) or (b):  (a) are not transportable or (b) the sub-floor space between the building and ground level is clad in a material and finish consistent with the building.
---	--

**Group dwelling, residential flat buildings and battle-axe development**

**Amenity**

PO 22.1 Dwellings are of a suitable size to accommodate a layout that is well organised and provides a high standard of amenity for occupants.	DTS/DPF 22.1 Dwellings have a minimum internal floor area in accordance with the following table:										
	<table border="1"> <thead> <tr> <th>Number of bedrooms</th> <th>Minimum internal floor area</th> </tr> </thead> <tbody> <tr> <td>Studio</td> <td>35m<sup>2</sup></td> </tr> <tr> <td>1 bedroom</td> <td>50m<sup>2</sup></td> </tr> <tr> <td>2 bedroom</td> <td>65m<sup>2</sup></td> </tr> <tr> <td>3+ bedrooms</td> <td>80m<sup>2</sup> and any dwelling over 3 bedrooms provides an additional 15m<sup>2</sup> for every additional bedroom</td> </tr> </tbody> </table>	Number of bedrooms	Minimum internal floor area	Studio	35m <sup>2</sup>	1 bedroom	50m <sup>2</sup>	2 bedroom	65m <sup>2</sup>	3+ bedrooms	80m <sup>2</sup> and any dwelling over 3 bedrooms provides an additional 15m <sup>2</sup> for every additional bedroom
Number of bedrooms	Minimum internal floor area										
Studio	35m <sup>2</sup>										
1 bedroom	50m <sup>2</sup>										
2 bedroom	65m <sup>2</sup>										
3+ bedrooms	80m <sup>2</sup> and any dwelling over 3 bedrooms provides an additional 15m <sup>2</sup> for every additional bedroom										

PO 22.2 The orientation and siting of buildings minimises impacts on the amenity, outlook and privacy of occupants and neighbours.	DTS/DPF 22.2 None are applicable.
---	--------------------------------------

PO 22.3 Development maximises the number of dwellings that face public open space and public streets and limits dwellings oriented towards adjoining properties.	DTS/DPF 22.3 None are applicable.
---	--------------------------------------

PO 22.4 Battle-axe development is appropriately sited and designed to respond to the existing neighbourhood context.	DTS/DPF 22.4 Dwelling sites/allotments are not in the form of a battle-axe arrangement.
---	--

**Communal Open Space**

PO 23.1 Private open space provision may be substituted for communal open space which is designed and sited to meet the recreation and amenity needs of residents.	DTS/DPF 23.1 None are applicable.
---	--------------------------------------

PO 23.2 Communal open space is of sufficient size and dimensions to cater for group recreation.	DTS/DPF 23.2 Communal open space incorporates a minimum dimension of 5 metres.
--	---

PO 23.3 Communal open space is designed and sited to:  (a) be conveniently accessed by the dwellings which it services (b) have regard to acoustic, safety, security and wind effects.	DTS/DPF 23.3 None are applicable.
--	--------------------------------------



PO 23.4 Communal open space contains landscaping and facilities that are functional, attractive and encourage recreational use.	DTS/DPF 23.4 None are applicable.
PO 23.5 Communal open space is designed and sited to:  (a) in relation to rooftop or elevated gardens, minimise overlooking into habitable room windows or onto the useable private open space of other dwellings (b) in relation to ground floor communal space, be overlooked by habitable rooms to facilitate passive surveillance.	DTS/DPF 23.5 None are applicable.
<b>Carparking, access and manoeuvrability</b>	
PO 24.1 Driveways and access points are designed and distributed to optimise the provision of on-street visitor parking.	DTS/DPF 24.1 Where on-street parking is available directly adjacent the site, on-street parking is retained adjacent the subject site in accordance with the following requirements:  (a) minimum 0.33 on-street car parks per proposed dwellings (rounded up to the nearest whole number) (b) minimum car park length of 5.4m where a vehicle can enter or exit a space directly (c) minimum carpark length of 6m for an intermediate space located between two other parking spaces or to an end obstruction where the parking is indented.
PO 24.2 The number of vehicular access points onto public roads is minimised to reduce interruption of the footpath and positively contribute to public safety and walkability.	DTS/DPF 24.2 Access to group dwellings or dwellings within a residential flat building is provided via a single common driveway.
PO 24.3 Residential driveways that service more than one dwelling are designed to allow safe and convenient movement.	DTS/DPF 24.3 Driveways that service more than 1 dwelling or a dwelling on a battle-axe site:  (a) have a minimum width of 3m (b) for driveways servicing more than 3 dwellings: (i) have a width of 5.5m or more and a length of 6m or more at the kerb of the primary street (ii) where the driveway length exceeds 30m, incorporate a passing point at least every 30 metres with a minimum width of 5.5m and a minimum length of 6m.
PO 24.4 Residential driveways in a battle-axe configuration are designed to allow safe and convenient movement.	DTS/DPF 24.4 Where in a battle-axe configuration, a driveway servicing one dwelling has a minimum width of 3m.
PO 24.5 Residential driveways that service more than one dwelling are designed to allow passenger vehicles to enter and exit the site and manoeuvre within the site in a safe and convenient manner.	DTS/DPF 24.5 Driveways providing access to more than one dwelling, or a dwelling on a battle-axe site, allow a B85 passenger vehicle to enter and exit the garages or parking spaces in no more than a three-point turn manoeuvre.
PO 24.6 Dwellings are adequately separated from common driveways and manoeuvring areas.	DTS/DPF 24.6 Dwelling walls with entry doors or ground level habitable room windows are set back at least 1.5m from any driveway or area designated for the movement and manoeuvring of vehicles.
<b>Soft Landscaping</b>	
PO 25.1 Soft landscaping is provided between dwellings and common driveways to improve the outlook for occupants and appearance of common	DTS/DPF 25.1 Other than where located directly in front of a garage or a building entry, soft landscaping with a minimum dimension of 1m is provided

areas.	between a dwelling and common driveway.
PO 25.2 Soft landscaping is provided that improves the appearance of common driveways.	DTS/DPF 25.2 Where a common driveway is located directly adjacent the side or rear boundary of the site, soft landscaping with a minimum dimension of 1m is provided between the driveway and site boundary (excluding along the perimeter of a passing point).
Site Facilities / Waste Storage	
PO 26.1 Provision is made for suitable mailbox facilities close to the major pedestrian entry to the site or conveniently located considering the nature of accommodation and mobility of occupants.	DTS/DPF 26.1 None are applicable.
PO 26.2 Provision is made for suitable external clothes drying facilities.	DTS/DPF 26.2 None are applicable.
PO 26.3 Provision is made for suitable household waste and recyclable material storage facilities which are:  (a) located away, or screened, from public view, and (b) conveniently located in proximity to dwellings and the waste collection point.	DTS/DPF 26.3 None are applicable.
PO 26.4 Waste and recyclable material storage areas are located away from dwellings.	DTS/DPF 26.4 Dedicated waste and recyclable material storage areas are located at least 3m from any habitable room window.
PO 26.5 Where waste bins cannot be conveniently collected from the street, provision is made for on-site waste collection, designed to accommodate the safe and convenient access, egress and movement of waste collection vehicles.	DTS/DPF 26.5 None are applicable.
PO 26.6 Services including gas and water meters are conveniently located and screened from public view.	DTS/DPF 26.6 None are applicable.
Supported accommodation and retirement facilities	
Siting and Configuration	
PO 27.1 Supported accommodation and housing for aged persons and people with disabilities is located where on-site movement of residents is not unduly restricted by the slope of the land.	DTS/DPF 27.1 None are applicable.
Movement and Access	
PO 28.1 Development is designed to support safe and convenient access and movement for residents by providing:  (a) ground-level access or lifted access to all units (b) level entry porches, ramps, paths, driveways, passenger loading areas and areas adjacent to footpaths that allow for the passing of wheelchairs and resting places (c) car parks with gradients no steeper than 1-in-40 and of sufficient area to provide for wheelchair manoeuvrability (d) kerb ramps at pedestrian crossing points.	DTS/DPF 28.1 None are applicable.
Communal Open Space	
PO 29.1	DTS/DPF 29.1

Development is designed to provide attractive, convenient and comfortable indoor and outdoor communal areas to be used by residents and visitors.	None are applicable.
PO 29.2 Private open space provision may be substituted for communal open space which is designed and sited to meet the recreation and amenity needs of residents.	DTS/DPF 29.2 None are applicable.
PO 29.3 Communal open space is of sufficient size and dimensions to cater for group recreation.	DTS/DPF 29.3 Communal open space incorporates a minimum dimension of 5 metres.
PO 29.4 Communal open space is designed and sited to:  (a) be conveniently accessed by the dwellings which it services (b) have regard to acoustic, safety, security and wind effects.	DTS/DPF 29.4 None are applicable.
PO 29.5 Communal open space contains landscaping and facilities that are functional, attractive and encourage recreational use.	DTS/DPF 29.5 None are applicable.
PO 29.6 Communal open space is designed and sited to:  (a) in relation to rooftop or elevated gardens, minimise overlooking into habitable room windows or onto the useable private open space of other dwellings (b) in relation to ground floor communal space, be overlooked by habitable rooms to facilitate passive surveillance.	DTS/DPF 29.6 None are applicable.
<b>Site Facilities / Waste Storage</b>	
PO 30.1 Development is designed to provide storage areas for personal items and specialised equipment such as small electric powered vehicles, including facilities for the recharging of small electric powered vehicles.	DTS/DPF 30.1 None are applicable.
PO 30.2 Provision is made for suitable mailbox facilities close to the major pedestrian entry to the site or conveniently located considering the nature of accommodation and mobility of occupants.	DTS/DPF 30.2 None are applicable.
PO 30.3 Provision is made for suitable external clothes drying facilities.	DTS/DPF 30.3 None are applicable.
PO 30.4 Provision is made for suitable household waste and recyclable material storage facilities conveniently located and screened from public view.	DTS/DPF 30.4 None are applicable.
PO 30.5 Waste and recyclable material storage areas are located away from dwellings.	DTS/DPF 30.5 Dedicated waste and recyclable material storage areas are located at least 3m from any habitable room window.
PO 30.6 Provision is made for on-site waste collection where 10 or more bins are to be collected at any one time.	DTS/DPF 30.6 None are applicable.
PO 30.7 Services including gas and water meters are conveniently located and screened from public view.	DTS/DPF 30.7 None are applicable.



All non-residential development			
Water Sensitive Design			
<p>PO 31.1</p> <p>Development likely to result in significant risk of export of litter, oil or grease includes stormwater management systems designed to minimise pollutants entering stormwater.</p>	<p>DTS/DPF 31.1</p> <p>None are applicable.</p>		
<p>PO 31.2</p> <p>Water discharged from a development site is of a physical, chemical and biological condition equivalent to or better than its pre-developed state.</p>	<p>DTS/DPF 31.2</p> <p>None are applicable.</p>		
Wash-down and Waste Loading and Unloading			
<p>PO 32.1</p> <p>Areas for activities including loading and unloading, storage of waste refuse bins in commercial and industrial development or wash-down areas used for the cleaning of vehicles, vessels, plant or equipment are:</p> <ul style="list-style-type: none"> <li>(a) designed to contain all wastewater likely to pollute stormwater within a bunded and roofed area to exclude the entry of external surface stormwater run-off</li> <li>(b) paved with an impervious material to facilitate wastewater collection</li> <li>(c) of sufficient size to prevent 'splash-out' or 'over-spray' of wastewater from the wash-down area</li> <li>(d) designed to drain wastewater to either:                             <ul style="list-style-type: none"> <li>(i) a treatment device such as a sediment trap and coalescing plate oil separator with subsequent disposal to a sewer, private or Community Wastewater Management Scheme</li> <li>or</li> <li>(ii) a holding tank and its subsequent removal off-site on a regular basis.</li> </ul> </li> </ul>	<p>DTS/DPF 32.1</p> <p>None are applicable.</p>		
Decks			
Design and Siting			
<p>PO 33.1</p> <p>Decks are designed and sited to:</p> <ul style="list-style-type: none"> <li>(a) complement the associated building form</li> <li>(b) minimise impacts on the streetscape through siting behind the building line of the principal building (unless on a significant allotment or open space)</li> <li>(c) minimise cut and fill and overall massing when viewed from adjacent land.</li> </ul>	<p>DTS/DPF 33.1</p> <p>Decks:</p> <ul style="list-style-type: none"> <li>(a) where ancillary to a dwelling:                             <ul style="list-style-type: none"> <li>(i) are not constructed, added to or altered so that any part is situated:                                     <ul style="list-style-type: none"> <li>A. in front of any part of the building line of the dwelling to which it is ancillary</li> <li>or</li> <li>B. within 900mm of a boundary of the allotment with a secondary street (if the land has boundaries on two or more roads)</li> </ul> </li> <li>(ii) are set back at least 900mm from side or rear allotment boundaries</li> <li>(iii) when attached to the dwelling, has a finished floor level consistent with the finished ground floor level of the dwelling</li> <li>(iv) where associated with a residential use, retains a total area of soft landscaping for the entire development site, including any common property, with a minimum dimension of 700mm in accordance with (A) or (B), whichever is less:                                     <ul style="list-style-type: none"> <li>A. a total area is determined by the following table:</li> </ul> </li> </ul> </li> </ul> <table border="1" style="margin-left: 40px;"> <tr> <td style="background-color: #0056b3; color: white;">Site area (or in the case of residential flat building or</td> <td style="background-color: #0056b3; color: white;">Minimum percentage of</td> </tr> </table>	Site area (or in the case of residential flat building or	Minimum percentage of
Site area (or in the case of residential flat building or	Minimum percentage of		

		<b>group dwelling(s), average site area) (m<sup>2</sup>)</b>	<b>site</b>
		<150	10%
		150-200	15%
		>200-450	20%
		>450	25%
	<p>B. the amount of existing soft landscaping prior to the development occurring.</p> <p>(b) where in association with a non-residential use:</p> <ul style="list-style-type: none"> <li>(i) are set back at least 2 metres from the boundary of an allotment used for residential purposes.</li> <li>(ii) are set back at least 2 metres from a public road.</li> <li>(iii) have a floor area not exceeding 25m<sup>2</sup></li> </ul> <p>(c) in all cases, has a finished floor level not exceeding 1 metre above natural ground level at any point.</p>		
PO 33.2	<p>Decks are designed and sited to minimise direct overlooking of habitable rooms and private open spaces of adjoining residential uses in neighbourhood-type zones through suitable floor levels, screening and siting taking into account the slope of the subject land, existing vegetation on the subject land, and fencing.</p>		
	DTS/DPF 33.2	<p>Decks with a finished floor level/s 500mm or more above natural ground level facing side or rear boundaries shared with a residential use in a neighbourhood-type zone incorporate screening with a maximum of 25% transparency/openings, permanently fixed to the outer edge of the deck not less than 1.5 m above the finished floor level/s.</p>	
PO 33.3	<p>Decks used for outdoor dining, entertainment or other commercial uses provide carparking in accordance with the primary use of the deck.</p>		
	DTS/DPF 33.3	<p>Decks used for commercial purposes do not result in less on-site car parking for the primary use of the subject land than specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas.</p>	

**Table 1 - Private Open Space**

Dwelling Type	Minimum Rate
Dwelling (at ground level)	<p>Total private open space area:</p> <ul style="list-style-type: none"> <li>(a) Site area &lt;301m<sup>2</sup>: 24m<sup>2</sup> located behind the building line.</li> <li>(b) Site area ≥ 301m<sup>2</sup>: 60m<sup>2</sup> located behind the building line.</li> </ul> <p>Minimum directly accessible from a living room: 16m<sup>2</sup> / with a minimum dimension 3m.</p>
Dwelling (above ground level)	<p>Studio (no separate bedroom): 4m<sup>2</sup> with a minimum dimension 1.8m</p> <p>One bedroom: 8m<sup>2</sup> with a minimum dimension 2.1m</p> <p>Two bedroom dwelling: 11m<sup>2</sup> with a minimum dimension 2.4m</p> <p>Three + bedroom dwelling: 15m<sup>2</sup> with a minimum dimension 2.6m</p>
Cabin or caravan (permanently fixed to the ground) in a residential park or a caravan and tourist park	<p>Total area: 16m<sup>2</sup>, which may be used as second car parking space, provided on each site intended for residential occupation.</p>

## Design in Urban Areas

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	<p>Development is:</p> <ul style="list-style-type: none"> <li>(a) contextual - by considering, recognising and carefully responding to its natural surroundings or built environment and positively contributing to the character of the locality</li> <li>(b) durable - fit for purpose, adaptable and long lasting</li> <li>(c) inclusive - by integrating landscape design to optimise pedestrian and cyclist usability, privacy and equitable access and promoting the provision of quality spaces integrated with the public realm that can be used for access and recreation and help optimise security and safety both internally and within the public realm, for occupants and visitors</li> <li>(d) sustainable - by integrating sustainable techniques into the design and siting of development and landscaping to improve community health, urban heat, water management, environmental performance, biodiversity and local amenity and to minimise energy consumption.</li> </ul>

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
All Development	
External Appearance	
PO 1.1 Buildings reinforce corners through changes in setback, articulation, materials, colour and massing (including height, width, bulk, roof form and slope).	DTS/DPF 1.1 None are applicable.
PO 1.2 Where zero or minor setbacks are desirable, development provides shelter over footpaths (in the form of verandahs, awnings, canopies and the like, with adequate lighting) to positively contribute to the walkability, comfort and safety of the public realm.	DTS/DPF 1.2 None are applicable.
PO 1.3 Building elevations facing the primary street (other than ancillary buildings) are designed and detailed to convey purpose, identify main access points and complement the streetscape.	DTS/DPF 1.3 None are applicable.
PO 1.4 Plant, exhaust and intake vents and other technical equipment are integrated into the building design to minimise visibility from the public realm and negative impacts on residential amenity by: <ul style="list-style-type: none"> <li>(a) positioning plant and equipment discretely, in unobtrusive locations as viewed from public roads and spaces</li> <li>(b) screening rooftop plant and equipment from view</li> <li>(c) when located on the roof of non-residential development, locating the plant and equipment as far as practicable from adjacent sensitive land uses.</li> </ul>	DTS/DPF 1.4 Development does not incorporate any structures that protrude beyond the roofline.
PO 1.5 The negative visual impact of outdoor storage, waste management,	DTS/DPF 1.5 None are applicable.



loading and service areas is minimised by integrating them into the building design and screening them from public view (such as fencing, landscaping and built form), taking into account the form of development contemplated in the relevant zone.	
Safety	
PO 2.1 Development maximises opportunities for passive surveillance of the public realm by providing clear lines of sight, appropriate lighting and the use of visually permeable screening wherever practicable.	DTS/DPF 2.1 None are applicable.
PO 2.2 Development is designed to differentiate public, communal and private areas.	DTS/DPF 2.2 None are applicable.
PO 2.3 Buildings are designed with safe, perceptible and direct access from public street frontages and vehicle parking areas.	DTS/DPF 2.3 None are applicable.
PO 2.4 Development at street level is designed to maximise opportunities for passive surveillance of the adjacent public realm.	DTS/DPF 2.4 None are applicable.
PO 2.5 Common areas and entry points of buildings (such as the foyer areas of residential buildings) and non-residential land uses at street level, maximise passive surveillance from the public realm to the inside of the building at night.	DTS/DPF 2.5 None are applicable.
Landscaping	
PO 3.1 Soft landscaping and tree planting are incorporated to:  (a) minimise heat absorption and reflection (b) maximise shade and shelter (c) maximise stormwater infiltration (d) enhance the appearance of land and streetscapes.	DTS/DPF 3.1 None are applicable.
Environmental Performance	
PO 4.1 Buildings are sited, oriented and designed to maximise natural sunlight access and ventilation to main activity areas, habitable rooms, common areas and open spaces.	DTS/DPF 4.1 None are applicable.
PO 4.2 Buildings are sited and designed to maximise passive environmental performance and minimise energy consumption and reliance on mechanical systems, such as heating and cooling.	DTS/DPF 4.2 None are applicable.
PO 4.3 Buildings incorporate climate responsive techniques and features such as building and window orientation, use of eaves, verandahs and shading structures, water harvesting, at ground landscaping, green walls, green roofs and photovoltaic cells.	DTS/DPF 4.3 None are applicable.
Water Sensitive Design	
PO 5.1 Development is sited and designed to maintain natural hydrological systems without negatively impacting:  (a) the quantity and quality of surface water and groundwater	DTS/DPF 5.1 None are applicable.

<p>(b) the depth and directional flow of surface water and groundwater</p> <p>(c) the quality and function of natural springs.</p>	
<b>On-site Waste Treatment Systems</b>	
<p>PO 6.1</p> <p>Dedicated on-site effluent disposal areas do not include any areas to be used for, or could be reasonably foreseen to be used for, private open space, driveways or car parking.</p>	<p>DTS/DPF 6.1</p> <p>Effluent disposal drainage areas do not:</p> <ul style="list-style-type: none"> <li>(a) encroach within an area used as private open space or result in less private open space than that specified in Design in Urban Areas Table 1 - Private Open Space</li> <li>(b) use an area also used as a driveway</li> <li>(c) encroach within an area used for on-site car parking or result in less on-site car parking than that specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas.</li> </ul>
<b>Car parking appearance</b>	
<p>PO 7.1</p> <p>Development facing the street is designed to minimise the negative impacts of any semi-basement and undercroft car parking on streetscapes through techniques such as:</p> <ul style="list-style-type: none"> <li>(a) limiting protrusion above finished ground level</li> <li>(b) screening through appropriate planting, fencing and mounding</li> <li>(c) limiting the width of openings and integrating them into the building structure.</li> </ul>	<p>DTS/DPF 7.1</p> <p>None are applicable.</p>
<p>PO 7.2</p> <p>Vehicle parking areas appropriately located, designed and constructed to minimise impacts on adjacent sensitive receivers through measures such as ensuring they are attractively developed and landscaped, screen fenced and the like.</p>	<p>DTS/DPF 7.2</p> <p>None are applicable.</p>
<p>PO 7.3</p> <p>Safe, legible, direct and accessible pedestrian connections are provided between parking areas and the development.</p>	<p>DTS/DPF 7.3</p> <p>None are applicable.</p>
<p>PO 7.4</p> <p>Street-level vehicle parking areas incorporate tree planting to provide shade, reduce solar heat absorption and reflection.</p>	<p>DTS/DPF 7.4</p> <p>Vehicle parking areas that are open to the sky and comprise 10 or more car parking spaces include a shade tree with a mature canopy of 4m diameter spaced for each 10 car parking spaces provided and a landscaped strip on any road frontage of a minimum dimension of 1m.</p>
<p>PO 7.5</p> <p>Street level parking areas incorporate soft landscaping to improve visual appearance when viewed from within the site and from public places.</p>	<p>DTS/DPF 7.5</p> <p>Vehicle parking areas comprising 10 or more car parking spaces include soft landscaping with a minimum dimension of:</p> <ul style="list-style-type: none"> <li>(a) 1m along all public road frontages and allotment boundaries</li> <li>(b) 1m between double rows of car parking spaces.</li> </ul>
<p>PO 7.6</p> <p>Vehicle parking areas and associated driveways are landscaped to provide shade and positively contribute to amenity.</p>	<p>DTS/DPF 7.6</p> <p>None are applicable.</p>
<p>PO 7.7</p> <p>Vehicle parking areas and access ways incorporate integrated stormwater management techniques such as permeable or porous surfaces, infiltration systems, drainage swales or rain gardens that integrate with soft landscaping.</p>	<p>DTS/DPF 7.7</p> <p>None are applicable.</p>
<b>Earthworks and sloping land</b>	
<p>PO 8.1</p>	<p>DTS/DPF 8.1</p>

Development, including any associated driveways and access tracks, minimises the need for earthworks to limit disturbance to natural topography.	Development does not involve any of the following: <ul style="list-style-type: none"> <li>(a) excavation exceeding a vertical height of 1m</li> <li>(b) filling exceeding a vertical height of 1m</li> <li>(c) a total combined excavation and filling vertical height of 2m or more.</li> </ul>
PO 8.2 Driveways and access tracks designed and constructed to allow safe and convenient access on sloping land.	DTS/DPF 8.2 Driveways and access tracks on sloping land (with a gradient exceeding 1 in 8) satisfy (a) and (b): <ul style="list-style-type: none"> <li>(a) do not have a gradient exceeding 25% (1-in-4) at any point along the driveway</li> <li>(b) are constructed with an all-weather trafficable surface.</li> </ul>
PO 8.3 Driveways and access tracks on sloping land (with a gradient exceeding 1 in 8): <ul style="list-style-type: none"> <li>(a) do not contribute to the instability of embankments and cuttings</li> <li>(b) provide level transition areas for the safe movement of people and goods to and from the development</li> <li>(c) are designed to integrate with the natural topography of the land.</li> </ul>	DTS/DPF 8.3 None are applicable.
PO 8.4 Development on sloping land (with a gradient exceeding 1 in 8) avoids the alteration of natural drainage lines and includes on site drainage systems to minimise erosion.	DTS/DPF 8.4 None are applicable.
PO 8.5 Development does not occur on land at risk of landslip or increase the potential for landslip or land surface instability.	DTS/DPF 8.5 None are applicable.
<b>Fences and walls</b>	
PO 9.1 Fences, walls and retaining walls of sufficient height maintain privacy and security without unreasonably impacting visual amenity and adjoining land's access to sunlight or the amenity of public places.	DTS/DPF 9.1 None are applicable.
PO 9.2 Landscaping is incorporated on the low side of retaining walls that are visible from public roads and public open space to minimise visual impacts.	DTS/DPF 9.2 A vegetated landscaped strip 1m wide or more is provided against the low side of a retaining wall.
<b>Overlooking / Visual Privacy (low rise buildings)</b>	
PO 10.1 Development mitigates direct overlooking from upper level windows to habitable rooms and private open spaces of adjoining residential uses in neighbourhood-type zones.	DTS/DPF 10.1 Upper level windows facing side or rear boundaries shared with a residential use in a neighbourhood-type zone: <ul style="list-style-type: none"> <li>(a) are permanently obscured to a height of 1.5m above finished floor level and are fixed or not capable of being opened more than 125mm</li> <li>(b) have sill heights greater than or equal to 1.5m above finished floor level</li> <li>(c) incorporate screening with a maximum of 25% openings, permanently fixed no more than 500mm from the window surface and sited adjacent to any part of the window less than 1.5 m above the finished floor level.</li> </ul>
PO 10.2	DTS/DPF 10.2



Development mitigates direct overlooking from balconies to habitable rooms and private open space of adjoining residential uses in neighbourhood type zones.	<p>One of the following is satisfied:</p> <ul style="list-style-type: none"> <li>(a) the longest side of the balcony or terrace will face a public road, public road reserve or public reserve that is at least 15m wide in all places faced by the balcony or terrace</li> <li>or</li> <li>(b) all sides of balconies or terraces on upper building levels are permanently obscured by screening with a maximum 25% transparency/openings fixed to a minimum height of: <ul style="list-style-type: none"> <li>(i) 1.5m above finished floor level where the balcony is located at least 15 metres from the nearest habitable window of a dwelling on adjacent land</li> <li>or</li> <li>(ii) 1.7m above finished floor level in all other cases</li> </ul> </li> </ul>
--	--

Site Facilities / Waste Storage (excluding low rise residential development)

<p>PO 11.1</p> <p>Development provides a dedicated area for on-site collection and sorting of recyclable materials and refuse, green organic waste and wash bay facilities for the ongoing maintenance of bins that is adequate in size considering the number and nature of the activities they will serve and the frequency of collection.</p>	<p>DTS/DPF 11.1</p> <p>None are applicable.</p>
<p>PO 11.2</p> <p>Communal waste storage and collection areas are located, enclosed and designed to be screened from view from the public domain, open space and dwellings.</p>	<p>DTS/DPF 11.2</p> <p>None are applicable.</p>
<p>PO 11.3</p> <p>Communal waste storage and collection areas are designed to be well ventilated and located away from habitable rooms.</p>	<p>DTS/DPF 11.3</p> <p>None are applicable.</p>
<p>PO 11.4</p> <p>Communal waste storage and collection areas are designed to allow waste and recycling collection vehicles to enter and leave the site without reversing.</p>	<p>DTS/DPF 11.4</p> <p>None are applicable.</p>
<p>PO 11.5</p> <p>For mixed use developments, non-residential waste and recycling storage areas and access provide opportunities for on-site management of food waste through composting or other waste recovery as appropriate.</p>	<p>DTS/DPF 11.5</p> <p>None are applicable.</p>

All Development - Medium and High Rise

External Appearance

<p>PO 12.1</p> <p>Buildings positively contribute to the character of the local area by responding to local context.</p>	<p>DTS/DPF 12.1</p> <p>None are applicable.</p>
<p>PO 12.2</p> <p>Architectural detail at street level and a mixture of materials at lower building levels near the public interface are provided to reinforce a human scale.</p>	<p>DTS/DPF 12.2</p> <p>None are applicable.</p>
<p>PO 12.3</p> <p>Buildings are designed to reduce visual mass by breaking up building elevations into distinct elements.</p>	<p>DTS/DPF 12.3</p> <p>None are applicable.</p>
<p>PO 12.4</p> <p>Boundary walls visible from public land include visually interesting treatments to break up large blank elevations.</p>	<p>DTS/DPF 12.4</p> <p>None are applicable.</p>
<p>PO 12.5</p> <p>External materials and finishes are durable and age well to minimise ongoing maintenance requirements.</p>	<p>DTS/DPF 12.5</p> <p>Buildings utilise a combination of the following external materials and finishes:</p> <ul style="list-style-type: none"> <li>(a) masonry</li> <li>(b) natural stone</li> </ul>

	(c) pre-finished materials that minimise staining, discolouring or deterioration.
PO 12.6 Street-facing building elevations are designed to provide attractive, high quality and pedestrian-friendly street frontages.	DTS/DPF 12.6 Building street frontages incorporate:  (a) active uses such as shops or offices (b) prominent entry areas for multi-storey buildings (where it is a common entry) (c) habitable rooms of dwellings (d) areas of communal public realm with public art or the like, where consistent with the zone and/or subzone provisions.
PO 12.7 Entrances to multi-storey buildings are safe, attractive, welcoming, functional and contribute to streetscape character.	DTS/DPF 12.7 Entrances to multi-storey buildings are:  (a) oriented towards the street (b) clearly visible and easily identifiable from the street and vehicle parking areas (c) designed to be prominent, accentuated and a welcoming feature if there are no active or occupied ground floor uses (d) designed to provide shelter, a sense of personal address and transitional space around the entry (e) located as close as practicable to the lift and / or lobby access to minimise the need for long access corridors (f) designed to avoid the creation of potential areas of entrapment.
PO 12.8 Building services, plant and mechanical equipment are screened from the public realm.	DTS/DPF 12.8 None are applicable.

Landscaping

PO 13.1 Development facing a street provides a well landscaped area that contains a deep soil space to accommodate a tree of a species and size adequate to provide shade, contribute to tree canopy targets and soften the appearance of buildings.	DTS/DPF 13.1 Buildings provide a 4m by 4m deep soil space in front of the building that accommodates a medium to large tree, except where no building setback from front property boundaries is desired.																								
PO 13.2 Deep soil zones are provided to retain existing vegetation or provide areas that can accommodate new deep root vegetation, including tall trees with large canopies to provide shade and soften the appearance of multi-storey buildings.	DTS/DPF 13.2 Multi-storey development provides deep soil zones and incorporates trees at not less than the following rates, except in a location or zone where full site coverage is desired.  <table border="1" data-bbox="826 1503 1525 1906"> <thead> <tr> <th>Site area</th> <th>Minimum deep soil area</th> <th>Minimum dimension</th> <th>Tree / deep soil zones</th> </tr> </thead> <tbody> <tr> <td>&lt;300 m<sup>2</sup></td> <td>10 m<sup>2</sup></td> <td>1.5m</td> <td>1 small tree / 10 m<sup>2</sup></td> </tr> <tr> <td>300-1500 m<sup>2</sup></td> <td>7% site area</td> <td>3m</td> <td>1 medium tree / 30 m<sup>2</sup></td> </tr> <tr> <td>&gt;1500 m<sup>2</sup></td> <td>7% site area</td> <td>6m</td> <td>1 large or medium tree / 60 m<sup>2</sup></td> </tr> </tbody> </table> <table border="1" data-bbox="826 1910 1525 2121"> <thead> <tr> <th colspan="2">Tree size and site area definitions</th> </tr> </thead> <tbody> <tr> <td>Small tree</td> <td>4-6m mature height and 2-4m canopy spread</td> </tr> <tr> <td>Medium tree</td> <td>6-12m mature height and 4-8m canopy spread</td> </tr> <tr> <td>Large tree</td> <td>12m mature height and &gt;8m canopy spread</td> </tr> </tbody> </table>	Site area	Minimum deep soil area	Minimum dimension	Tree / deep soil zones	<300 m <sup>2</sup>	10 m <sup>2</sup>	1.5m	1 small tree / 10 m <sup>2</sup>	300-1500 m <sup>2</sup>	7% site area	3m	1 medium tree / 30 m <sup>2</sup>	>1500 m <sup>2</sup>	7% site area	6m	1 large or medium tree / 60 m <sup>2</sup>	Tree size and site area definitions		Small tree	4-6m mature height and 2-4m canopy spread	Medium tree	6-12m mature height and 4-8m canopy spread	Large tree	12m mature height and >8m canopy spread
Site area	Minimum deep soil area	Minimum dimension	Tree / deep soil zones																						
<300 m <sup>2</sup>	10 m <sup>2</sup>	1.5m	1 small tree / 10 m <sup>2</sup>																						
300-1500 m <sup>2</sup>	7% site area	3m	1 medium tree / 30 m <sup>2</sup>																						
>1500 m <sup>2</sup>	7% site area	6m	1 large or medium tree / 60 m <sup>2</sup>																						
Tree size and site area definitions																									
Small tree	4-6m mature height and 2-4m canopy spread																								
Medium tree	6-12m mature height and 4-8m canopy spread																								
Large tree	12m mature height and >8m canopy spread																								

	Site area	The total area for development site, not average area per dwelling
PO 13.3 Deep soil zones with access to natural light are provided to assist in maintaining vegetation health.	DTS/DPF 13.3	None are applicable.
PO 13.4 Unless separated by a public road or reserve, development sites adjacent to any zone that has a primary purpose of accommodating low-rise residential development incorporate a deep soil zone along the common boundary to enable medium to large trees to be retained or established to assist in screening new buildings of 3 or more building levels in height.	DTS/DPF 13.4	Building elements of 3 or more building levels in height are set back at least 6m from a zone boundary in which a deep soil zone area is incorporated.
Environmental		
PO 14.1 Development minimises detrimental micro-climatic impacts on adjacent land and buildings.	DTS/DPF 14.1	None are applicable.
PO 14.2 Development incorporates sustainable design techniques and features such as window orientation, eaves and shading structures, water harvesting and use, green walls and roof designs that enable the provision of rain water tanks (where they are not provided elsewhere on site), green roofs and photovoltaic cells.	DTS/DPF 14.2	None are applicable.
PO 14.3 Development of 5 or more building levels, or 21m or more in height (as measured from natural ground level and excluding roof-mounted mechanical plant and equipment) is designed to minimise the impacts of wind through measures such as:  (a) a podium at the base of a tall tower and aligned with the street to deflect wind away from the street (b) substantial verandahs around a building to deflect downward travelling wind flows over pedestrian areas (c) the placement of buildings and use of setbacks to deflect the wind at ground level (d) avoiding tall shear elevations that create windy conditions at street level.	DTS/DPF 14.3	None are applicable.
Car Parking		
PO 15.1 Multi-level vehicle parking structures are designed to contribute to active street frontages and complement neighbouring buildings.	DTS/DPF 15.1	Multi-level vehicle parking structures within buildings:  (a) provide land uses such as commercial, retail or other non-car parking uses along ground floor street frontages (b) incorporate facade treatments in building elevations facing along major street frontages that are sufficiently enclosed and detailed to complement adjacent buildings.
PO 15.2 Multi-level vehicle parking structures within buildings complement the surrounding built form in terms of height, massing and scale.	DTS/DPF 15.2	None are applicable.
Overlooking/Visual Privacy		
PO 16.1 Development mitigates direct overlooking of habitable rooms and private open spaces of adjacent residential uses in neighbourhood-type zones through measures such as:	DTS/DPF 16.1	None are applicable.



<ul style="list-style-type: none"> <li>(a) appropriate site layout and building orientation</li> <li>(b) off-setting the location of balconies and windows of habitable rooms or areas with those of other buildings so that views are oblique rather than direct to avoid direct line of sight</li> <li>(c) building setbacks from boundaries (including building boundary to boundary where appropriate) that interrupt views or that provide a spatial separation between balconies or windows of habitable rooms</li> <li>(d) screening devices that are integrated into the building design and have minimal negative effect on residents' or neighbours' amenity.</li> </ul>	
--	--

All residential development

Front elevations and passive surveillance

<p>PO 17.1</p> <p>Dwellings incorporate windows facing primary street frontages to encourage passive surveillance and make a positive contribution to the streetscape.</p>	<p>DTS/DPF 17.1</p> <p>Each dwelling with a frontage to a public street:</p> <ul style="list-style-type: none"> <li>(a) includes at least one window facing the primary street from a habitable room that has a minimum internal room dimension of 2.4m</li> <li>(b) has an aggregate window area of at least 2m<sup>2</sup> facing the primary street.</li> </ul>
--	--

<p>PO 17.2</p> <p>Dwellings incorporate entry doors within street frontages to address the street and provide a legible entry point for visitors.</p>	<p>DTS/DPF 17.2</p> <p>Dwellings with a frontage to a public street have an entry door visible from the primary street boundary.</p>
---	--

Outlook and Amenity

<p>PO 18.1</p> <p>Living rooms have an external outlook to provide a high standard of amenity for occupants.</p>	<p>DTS/DPF 18.1</p> <p>A living room of a dwelling incorporates a window with an external outlook of the street frontage, private open space, public open space, or waterfront areas.</p>
--	---

<p>PO 18.2</p> <p>Bedrooms are separated or shielded from active communal recreation areas, common access areas and vehicle parking areas and access ways to mitigate noise and artificial light intrusion.</p>	<p>DTS/DPF 18.2</p> <p>None are applicable.</p>
---	---

Ancillary Development

<p>PO 19.1</p> <p>Residential ancillary buildings are sited and designed to not detract from the streetscape or appearance of primary residential buildings on the site or neighbouring properties.</p>	<p>DTS/DPF 19.1</p> <p>Ancillary buildings:</p> <ul style="list-style-type: none"> <li>(a) are ancillary to a dwelling erected on the same site</li> <li>(b) have a floor area not exceeding 60m<sup>2</sup></li> <li>(c) are not constructed, added to or altered so that any part is situated:             <ul style="list-style-type: none"> <li>(i) in front of any part of the building line of the dwelling to which it is ancillary</li> <li>or</li> <li>(ii) within 900mm of a boundary of the allotment with a secondary street (if the land has boundaries on two or more roads)</li> </ul> </li> <li>(d) in the case of a garage or carport, the garage or carport:             <ul style="list-style-type: none"> <li>(i) is set back at least 5.5m from the boundary of the primary street</li> <li>(ii) when facing a primary street or secondary street, has a total door / opening not exceeding:                 <ul style="list-style-type: none"> <li>A. for dwellings of single building level - 7m in width or 50% of the site frontage, whichever is the lesser</li> <li>B. for dwellings comprising two or more building levels at the building line fronting the same public street - 7m in width</li> </ul> </li> </ul> </li> </ul>
---	--

- (e) if situated on a boundary (not being a boundary with a primary street or secondary street), do not exceed a length of 11.5m unless:
  - (i) a longer wall or structure exists on the adjacent site and is situated on the same allotment boundary and
  - (ii) the proposed wall or structure will be built along the same length of boundary as the existing adjacent wall or structure to the same or lesser extent
- (f) if situated on a boundary of the allotment (not being a boundary with a primary street or secondary street), all walls or structures on the boundary will not exceed 45% of the length of that boundary
- (g) will not be located within 3m of any other wall along the same boundary unless on an adjacent site on that boundary there is an existing wall of a building that would be adjacent to or about the proposed wall or structure
- (h) have a wall height or post height not exceeding 3m above natural ground level (and not including a gable end)
- (i) have a roof height where no part of the roof is more than 5m above the natural ground level
- (j) if clad in sheet metal, is pre-colour treated or painted in a non-reflective colour
- (k) retains a total area of soft landscaping in accordance with (i) or (ii), whichever is less:
  - (i) a total area as determined by the following table:
 

Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m <sup>2</sup> )	Minimum percentage of site
<150	10%
150-200	15%
201-450	20%
>450	25%
  - (ii) the amount of existing soft landscaping prior to the development occurring.
- (l) in relation to ancillary accommodation in the Rural Zone, Productive Rural Landscape Zone, or Rural Horticulture Zone, is located within 20m of an existing dwelling.

PO 19.2  
Ancillary buildings and structures do not impede on-site functional requirements such as private open space provision, car parking requirements or result in over-development of the site.

- DTS/DPF 19.2  
Ancillary buildings and structures do not result in:
- (a) less private open space than specified in Design in Urban Areas Table 1 - Private Open Space
  - (b) less on-site car parking than specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas.

PO 19.3  
Fixed plant and equipment in the form of pumps and/or filtration systems for a swimming pool or spa positioned and/or housed to not cause unreasonable noise nuisance to adjacent sensitive receivers.

- DTS/DPF 19.3  
The pump and/or filtration system is ancillary to a dwelling erected on the same site and is:
- (a) enclosed in a solid acoustic structure that is located at least 5m from the nearest habitable room located on an adjoining allotment or
  - (b) located at least 12m from the nearest habitable room located on an adjoining allotment.

PO 19.4  
Buildings and structures that are ancillary to an existing non-residential use do not detract from the streetscape character, appearance of buildings on the site of the development, or the amenity of neighbouring properties.

DTS/DPF 19.4  
Non-residential ancillary buildings and structures:

- (a) are ancillary and subordinate to an existing non-residential use on the same site
- (b) have a floor area not exceeding the following:
 

Allotment size	Floor area
≤500m <sup>2</sup>	60m <sup>2</sup>
>500m <sup>2</sup>	80m <sup>2</sup>
- (c) are not constructed, added to or altered so that any part is situated:
  - (i) in front of any part of the building line of the main building to which it is ancillary  
or
  - (ii) within 900mm of a boundary of the allotment with a secondary street (if the land has boundaries on two or more roads)
- (d) in the case of a garage or carport, the garage or carport:
  - (i) is set back at least 5.5m from the boundary of the primary street
- (e) if situated on a boundary (not being a boundary with a primary street or secondary street), do not exceed a length of 11.5m unless:
  - (i) a longer wall or structure exists on the adjacent site and is situated on the same allotment boundary
  - (ii) the proposed wall or structure will be built along the same length of boundary as the existing adjacent wall or structure to the same or lesser extent
- (f) if situated on a boundary of the allotment (not being a boundary with a primary street or secondary street), all walls or structures on the boundary will not exceed 45% of the length of that boundary
- (g) will not be located within 3m of any other wall along the same boundary unless on an adjacent site on that boundary there is an existing wall of a building that would be adjacent to or about the proposed wall or structure
- (h) have a wall height (or post height) not exceeding 3m (and not including a gable end)
- (i) have a roof height where no part of the roof is more than 5m above the natural ground level
- (j) if clad in sheet metal, is pre-colour treated or painted in a non-reflective colour.

Residential Development - Low Rise

External appearance

PO 20.1  
Garaging is designed to not detract from the streetscape or appearance of a dwelling.

DTS/DPF 20.1  
Garages and carports facing a street:

- (a) are situated so that no part of the garage or carport will be in front of any part of the building line of the dwelling
- (b) are set back at least 5.5m from the boundary of the primary street
- (c) have a garage door / opening width not exceeding 7m
- (d) have a garage door / opening width not exceeding 50% of the site frontage unless the dwelling has two or more building levels at the building line fronting the same public street.

PO 20.2  
Dwelling elevations facing public streets and common driveways make a positive contribution to the streetscape and the appearance of common driveway areas.

DTS/DPF 20.2  
Each dwelling includes at least 3 of the following design features within the building elevation facing a primary street, and at least 2 of the following design features within the building elevation facing any other public road (other than a laneway) or a common driveway:



	<ul style="list-style-type: none"> <li>(a) a minimum of 30% of the building wall is set back an additional 300mm from the building line</li> <li>(b) a porch or portico projects at least 1m from the building wall</li> <li>(c) a balcony projects from the building wall</li> <li>(d) a verandah projects at least 1m from the building wall</li> <li>(e) eaves of a minimum 400mm width extend along the width of the front elevation</li> <li>(f) a minimum 30% of the width of the upper level projects forward from the lower level primary building line by at least 300mm</li> <li>(g) a minimum of two different materials or finishes are incorporated on the walls of the front building elevation, with a maximum of 80% of the building elevation in a single material or finish.</li> </ul>
--	---

<p>PO 20.3 The visual mass of larger buildings is reduced when viewed from adjoining allotments or public streets.</p>	<p>DTS/DPF 20.3 None are applicable</p>
--	---

Private Open Space

<p>PO 21.1 Dwellings are provided with suitable sized areas of usable private open space to meet the needs of occupants.</p>	<p>DTS/DPF 21.1 Private open space is provided in accordance with Design in Urban Areas Table 1 - Private Open Space.</p>
--	---

<p>PO 21.2 Private open space is positioned to provide convenient access from internal living areas.</p>	<p>DTS/DPF 21.2 Private open space is directly accessible from a habitable room.</p>
--	--

Landscaping

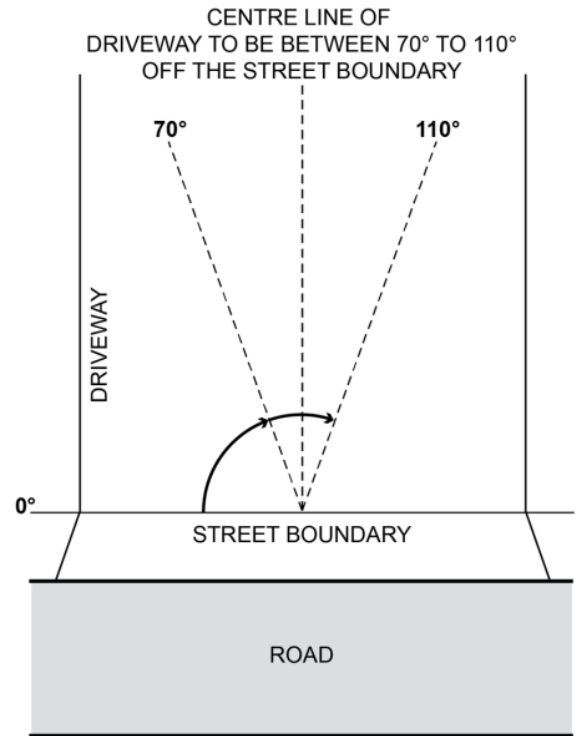
<p>PO 22.1 Soft landscaping is incorporated into development to:</p> <ul style="list-style-type: none"> <li>(a) minimise heat absorption and reflection</li> <li>(b) contribute shade and shelter</li> <li>(c) provide for stormwater infiltration and biodiversity</li> <li>(d) enhance the appearance of land and streetscapes.</li> </ul>	<p>DTS/DPF 22.1 Residential development incorporates soft landscaping with a minimum dimension of 700mm provided in accordance with (a) and (b):</p> <ul style="list-style-type: none"> <li>(a) a total area for the entire development site, including any common property, as determined by the following table:</li> </ul> <table border="1" data-bbox="906 1485 1522 1809"> <thead> <tr> <th>Site area (or in the case of residential flat building or group dwelling(s), average site area) (m<sup>2</sup>)</th> <th>Minimum percentage of site</th> </tr> </thead> <tbody> <tr> <td>&lt;150</td> <td>10%</td> </tr> <tr> <td>150-200</td> <td>15%</td> </tr> <tr> <td>&gt;200-450</td> <td>20%</td> </tr> <tr> <td>&gt;450</td> <td>25%</td> </tr> </tbody> </table> <ul style="list-style-type: none"> <li>(b) at least 30% of any land between the primary street boundary and the primary building line.</li> </ul>	Site area (or in the case of residential flat building or group dwelling(s), average site area) (m <sup>2</sup> )	Minimum percentage of site	<150	10%	150-200	15%	>200-450	20%	>450	25%
Site area (or in the case of residential flat building or group dwelling(s), average site area) (m <sup>2</sup> )	Minimum percentage of site										
<150	10%										
150-200	15%										
>200-450	20%										
>450	25%										

Car parking, access and manoeuvrability

<p>PO 23.1 Enclosed car parking spaces are of dimensions to be functional, accessible and convenient.</p>	<p>DTS/DPF 23.1 Residential car parking spaces enclosed by fencing, walls or other structures have the following internal dimensions (separate from any waste storage area):</p>
---	--

	<ul style="list-style-type: none"> <li>(a) single width car parking spaces:                         <ul style="list-style-type: none"> <li>(i) a minimum length of 5.4m per space</li> <li>(ii) a minimum width of 3.0m</li> <li>(iii) a minimum garage door width of 2.4m</li> </ul> </li> <li>(b) double width car parking spaces (side by side):                         <ul style="list-style-type: none"> <li>(i) a minimum length of 5.4m</li> <li>(ii) a minimum width of 5.4m</li> <li>(iii) minimum garage door width of 2.4m per space.</li> </ul> </li> </ul>
<p>PO 23.2</p> <p>Uncovered car parking space are of dimensions to be functional, accessible and convenient.</p>	<p>DTS/DPF 23.2</p> <p>Uncovered car parking spaces have:</p> <ul style="list-style-type: none"> <li>(a) a minimum length of 5.4m</li> <li>(b) a minimum width of 2.4m</li> <li>(c) a minimum width between the centre line of the space and any fence, wall or other obstruction of 1.5m.</li> </ul>
<p>PO 23.3</p> <p>Driveways and access points are located and designed to facilitate safe access and egress while maximising land available for street tree planting, pedestrian movement, domestic waste collection, landscaped street frontages and on-street parking.</p>	<p>DTS/DPF 23.3</p> <p>Driveways and access points satisfy (a) or (b):</p> <ul style="list-style-type: none"> <li>(a) sites with a frontage to a public road of 10m or less, have a width between 3.0 and 3.2 metres measured at the property boundary and are the only access point provided on the site</li> <li>(b) sites with a frontage to a public road greater than 10m:                         <ul style="list-style-type: none"> <li>(i) have a maximum width of 5m measured at the property boundary and are the only access point provided on the site;</li> <li>(ii) have a width between 3.0 metres and 3.2 metres measured at the property boundary and no more than two access points are provided on site, separated by no less than 1m.</li> </ul> </li> </ul>
<p>PO 23.4</p> <p>Vehicle access is safe, convenient, minimises interruption to the operation of public roads and does not interfere with street infrastructure or street trees.</p>	<p>DTS/DPF 23.4</p> <p>Vehicle access to designated car parking spaces satisfy (a) or (b):</p> <ul style="list-style-type: none"> <li>(a) is provided via a lawfully existing or authorised access point or an access point for which consent has been granted as part of an application for the division of land</li> <li>(b) where newly proposed, is set back:                         <ul style="list-style-type: none"> <li>(i) 0.5m or more from any street furniture, street pole, infrastructure services pit, or other stormwater or utility infrastructure unless consent is provided from the asset owner</li> <li>(ii) 2m or more from the base of the trunk of a street tree unless consent is provided from the tree owner for a lesser distance</li> <li>(iii) 6m or more from the tangent point of an intersection of 2 or more roads</li> <li>(iv) outside of the marked lines or infrastructure dedicating a pedestrian crossing.</li> </ul> </li> </ul>
<p>PO 23.5</p> <p>Driveways are designed to enable safe and convenient vehicle movements from the public road to on-site parking spaces.</p>	<p>DTS/DPF 23.5</p> <p>Driveways are designed and sited so that:</p> <ul style="list-style-type: none"> <li>(a) the gradient of the driveway does not exceed a grade of 1 in 4 and includes transitions to ensure a maximum grade change of 12.5% (1 in 8) for summit changes, and 15% (1 in 6.7) for sag changes, in accordance with AS 2890.1:2004 to prevent vehicles bottoming or scraping</li> </ul>

(b) the centreline of the driveway has an angle of no less than 70 degrees and no more than 110 degrees from the street boundary to which it takes its access as shown in the following diagram:



(c) if located to provide access from an alley, lane or right of way - the alley, land or right or way is at least 6.2m wide along the boundary of the allotment / site.

PO 23.6  
Driveways and access points are designed and distributed to optimise the provision of on-street visitor parking.

DTS/DPF 23.6  
Where on-street parking is available abutting the site's street frontage, on-street parking is retained in accordance with the following requirements:

- (a) minimum 0.33 on-street spaces per dwelling on the site (rounded up to the nearest whole number)
- (b) minimum car park length of 5.4m where a vehicle can enter or exit a space directly
- (c) minimum carpark length of 6m for an intermediate space located between two other parking spaces or to an end obstruction where the parking is indented.

Waste storage

PO 24.1  
Provision is made for the convenient storage of waste bins in a location screened from public view.

DTS/DPF 24.1  
Where dwellings abut both side boundaries a waste bin storage area is provided behind the building line of each dwelling that:

- (a) has a minimum area of 2m<sup>2</sup> with a minimum dimension of 900mm (separate from any designated car parking spaces or private open space); and
- (b) has a continuous unobstructed path of travel (excluding moveable objects like gates, vehicles and roller doors) with a minimum width of 800mm between the waste bin storage area and the street.

Design of Transportable Buildings

PO 25.1  
The sub-floor space beneath transportable buildings is enclosed to give the appearance of a permanent structure.

DTS/DPF 25.1  
Buildings satisfy (a) or (b):

- (a) are not transportable



	(b) the sub-floor space between the building and ground level is clad in a material and finish consistent with the building.
Residential Development - Medium and High Rise (including serviced apartments)	
Outlook and Visual Privacy	
PO 26.1 Ground level dwellings have a satisfactory short range visual outlook to public, communal or private open space.	DTS/DPF 26.1 Buildings:  (a) provide a habitable room at ground or first level with a window facing toward the street (b) limit the height / extent of solid walls or fences facing the street to 1.2m high above the footpath level or, where higher, to 50% of the site frontage.
PO 26.2 The visual privacy of ground level dwellings within multi-level buildings is protected.	DTS/DPF 26.2 The finished floor level of ground level dwellings in multi-storey developments is raised by up to 1.2m.
Private Open Space	
PO 27.1 Dwellings are provided with suitable sized areas of usable private open space to meet the needs of occupants.	DTS/DPF 27.1 Private open space provided in accordance with Design in Urban Areas Table 1 - Private Open Space.
Residential amenity in multi-level buildings	
PO 28.1 Residential accommodation within multi-level buildings have habitable rooms, windows and balconies designed and positioned to be separated from those of other dwellings and accommodation to provide visual and acoustic privacy and allow for natural ventilation and the infiltration of daylight into interior and outdoor spaces.	DTS/DPF 28.1 Habitable rooms and balconies of independent dwellings and accommodation are separated by at least 6m from one another where there is a direct line of sight between them and 3m or more from a side or rear property boundary.
PO 28.2 Balconies are designed, positioned and integrated into the overall architectural form and detail of the development to:  (a) respond to daylight, wind, and acoustic conditions to maximise comfort and provide visual privacy (b) allow views and casual surveillance of the street while providing for safety and visual privacy of nearby living spaces and private outdoor areas.	DTS/DPF 28.2 Balconies utilise one or a combination of the following design elements:  (a) sun screens (b) pergolas (c) louvres (d) green facades (e) openable walls.
PO 28.3 Balconies are of sufficient size and depth to accommodate outdoor seating and promote indoor / outdoor living.	DTS/DPF 28.3 Balconies open directly from a habitable room and incorporate a minimum dimension of 2m.
PO 28.4 Dwellings are provided with sufficient space for storage to meet likely occupant needs.	DTS/DPF 28.4 Dwellings (not including student accommodation or serviced apartments) are provided with storage at the following rates with at least 50% or more of the storage volume to be provided within the dwelling:  (a) studio: not less than 6m <sup>3</sup> (b) 1 bedroom dwelling / apartment: not less than 8m <sup>3</sup> (c) 2 bedroom dwelling / apartment: not less than 10m <sup>3</sup> (d) 3+ bedroom dwelling / apartment: not less than 12m <sup>3</sup> .
PO 28.5 Dwellings that use light wells for access to daylight, outlook and ventilation for habitable rooms, are designed to ensure a reasonable living amenity is provided.	DTS/DPF 28.5 Light wells:  (a) are not used as the primary source of outlook for living rooms

	<ul style="list-style-type: none"> <li>(b) up to 18m in height have a minimum horizontal dimension of 3m, or 6m if overlooked by bedrooms</li> <li>(c) above 18m in height have a minimum horizontal dimension of 6m, or 9m if overlooked by bedrooms.</li> </ul>
--	---

<p>PO 28.6</p> <p>Attached or abutting dwellings are designed to minimise the transmission of sound between dwellings and, in particular, to protect bedrooms from possible noise intrusions.</p>	<p>DTS/DPF 28.6</p> <p>None are applicable.</p>
---	---

<p>PO 28.7</p> <p>Dwellings are designed so that internal structural columns correspond with the position of internal walls to ensure that the space within the dwelling/apartment is useable.</p>	<p>DTS/DPF 28.7</p> <p>None are applicable.</p>
--	---

**Dwelling Configuration**

<p>PO 29.1</p> <p>Buildings containing in excess of 10 dwellings provide a variety of dwelling sizes and a range in the number of bedrooms per dwelling to contribute to housing diversity.</p>	<p>DTS/DPF 29.1</p> <p>Buildings containing in excess of 10 dwellings provide at least one of each of the following:</p> <ul style="list-style-type: none"> <li>(a) studio (where there is no separate bedroom)</li> <li>(b) 1 bedroom dwelling / apartment with a floor area of at least 50m<sup>2</sup></li> <li>(c) 2 bedroom dwelling / apartment with a floor area of at least 65m<sup>2</sup></li> <li>(d) 3+ bedroom dwelling / apartment with a floor area of at least 80m<sup>2</sup>, and any dwelling over 3 bedrooms provides an additional 15m<sup>2</sup> for every additional bedroom.</li> </ul>
---	--

<p>PO 29.2</p> <p>Dwellings located on the ground floor of multi-level buildings with 3 or more bedrooms have the windows of their habitable rooms overlooking internal courtyard space or other public space, where possible.</p>	<p>DTS/DPF 29.2</p> <p>None are applicable.</p>
--	---

**Common Areas**

<p>PO 30.1</p> <p>The size of lifts, lobbies and corridors is sufficient to accommodate movement of bicycles, strollers, mobility aids and visitor waiting areas.</p>	<p>DTS/DPF 30.1</p> <p>Common corridor or circulation areas:</p> <ul style="list-style-type: none"> <li>(a) have a minimum ceiling height of 2.7m</li> <li>(b) provide access to no more than 8 dwellings</li> <li>(c) incorporate a wider section at apartment entries where the corridors exceed 12m in length from a core.</li> </ul>
---	--

**Group Dwellings, Residential Flat Buildings and Battle axe Development**

**Amenity**

<p>PO 31.1</p> <p>Dwellings are of a suitable size to provide a high standard of amenity for occupants.</p>	<p>DTS/DPF 31.1</p> <p>Dwellings have a minimum internal floor area in accordance with the following table:</p> <table border="1" style="width: 100%;"> <thead> <tr> <th style="text-align: left;">Number of bedrooms</th> <th style="text-align: left;">Minimum internal floor area</th> </tr> </thead> <tbody> <tr> <td>Studio</td> <td>35m<sup>2</sup></td> </tr> <tr> <td>1 bedroom</td> <td>50m<sup>2</sup></td> </tr> <tr> <td>2 bedroom</td> <td>65m<sup>2</sup></td> </tr> <tr> <td>3+ bedrooms</td> <td>80m<sup>2</sup> and any dwelling over 3 bedrooms provides an additional 15m<sup>2</sup> for every additional bedroom</td> </tr> </tbody> </table>	Number of bedrooms	Minimum internal floor area	Studio	35m <sup>2</sup>	1 bedroom	50m <sup>2</sup>	2 bedroom	65m <sup>2</sup>	3+ bedrooms	80m <sup>2</sup> and any dwelling over 3 bedrooms provides an additional 15m <sup>2</sup> for every additional bedroom
Number of bedrooms	Minimum internal floor area										
Studio	35m <sup>2</sup>										
1 bedroom	50m <sup>2</sup>										
2 bedroom	65m <sup>2</sup>										
3+ bedrooms	80m <sup>2</sup> and any dwelling over 3 bedrooms provides an additional 15m <sup>2</sup> for every additional bedroom										

PO 31.2 The orientation and siting of buildings minimises impacts on the amenity, outlook and privacy of occupants and neighbours.	DTS/DPF 31.2 None are applicable.
PO 31.3 Development maximises the number of dwellings that face public open space and public streets and limits dwellings oriented towards adjoining properties.	DTS/DPF 31.3 None are applicable.
PO 31.4 Battle-axe development is appropriately sited and designed to respond to the existing neighbourhood context.	DTS/DPF 31.4 Dwelling sites/allotments are not in the form of a battle-axe arrangement.
<b>Communal Open Space</b>	
PO 32.1 Private open space provision may be substituted for communal open space which is designed and sited to meet the recreation and amenity needs of residents.	DTS/DPF 32.1 None are applicable.
PO 32.2 Communal open space is of sufficient size and dimensions to cater for group recreation.	DTS/DPF 32.2 Communal open space incorporates a minimum dimension of 5 metres.
PO 32.3 Communal open space is designed and sited to:  (a) be conveniently accessed by the dwellings which it services (b) have regard to acoustic, safety, security and wind effects.	DTS/DPF 32.3 None are applicable.
PO 32.4 Communal open space contains landscaping and facilities that are functional, attractive and encourage recreational use.	DTS/DPF 32.4 None are applicable.
PO 32.5 Communal open space is designed and sited to:  (a) in relation to rooftop or elevated gardens, minimise overlooking into habitable room windows or onto the useable private open space of other dwellings (b) in relation to ground floor communal space, be overlooked by habitable rooms to facilitate passive surveillance.	DTS/DPF 32.5 None are applicable.
<b>Car parking, access and manoeuvrability</b>	
PO 33.1 Driveways and access points are designed and distributed to optimise the provision of on-street visitor parking.	DTS/DPF 33.1 Where on-street parking is available directly adjacent the site, on-street parking is retained adjacent the subject site in accordance with the following requirements:  (a) minimum 0.33 on-street car parks per proposed dwelling (rounded up to the nearest whole number) (b) minimum car park length of 5.4m where a vehicle can enter or exit a space directly (c) minimum carpark length of 6m for an intermediate space located between two other parking spaces or to an end obstruction where the parking is indented.
PO 33.2 The number of vehicular access points onto public roads is minimised to reduce interruption of the footpath and positively contribute to public safety and walkability.	DTS/DPF 33.2 Access to group dwellings or dwellings within a residential flat building is provided via a single common driveway.
PO 33.3 Residential driveways that service more than one dwelling are designed to allow safe and convenient movement.	DTS/DPF 33.3 Driveways that service more than 1 dwelling or a dwelling on a battle-axe site:



	<ul style="list-style-type: none"> <li>(a) have a minimum width of 3m</li> <li>(b) for driveways servicing more than 3 dwellings: <ul style="list-style-type: none"> <li>(i) have a width of 5.5m or more and a length of 6m or more at the kerb of the primary street</li> <li>(ii) where the driveway length exceeds 30m, incorporate a passing point at least every 30 metres with a minimum width of 5.5m and a minimum length of 6m.</li> </ul> </li> </ul>
PO 33.4 Residential driveways that service more than one dwelling or a dwelling on a battle-axe site are designed to allow passenger vehicles to enter and exit and manoeuvre within the site in a safe and convenient manner.	DTS/DPF 33.4 Driveways providing access to more than one dwelling, or a dwelling on a battle-axe site, allow a B85 passenger vehicle to enter and exit the garages or parking spaces in no more than a three-point turn manoeuvre.
PO 33.5 Dwellings are adequately separated from common driveways and manoeuvring areas.	DTS/DPF 33.5 Dwelling walls with entry doors or ground level habitable room windows are set back at least 1.5m from any driveway or area designated for the movement and manoeuvring of vehicles.
<b>Soft landscaping</b>	
PO 34.1 Soft landscaping is provided between dwellings and common driveways to improve the outlook for occupants and appearance of common areas.	DTS/DPF 34.1 Other than where located directly in front of a garage or building entry, soft landscaping with a minimum dimension of 1m is provided between a dwelling and common driveway.
PO 34.2 Battle-axe or common driveways incorporate landscaping and permeability to improve appearance and assist in stormwater management.	DTS/DPF 34.2 Battle-axe or common driveways satisfy (a) and (b): <ul style="list-style-type: none"> <li>(a) are constructed of a minimum of 50% permeable or porous material</li> <li>(b) where the driveway is located directly adjacent the side or rear boundary of the site, soft landscaping with a minimum dimension of 1m is provided between the driveway and site boundary (excluding along the perimeter of a passing point).</li> </ul>
<b>Site Facilities / Waste Storage</b>	
PO 35.1 Provision is made for suitable mailbox facilities close to the major pedestrian entry to the site or conveniently located considering the nature of accommodation and mobility of occupants.	DTS/DPF 35.1 None are applicable.
PO 35.2 Provision is made for suitable external clothes drying facilities.	DTS/DPF 35.2 None are applicable.
PO 35.3 Provision is made for suitable household waste and recyclable material storage facilities which are: <ul style="list-style-type: none"> <li>(a) located away, or screened, from public view, and</li> <li>(b) conveniently located in proximity to dwellings and the waste collection point.</li> </ul>	DTS/DPF 35.3 None are applicable.
PO 35.4 Waste and recyclable material storage areas are located away from dwellings.	DTS/DPF 35.4 Dedicated waste and recyclable material storage areas are located at least 3m from any habitable room window.
PO 35.5 Where waste bins cannot be conveniently collected from the street, provision is made for on-site waste collection, designed to accommodate the safe and convenient access, egress and movement of waste collection vehicles.	DTS/DPF 35.5 None are applicable.

PO 35.6 Services including gas and water meters are conveniently located and screened from public view.	DTS/DPF 35.6 None are applicable.
Water sensitive urban design	
PO 36.1 Residential development creating a common driveway / access includes stormwater management systems that minimise the discharge of sediment, suspended solids, organic matter, nutrients, bacteria, litter and other contaminants to the stormwater system, watercourses or other water bodies.	DTS/DPF 36.1 None are applicable.
PO 36.2 Residential development creating a common driveway / access includes a stormwater management system designed to mitigate peak flows and manage the rate and duration of stormwater discharges from the site to ensure that the development does not increase the peak flows in downstream systems.	DTS/DPF 36.2 None are applicable.
Supported Accommodation and retirement facilities	
Siting, Configuration and Design	
PO 37.1 Supported accommodation and housing for aged persons and people with disabilities is located where on-site movement of residents is not unduly restricted by the slope of the land.	DTS/DPF 37.1 None are applicable.
PO 37.2 Universal design features are incorporated to provide options for people living with disabilities or limited mobility and / or to facilitate ageing in place.	DTS/DPF 37.2 None are applicable.
Movement and Access	
PO 38.1 Development is designed to support safe and convenient access and movement for residents by providing:  (a) ground-level access or lifted access to all units (b) level entry porches, ramps, paths, driveways, passenger loading areas and areas adjacent to footpaths that allow for the passing of wheelchairs and resting places (c) car parks with gradients no steeper than 1-in-40, and of sufficient area to provide for wheelchair manoeuvrability (d) kerb ramps at pedestrian crossing points.	DTS/DPF 38.1 None are applicable.
Communal Open Space	
PO 39.1 Development is designed to provide attractive, convenient and comfortable indoor and outdoor communal areas to be used by residents and visitors.	DTS/DPF 39.1 None are applicable.
PO 39.2 Private open space provision may be substituted for communal open space which is designed and sited to meet the recreation and amenity needs of residents.	DTS/DPF 39.2 None are applicable.
PO 39.3 Communal open space is of sufficient size and dimensions to cater for group recreation.	DTS/DPF 39.3 Communal open space incorporates a minimum dimension of 5 metres.
PO 39.4 Communal open space is designed and sited to:	DTS/DPF 39.4 None are applicable.

<p>(a) be conveniently accessed by the dwellings which it services</p> <p>(b) have regard to acoustic, safety, security and wind effects.</p>	
<p>PO 39.5</p> <p>Communal open space contains landscaping and facilities that are functional, attractive and encourage recreational use.</p>	<p>DTS/DPF 39.5</p> <p>None are applicable.</p>
<p>PO 39.6</p> <p>Communal open space is designed and sited to:</p> <p>(a) in relation to rooftop or elevated gardens, minimise overlooking into habitable room windows or onto the useable private open space of other dwellings</p> <p>(b) in relation to ground floor communal space, be overlooked by habitable rooms to facilitate passive surveillance.</p>	<p>DTS/DPF 39.6</p> <p>None are applicable.</p>
<p>Site Facilities / Waste Storage</p>	
<p>PO 40.1</p> <p>Development is designed to provide storage areas for personal items and specialised equipment such as small electric powered vehicles, including facilities for the recharging of small electric-powered vehicles.</p>	<p>DTS/DPF 40.1</p> <p>None are applicable.</p>
<p>PO 40.2</p> <p>Provision is made for suitable mailbox facilities close to the major pedestrian entry to the site or conveniently located considering the nature of accommodation and mobility of occupants.</p>	<p>DTS/DPF 40.2</p> <p>None are applicable.</p>
<p>PO 40.3</p> <p>Provision is made for suitable external clothes drying facilities.</p>	<p>DTS/DPF 40.3</p> <p>None are applicable.</p>
<p>PO 40.4</p> <p>Provision is made for suitable household waste and recyclable material storage facilities conveniently located away, or screened, from view.</p>	<p>DTS/DPF 40.4</p> <p>None are applicable.</p>
<p>PO 40.5</p> <p>Waste and recyclable material storage areas are located away from dwellings.</p>	<p>DTS/DPF 40.5</p> <p>Dedicated waste and recyclable material storage areas are located at least 3m from any habitable room window.</p>
<p>PO 40.6</p> <p>Provision is made for on-site waste collection where 10 or more bins are to be collected at any one time.</p>	<p>DTS/DPF 40.6</p> <p>None are applicable.</p>
<p>PO 40.7</p> <p>Services, including gas and water meters, are conveniently located and screened from public view.</p>	<p>DTS/DPF 40.7</p> <p>None are applicable.</p>
<p>Student Accommodation</p>	
<p>PO 41.1</p> <p>Student accommodation is designed to provide safe, secure, attractive, convenient and comfortable living conditions for residents, including an internal layout and facilities that are designed to provide sufficient space and amenity for the requirements of student life and promote social interaction.</p>	<p>DTS/DPF 41.1</p> <p>Student accommodation provides:</p> <p>(a) a range of living options to meet a variety of accommodation needs, such as one-bedroom, two-bedroom and disability access units</p> <p>(b) common or shared facilities to enable a more efficient use of space, including:</p> <ul style="list-style-type: none"> <li>(i) shared cooking, laundry and external drying facilities</li> <li>(ii) internal and external communal and private open space provided in accordance with Design in Urban Areas Table 1 - Private Open Space</li> <li>(iii) common storage facilities at the rate of 8m<sup>3</sup> for every 2 dwellings or students</li> </ul>



	<ul style="list-style-type: none"> <li>(iv) common on-site parking in accordance with Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas</li> <li>(v) bicycle parking at the rate of one space for every 2 students.</li> </ul>
--	---

<p>PO 41.2</p> <p>Student accommodation is designed to provide easy adaptation of the building to accommodate an alternative use of the building in the event it is no longer required for student housing.</p>	<p>DTS/DPF 41.2</p> <p>None are applicable.</p>
---	---

All non-residential development

Water Sensitive Design

<p>PO 42.1</p> <p>Development likely to result in risk of export of sediment, suspended solids, organic matter, nutrients, oil and grease include stormwater management systems designed to minimise pollutants entering stormwater.</p>	<p>DTS/DPF 42.1</p> <p>None are applicable.</p>
--	---

<p>PO 42.2</p> <p>Water discharged from a development site is of a physical, chemical and biological condition equivalent to or better than its pre-developed state.</p>	<p>DTS/DPF 42.2</p> <p>None are applicable.</p>
--	---

<p>PO 42.3</p> <p>Development includes stormwater management systems to mitigate peak flows and manage the rate and duration of stormwater discharges from the site to ensure that development does not increase peak flows in downstream systems.</p>	<p>DTS/DPF 42.3</p> <p>None are applicable.</p>
--	---

Wash-down and Waste Loading and Unloading

<p>PO 43.1</p> <p>Areas for activities including loading and unloading, storage of waste refuse bins in commercial and industrial development or wash-down areas used for the cleaning of vehicles, plant or equipment are:</p> <ul style="list-style-type: none"> <li>(a) designed to contain all wastewater likely to pollute stormwater within a bunded and roofed area to exclude the entry of external surface stormwater run-off</li> <li>(b) paved with an impervious material to facilitate wastewater collection</li> <li>(c) of sufficient size to prevent 'splash-out' or 'over-spray' of wastewater from the wash-down area</li> <li>(d) are designed to drain wastewater to either:             <ul style="list-style-type: none"> <li>(i) a treatment device such as a sediment trap and coalescing plate oil separator with subsequent disposal to a sewer, private or Community Wastewater Management Scheme</li> <li>or</li> <li>(ii) a holding tank and its subsequent removal off-site on a regular basis.</li> </ul> </li> </ul>	<p>DTS/DPF 43.1</p> <p>None are applicable.</p>
--	---

Laneway Development

Infrastructure and Access

<p>PO 44.1</p> <p>Development with a primary street comprising a laneway, alley, lane, right of way or similar minor thoroughfare only occurs where:</p> <ul style="list-style-type: none"> <li>(a) existing utility infrastructure and services are capable of accommodating the development</li> </ul>	<p>DTS/DPF 44.1</p> <p>Development with a primary street frontage that is not an alley, lane, right of way or similar public thoroughfare.</p>
--	--

<ul style="list-style-type: none"> <li>(b) the primary street can support access by emergency and regular service vehicles (such as waste collection)</li> <li>(c) it does not require the provision or upgrading of infrastructure on public land (such as footpaths and stormwater management systems)</li> <li>(d) safety of pedestrians or vehicle movement is maintained</li> <li>(e) any necessary grade transition is accommodated within the site of the development to support an appropriate development intensity and orderly development of land fronting minor thoroughfares.</li> </ul>	
---	--

Decks

Design and Siting

<p>PO 45.1</p> <p>Decks are designed and sited to:</p> <ul style="list-style-type: none"> <li>(a) complement the associated building form</li> <li>(b) minimise impacts on the streetscape through siting behind the building line of the principal building (unless on a significant allotment or open space)</li> <li>(c) minimise cut and fill and overall massing when viewed from adjacent land.</li> </ul>	<p>DTS/DPF 45.1</p> <p>Decks:</p> <ul style="list-style-type: none"> <li>(a) where ancillary to a dwelling:                             <ul style="list-style-type: none"> <li>(i) are not constructed, added to or altered so that any part is situated:                                     <ul style="list-style-type: none"> <li>A. in front of any part of the building line of the dwelling to which it is ancillary</li> <li>or</li> <li>B. within 900mm of a boundary of the allotment with a secondary street (if the land has boundaries on two or more roads)</li> </ul> </li> <li>(ii) are set back at least 900mm from side or rear allotment boundaries</li> <li>(iii) when attached to the dwelling, has a finished floor level consistent with the finished ground floor level of the dwelling</li> <li>(iv) where associated with a residential use, retains a total area of soft landscaping for the entire development site, including any common property, with a minimum dimension of 700mm in accordance with (A) or (B), whichever is less:                                     <ul style="list-style-type: none"> <li>A. a total area is determined by the following table:   <table border="1" style="margin-left: 20px; width: 100%; border-collapse: collapse;"> <thead> <tr style="background-color: #004a87; color: white;"> <th style="padding: 5px;">Site area (or in the case of residential flat building or group dwelling(s), average site area) (m<sup>2</sup>)</th> <th style="padding: 5px;">Minimum percentage of site</th> </tr> </thead> <tbody> <tr> <td style="padding: 5px;">&lt;150</td> <td style="padding: 5px;">10%</td> </tr> <tr> <td style="padding: 5px;">150-200</td> <td style="padding: 5px;">15%</td> </tr> <tr> <td style="padding: 5px;">&gt;200-450</td> <td style="padding: 5px;">20%</td> </tr> <tr> <td style="padding: 5px;">&gt;450</td> <td style="padding: 5px;">25%</td> </tr> </tbody> </table> </li> <li>B. the amount of existing soft landscaping prior to the development occurring.</li> </ul> </li> </ul> </li> <li>(b) where in association with a non-residential use:                             <ul style="list-style-type: none"> <li>(i) are set back at least 2 metres from the boundary of an allotment used for residential purposes.</li> <li>(ii) are set back at least 2 metres from a public road.</li> <li>(iii) have a floor area not exceeding 25m<sup>2</sup></li> </ul> </li> <li>(c) in all cases, has a finished floor level not exceeding 1 metre above natural ground level at any point.</li> </ul>	Site area (or in the case of residential flat building or group dwelling(s), average site area) (m <sup>2</sup> )	Minimum percentage of site	<150	10%	150-200	15%	>200-450	20%	>450	25%
Site area (or in the case of residential flat building or group dwelling(s), average site area) (m <sup>2</sup> )	Minimum percentage of site										
<150	10%										
150-200	15%										
>200-450	20%										
>450	25%										

<p>PO 45.2</p> <p>Decks are designed and sited to minimise direct overlooking of</p>	<p>DTS/DPF 45.2</p> <p>Decks with a finished floor level/s 500mm or more above natural</p>
--	--

habitable rooms and private open spaces of adjoining residential uses in neighbourhood-type zones through suitable floor levels, screening and siting taking into account the slope of the subject land, existing vegetation on the subject land, and fencing.	ground level facing side or rear boundaries shared with a residential use in a neighbourhood-type zone incorporate screening with a maximum of 25% transparency/openings, permanently fixed to the outer edge of the deck not less than 1.5 m above the finished floor level/s.
PO 45.3 Decks used for outdoor dining, entertainment or other commercial uses provide carparking in accordance with the primary use of the deck.	DTS/DPF 45.3 Decks used for commercial purposes do not result in less on-site car parking for the primary use of the subject land than specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas.

Table 1 - Private Open Space

Dwelling Type	Dwelling / Site Configuration	Minimum Rate
Dwelling (at ground level, other than a residential flat building that includes above ground dwellings)		Total private open space area: (a) Site area <301m <sup>2</sup> : 24m <sup>2</sup> located behind the building line. (b) Site area ≥ 301m <sup>2</sup> : 60m <sup>2</sup> located behind the building line.  Minimum directly accessible from a living room: 16m <sup>2</sup> / with a minimum dimension 3m.
Cabin or caravan (permanently fixed to the ground) in a residential park or caravan and tourist park		Total area: 16m <sup>2</sup> , which may be uses as second car parking space, provided on each site intended for residential occupation.
Dwelling in a residential flat building or mixed use building which incorporate above ground level dwellings	Dwellings at ground level:	15m <sup>2</sup> / minimum dimension 3m
	Dwellings above ground level:	
	Studio (no separate bedroom)	4m <sup>2</sup> / minimum dimension 1.8m
	One bedroom dwelling	8m <sup>2</sup> / minimum dimension 2.1m
	Two bedroom dwelling	11m <sup>2</sup> / minimum dimension 2.4m
	Three + bedroom dwelling	15m <sup>2</sup> / minimum dimension 2.6m

## Forestry

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Commercial forestry is designed and sited to maximise economic benefits whilst managing potential negative impacts on the environment, transport networks, surrounding land uses and landscapes.



Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
<b>Siting</b>	
PO 1.1 Commercial forestry plantations are established where there is no detrimental effect on the physical environment or scenic quality of the rural landscape.	DTS/DPF 1.1 None are applicable.
PO 1.2 Commercial forestry plantations are established on slopes that are stable to minimise the risk of soil erosion.	DTS/DPF 1.2 Commercial forestry plantations are not located on land with a slope exceeding 20% (1-in-5).
PO 1.3 Commercial forestry plantations and operations associated with their establishment, management and harvesting are appropriately set back from any sensitive receiver to minimise fire risk and noise disturbance.	DTS/DPF 1.3 Commercial forestry plantations and operations associated with their establishment, management and harvesting are set back 50m or more from any sensitive receiver.
<b>Water Protection</b>	
PO 2.1 Commercial forestry plantations incorporate artificial drainage lines (i.e. culverts, runoffs and constructed drains) integrated with natural drainage lines to minimise concentrated water flows onto or from plantation areas.	DTS/DPF 2.1 None are applicable.
PO 2.2 Appropriate siting, layout and design measures are adopted to minimise the impact of commercial forestry plantations on surface water resources.	DTS/DPF 2.2 Commercial forestry plantations: <ul style="list-style-type: none"> <li>(a) do not involve cultivation (excluding spot cultivation) in drainage lines</li> <li>(b) are set back 20m or more from the banks of any major watercourse (a third order or higher watercourse), lake, reservoir, wetland or sinkhole (with direct connection to an aquifer)</li> <li>(c) are set back 10m or more from the banks of any first or second order watercourse or sinkhole (with no direct connection to an aquifer).</li> </ul>
<b>Fire Management</b>	
PO 3.1 Commercial forestry plantations incorporate appropriate firebreaks and fire management design elements.	DTS/DPF 3.1 Commercial forestry plantations provide: <ul style="list-style-type: none"> <li>(a) 7m or more wide external boundary firebreaks for plantations of 40ha or less</li> <li>(b) 10m or more wide external boundary firebreaks for plantations of between 40ha and 100ha</li> <li>(c) 20m or more wide external boundary firebreaks, or 10m with an additional 10m or more of fuel-reduced plantation, for plantations of 100ha or greater.</li> </ul> Note: Firebreaks prescribed above (as well as access tracks) may be included within the setback buffer distances prescribed by other policies of the Code.
PO 3.2 Commercial forestry plantations incorporate appropriate fire management access tracks.	DTS/DPF 3.2 Commercial forestry plantation fire management access tracks: <ul style="list-style-type: none"> <li>(a) are incorporated within all firebreaks</li> <li>(b) are 7m or more wide with a vertical clearance of 4m or more</li> </ul>

	<ul style="list-style-type: none"> <li>(c) are aligned to provide straight through access at junctions, or if they are a no through access track are appropriately signposted and provide suitable turnaround areas for fire-fighting vehicles</li> <li>(d) partition the plantation into units of 40ha or less in area.</li> </ul>																					
Power-line Clearances																						
<p>PO 4.1</p> <p>Commercial forestry plantations achieve and maintain appropriate clearances from aboveground powerlines.</p>	<p>DTS/DPF 4.1</p> <p>Commercial forestry plantations incorporating trees with an expected mature height of greater than 6m meet the clearance requirements listed in the following table:</p> <table border="1"> <thead> <tr> <th>Voltage of transmission line</th> <th>Tower or Pole</th> <th>Minimum horizontal clearance distance between plantings and transmission lines</th> </tr> </thead> <tbody> <tr> <td>500 kV</td> <td>Tower</td> <td>38m</td> </tr> <tr> <td>275 kV</td> <td>Tower</td> <td>25m</td> </tr> <tr> <td>132 kV</td> <td>Tower</td> <td>30m</td> </tr> <tr> <td>132 kV</td> <td>Pole</td> <td>20m</td> </tr> <tr> <td>66 kV</td> <td>Pole</td> <td>20m</td> </tr> <tr> <td>Less than 66 kV</td> <td>Pole</td> <td>20m</td> </tr> </tbody> </table>	Voltage of transmission line	Tower or Pole	Minimum horizontal clearance distance between plantings and transmission lines	500 kV	Tower	38m	275 kV	Tower	25m	132 kV	Tower	30m	132 kV	Pole	20m	66 kV	Pole	20m	Less than 66 kV	Pole	20m
Voltage of transmission line	Tower or Pole	Minimum horizontal clearance distance between plantings and transmission lines																				
500 kV	Tower	38m																				
275 kV	Tower	25m																				
132 kV	Tower	30m																				
132 kV	Pole	20m																				
66 kV	Pole	20m																				
Less than 66 kV	Pole	20m																				

## Housing Renewal

### Assessment Provisions (AP)

The Housing Renewal General Development Policies are only applicable to dwellings or residential flat building undertaken by:

- (a) the South Australian Housing Trust either individually or jointly with other persons or bodies or
- (b) a provider registered under the Community Housing National Law participating in a program relating to the renewal of housing endorsed by the South Australian Housing Trust.

Desired Outcome (DO)

Desired Outcome	
DO 1	Renewed residential environments replace older social housing and provide new social housing infrastructure and other housing options and tenures to enhance the residential amenity of the local area.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Land Use and Intensity	
<p>PO 1.1</p> <p>Residential development provides a range of housing choices.</p>	<p>DTS/DPF 1.1</p> <p>Development comprises one or more of the following:</p> <ul style="list-style-type: none"> <li>(a) detached dwellings</li> <li>(b) semi-detached dwellings</li> <li>(c) row dwellings</li> <li>(d) group dwellings</li> </ul>

	(e) residential flat buildings.
PO 1.2 Medium-density housing options or higher are located in close proximity to public transit, open space and/or activity centres.	DTS/DPF 1.2 None are applicable.
<b>Building Height</b>	
PO 2.1 Buildings generally do not exceed 3 building levels unless in locations close to public transport, centres and/or open space.	DTS/DPF 2.1 Building height (excluding garages, carports and outbuildings) does not exceed 3 building levels and 12m and wall height does not exceed 9m (not including a gable end).
PO 2.2 Medium or high rise residential flat buildings located within or at the interface with zones which restrict heights to a maximum of 2 building levels transition down in scale and height towards the boundary of that zone, other than where it is a street boundary.	DTS/DPF 2.2 None are applicable.
<b>Primary Street Setback</b>	
PO 3.1 Buildings are set back from the primary street boundary to contribute to an attractive streetscape character.	DTS/DPF 3.1 Buildings are no closer to the primary street (excluding any balcony, verandah, porch, awning or similar structure) than 3m.
<b>Secondary Street Setback</b>	
PO 4.1 Buildings are set back from secondary street boundaries to maintain separation between building walls and public streets and contribute to a suburban streetscape character.	DTS/DPF 4.1 Buildings are set back at least 900mm from the boundary of the allotment with a secondary street frontage.
<b>Boundary Walls</b>	
PO 5.1 Boundary walls are limited in height and length to manage visual impacts and access to natural light and ventilation.	DTS/DPF 5.1 Except where the dwelling is located on a central site within a row dwelling or terrace arrangement, dwellings with side boundary walls are sited on only one side boundary and satisfy (a) or (b):  (a) adjoin or abut a boundary wall of a building on adjoining land for the same length and height (b) do not: (i) exceed 3.2m in height from the lower of the natural or finished ground level (ii) exceed 11.5m in length (iii) when combined with other walls on the boundary of the subject development site, a maximum 45% of the length of the boundary (iv) encroach within 3 metres of any other existing or proposed boundary walls on the subject land.
PO 5.2 Dwellings in a semi-detached, row or terrace arrangement maintain space between buildings consistent with a suburban streetscape character.	DTS/DPF 5.2 Dwellings in a semi-detached or row arrangement are set back 900mm or more from side boundaries shared with allotments outside the development site, except for a carport or garage.
<b>Side Boundary Setback</b>	
PO 6.1 Buildings are set back from side boundaries to provide:	DTS/DPF 6.1 Other than walls located on a side boundary, buildings are set back



<ul style="list-style-type: none"> <li>(a) separation between dwellings in a way that contributes to a suburban character</li> <li>(b) access to natural light and ventilation for neighbours.</li> </ul>	<p>from side boundaries in accordance with the following:</p> <ul style="list-style-type: none"> <li>(a) where the wall height does not exceed 3m - at least 900mm</li> <li>(b) for a wall that is not south facing and the wall height exceeds 3m - at least 900mm from the boundary of the site plus a distance of 1/3 of the extent to which the height of the wall exceeds 3m from the top of the footings</li> <li>(c) for a wall that is south facing and the wall height exceeds 3m - at least 1.9m from the boundary of the site plus a distance of 1/3 of the extent to which the height of the wall exceeds 3m from the top of the footings.</li> </ul>
<p>Rear Boundary Setback</p>	
<p>PO 7.1</p> <p>Buildings are set back from rear boundaries to provide:</p> <ul style="list-style-type: none"> <li>(a) separation between dwellings in a way that contributes to a suburban character</li> <li>(b) access to natural light and ventilation for neighbours</li> <li>(c) private open space</li> <li>(d) space for landscaping and vegetation.</li> </ul>	<p>DTS/DPF 7.1</p> <p>Dwellings are set back from the rear boundary:</p> <ul style="list-style-type: none"> <li>(a) 3m or more for the first building level</li> <li>(b) 5m or more for any subsequent building level.</li> </ul>
<p>Buildings elevation design</p>	
<p>PO 8.1</p> <p>Dwelling elevations facing public streets and common driveways make a positive contribution to the streetscape and common driveway areas.</p>	<p>DTS/DPF 8.1</p> <p>Each dwelling includes at least 3 of the following design features within the building elevation facing a primary street, and at least 2 of the following design features within the building elevation facing any other public road (other than a laneway) or a common driveway:</p> <ul style="list-style-type: none"> <li>(a) a minimum of 30% of the building elevation is set back an additional 300mm from the building line</li> <li>(b) a porch or portico projects at least 1m from the building elevation</li> <li>(c) a balcony projects from the building elevation</li> <li>(d) a verandah projects at least 1m from the building elevation</li> <li>(e) eaves of a minimum 400mm width extend along the width of the front elevation</li> <li>(f) a minimum 30% of the width of the upper level projects forward from the lower level primary building line by at least 300mm.</li> <li>(g) a minimum of two different materials or finishes are incorporated on the walls of the building elevation, with a maximum of 80% of the building elevation in a single material or finish.</li> </ul>
<p>PO 8.2</p> <p>Dwellings incorporate windows along primary street frontages to encourage passive surveillance and make a positive contribution to the streetscape.</p>	<p>DTS/DPF 8.2</p> <p>Each dwelling with a frontage to a public street:</p> <ul style="list-style-type: none"> <li>(a) includes at least one window facing the primary street from a habitable room that has a minimum internal room dimension of 2.4m</li> <li>(b) has an aggregate window area of at least 2m<sup>2</sup> facing the primary street</li> </ul>
<p>PO 8.3</p> <p>The visual mass of larger buildings is reduced when viewed from adjoining allotments or public streets.</p>	<p>DTS/DPF 8.3</p> <p>None are applicable.</p>
<p>PO 8.4</p> <p>Built form considers local context and provides a quality design response through scale, massing, materials, colours and architectural expression.</p>	<p>DTS/DPF 8.4</p> <p>None are applicable.</p>
<p>PO 8.5</p>	<p>DTS/DPF 8.5</p>

<p>Entrances to multi-storey buildings are:</p> <ul style="list-style-type: none"> <li>(a) oriented towards the street</li> <li>(b) visible and easily identifiable from the street</li> <li>(c) designed to include a common mail box structure.</li> </ul>	<p>None are applicable.</p>
--	-----------------------------

Outlook and amenity

<p>PO 9.1 Living rooms have an external outlook to provide a high standard of amenity for occupants.</p>	<p>DTS/DPF 9.1 A living room of a dwelling incorporates a window with an external outlook towards the street frontage or private open space.</p>
<p>PO 9.2 Bedrooms are separated or shielded from active communal recreation areas, common access areas and vehicle parking areas and access ways to mitigate noise and artificial light intrusion.</p>	<p>DTS/DPF 9.2 None are applicable.</p>

Private Open Space

<p>PO 10.1 Dwellings are provided with suitable sized areas of usable private open space to meet the needs of occupants.</p>	<p>DTS/DPF 10.1 Private open space is provided in accordance with the following table:</p> <table border="1" data-bbox="831 770 1524 1541"> <thead> <tr> <th data-bbox="831 770 1035 887">Dwelling Type</th> <th data-bbox="1035 770 1262 887">Dwelling / Site Configuration</th> <th data-bbox="1262 770 1524 887">Minimum Rate</th> </tr> </thead> <tbody> <tr> <td data-bbox="831 887 1035 1117">Dwelling (at ground level)</td> <td data-bbox="1035 887 1262 1117"></td> <td data-bbox="1262 887 1524 1117">Total area: 24m<sup>2</sup> located behind the building line  Minimum adjacent to a living room: 16m<sup>2</sup> with a minimum dimension 3m</td> </tr> <tr> <td data-bbox="831 1117 1035 1541" rowspan="4">Dwelling (above ground level)</td> <td data-bbox="1035 1117 1262 1223">Studio</td> <td data-bbox="1262 1117 1524 1223">4m<sup>2</sup> / minimum dimension 1.8m</td> </tr> <tr> <td data-bbox="1035 1223 1262 1328">One bedroom dwelling</td> <td data-bbox="1262 1223 1524 1328">8m<sup>2</sup> / minimum dimension 2.1m</td> </tr> <tr> <td data-bbox="1035 1328 1262 1433">Two bedroom dwelling</td> <td data-bbox="1262 1328 1524 1433">11m<sup>2</sup> / minimum dimension 2.4m</td> </tr> <tr> <td data-bbox="1035 1433 1262 1541">Three + bedroom dwelling</td> <td data-bbox="1262 1433 1524 1541">15 m<sup>2</sup> / minimum dimension 2.6m</td> </tr> </tbody> </table>	Dwelling Type	Dwelling / Site Configuration	Minimum Rate	Dwelling (at ground level)		Total area: 24m <sup>2</sup> located behind the building line  Minimum adjacent to a living room: 16m <sup>2</sup> with a minimum dimension 3m	Dwelling (above ground level)	Studio	4m <sup>2</sup> / minimum dimension 1.8m	One bedroom dwelling	8m <sup>2</sup> / minimum dimension 2.1m	Two bedroom dwelling	11m <sup>2</sup> / minimum dimension 2.4m	Three + bedroom dwelling	15 m <sup>2</sup> / minimum dimension 2.6m
Dwelling Type	Dwelling / Site Configuration	Minimum Rate														
Dwelling (at ground level)		Total area: 24m <sup>2</sup> located behind the building line  Minimum adjacent to a living room: 16m <sup>2</sup> with a minimum dimension 3m														
Dwelling (above ground level)	Studio	4m <sup>2</sup> / minimum dimension 1.8m														
	One bedroom dwelling	8m <sup>2</sup> / minimum dimension 2.1m														
	Two bedroom dwelling	11m <sup>2</sup> / minimum dimension 2.4m														
	Three + bedroom dwelling	15 m <sup>2</sup> / minimum dimension 2.6m														
<p>PO 10.2 Private open space positioned to provide convenient access from internal living areas.</p>	<p>DTS/DPF 10.2 At least 50% of the required area of private open space is accessible from a habitable room.</p>															
<p>PO 10.3 Private open space is positioned and designed to:</p> <ul style="list-style-type: none"> <li>(a) provide useable outdoor space that suits the needs of occupants;</li> <li>(b) take advantage of desirable orientation and vistas; and</li> <li>(c) adequately define public and private space.</li> </ul>	<p>DTS/DPF 10.3 None are applicable.</p>															

Visual privacy

<p>PO 11.1 Development mitigates direct overlooking from upper level windows to habitable rooms and private open spaces of adjoining residential uses.</p>	<p>DTS/DPF 11.1 Upper level windows facing side or rear boundaries shared with another residential allotment/site satisfy one of the following:</p>
--	---

	<ul style="list-style-type: none"> <li>(a) are permanently obscured to a height of 1.5m above finished floor level and are fixed or not capable of being opened more than 200mm</li> <li>(b) have sill heights greater than or equal to 1.5m above finished floor level</li> <li>(c) incorporate screening with a maximum of 25% openings, permanently fixed no more than 500mm from the window surface and sited adjacent to any part of the window less than 1.5m above the finished floor.</li> </ul>
--	--

<p>PO 11.2 Development mitigates direct overlooking from upper level balconies and terraces to habitable rooms and private open space of adjoining residential uses.</p>	<p>DTS/DPF 11.2 One of the following is satisfied:</p> <ul style="list-style-type: none"> <li>(a) the longest side of the balcony or terrace will face a public road, public road reserve or public reserve that is at least 15m wide in all places faced by the balcony or terrace or</li> <li>(b) all sides of balconies or terraces on upper building levels are permanently obscured by screening with a maximum 25% transparency/openings fixed to a minimum height of:             <ul style="list-style-type: none"> <li>(i) 1.5m above finished floor level where the balcony is located at least 15 metres from the nearest habitable window of a dwelling on adjacent land or</li> <li>(ii) 1.7m above finished floor level in all other cases</li> </ul> </li> </ul>
--	---

**Landscaping**

<p>PO 12.1 Soft landscaping is incorporated into development to:</p> <ul style="list-style-type: none"> <li>(a) minimise heat absorption and reflection</li> <li>(b) maximise shade and shelter</li> <li>(c) maximise stormwater infiltration and biodiversity</li> <li>(d) enhance the appearance of land and streetscapes.</li> </ul>	<p>DTS/DPF 12.1 Residential development incorporates pervious areas for soft landscaping with a minimum dimension of 700mm provided in accordance with (a) and (b):</p> <ul style="list-style-type: none"> <li>(a) a total area as determined by the following table:</li> </ul> <table border="1" data-bbox="831 1216 1524 1406"> <thead> <tr> <th>Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m2)</th> <th>Minimum percentage of site</th> </tr> </thead> <tbody> <tr> <td>&lt;150</td> <td>10%</td> </tr> <tr> <td>&lt;200</td> <td>15%</td> </tr> <tr> <td>200-450</td> <td>20%</td> </tr> <tr> <td>&gt;450</td> <td>25%</td> </tr> </tbody> </table> <ul style="list-style-type: none"> <li>(b) at least 30% of land between the road boundary and the building line.</li> </ul>	Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m2)	Minimum percentage of site	<150	10%	<200	15%	200-450	20%	>450	25%
Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m2)	Minimum percentage of site										
<150	10%										
<200	15%										
200-450	20%										
>450	25%										

**Water Sensitive Design**

<p>PO 13.1 Residential development is designed to capture and use stormwater to:</p> <ul style="list-style-type: none"> <li>(a) maximise efficient use of water resources</li> <li>(b) manage peak stormwater runoff flows and volume to ensure the carrying capacities of downstream systems are not overloaded</li> <li>(c) manage runoff quality to maintain, as close as practical, pre-development conditions.</li> </ul>	<p>DTS/DPF 13.1 None are applicable.</p>
--	--

**Car Parking**

<p>PO 14.1 On-site car parking is provided to meet the anticipated demand of residents, with less on-site parking in areas in close proximity to public transport.</p>	<p>DTS/DPF 14.1 On-site car parking is provided at the following rates per dwelling:</p> <ul style="list-style-type: none"> <li>(a) 2 or fewer bedrooms - 1 car parking space</li> <li>(b) 3 or more bedrooms - 2 car parking spaces.</li> </ul>
--	--

<p>PO 14.2</p>	<p>DTS/DPF 14.2</p>
----------------	---------------------



<p>Enclosed car parking spaces are of dimensions to be functional, accessible and convenient.</p>	<p>Residential parking spaces enclosed by fencing, walls or other obstructions with the following internal dimensions (separate from any waste storage area):</p> <ul style="list-style-type: none"> <li>(a) single parking spaces:                             <ul style="list-style-type: none"> <li>(i) a minimum length of 5.4m</li> <li>(ii) a minimum width of 3.0m</li> <li>(iii) a minimum garage door width of 2.4m</li> </ul> </li> <li>(b) double parking spaces (side by side):                             <ul style="list-style-type: none"> <li>(i) a minimum length of 5.4m</li> <li>(ii) a minimum width of 5.5m</li> <li>(iii) minimum garage door width of 2.4m per space.</li> </ul> </li> </ul>
<p>PO 14.3 Uncovered car parking spaces are of dimensions to be functional, accessible and convenient.</p>	<p>DTS/DPF 14.3 Uncovered car parking spaces have:</p> <ul style="list-style-type: none"> <li>(a) a minimum length of 5.4m</li> <li>(b) a minimum width of 2.4m</li> <li>(c) a minimum width between the centre line of the space and any fence, wall or other obstruction of 1.5m.</li> </ul>
<p>PO 14.4 Residential flat buildings and group dwelling developments provide sufficient on-site visitor car parking to cater for anticipated demand.</p>	<p>DTS/DPF 14.4 Visitor car parking for group and residential flat buildings incorporating 4 or more dwellings is provided on-site at a minimum ratio of 0.25 car parking spaces per dwelling.</p>
<p>PO 14.5 Residential flat buildings provide dedicated areas for bicycle parking.</p>	<p>DTS/DPF 14.5 Residential flat buildings provide one bicycle parking space per dwelling.</p>
<p>Overshadowing</p>	
<p>PO 15.1 Development minimises overshadowing of the private open spaces of adjoining land by ensuring that ground level open space associated with residential buildings receive direct sunlight for a minimum of 2 hours between 9am and 3pm on 21 June.</p>	<p>DTS/DPF 15.1 None are applicable.</p>
<p>Waste</p>	
<p>PO 16.1 Provision is made for the convenient storage of waste bins in a location screened from public view.</p>	<p>DTS/DPF 16.1 A waste bin storage area is provided behind the primary building line that:</p> <ul style="list-style-type: none"> <li>(a) has a minimum area of 2m<sup>2</sup> with a minimum dimension of 900mm (separate from any designated car parking spaces or private open space); and</li> <li>(b) has a continuous unobstructed path of travel (excluding moveable objects like gates, vehicles and roller doors) with a minimum width of 800mm between the waste bin storage area and the street.</li> </ul>
<p>PO 16.2 Residential flat buildings provide a dedicated area for the on-site storage of waste which is:</p> <ul style="list-style-type: none"> <li>(a) easily and safely accessible for residents and for collection vehicles</li> <li>(b) screened from adjoining land and public roads</li> <li>(c) of sufficient dimensions to be able to accommodate the waste storage needs of the development considering the intensity and nature of the development and the frequency of collection.</li> </ul>	<p>DTS/DPF 16.2 None are applicable.</p>



	(c) if located to provide access from an alley, lane or right of way - the alley, land or right of way is at least 6.2m wide along the boundary of the allotment / site.
PO 17.4 Driveways and access points are designed and distributed to optimise the provision of on-street parking.	DTS/DPF 17.4 Where on-street parking is available abutting the site's street frontage, on-street parking is retained in accordance with the following requirements: (a) minimum 0.33 on-street spaces per dwelling on the site (rounded up to the nearest whole number) (b) minimum car park length of 5.4m where a vehicle can enter or exit a space directly (c) minimum carpark length of 6m for an intermediate space located between two other parking spaces or to an end obstruction where the parking is indented.
PO 17.5 Residential driveways that service more than one dwelling of a dimension to allow safe and convenient movement.	DTS/DPF 17.5 Driveways that service more than 1 dwelling or a dwelling on a battle-axe site: (a) have a minimum width of 3m (b) for driveways servicing more than 3 dwellings: (i) have a width of 5.5m or more and a length of 6m or more at the kerb of the primary street (ii) where the driveway length exceeds 30m, incorporate a passing point at least every 30 metres with a minimum width of 5.5m and a minimum length of 6m.
PO 17.6 Residential driveways that service more than one dwelling are designed to allow passenger vehicles to enter and exit the site and manoeuvre within the site in a safe and convenient manner.	DTS/DPF 17.6 Driveways providing access to more than one dwelling, or a dwelling on a battle-axe site, allow a B85 passenger vehicle to enter and exit the garages or parking spaces in no more than a three-point turn manoeuvre
PO 17.7 Dwellings are adequately separated from common driveways and manoeuvring areas.	DTS/DPF 17.7 Dwelling walls with entry doors or ground level habitable room windows are set back at least 1.5m from any driveway or area designated for the movement and manoeuvring of vehicles.
<b>Storage</b>	
PO 18.1 Dwellings are provided with sufficient and accessible space for storage to meet likely occupant needs.	DTS/DPF 18.1 Dwellings are provided with storage at the following rates and 50% or more of the storage volume is provided within the dwelling: (a) studio: not less than 6m <sup>3</sup> (b) 1 bedroom dwelling / apartment: not less than 8m <sup>3</sup> (c) 2 bedroom dwelling / apartment: not less than 10m <sup>3</sup> (d) 3+ bedroom dwelling / apartment: not less than 12m <sup>3</sup> .
<b>Earthworks</b>	
PO 19.1 Development, including any associated driveways and access tracks, minimises the need for earthworks to limit disturbance to natural topography.	DTS/DPF 19.1 The development does not involve: (a) excavation exceeding a vertical height of 1m or (b) filling exceeding a vertical height of 1m or (c) a total combined excavation and filling vertical height exceeding 2m.
<b>Service connections and infrastructure</b>	
PO 20.1 Dwellings are provided with appropriate service connections and	DTS/DPF 20.1 The site and building:



<p>infrastructure.</p>	<ul style="list-style-type: none"> <li>(a) have the ability to be connected to a permanent potable water supply</li> <li>(b) have the ability to be connected to a sewerage system, or a wastewater system approved under the <i>South Australian Public Health Act 2011</i></li> <li>(c) have the ability to be connected to electricity supply</li> <li>(d) have the ability to be connected to an adequate water supply (and pressure) for fire-fighting purposes</li> <li>(e) would not be contrary to the Regulations prescribed for the purposes of Section 86 of the <i>Electricity Act 1996</i>.</li> </ul>
------------------------	---

Site contamination

<p>PO 21.1 Land that is suitable for sensitive land uses to provide a safe environment.</p>	<p>DTS/DPF 21.1 Development satisfies (a), (b), (c) or (d):</p> <ul style="list-style-type: none"> <li>(a) does not involve a change in the use of land</li> <li>(b) involves a change in the use of land that does not constitute a change to a <u>more sensitive use</u></li> <li>(c) involves a change in the use of land to a <u>more sensitive use</u> on land at which <u>site contamination</u> does not exist (as demonstrated in a <u>site contamination declaration form</u>)</li> <li>(d) involves a change in the use of land to a <u>more sensitive use</u> on land at which <u>site contamination</u> exists, or may exist (as demonstrated in a site contamination declaration form), and satisfies both of the following:             <ul style="list-style-type: none"> <li>(i) a <u>site contamination audit report</u> has been prepared under Part 10A of the <i>Environment Protection Act 1993</i> in relation to the land within the previous 5 years which states that                 <ul style="list-style-type: none"> <li>A. <u>site contamination</u> does not exist (or no longer exists) at the land or</li> <li>B. the land is suitable for the proposed use or range of uses (without the need for any further <u>remediation</u>) or</li> <li>C. where <u>remediation</u> is, or remains, necessary for the proposed use (or range of uses), <u>remediation work</u> has been carried out or will be carried out (and the applicant has provided a written undertaking that the remediation works will be implemented in association with the development)</li> </ul> </li> <li>and</li> <li>(ii) no other <u>class 1 activity</u> or <u>class 2 activity</u> has taken place at the land since the preparation of the site contamination audit report (as demonstrated in a <u>site contamination declaration form</u>).</li> </ul> </li> </ul>
---	--

Infrastructure and Renewable Energy Facilities

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Efficient provision of infrastructure networks and services, renewable energy facilities and ancillary development in a manner that

	minimises hazard, is environmentally and culturally sensitive and manages adverse visual impacts on natural and rural landscapes and residential amenity.
--	---

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
General	
PO 1.1 Development is located and designed to minimise hazard or nuisance to adjacent development and land uses.	DTS/DPF 1.1 None are applicable.
Visual Amenity	
PO 2.1 The visual impact of above-ground infrastructure networks and services (excluding high voltage transmission lines), renewable energy facilities (excluding wind farms), energy storage facilities and ancillary development is minimised from townships, scenic routes and public roads by:  <ul style="list-style-type: none"> <li>(a) utilising features of the natural landscape to obscure views where practicable</li> <li>(b) siting development below ridgelines where practicable</li> <li>(c) avoiding visually sensitive and significant landscapes</li> <li>(d) using materials and finishes with low-reflectivity and colours that complement the surroundings</li> <li>(e) using existing vegetation to screen buildings</li> <li>(f) incorporating landscaping or landscaped mounding around the perimeter of a site and between adjacent allotments accommodating or zoned to primarily accommodate sensitive receivers.</li> </ul>	DTS/DPF 2.1 None are applicable.
PO 2.2 Pumping stations, battery storage facilities, maintenance sheds and other ancillary structures incorporate vegetation buffers to reduce adverse visual impacts on adjacent land.	DTS/DPF 2.2 None are applicable.
PO 2.3 Surfaces exposed by earthworks associated with the installation of storage facilities, pipework, penstock, substations and other ancillary plant are reinstated and revegetated to reduce adverse visual impacts on adjacent land.	DTS/DPF 2.3 None are applicable.
Rehabilitation	
PO 3.1 Progressive rehabilitation (incorporating revegetation) of disturbed areas, ahead of or upon decommissioning of areas used for renewable energy facilities and transmission corridors.	DTS/DPF 3.1 None are applicable.
Hazard Management	
PO 4.1 Infrastructure and renewable energy facilities and ancillary development located and operated to not adversely impact maritime or air transport safety, including the operation of ports, airfields and landing strips.	DTS/DPF 4.1 None are applicable.
PO 4.2 Facilities for energy generation, power storage and transmission are separated as far as practicable from dwellings, tourist accommodation and frequently visited public places	DTS/DPF 4.2 None are applicable.

(such as viewing platforms / lookouts) to reduce risks to public safety from fire or equipment malfunction.	
PO 4.3 Bushfire hazard risk is minimised for renewable energy facilities by providing appropriate access tracks, safety equipment and water tanks and establishing cleared areas around substations, battery storage and operations compounds.	DTS/DPF 4.3 None are applicable.
<b>Electricity Infrastructure and Battery Storage Facilities</b>	
PO 5.1 Electricity infrastructure is located to minimise visual impacts through techniques including:  (a) siting utilities and services: (i) on areas already cleared of native vegetation (ii) where there is minimal interference or disturbance to existing native vegetation or biodiversity  (b) grouping utility buildings and structures with non-residential development, where practicable.	DTS/DPF 5.1 None are applicable.
PO 5.2 Electricity supply (excluding transmission lines) serving new development in urban areas and townships installed underground, excluding lines having a capacity exceeding or equal to 33kV.	DTS/DPF 5.2 None are applicable.
PO 5.3 Battery storage facilities are co-located with substation infrastructure where practicable to minimise the development footprint and reduce environmental impacts.	DTS/DPF 5.3 None are applicable.
<b>Telecommunication Facilities</b>	
PO 6.1 The proliferation of telecommunications facilities in the form of towers/monopoles in any one locality is managed, where technically feasible, by co-locating a facility with other communications facilities to mitigate impacts from clutter on visual amenity.	DTS/DPF 6.1 None are applicable.
PO 6.2 Telecommunications antennae are located as close as practicable to support structures to manage overall bulk and mitigate impacts on visual amenity.	DTS/DPF 6.2 None are applicable.
PO 6.3 Telecommunications facilities, particularly towers/monopoles, are located and sized to mitigate visual impacts by the following methods:  (a) where technically feasible, incorporating the facility within an existing structure that may serve another purpose or all of the following:  (b) using existing buildings and landscape features to obscure or interrupt views of a facility from nearby public roads, residential areas and places of high public amenity to the extent practical without unduly hindering the effective provision of telecommunications services	DTS/DPF 6.3 None are applicable.



<p>(c) using materials and finishes that complement the environment</p> <p>(d) screening using landscaping and vegetation, particularly for equipment shelters and huts.</p>	
<p>Renewable Energy Facilities</p>	
<p>PO 7.1</p> <p>Renewable energy facilities are located as close as practicable to existing transmission infrastructure to facilitate connections and minimise environmental impacts as a result of extending transmission infrastructure.</p>	<p>DTS/DPF 7.1</p> <p>None are applicable.</p>
<p>Renewable Energy Facilities (Wind Farm)</p>	
<p>PO 8.1</p> <p>Visual impact of wind turbine generators on the amenity of residential and tourist development is reduced through appropriate separation.</p>	<p>DTS/DPF 8.1</p> <p>Wind turbine generators are:</p> <ul style="list-style-type: none"> <li>(a) set back at least 2000m from the base of a turbine to any of the following zones:                             <ul style="list-style-type: none"> <li>(i) Rural Settlement Zone</li> <li>(ii) Township Zone</li> <li>(iii) Rural Living Zone</li> <li>(iv) Rural Neighbourhood Zone</li> </ul> </li> </ul> <p>with an additional 10m setback per additional metre over 150m overall turbine height (measured from the base of the turbine).</p> <ul style="list-style-type: none"> <li>(b) set back at least 1500m from the base of the turbine to non-associated (non-stakeholder) dwellings and tourist accommodation</li> </ul>
<p>PO 8.2</p> <p>The visual impact of wind turbine generators on natural landscapes is managed by:</p> <ul style="list-style-type: none"> <li>(a) designing wind turbine generators to be uniform in colour, size and shape</li> <li>(b) coordinating blade rotation and direction</li> <li>(c) mounting wind turbine generators on tubular towers as opposed to lattice towers.</li> </ul>	<p>DTS/DPF 8.2</p> <p>None are applicable.</p>
<p>PO 8.3</p> <p>Wind turbine generators and ancillary development minimise potential for bird and bat strike.</p>	<p>DTS/DPF 8.3</p> <p>None are applicable.</p>
<p>PO 8.4</p> <p>Wind turbine generators incorporate recognition systems or physical markers to minimise the risk to aircraft operations.</p>	<p>DTS/DPF 8.4</p> <p>No Commonwealth air safety (CASA / ASA) or Defence requirement is applicable.</p>
<p>PO 8.5</p> <p>Meteorological masts and guidewires are identifiable to aircraft through the use of colour bands, marker balls, high visibility sleeves or flashing strobes.</p>	<p>DTS/DPF 8.5</p> <p>None are applicable.</p>
<p>Renewable Energy Facilities (Solar Power)</p>	
<p>PO 9.1</p> <p>Ground mounted solar power facilities generating 5MW or more are not located on land requiring the clearance of areas of intact native vegetation or on land of high environmental, scenic or cultural value.</p>	<p>DTS/DPF 9.1</p> <p>None are applicable.</p>
<p>PO 9.2</p> <p>Ground mounted solar power facilities allow for movement of wildlife by:</p>	<p>DTS/DPF 9.2</p> <p>None are applicable.</p>

(a) incorporating wildlife corridors and habitat refuges  
 (b) avoiding the use of extensive security or perimeter fencing or incorporating fencing that enables the passage of small animals without unreasonably compromising the security of the facility.

PO 9.3  
 Amenity impacts of solar power facilities are minimised through separation from conservation areas and sensitive receivers in other ownership.

DTS/DPF 9.3  
 Ground mounted solar power facilities are set back from land boundaries, conservation areas and relevant zones in accordance with the following criteria:

Generation Capacity	Approximate size of array	Setback from adjoining land boundary	Setback from conservation areas	Setback from Township, Rural Settlement, Rural Neighbourhood and Rural Living Zones <sup>1</sup>
50MW>	80ha+	30m	500m	2km
10MW<50MW	16ha-<80ha	25m	500m	1.5km
5MW<10MW	8ha to <16ha	20m	500m	1km
1MW<5MW	1.6ha to <8ha	15m	500m	500m
100kW<1MW	0.5ha<1.6ha	10m	500m	100m
<100kW	<0.5ha	5m	500m	25m

Notes:  
 1. Does not apply when the site of the proposed ground mounted solar power facility is located within one of these zones.

PO 9.4  
 Ground mounted solar power facilities incorporate landscaping within setbacks from adjacent road frontages and boundaries of adjacent allotments accommodating non-host dwellings, where balanced with infrastructure access and bushfire safety considerations.

DTS/DPF 9.4  
 None are applicable.

Hydropower / Pumped Hydropower Facilities

PO 10.1  
 Hydropower / pumped hydropower facility storage is designed and operated to minimise the risk of storage dam failure.

DTS/DPF 10.1  
 None are applicable.

PO 10.2  
 Hydropower / pumped hydropower facility storage is designed and operated to minimise water loss through increased evaporation or system leakage, with the incorporation of appropriate liners, dam covers, operational measures or detection systems.

DTS/DPF 10.2  
 None are applicable.

PO 10.3  
 Hydropower / pumped hydropower facilities on existing or former mine sites minimise environmental impacts from site contamination, including from mine operations or water sources subject to such processes, now or in the future.

DTS/DPF 10.3  
 None are applicable.

Water Supply

PO 11.1

DTS/DPF 11.1

Development is connected to an appropriate water supply to meet the ongoing requirements of the intended use.	Development is connected, or will be connected, to a reticulated water scheme or mains water supply with the capacity to meet the on-going requirements of the development.
PO 11.2 Dwellings are connected to a reticulated water scheme or mains water supply with the capacity to meet the requirements of the intended use. Where this is not available an appropriate rainwater tank or storage system for domestic use is provided.	DTS/DPF 11.2 A dwelling is connected, or will be connected, to a reticulated water scheme or mains water supply with the capacity to meet the requirements of the development. Where this is not available it is serviced by a rainwater tank or tanks capable of holding at least 50,000 litres of water which is:  (a) exclusively for domestic use (b) connected to the roof drainage system of the dwelling.
<b>Wastewater Services</b>	
PO 12.1 Development is connected to an approved common wastewater disposal service with the capacity to meet the requirements of the intended use. Where this is not available an appropriate on-site service is provided to meet the ongoing requirements of the intended use in accordance with the following:  (a) it is wholly located and contained within the allotment of the development it will service (b) in areas where there is a high risk of contamination of surface, ground, or marine water resources from on-site disposal of liquid wastes, disposal systems are included to minimise the risk of pollution to those water resources (c) septic tank effluent drainage fields and other wastewater disposal areas are located away from watercourses and flood prone, sloping, saline or poorly drained land to minimise environmental harm.	DTS/DPF 12.1 Development is connected, or will be connected, to an approved common wastewater disposal service with the capacity to meet the requirements of the development. Where this is not available it is instead capable of being serviced by an on-site waste water treatment system in accordance with the following:  (a) the system is wholly located and contained within the allotment of development it will service; and (b) the system will comply with the requirements of the South Australian Public Health Act 2011.
PO 12.2 Effluent drainage fields and other wastewater disposal areas are maintained to ensure the effective operation of waste systems and minimise risks to human health and the environment.	DTS/DPF 12.2 Development is not built on, or encroaches within, an area that is, or will be, required for a sewerage system or waste control system.
<b>Temporary Facilities</b>	
PO 13.1 In rural and remote locations, development that is likely to generate significant waste material during construction, including packaging waste, makes provision for a temporary on-site waste storage enclosure to minimise the incidence of wind-blown litter.	DTS/DPF 13.1 A waste collection and disposal service is used to dispose of the volume of waste at the rate it is generated.
PO 13.2 Temporary facilities to support the establishment of renewable energy facilities (including borrow pits, concrete batching plants, laydown, storage, access roads and worker amenity areas) are sited and operated to minimise environmental impact.	DTS/DPF 13.2 None are applicable.

## Intensive Animal Husbandry and Dairies

### Assessment Provisions (AP)

Desired Outcome (DO)



## Desired Outcome

DO 1	Development of intensive animal husbandry and dairies in locations that are protected from encroachment by sensitive receivers and in a manner that minimises their adverse effects on amenity and the environment.
------	---

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Siting and Design	
PO 1.1 Intensive animal husbandry, dairies and associated activities are sited, designed, constructed and managed to not unreasonably impact on the environment or amenity of the locality.	DTS/DPF 1.1 None are applicable.
PO 1.2 Intensive animal husbandry, dairies and associated activities are sited, designed, constructed and managed to prevent the potential transmission of disease to other operations where animals are kept.	DTS/DPF 1.2 None are applicable.
PO 1.3 Intensive animal husbandry and associated activities such as wastewater lagoons and liquid/solid waste disposal areas are sited, designed, constructed and managed to not unreasonably impact on sensitive receivers in other ownership in terms of noise and air emissions.	DTS/DPF 1.3 None are applicable.
PO 1.4 Dairies and associated activities such as wastewater lagoons and liquid/solid waste disposal areas are sited, designed, constructed and managed to not unreasonably impact on sensitive receivers in other ownership in terms of noise and air emissions.	DTS/DPF 1.4 Dairies, associated wastewater lagoon(s) and liquid/solid waste storage and disposal facilities are located 500m or more from the nearest sensitive receiver in other ownership.
PO 1.5 Lagoons for the storage or treatment of milking shed effluent is adequately separated from roads to minimise impacts from odour on the general public.	DTS/DPF 1.5 Lagoons for the storage or treatment of milking shed effluent are set back 20m or more from public roads.
Waste	
PO 2.1 Storage of manure, used litter and other wastes (other than waste water lagoons) is sited, designed, constructed and managed to:  (a) avoid attracting and harbouring vermin (b) avoid polluting water resources (c) be located outside 1% AEP flood event areas.	DTS/DPF 2.1 None are applicable.
Soil and Water Protection	
PO 3.1 To avoid environmental harm and adverse effects on water resources, intensive animal husbandry operations are appropriately set back from:  (a) public water supply reservoirs (b) major watercourses (third order or higher stream) (c) any other watercourse, bore or well used for domestic or stock water supplies.	DTS/DPF 3.1 Intensive animal husbandry operations are set back:  (a) 800m or more from a public water supply reservoir (b) 200m or more from a major watercourse (third order or higher stream) (c) 100m or more from any other watercourse, bore or well used for domestic or stock water supplies.
PO 3.2 Intensive animal husbandry operations and dairies incorporate	DTS/DPF 3.2 None are applicable.

appropriately designed effluent and run-off facilities that: <ul style="list-style-type: none"> <li>(a) have sufficient capacity to hold effluent and runoff from the operations on site</li> <li>(b) ensure effluent does not infiltrate and pollute groundwater, soil or other water resources.</li> </ul>	
--	--

## Interface between Land Uses

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Development is located and designed to mitigate adverse effects on or from neighbouring and proximate land uses.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature												
General Land Use Compatibility													
PO 1.1 Sensitive receivers are designed and sited to protect residents and occupants from adverse impacts generated by lawfully existing land uses (or lawfully approved land uses) and land uses desired in the zone.	DTS/DPF 1.1 None are applicable.												
PO 1.2 Development adjacent to a site containing a sensitive receiver (or lawfully approved sensitive receiver) or zone primarily intended to accommodate sensitive receivers is designed to minimise adverse impacts.	DTS/DPF 1.2 None are applicable.												
Hours of Operation													
PO 2.1 Non-residential development does not unreasonably impact the amenity of sensitive receivers (or lawfully approved sensitive receivers) or an adjacent zone primarily for sensitive receivers through its hours of operation having regard to: <ul style="list-style-type: none"> <li>(a) the nature of the development</li> <li>(b) measures to mitigate off-site impacts</li> <li>(c) the extent to which the development is desired in the zone</li> <li>(d) measures that might be taken in an adjacent zone primarily for sensitive receivers that mitigate adverse impacts without unreasonably compromising the intended use of that land.</li> </ul>	DTS/DPF 2.1 Development operating within the following hours:												
	<table border="1" style="width: 100%;"> <thead> <tr> <th style="width: 50%;">Class of Development</th> <th style="width: 50%;">Hours of operation</th> </tr> </thead> <tbody> <tr> <td rowspan="2">Consulting room</td> <td>7am to 9pm, Monday to Friday</td> </tr> <tr> <td>8am to 5pm, Saturday</td> </tr> <tr> <td rowspan="2">Office</td> <td>7am to 9pm, Monday to Friday</td> </tr> <tr> <td>8am to 5pm, Saturday</td> </tr> <tr> <td rowspan="2">Shop, other than any one or combination of the following:</td> <td>7am to 9pm, Monday to Friday</td> </tr> <tr> <td>8am to 5pm, Saturday and Sunday</td> </tr> </tbody> </table>		Class of Development	Hours of operation	Consulting room	7am to 9pm, Monday to Friday	8am to 5pm, Saturday	Office	7am to 9pm, Monday to Friday	8am to 5pm, Saturday	Shop, other than any one or combination of the following:	7am to 9pm, Monday to Friday	8am to 5pm, Saturday and Sunday
	Class of Development	Hours of operation											
	Consulting room	7am to 9pm, Monday to Friday											
		8am to 5pm, Saturday											
Office	7am to 9pm, Monday to Friday												
	8am to 5pm, Saturday												
Shop, other than any one or combination of the following:	7am to 9pm, Monday to Friday												
	8am to 5pm, Saturday and Sunday												
(a) restaurant													

	(b) cellar door in the Productive Rural Landscape Zone, Rural Zone or Rural Horticulture Zone		
--	---	--	--

**Overshadowing**

<p>PO 3.1</p> <p>Overshadowing of habitable room windows of adjacent residential land uses in:</p> <p>a. a neighbourhood-type zone is minimised to maintain access to direct winter sunlight</p> <p>b. other zones is managed to enable access to direct winter sunlight.</p>	<p>DTS/DPF 3.1</p> <p>North-facing windows of habitable rooms of adjacent residential land uses in a neighbourhood-type zone receive at least 3 hours of direct sunlight between 9.00am and 3.00pm on 21 June.</p>
---	--

<p>PO 3.2</p> <p>Overshadowing of the primary area of private open space or communal open space of adjacent residential land uses in:</p> <p>a. a neighbourhood type zone is minimised to maintain access to direct winter sunlight</p> <p>b. other zones is managed to enable access to direct winter sunlight.</p>	<p>DTS/DPF 3.2</p> <p>Development maintains 2 hours of direct sunlight between 9.00 am and 3.00 pm on 21 June to adjacent residential land uses in a neighbourhood-type zone in accordance with the following:</p> <p>a. for ground level private open space, the smaller of the following:</p> <ul style="list-style-type: none"> <li>i. half the existing ground level open space</li> <li>or</li> <li>ii. 35m2 of the existing ground level open space (with at least one of the area's dimensions measuring 2.5m)</li> </ul> <p>b. for ground level communal open space, at least half of the existing ground level open space.</p>
--	---

<p>PO 3.3</p> <p>Development does not unduly reduce the generating capacity of adjacent rooftop solar energy facilities taking into account:</p> <ul style="list-style-type: none"> <li>(a) the form of development contemplated in the zone</li> <li>(b) the orientation of the solar energy facilities</li> <li>(c) the extent to which the solar energy facilities are already overshadowed.</li> </ul>	<p>DTS/DPF 3.3</p> <p>None are applicable.</p>
--	--

<p>PO 3.4</p> <p>Development that incorporates moving parts, including windmills and wind farms, are located and operated to not cause unreasonable nuisance to nearby dwellings and tourist accommodation caused by shadow flicker.</p>	<p>DTS/DPF 3.4</p> <p>None are applicable.</p>
--	--

**Activities Generating Noise or Vibration**

<p>PO 4.1</p> <p>Development that emits noise (other than music) does not unreasonably impact the amenity of sensitive receivers (or lawfully approved sensitive receivers).</p>	<p>DTS/DPF 4.1</p> <p>Noise that affects sensitive receivers achieves the relevant Environment Protection (Commercial and Industrial Noise) Policy criteria.</p>
--	--

<p>PO 4.2</p> <p>Areas for the on-site manoeuvring of service and delivery vehicles, plant and equipment, outdoor work spaces (and the like) are designed and sited to not unreasonably impact the amenity of adjacent sensitive receivers (or lawfully approved sensitive receivers) and zones primarily intended to accommodate sensitive receivers due to noise and vibration by adopting techniques including:</p> <ul style="list-style-type: none"> <li>(a) locating openings of buildings and associated services away from the interface with the adjacent sensitive receivers and zones primarily intended to accommodate sensitive receivers</li> </ul>	<p>DTS/DPF 4.2</p> <p>None are applicable.</p>
---	--



<p>(b) when sited outdoors, locating such areas as far as practicable from adjacent sensitive receivers and zones primarily intended to accommodate sensitive receivers</p> <p>(c) housing plant and equipment within an enclosed structure or acoustic enclosure</p> <p>(d) providing a suitable acoustic barrier between the plant and / or equipment and the adjacent sensitive receiver boundary or zone.</p>					
<p>PO 4.3 Fixed plant and equipment in the form of pumps and/or filtration systems for a swimming pool or spa are positioned and/or housed to not cause unreasonable noise nuisance to adjacent sensitive receivers (or lawfully approved sensitive receivers).</p>	<p>DTS/DPF 4.3 The pump and/or filtration system ancillary to a dwelling erected on the same site is:</p> <p>(a) enclosed in a solid acoustic structure located at least 5m from the nearest habitable room located on an adjoining allotment or</p> <p>(b) located at least 12m from the nearest habitable room located on an adjoining allotment.</p>				
<p>PO 4.4 External noise into bedrooms is minimised by separating or shielding these rooms from service equipment areas and fixed noise sources located on the same or an adjoining allotment.</p>	<p>DTS/DPF 4.4 Adjacent land is used for residential purposes.</p>				
<p>PO 4.5 Outdoor areas associated with licensed premises (such as beer gardens or dining areas) are designed and/or sited to not cause unreasonable noise impact on existing adjacent sensitive receivers (or lawfully approved sensitive receivers).</p>	<p>DTS/DPF 4.5 None are applicable.</p>				
<p>PO 4.6 Development incorporating music achieves suitable acoustic amenity when measured at the boundary of an adjacent sensitive receiver (or lawfully approved sensitive receiver) or zone primarily intended to accommodate sensitive receivers.</p>	<p>DTS/DPF 4.6 Development incorporating music includes noise attenuation measures that will achieve the following noise levels:</p> <table border="1" data-bbox="831 1162 1489 1375"> <thead> <tr> <th data-bbox="831 1162 1098 1218">Assessment location</th> <th data-bbox="1098 1162 1489 1218">Music noise level</th> </tr> </thead> <tbody> <tr> <td data-bbox="831 1218 1098 1375">Externally at the nearest existing or envisaged noise sensitive location</td> <td data-bbox="1098 1218 1489 1375">Less than 8dB above the level of background noise (L<sub>90,15min</sub>) in any octave band of the sound spectrum (LOCT<sub>10,15</sub> &lt; LOCT<sub>90,15</sub> + 8dB)</td> </tr> </tbody> </table>	Assessment location	Music noise level	Externally at the nearest existing or envisaged noise sensitive location	Less than 8dB above the level of background noise (L <sub>90,15min</sub> ) in any octave band of the sound spectrum (LOCT <sub>10,15</sub> < LOCT <sub>90,15</sub> + 8dB)
Assessment location	Music noise level				
Externally at the nearest existing or envisaged noise sensitive location	Less than 8dB above the level of background noise (L <sub>90,15min</sub> ) in any octave band of the sound spectrum (LOCT <sub>10,15</sub> < LOCT <sub>90,15</sub> + 8dB)				
Air Quality					
<p>PO 5.1 Development with the potential to emit harmful or nuisance-generating air pollution incorporates air pollution control measures to prevent harm to human health or unreasonably impact the amenity of sensitive receivers (or lawfully approved sensitive receivers) within the locality and zones primarily intended to accommodate sensitive receivers.</p>	<p>DTS/DPF 5.1 None are applicable.</p>				
<p>PO 5.2 Development that includes chimneys or exhaust flues (including cafes, restaurants and fast food outlets) is designed to minimise nuisance or adverse health impacts to sensitive receivers (or lawfully approved sensitive receivers) by:</p> <p>(a) incorporating appropriate treatment technology before exhaust emissions are released</p> <p>(b) locating and designing chimneys or exhaust flues to maximise the dispersion of exhaust emissions, taking into account the location of sensitive receivers.</p>	<p>DTS/DPF 5.2 None are applicable.</p>				
Light Spill					
<p>PO 6.1</p>	<p>DTS/DPF 6.1</p>				

External lighting is positioned and designed to not cause unreasonable light spill impact on adjacent sensitive receivers (or lawfully approved sensitive receivers).	None are applicable.
PO 6.2 External lighting is not hazardous to motorists and cyclists.	DTS/DPF 6.2 None are applicable.
Solar Reflectivity / Glare	
PO 7.1 Development is designed and comprised of materials and finishes that do not unreasonably cause a distraction to adjacent road users and pedestrian areas or unreasonably cause heat loading and micro-climatic impacts on adjacent buildings and land uses as a result of reflective solar glare.	DTS/DPF 7.1 None are applicable.
Electrical Interference	
PO 8.1 Development in rural and remote areas does not unreasonably diminish or result in the loss of existing communication services due to electrical interference.	DTS/DPF 8.1 The building or structure:  (a) is no greater than 10m in height, measured from existing ground level or (b) is not within a line of sight between a fixed transmitter and fixed receiver (antenna) other than where an alternative service is available via a different fixed transmitter or cable.
Interface with Rural Activities	
PO 9.1 Sensitive receivers are located and designed to mitigate impacts from lawfully existing horticultural and farming activities (or lawfully approved horticultural and farming activities), including spray drift and noise and do not prejudice the continued operation of these activities.	DTS/DPF 9.1 None are applicable.
PO 9.2 Sensitive receivers are located and designed to mitigate potential impacts from lawfully existing intensive animal husbandry activities and do not prejudice the continued operation of these activities.	DTS/DPF 9.2 None are applicable.
PO 9.3 Sensitive receivers are located and designed to mitigate potential impacts from lawfully existing land-based aquaculture activities and do not prejudice the continued operation of these activities.	DTS/DPF 9.3 Sensitive receivers are located at least 200m from the boundary of a site used for land-based aquaculture and associated components in other ownership.
PO 9.4 Sensitive receivers are located and designed to mitigate potential impacts from lawfully existing dairies including associated wastewater lagoons and liquid/solid waste storage and disposal facilities and do not prejudice the continued operation of these activities.	DTS/DPF 9.4 Sensitive receivers are sited at least 500m from the boundary of a site used for a dairy and associated wastewater lagoon(s) and liquid/solid waste storage and disposal facilities in other ownership.
PO 9.5 Sensitive receivers are located and designed to mitigate the potential impacts from lawfully existing facilities used for the handling, transportation and storage of bulk commodities (recognising the potential for extended hours of operation) and do not prejudice the continued operation of these activities.	DTS/DPF 9.5 Sensitive receivers are located away from the boundary of a site used for the handling, transportation and/or storage of bulk commodities in other ownership in accordance with the following:  (a) 300m or more, where it involves the handling of agricultural crop products, rock, ores, minerals, petroleum products or chemicals to or from any commercial storage facility (b) 300m or more, where it involves the handling of agricultural crop products, rock, ores, minerals, petroleum products or chemicals at a wharf or wharf side facility (including sea-port grain terminals) where the handling of these materials into or from vessels does not exceed 100 tonnes per day

	<ul style="list-style-type: none"> <li>(c) 500m or more, where it involves the storage of bulk petroleum in individual containers with a capacity up to 200 litres and a total on-site storage capacity not exceeding 1000 cubic metres</li> <li>(d) 500m or more, where it involves the handling of coal with a capacity up to 1 tonne per day or a storage capacity up to 50 tonnes</li> <li>(e) 1000m or more, where it involves the handling of coal with a capacity exceeding 1 tonne per day but not exceeding 100 tonnes per day or a storage capacity exceeding 50 tonnes but not exceeding 5000 tonnes.</li> </ul>
<p>PO 9.6</p> <p>Setbacks and vegetation plantings along allotment boundaries should be incorporated to mitigate the potential impacts of spray drift and other impacts associated with agricultural and horticultural activities.</p>	<p>DTS/DPF 9.6</p> <p>None are applicable.</p>
<p>PO 9.7</p> <p>Urban development does not prejudice existing agricultural and horticultural activities through appropriate separation and design techniques.</p>	<p>DTS/DPF 9.7</p> <p>None are applicable.</p>
Interface with Mines and Quarries (Rural and Remote Areas)	
<p>PO 10.1</p> <p>Sensitive receivers are separated from existing mines to minimise the adverse impacts from noise, dust and vibration.</p>	<p>DTS/DPF 10.1</p> <p>Sensitive receivers are located no closer than 500m from the boundary of a Mining Production Tenement under the <i>Mining Act 1971</i>.</p>

## Land Division

### Assessment Provisions (AP)

#### Desired Outcome (DO)

Desired Outcome	
DO 1	<p>Land division:</p> <ul style="list-style-type: none"> <li>(a) creates allotments with the appropriate dimensions and shape for their intended use</li> <li>(b) allows efficient provision of new infrastructure and the optimum use of underutilised infrastructure</li> <li>(c) integrates and allocates adequate and suitable land for the preservation of site features of value, including significant vegetation, watercourses, water bodies and other environmental features</li> <li>(d) facilitates solar access through allotment orientation</li> <li>(e) creates a compact urban form that supports active travel, walkability and the use of public transport</li> <li>(f) avoids areas of high natural hazard risk.</li> </ul>

#### Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
All land division	
Allotment configuration	
<p>PO 1.1</p> <p>Land division creates allotments suitable for their intended use.</p>	<p>DTS/DPF 1.1</p> <p>Division of land satisfies (a) or (b):</p>



	<p>(a) reflects the site boundaries illustrated and approved in an operative or existing development authorisation for residential development under the <i>Development Act 1993</i> or <i>Planning, Development and Infrastructure Act 2016</i> where the allotments are used or are proposed to be used solely for residential purposes</p> <p>(b) is proposed as part of a combined land division application with deemed-to-satisfy dwellings on the proposed allotments.</p>
<p>PO 1.2 Land division considers the physical characteristics of the land, preservation of environmental and cultural features of value and the prevailing context of the locality.</p>	<p>DTS/DPF 1.2 None are applicable.</p>
<b>Design and Layout</b>	
<p>PO 2.1 Land division results in a pattern of development that minimises the likelihood of future earthworks and retaining walls.</p>	<p>DTS/DPF 2.1 None are applicable.</p>
<p>PO 2.2 Land division enables the appropriate management of interface impacts between potentially conflicting land uses and/or zones.</p>	<p>DTS/DPF 2.2 None are applicable.</p>
<p>PO 2.3 Land division maximises the number of allotments that face public open space and public streets.</p>	<p>DTS/DPF 2.3 None are applicable.</p>
<p>PO 2.4 Land division is integrated with site features, adjacent land uses, the existing transport network and available infrastructure.</p>	<p>DTS/DPF 2.4 None are applicable.</p>
<p>PO 2.5 Development and infrastructure is provided and staged in a manner that supports an orderly and economic provision of land, infrastructure and services.</p>	<p>DTS/DPF 2.5 None are applicable.</p>
<p>PO 2.6 Land division results in watercourses being retained within open space and development taking place on land not subject to flooding.</p>	<p>DTS/DPF 2.6 None are applicable.</p>
<p>PO 2.7 Land division results in legible street patterns connected to the surrounding street network.</p>	<p>DTS/DPF 2.7 None are applicable.</p>
<p>PO 2.8 Land division is designed to preserve existing vegetation of value including native vegetation and regulated and significant trees.</p>	<p>DTS/DPF 2.8 None are applicable.</p>
<b>Roads and Access</b>	
<p>PO 3.1 Land division provides allotments with access to an all-weather public road.</p>	<p>DTS/DPF 3.1 None are applicable.</p>
<p>PO 3.2 Street patterns and intersections are designed to enable the safe and efficient movement of pedestrian, cycle and vehicular traffic.</p>	<p>DTS/DPF 3.2 None are applicable.</p>
<p>PO 3.3 Land division does not impede access to publicly owned open space and/or recreation facilities.</p>	<p>DTS/DPF 3.3 None are applicable.</p>
<p>PO 3.4</p>	<p>DTS/DPF 3.4</p>

Road reserves provide for safe and convenient movement and parking of projected volumes of vehicles and allow for the efficient movement of service and emergency vehicles.	None are applicable.
PO 3.5 Road reserves are designed to accommodate pedestrian and cycling infrastructure, street tree planting, landscaping and street furniture.	DTS/DPF 3.5 None are applicable.
PO 3.6 Road reserves accommodate stormwater drainage and public utilities.	DTS/DPF 3.6 None are applicable.
PO 3.7 Road reserves provide unobstructed vehicular access and egress to and from individual allotments and sites.	DTS/DPF 3.7 None are applicable.
PO 3.8 Roads, open space and thoroughfares provide safe and convenient linkages to the surrounding open space and transport network.	DTS/DPF 3.8 None are applicable.
PO 3.9 Public streets are designed to enable tree planting to provide shade and enhance the amenity of streetscapes.	DTS/DPF 3.9 None are applicable.
PO 3.10 Local streets are designed to create low-speed environments that are safe for cyclists and pedestrians.	DTS/DPF 3.10 None are applicable.
<b>Infrastructure</b>	
PO 4.1 Land division incorporates public utility services within road reserves or dedicated easements.	DTS/DPF 4.1 None are applicable.
PO 4.2 Waste water, sewage and other effluent is capable of being disposed of from each allotment without risk to public health or the environment.	DTS/DPF 4.2 Each allotment can be connected to:  (a) a waste water treatment plant that has the hydraulic volume and pollutant load treatment and disposal capacity for the maximum predicted wastewater volume generated by subsequent development of the proposed allotment or (b) a form of on-site waste water treatment and disposal that meets relevant public health and environmental standards.
PO 4.3 Septic tank effluent drainage fields and other waste water disposal areas are maintained to ensure the effective operation of waste systems and minimise risks to human health and the environment.	DTS/DPF 4.3 Development is not built on, or encroaches within, an area that is or will be, required for a sewerage system or waste control system.
PO 4.4 Constructed wetland systems, including associated detention and retention basins, are sited and designed to ensure public health and safety is protected, including by minimising potential public health risks arising from the breeding of mosquitoes.	DTS/DPF 4.4 None are applicable.
PO 4.5 Constructed wetland systems, including associated detention and retention basins, are sited and designed to allow sediments to settle prior to discharge into watercourses or the marine environment.	DTS/DPF 4.5 None are applicable.
PO 4.6 Constructed wetland systems, including associated detention and retention basins, are sited and designed to function as a landscape	DTS/DPF 4.6 None are applicable.

feature.	
Minor Land Division (Under 20 Allotments)	
Open Space	
PO 5.1 Land division proposing an additional allotment under 1 hectare provides or supports the provision of open space.	DTS/DPF 5.1 None are applicable.
Solar Orientation	
PO 6.1 Land division for residential purposes facilitates solar access through allotment orientation.	DTS/DPF 6.1 None are applicable.
Water Sensitive Design	
PO 7.1 Land division creating a new road or common driveway includes stormwater management systems that minimise the discharge of sediment, suspended solids, organic matter, nutrients, bacteria, litter and other contaminants to the stormwater system, watercourses or other water bodies.	DTS/DPF 7.1 None are applicable.
PO 7.2 Land division designed to mitigate peak flows and manage the rate and duration of stormwater discharges from the site to ensure that the development does not increase the peak flows in downstream systems.	DTS/DPF 7.2 None are applicable.
Battle-Axe Development	
PO 8.1 Battle-axe development appropriately responds to the existing neighbourhood context.	DTS/DPF 8.1 Allotments are not in the form of a battle-axe arrangement.
PO 8.2 Battle-axe development designed to allow safe and convenient movement.	DTS/DPF 8.2 The handle of a battle-axe development:  (a) has a minimum width of 4m or (b) where more than 3 allotments are proposed, a minimum width of 5.5m.
PO 8.3 Battle-axe allotments and/or common land are of a suitable size and dimension to allow passenger vehicles to enter and exit and manoeuvre within the site in a safe and convenient manner.	DTS/DPF 8.3 Battle-axe development allows a B85 passenger vehicle to enter and exit parking spaces in no more than a three-point turn manoeuvre.
PO 8.4 Battle-axe or common driveways incorporate landscaping and permeability to improve appearance and assist in stormwater management.	DTS/DPF 8.4 Battle-axe or common driveways satisfy (a) and (b):  (a) are constructed of a minimum of 50% permeable or porous material (b) where the driveway is located directly adjacent the side or rear boundary of the site, soft landscaping with a minimum dimension of 1m is provided between the driveway and site boundary (excluding along the perimeter of a passing point).
Major Land Division (20+ Allotments)	
Open Space	
PO 9.1 Land division allocates or retains evenly distributed, high quality areas of open space to improve residential amenity and provide urban heat amelioration.	DTS/DPF 9.1 None are applicable.
PO 9.2	DTS/DPF 9.2



Land allocated for open space is suitable for its intended active and passive recreational use considering gradient and potential for inundation.	None are applicable.
PO 9.3 Land allocated for active recreation has dimensions capable of accommodating a range of active recreational activities.	DTS/DPF 9.3 None are applicable.
<b>Water Sensitive Design</b>	
PO 10.1 Land division creating 20 or more allotments includes a stormwater management system designed to mitigate peak flows and manage the rate and duration of stormwater discharges from the site to ensure that the development does not increase the peak flows in downstream systems.	DTS/DPF 10.1 None are applicable.
PO 10.2 Land division creating 20 or more allotments includes stormwater management systems that minimise the discharge of sediment, suspended solids, organic matter, nutrients, bacteria, litter and other contaminants to the stormwater system, watercourses or other water bodies.	DTS/DPF 10.2 None are applicable.
<b>Solar Orientation</b>	
PO 11.1 Land division creating 20 or more allotments for residential purposes facilitates solar access through allotment orientation and allotment dimensions.	DTS/DPF 11.1 None are applicable.

## Marinas and On-Water Structures

### Assessment Provisions (AP)

Desired Outcome (DO)

<b>Desired Outcome</b>	
DO 1	Marinas and on-water structures are located and designed to minimise the impairment of commercial, recreational and navigational activities and adverse impacts on the environment.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

<b>Performance Outcome</b>	<b>Deemed-to-Satisfy Criteria / Designated Performance Feature</b>
<b>Navigation and Safety</b>	
PO 1.1 Safe public access is provided or maintained to the waterfront, public infrastructure and recreation areas.	DTS/DPF 1.1 None are applicable.
PO 1.2 The operation of wharves is not impaired by marinas and on-water structures.	DTS/DPF 1.2 None are applicable.
PO 1.3	DTS/DPF 1.3

Policy24		P&D Code (in effect) Version 2024.17 12/9/2024	
Navigation and access channels are not impaired by marinas and on-water structures.		None are applicable.	
PO 1.4 Commercial shipping lanes are not impaired by marinas and on-water structures.	DTS/DPF 1.4 Marinas and on-water structures are set back 250m or more from commercial shipping lanes.		
PO 1.5 Marinas and on-water structures are located to avoid interfering with the operation or function of a water supply pumping station.	DTS/DPF 1.5 On-water structures are set back:  (a) 3km or more from upstream water supply pumping station take-off points (b) 500m or more from downstream water supply pumping station take-off points.		
PO 1.6 Maintenance of on-water infrastructure, including revetment walls, is not impaired by marinas and on-water structures.	DTS/DPF 1.6 None are applicable.		
Environmental Protection			
PO 2.1 Development is sited and designed to facilitate water circulation and exchange.	DTS/DPF 2.1 None are applicable.		

## Open Space and Recreation

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Pleasant, functional and accessible open space and recreation facilities are provided at State, regional, district, neighbourhood and local levels for active and passive recreation, biodiversity, community health, urban cooling, tree canopy cover, visual amenity, gathering spaces, wildlife and waterway corridors, and a range of other functions and at a range of sizes that reflect the purpose of that open space.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Land Use and Intensity	
PO 1.1 Recreation facilities are compatible with surrounding land uses and activities.	DTS/DPF 1.1 None are applicable.
PO 1.2 Open space areas include natural or landscaped areas using locally indigenous plant species and large trees.	DTS/DPF 1.2 None are applicable.
Design and Siting	
PO 2.1 Open space and recreation facilities address adjacent public roads to optimise pedestrian access and visibility.	DTS/DPF 2.1 None are applicable.

PO 2.2 Open space and recreation facilities incorporate park furniture, shaded areas and resting places.	DTS/DPF 2.2 None are applicable.
PO 2.3 Open space and recreation facilities link habitats, wildlife corridors and existing open spaces and recreation facilities.	DTS/DPF 2.3 None are applicable.
<b>Pedestrians and Cyclists</b>	
PO 3.1 Open space incorporates:  (a) pedestrian and cycle linkages to other open spaces, centres, schools and public transport nodes; (b) safe crossing points where pedestrian routes intersect the road network; (c) easily identified access points.	DTS/DPF 3.1 None are applicable.
<b>Usability</b>	
PO 4.1 Land allocated for open space is suitable for its intended active and passive recreational use taking into consideration its gradient and potential for inundation.	DTS/DPF 4.1 None are applicable.
<b>Safety and Security</b>	
PO 5.1 Open space is overlooked by housing, commercial or other development to provide casual surveillance where possible.	DTS/DPF 5.1 None are applicable.
PO 5.2 Play equipment is located to maximise opportunities for passive surveillance.	DTS/DPF 5.2 None are applicable.
PO 5.3 Landscaping provided in open space and recreation facilities maximises opportunities for casual surveillance throughout the park.	DTS/DPF 5.3 None are applicable.
PO 5.4 Fenced parks and playgrounds have more than one entrance or exit to minimise potential entrapment.	DTS/DPF 5.4 None are applicable.
PO 5.5 Adequate lighting is provided around toilets, telephones, seating, litter bins, bicycle storage, car parks and other such facilities.	DTS/DPF 5.5 None are applicable.
PO 5.6 Pedestrian and bicycle movement after dark is focused along clearly defined, adequately lit routes with observable entries and exits.	DTS/DPF 5.6 None are applicable.
<b>Signage</b>	
PO 6.1 Signage is provided at entrances to and within the open space and recreation facilities to provide clear orientation to major points of interest such as the location of public toilets, telephones, safe routes, park activities and the like.	DTS/DPF 6.1 None are applicable.
<b>Buildings and Structures</b>	
PO 7.1 Buildings and car parking areas in open space areas are designed, located and of a scale to be unobtrusive.	DTS/DPF 7.1 None are applicable.



PO 7.2 Buildings and structures in open space areas are clustered where practical to ensure that the majority of the site remains open.	DTS/DPF 7.2 None are applicable.
PO 7.3 Development in open space is constructed to minimise the extent of impervious surfaces.	DTS/DPF 7.3 None are applicable.
PO 7.4 Development that abuts or includes a coastal reserve or Crown land used for scenic, conservation or recreational purposes is located and designed to have regard to the purpose, management and amenity of the reserve.	DTS/DPF 7.4 None are applicable.
Landscaping	
PO 8.1 Open space and recreation facilities provide for the planting and retention of large trees and vegetation.	DTS/DPF 8.1 None are applicable.
PO 8.2 Landscaping in open space and recreation facilities provides shade and windbreaks:  (a) along cyclist and pedestrian routes; (b) around picnic and barbecue areas; (c) in car parking areas.	DTS/DPF 8.2 None are applicable.
PO 8.3 Landscaping in open space facilitates habitat for local fauna and facilitates biodiversity.	DTS/DPF 8.3 None are applicable.
PO 8.4 Landscaping including trees and other vegetation passively watered with local rainfall run-off, where practicable.	DTS/DPF 8.4 None are applicable.

## Out of Activity Centre Development

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO1	The role of Activity Centres in contributing to the form and pattern of development and enabling equitable and convenient access to a range of shopping, administrative, cultural, entertainment and other facilities in a single trip is maintained and reinforced.

Performance Outcomes and Deemed to Satisfy / Designated Performance Outcome Criteria

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
PO 1.1 Non-residential development outside Activity Centres of a scale and type that does not diminish the role of Activity Centres:  (a) as primary locations for shopping, administrative, cultural, entertainment and community services (b) as a focus for regular social and business gatherings (c) in contributing to or maintaining a pattern of development that supports equitable community access to services and facilities.	DTS/DPF 1.1 None are applicable.

<p>PO 1.2</p> <p>Out-of-activity centre non-residential development complements Activity Centres through the provision of services and facilities:</p> <ul style="list-style-type: none"> <li>(a) that support the needs of local residents and workers, particularly in underserved locations</li> <li>(b) at the edge of Activities Centres where they cannot readily be accommodated within an existing Activity Centre to expand the range of services on offer and support the role of the Activity Centre.</li> </ul>	<p>DTS/DPF 1.2</p> <p>None are applicable.</p>
---	--

## Resource Extraction

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Resource extraction activities are developed in a manner that minimises human and environmental impacts.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Land Use and Intensity	
<p>PO 1.1</p> <p>Resource extraction activities minimise landscape damage outside of those areas unavoidably disturbed to access and exploit a resource and provide for the progressive reclamation and betterment of disturbed areas.</p>	<p>DTS/DPF 1.1</p> <p>None are applicable.</p>
<p>PO 1.2</p> <p>Resource extraction activities avoid damage to cultural sites or artefacts.</p>	<p>DTS/DPF 1.2</p> <p>None are applicable.</p>
Water Quality	
<p>PO 2.1</p> <p>Stormwater and/or wastewater from resource extraction activities is diverted into appropriately sized treatment and retention systems to enable reuse on site.</p>	<p>DTS/DPF 2.1</p> <p>None are applicable.</p>
Separation Treatments, Buffers and Landscaping	
<p>PO 3.1</p> <p>Resource extraction activities minimise adverse impacts upon sensitive receivers through incorporation of separation distances and/or mounding/vegetation.</p>	<p>DTS/DPF 3.1</p> <p>None are applicable.</p>
<p>PO 3.2</p> <p>Resource extraction activities are screened from view from adjacent land by perimeter landscaping and/or mounding.</p>	<p>DTS/DPF 3.2</p> <p>None are applicable.</p>

## Site Contamination

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Ensure land is suitable for the proposed use in circumstances where it is, or may have been, subject to site contamination.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
<p>PO 1.1</p> <p>Ensure land is suitable for use when land use changes to a more sensitive use.</p>	<p>DTS/DPF 1.1</p> <p>Development satisfies (a), (b), (c) or (d):</p> <ul style="list-style-type: none"> <li>(a) does not involve a change in the use of land</li> <li>(b) involves a change in the use of land that does not constitute a change to a more sensitive use</li> <li>(c) involves a change in the use of land to a more sensitive use on land at which site contamination is unlikely to exist (as demonstrated in a site contamination declaration form)</li> <li>(d) involves a change in the use of land to a more sensitive use on land at which site contamination exists, or may exist (as demonstrated in a site contamination declaration form), and satisfies both of the following:                             <ul style="list-style-type: none"> <li>(i) a site contamination audit report has been prepared under Part 10A of the <i>Environment Protection Act 1993</i> in relation to the land within the previous 5 years which states that-                                     <ul style="list-style-type: none"> <li>A. site contamination does not exist (or no longer exists) at the land</li> <li>or</li> <li>B. the land is suitable for the proposed use or range of uses (without the need for any further remediation)</li> <li>or</li> <li>C. where remediation is, or remains, necessary for the proposed use (or range of uses), remediation work has been carried out or will be carried out (and the applicant has provided a written undertaking that the remediation works will be implemented in association with the development)</li> </ul> </li> <li>and</li> <li>(ii) no other class 1 activity or class 2 activity has taken place at the land since the preparation of the site contamination audit report (as demonstrated in a site contamination declaration form).</li> </ul> </li> </ul>

## Tourism Development

### Assessment Provisions (AP)



Desired Outcome (DO)

Desired Outcome	
DO 1	Tourism development is built in locations that cater to the needs of visitors and positively contributes to South Australia's visitor economy.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
General	
PO 1.1 Tourism development complements and contributes to local, natural, cultural or historical context where:  (a) it supports immersive natural experiences (b) it showcases South Australia's landscapes and produce (c) its events and functions are connected to local food, wine and nature.	DTS/DPF 1.1 None are applicable.
PO 1.2 Tourism development comprising multiple accommodation units (including any facilities and activities for use by guests and visitors) is clustered to minimise environmental and contextual impact.	DTS/DPF 1.2 None are applicable.
Caravan and Tourist Parks	
PO 2.1 Potential conflicts between long-term residents and short-term tourists are minimised through suitable siting and design measures.	DTS/DPF 2.1 None are applicable.
PO 2.2 Occupants are provided privacy and amenity through landscaping and fencing.	DTS/DPF 2.2 None are applicable.
PO 2.3 Communal open space and centrally located recreation facilities are provided for guests and visitors.	DTS/DPF 2.3 12.5% or more of a caravan park comprises clearly defined communal open space, landscaped areas and areas for recreation.
PO 2.4 Perimeter landscaping is used to enhance the amenity of the locality.	DTS/DPF 2.4 None are applicable.
PO 2.5 Amenity blocks (showers, toilets, laundry and kitchen facilities) are sufficient to serve the full occupancy of the development.	DTS/DPF 2.5 None are applicable.
PO 2.6 Long-term occupation does not displace tourist accommodation, particularly in important tourist destinations such as coastal and riverine locations.	DTS/DPF 2.6 None are applicable.
Tourist accommodation in areas constituted under the National Parks and Wildlife Act 1972	
PO 3.1 Tourist accommodation avoids delicate or environmentally sensitive areas such as sand dunes, cliff tops, estuaries, wetlands or substantially intact strata of native vegetation (including regenerated areas of native vegetation lost through bushfire).	DTS/DPF 3.1 None are applicable.
PO 3.2 Tourist accommodation is sited and designed in a manner that is	DTS/DPF 3.2 None are applicable.

subservient to the natural environment and where adverse impacts on natural features, landscapes, habitats and cultural assets are avoided.	
PO 3.3 Tourist accommodation and recreational facilities, including associated access ways and ancillary structures, are located on cleared (other than where cleared as a result of bushfire) or degraded areas or where environmental improvements can be achieved.	DTS/DPF 3.3 None are applicable.
PO 3.4 Tourist accommodation is designed to prevent conversion to private dwellings through:  (a) comprising a minimum of 10 accommodation units (b) clustering separated individual accommodation units (c) being of a size unsuitable for a private dwelling (d) ensuring functional areas that are generally associated with a private dwelling such as kitchens and laundries are excluded from, or physically separated from individual accommodation units, or are of a size unsuitable for a private dwelling.	DTS/DPF 3.4 None are applicable.

### Transport, Access and Parking

#### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	A comprehensive, integrated and connected transport system that is safe, sustainable, efficient, convenient and accessible to all users.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

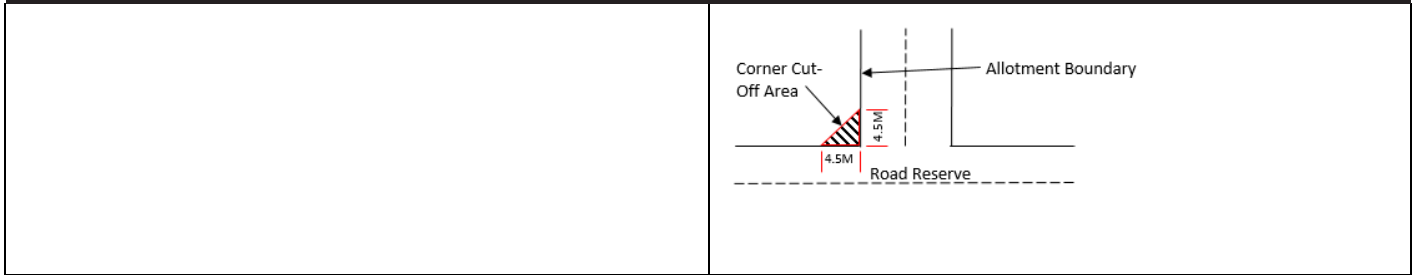
Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Movement Systems	
PO 1.1 Development is integrated with the existing transport system and designed to minimise its potential impact on the functional performance of the transport system.	DTS/DPF 1.1 None are applicable.
PO 1.2 Development is designed to discourage commercial and industrial vehicle movements through residential streets and adjacent other sensitive receivers.	DTS/DPF 1.2 None are applicable.
PO 1.3 Industrial, commercial and service vehicle movements, loading areas and designated parking spaces are separated from passenger vehicle car parking areas to ensure efficient and safe movement and minimise potential conflict.	DTS/DPF 1.3 None are applicable.
PO 1.4 Development is sited and designed so that loading, unloading and	DTS/DPF 1.4 All vehicle manoeuvring occurs onsite.

turning of all traffic avoids interrupting the operation of and queuing on public roads and pedestrian paths.	
Sightlines	
PO 2.1 Sightlines at intersections, pedestrian and cycle crossings, and crossovers to allotments for motorists, cyclists and pedestrians are maintained or enhanced to ensure safety for all road users and pedestrians.	DTS/DPF 2.1 None are applicable.
PO 2.2 Walls, fencing and landscaping adjacent to driveways and corner sites are designed to provide adequate sightlines between vehicles and pedestrians.	DTS/DPF 2.2 None are applicable.
Vehicle Access	
PO 3.1 Safe and convenient access minimises impact or interruption on the operation of public roads.	DTS/DPF 3.1 The access is:  (a) provided via a lawfully existing or authorised driveway or access point or an access point for which consent has been granted as part of an application for the division of land or  (b) not located within 6m of an intersection of 2 or more roads or a pedestrian activated crossing.
PO 3.2 Development incorporating vehicular access ramps ensures vehicles can enter and exit a site safely and without creating a hazard to pedestrians and other vehicular traffic.	DTS/DPF 3.2 None are applicable.
PO 3.3 Access points are sited and designed to accommodate the type and volume of traffic likely to be generated by the development or land use.	DTS/DPF 3.3 None are applicable.
PO 3.4 Access points are sited and designed to minimise any adverse impacts on neighbouring properties.	DTS/DPF 3.4 None are applicable.
PO 3.5 Access points are located so as not to interfere with street trees, existing street furniture (including directional signs, lighting, seating and weather shelters) or infrastructure services to maintain the appearance of the streetscape, preserve local amenity and minimise disruption to utility infrastructure assets.	DTS/DPF 3.5 Vehicle access to designated car parking spaces satisfy (a) or (b): (a) is provided via a lawfully existing or authorised access point or an access point for which consent has been granted as part of an application for the division of land  (b) where newly proposed, is set back: (i) 0.5m or more from any street furniture, street pole, infrastructure services pit, or other stormwater or utility infrastructure unless consent is provided from the asset owner  (ii) 2m or more from the base of the trunk of a street tree unless consent is provided from the tree owner for a lesser distance  (iii) 6m or more from the tangent point of an intersection of 2 or more roads  (iv) outside of the marked lines or infrastructure dedicating a pedestrian crossing.
PO 3.6 Driveways and access points are separated and minimised in number to optimise the provision of on-street visitor parking (where on-street parking is appropriate).	DTS/DPF 3.6 Driveways and access points:  (a) for sites with a frontage to a public road of 20m or less, one access point no greater than 3.5m in width is provided



	(b) for sites with a frontage to a public road greater than 20m: <ul style="list-style-type: none"> <li>(i) a single access point no greater than 6m in width is provided</li> <li>or</li> <li>(ii) not more than two access points with a width of 3.5m each are provided.</li> </ul>
PO 3.7 Access points are appropriately separated from level crossings to avoid interference and ensure their safe ongoing operation.	DTS/DPF 3.7 Development does not involve a new or modified access or cause an increase in traffic through an existing access that is located within the following distance from a railway crossing: <ul style="list-style-type: none"> <li>(a) 80 km/h road - 110m</li> <li>(b) 70 km/h road - 90m</li> <li>(c) 60 km/h road - 70m</li> <li>(d) 50km/h or less road - 50m.</li> </ul>
PO 3.8 Driveways, access points, access tracks and parking areas are designed and constructed to allow adequate movement and manoeuvrability having regard to the types of vehicles that are reasonably anticipated.	DTS/DPF 3.8 None are applicable.
PO 3.9 Development is designed to ensure vehicle circulation between activity areas occurs within the site without the need to use public roads.	DTS/DPF 3.9 None are applicable.
Access for People with Disabilities	
PO 4.1 Development is sited and designed to provide safe, dignified and convenient access for people with a disability.	DTS/DPF 4.1 None are applicable.
Vehicle Parking Rates	
PO 5.1 Sufficient on-site vehicle parking and specifically marked accessible car parking places are provided to meet the needs of the development or land use having regard to factors that may support a reduced on-site rate such as: <ul style="list-style-type: none"> <li>(a) availability of on-street car parking</li> <li>(b) shared use of other parking areas</li> <li>(c) in relation to a mixed-use development, where the hours of operation of commercial activities complement the residential use of the site, the provision of vehicle parking may be shared</li> <li>(d) the adaptive reuse of a State or Local Heritage Place.</li> </ul>	DTS/DPF 5.1 Development provides a number of car parking spaces on-site at a rate no less than the amount calculated using one of the following, whichever is relevant: <ul style="list-style-type: none"> <li>(a) Transport, Access and Parking Table 2 - Off-Street Vehicle Parking Requirements in Designated Areas if the development is a class of development listed in Table 2 and the site is in a Designated Area</li> <li>(b) Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements where (a) does not apply</li> <li>(c) if located in an area where a lawfully established carparking fund operates, the number of spaces calculated under (a) or (b) less the number of spaces offset by contribution to the fund.</li> </ul>
Vehicle Parking Areas	
PO 6.1 Vehicle parking areas are sited and designed to minimise impact on the operation of public roads by avoiding the use of public roads when moving from one part of a parking area to another.	DTS/DPF 6.1 Movement between vehicle parking areas within the site can occur without the need to use a public road.
PO 6.2 Vehicle parking areas are appropriately located, designed and constructed to minimise impacts on adjacent sensitive receivers through measures such as ensuring they are attractively developed and landscaped, screen fenced, and the like.	DTS/DPF 6.2 None are applicable.
PO 6.3 Vehicle parking areas are designed to provide opportunity for	DTS/DPF 6.3 None are applicable.

integration and shared-use of adjacent car parking areas to reduce the total extent of vehicle parking areas and access points.	
PO 6.4 Pedestrian linkages between parking areas and the development are provided and are safe and convenient.	DTS/DPF 6.4 None are applicable.
PO 6.5 Vehicle parking areas that are likely to be used during non-daylight hours are provided with sufficient lighting to entry and exit points to ensure clear visibility to users.	DTS/DPF 6.5 None are applicable.
PO 6.6 Loading areas and designated parking spaces for service vehicles are provided within the boundary of the site.	DTS/DPF 6.6 Loading areas and designated parking spaces are wholly located within the site.
PO 6.7 On-site visitor parking spaces are sited and designed to be accessible to all visitors at all times.	DTS/DPF 6.7 None are applicable.
<b>Undercroft and Below Ground Garaging and Parking of Vehicles</b>	
PO 7.1 Undercroft and below ground garaging of vehicles is designed to enable safe entry and exit from the site without compromising pedestrian or cyclist safety or causing conflict with other vehicles.	DTS/DPF 7.1 None are applicable.
<b>Internal Roads and Parking Areas in Residential Parks and Caravan and Tourist Parks</b>	
PO 8.1 Internal road and vehicle parking areas are surfaced to prevent dust becoming a nuisance to park residents and occupants.	DTS/DPF 8.1 None are applicable.
PO 8.2 Traffic circulation and movement within the park is pedestrian friendly and promotes low speed vehicle movement.	DTS/DPF 8.2 None are applicable.
<b>Bicycle Parking in Designated Areas</b>	
PO 9.1 The provision of adequately sized on-site bicycle parking facilities encourages cycling as an active transport mode.	DTS/DPF 9.1 Areas and / or fixtures are provided for the parking and storage of bicycles at a rate not less than the amount calculated using Transport, Access and Parking Table 3 - Off Street Bicycle Parking Requirements.
PO 9.2 Bicycle parking facilities provide for the secure storage and tethering of bicycles in a place where casual surveillance is possible, is well lit and signed for the safety and convenience of cyclists and deters property theft.	DTS/DPF 9.2 None are applicable.
PO 9.3 Non-residential development incorporates end-of-journey facilities for employees such as showers, changing facilities and secure lockers, and signage indicating the location of the facilities to encourage cycling as a mode of journey-to-work transport.	DTS/DPF 9.3 None are applicable.
<b>Corner Cut-Offs</b>	
PO 10.1 Development is located and designed to ensure drivers can safely turn into and out of public road junctions.	DTS/DPF 10.1 Development does not involve building work, or building work is located wholly outside the land shown as Corner Cut-Off Area in the following diagram:



**Heavy Vehicle Parking**

<p>PO 11.1 Heavy vehicle parking and access is designed and sited so that the activity does not result in nuisance to adjoining neighbours as a result of dust, fumes, vibration, odour or potentially hazardous loads.</p>	<p>DTS/DPF 11.1 Heavy vehicle parking occurs in accordance with the following:</p> <ul style="list-style-type: none"> <li>(a) the site is not located within a Neighbourhood-type zone (except a Rural Living Zone)</li> <li>(b) the site is a minimum of 0.4 ha</li> <li>(c) where the site is 2 ha or more, no more than 2 vehicles exceeding 3,000 kilograms each (and trailers) are to be parked on the allotment at any time</li> <li>(d) where the site is between 0.4 ha and 2 ha, only one vehicle exceeding 3,000 kilograms (and one trailer) are to be parking on the allotment at any time</li> <li>(e) the vehicle parking area achieves the following setbacks:             <ul style="list-style-type: none"> <li>(i) behind the building line or 30m, whichever is greater</li> <li>(ii) 20m from the secondary street if it is a State Maintained Road</li> <li>(iii) 10m from the secondary street if it is a local road</li> <li>(iv) 10m from side and rear boundaries</li> </ul> </li> <li>(f) parking and access areas (including internal driveways) should be sealed or have a surface that can be treated and maintained to minimise dust and mud nuisance</li> <li>(g) does not include refrigerated trailers or vehicles</li> <li>(h) vehicles only enter and exit the property in accordance with the following hours:             <ul style="list-style-type: none"> <li>(i) Monday to Saturday 6:00am and 9:30pm</li> <li>(ii) Sunday and public holidays between 9:30 am and 7:00 pm</li> </ul> </li> <li>(i) the handling or trans-shipment of freight is not carried out on the property.</li> </ul>
<p>PO 11.2 Heavy vehicle parking ensures that vehicles can enter and exit a site safely and without creating a hazard to pedestrians and other vehicular traffic.</p>	<p>DTS/DPF 11.2 Heavy vehicles:</p> <ul style="list-style-type: none"> <li>(a) can enter and exit the site in a forward direction; and</li> <li>(b) operate within the statutory mass and dimension limited for General Access Vehicles (as prescribed by the National Heavy Vehicle Regulator).</li> </ul>
<p>PO 11.3 Heavy vehicle parking is screened through siting behind buildings, screening, landscaping or the like to obscure views from adjoining properties and public roads.</p>	<p>DTS/DPF 11.3 None are applicable.</p>

**Table 1 - General Off-Street Car Parking Requirements**

The following parking rates apply and if located in an area where a lawfully established carparking fund operates, the number of spaces is reduced by an amount equal to the number of spaces offset by contribution to the fund.

Class of Development	Car Parking Rate (unless varied by Table 2 onwards)
----------------------	---



Where a development comprises more than one development type, then the overall car parking rate will be taken to be the sum of the car parking rates for each development type.	
<b>Residential Development</b>	
Detached Dwelling	Dwelling with 1 bedroom (including rooms capable of being used as a bedroom) - 1 space per dwelling.  Dwelling with 2 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.
Group Dwelling	Dwelling with 1 or 2 bedrooms (including rooms capable of being used as a bedroom) - 1 space per dwelling.  Dwelling with 3 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.  0.33 spaces per dwelling for visitor parking where development involves 3 or more dwellings.
Residential Flat Building	Dwelling with 1 or 2 bedrooms (including rooms capable of being used as a bedroom) - 1 space per dwelling.  Dwelling with 3 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.  0.33 spaces per dwelling for visitor parking where development involves 3 or more dwellings.
Row Dwelling where vehicle access is from the primary street	Dwelling with 1 bedroom (including rooms capable of being used as a bedroom) - 1 space per dwelling.  Dwelling with 2 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.
Row Dwelling where vehicle access is not from the primary street (i.e. rear-loaded)	Dwelling with 1 or 2 bedrooms (including rooms capable of being used as a bedroom) - 1 space per dwelling.  Dwelling with 3 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.
Semi-Detached Dwelling	Dwelling with 1 bedroom (including rooms capable of being used as a bedroom) - 1 space per dwelling.  Dwelling with 2 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.
<b>Aged / Supported Accommodation</b>	
Retirement facility	Dwelling with 1 or 2 bedrooms (including rooms capable of being used as a bedroom) - 1 space per dwelling.  Dwelling with 3 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling.  0.2 spaces per dwelling for visitor parking.
Supported accommodation	0.3 spaces per bed.
<b>Residential Development (Other)</b>	
Ancillary accommodation	No additional requirements beyond those associated with the main dwelling.
Residential park	Dwelling with 1 or 2 bedrooms (including rooms capable of being used as a bedroom) - 1 space per dwelling.  Dwelling with 3 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling.  0.2 spaces per dwelling for visitor parking.
Student accommodation	0.3 spaces per bed.
Workers' accommodation	0.5 spaces per bed plus 0.2 spaces per bed for visitor parking.
<b>Tourist</b>	
Caravan and tourist park	Parks with 100 sites or less - a minimum of 1 space per 10 sites to be used for accommodation.  Parks with more than 100 sites - a minimum of 1 space per 15 sites used for accommodation.  A minimum of 1 space for every caravan (permanently fixed to the ground) or cabin.
Tourist accommodation other than a caravan and tourist park	1 car parking space per accommodation unit / guest room.
<b>Commercial Uses</b>	

Auction room/ depot	1 space per 100m2 of building floor area plus an additional 2 spaces.
Automotive collision repair	3 spaces per service bay.
Motor repair station	3 spaces per service bay.
Office	For a call centre, 8 spaces per 100m2 of gross leasable floor area  In all other cases, 4 spaces per 100m2 of gross leasable floor area.
Retail fuel outlet	3 spaces per 100m2 gross leasable floor area.
Service trade premises	2.5 spaces per 100m2 of gross leasable floor area  1 space per 100m2 of outdoor area used for display purposes.
Shop (no commercial kitchen)	5.5 spaces per 100m2 of gross leasable floor area where not located in an integrated complex containing two or more tenancies (and which may comprise more than one building) where facilities for off-street vehicle parking, vehicle loading and unloading, and the storage and collection of refuse are shared.  5 spaces per 100m2 of gross leasable floor area where located in an integrated complex containing two or more tenancies (and which may comprise more than one building) where facilities for off-street vehicle parking, vehicle loading and unloading, and the storage and collection of refuse are shared.
Shop (in the form of a bulky goods outlet)	2.5 spaces per 100m2 of gross leasable floor area.
Shop (in the form of a restaurant or involving a commercial kitchen)	Premises with a dine-in service only (which may include a take-away component with no drive-through) - 0.4 spaces per seat.  Premises with take-away service but with no seats - 12 spaces per 100m2 of total floor area plus a drive-through queue capacity of ten vehicles measured from the pick-up point.  Premises with a dine-in and drive-through take-away service - 0.3 spaces per seat plus a drive through queue capacity of 10 vehicles measured from the pick-up point.
<b>Community and Civic Uses</b>	
Community facility	For a library, 4 spaces per 100m2 of total floor area.  For a hall/meeting hall, 0.2 spaces per seat.  In all other cases, 10 spaces per 100m2 of total floor area.
Educational facility	For a primary school - 1.1 space per full time equivalent employee plus 0.25 spaces per student for a pickup/set down area either on-site or on the public realm within 300m of the site.  For a secondary school - 1.1 per full time equivalent employee plus 0.1 spaces per student for a pickup/set down area either on-site or on the public realm within 300m of the site.  For a tertiary institution - 0.4 per student based on the maximum number of students on the site at any time.
Place of worship	1 space for every 3 visitor seats.
Child care facility	For a child care centre, 0.25 spaces per child  In all other cases, 1 per employee plus 0.25 per child (drop off/pick up bays).
<b>Health Related Uses</b>	
Consulting room	4 spaces per consulting room excluding ancillary facilities.
Hospital	4.5 spaces per bed for a public hospital.  1.5 spaces per bed for a private hospital.
<b>Recreational and Entertainment Uses</b>	
Cinema complex	0.2 spaces per seat.
Concert hall / theatre	0.2 spaces per seat.
Hotel	1 space for every 2m2 of total floor area in a public bar plus 1 space for every 6m2 of total floor area available to the public in a lounge, beer garden plus 1 space per 2 gaming machines, plus 1 space per 3 seats in a restaurant.
Indoor recreation facility	6.5 spaces per 100m2 of total floor area for a Fitness Centre  4.5 spaces per 100m2 of total floor area for all other Indoor recreation facilities.

Industry/Employment Uses	
Fuel depot	1.5 spaces per 100m <sup>2</sup> total floor area  1 spaces per 100m <sup>2</sup> of outdoor area used for fuel depot activity purposes.
Industry	1.5 spaces per 100m <sup>2</sup> of total floor area.
Store	0.5 spaces per 100m <sup>2</sup> of total floor area.
Timber yard	1.5 spaces per 100m <sup>2</sup> of total floor area  1 space per 100m <sup>2</sup> of outdoor area used for display purposes.
Warehouse	0.5 spaces per 100m <sup>2</sup> total floor area.
Other Uses	
Funeral Parlour	1 space per 5 seats in the chapel plus 1 space for each vehicle operated by the parlour.
Radio or Television Station	5 spaces per 100m <sup>2</sup> of total building floor area.

**Table 2 - Off-Street Car Parking Requirements in Designated Areas**

The following parking rates apply in any zone, subzone or other area described in the 'Designated Areas' column.

Class of Development	Car Parking Rate		Designated Areas
	Where a development comprises more than one development type, then the overall car parking rate will be taken to be the sum of the car parking rates for each development type.		
	Minimum number of spaces	Maximum number of spaces	
Development generally			
All classes of development	No minimum.	No maximum except in the Primary Pedestrian Area identified in the Primary Pedestrian Area Concept Plan, where the maximum is:  1 space for each dwelling with a total floor area less than 75 square metres  2 spaces for each dwelling with a total floor area between 75 square metres and 150 square metres  3 spaces for each dwelling with a total floor area greater than 150 square metres.  Residential flat building or Residential component of a multi-storey building: 1 visitor space for each 6 dwellings.	Capital City Zone  City Main Street Zone  City Riverbank Zone  Adelaide Park Lands Zone  Business Neighbourhood Zone (within the City of Adelaide)  The St Andrews Hospital Precinct Subzone and Women's and Children's Hospital Precinct Subzone of the Community Facilities Zone
Non-residential development			
Non-residential development excluding tourist accommodation	3 spaces per 100m <sup>2</sup> of gross leasable floor area.	5 spaces per 100m <sup>2</sup> of gross leasable floor area.	City Living Zone  Urban Corridor (Boulevard) Zone  Urban Corridor (Business) Zone  Urban Corridor (Living) Zone  Urban Corridor (Main Street ) Zone  Urban Neighbourhood Zone (except for Bowden, Brompton or Hindmarsh)
Non-residential development excluding tourist accommodation	3 spaces per 100m <sup>2</sup> of gross leasable floor area.	6 spaces per 100m <sup>2</sup> of gross leasable floor area.	Strategic Innovation Zone in the City of Burnside, City of Marion or City of Mitcham  Strategic Innovation Zone outside the City of Burnside, City of Marion or City of Mitcham when the site is also in a high frequency public

			<p>transit area</p> <p>Suburban Activity Centre Zone when the site is also in a high frequency public transit area</p> <p>Suburban Business Zone when the site is also in a high frequency public transit area</p> <p>Business Neighbourhood Zone outside of the City of Adelaide when the site is also in a high frequency public transit area</p> <p>Suburban Main Street Zone when the site is also in a high frequency public transit area</p> <p>Urban Activity Centre Zone</p>
Non-residential development excluding tourist accommodation	<p>3 spaces per 100 square metres of gross leasable floor area</p> <p>1.5 spaces per 100 square metres of gross leasable floor area above ground floor level other than for a shop</p>	3 spaces per 100 square metres of gross leasable floor area	Urban Neighbourhood Zone (in Bowden, Brompton or Hindmarsh)
Tourist accommodation	1 space for every 4 bedrooms up to 100 bedrooms plus 1 space for every 5 bedrooms over 100 bedrooms	1 space per 2 bedrooms up to 100 bedrooms and 1 space per 4 bedrooms over 100 bedrooms	<p>City Living Zone</p> <p>Urban Activity Centre Zone when the site is also in a high frequency public transit area</p> <p>Urban Corridor (Boulevard) Zone</p> <p>Urban Corridor (Business) Zone</p> <p>Urban Corridor (Living) Zone</p> <p>Urban Corridor (Main Street) Zone</p> <p>Urban Neighbourhood Zone (except for Bowden, Brompton or Hindmarsh)</p>
Residential development			
Residential component of a multi-storey building	<p>Dwelling with no separate bedroom -0.25 spaces per dwelling</p> <p>1 bedroom dwelling - 0.75 spaces per dwelling</p> <p>2 bedroom dwelling - 1 space per dwelling</p> <p>3 or more bedroom dwelling - 1.25 spaces per dwelling</p> <p>0.25 spaces per dwelling for visitor parking.</p>	None specified.	<p>City Living Zone</p> <p>Strategic Innovation Zone in the City of Burnside, City of Marion or City of Mitcham</p> <p>Strategic Innovation Zone outside the City of Burnside, City of Marion or City of Mitcham when the site is also in a high frequency public transit area</p> <p>Urban Activity Centre Zone when the site is also in a high frequency public transit area</p> <p>Urban Corridor (Boulevard) Zone</p> <p>Urban Corridor (Business) Zone</p>



			Urban Corridor (Living) Zone Urban Corridor (Main Street) Zone Urban Neighbourhood Zone (except for Bowden, Brompton or Hindmarsh)
Residential component of a multi-storey building	0.75 per dwelling	None specified	Urban Neighbourhood Zone (in Bowden, Brompton or Hindmarsh)
Residential flat building	Dwelling with no separate bedroom -0.25 spaces per dwelling 1 bedroom dwelling - 0.75 spaces per dwelling 2 bedroom dwelling - 1 space per dwelling 3 or more bedroom dwelling - 1.25 spaces per dwelling 0.25 spaces per dwelling for visitor parking.	None specified.	City Living Zone Urban Activity Centre Zone when the site is also in a high frequency public transit area Urban Corridor (Boulevard) Zone Urban Corridor (Business) Zone Urban Corridor (Living) Zone Urban Corridor (Main Street) Zone Urban Neighbourhood Zone (except for Bowden, Brompton or Hindmarsh)
Residential flat building	0.75 per dwelling	None specified	Urban Neighbourhood Zone (in Bowden, Brompton or Hindmarsh)
Detached dwelling	0.75 per dwelling	None specified	Urban Neighbourhood Zone (in Bowden, Brompton or Hindmarsh)
Row dwelling	0.75 per dwelling	None specified	Urban Neighbourhood Zone (in Bowden, Brompton or Hindmarsh)
Semi-detached dwelling	0.75 per dwelling	None specified	Urban Neighbourhood Zone (in Bowden, Brompton or Hindmarsh)

### Table 3 - Off-Street Bicycle Parking Requirements

The bicycle parking rates apply within designated areas located within parts of the State identified in the Schedule to Table 3.

Class of Development	Bicycle Parking Rate
	<b>Where a development comprises more than one development type, then the overall bicycle parking rate will be taken to be the sum of the bicycle parking rates for each development type.</b>
Consulting room	1 space per 20 employees plus 1 space per 20 consulting rooms for customers.
Educational facility	For a secondary school - 1 space per 20 full-time time employees plus 10 percent of the total number of employee spaces for visitors.

	For tertiary education - 1 space per 20 employees plus 1 space per 10 full time students.	
Hospital	1 space per 15 beds plus 1 space per 30 beds for visitors.	
Indoor recreation facility	1 space per 4 employees plus 1 space per 200m2 of gross leasable floor area for visitors.	
Licensed Premises	1 per 20 employees, plus 1 per 60 square metres total floor area, plus 1 per 40 square metres of bar floor area, plus 1 per 120 square metres lounge and beer garden floor area, plus 1 per 60 square metres dining floor area, plus 1 per 40 square metres gaming room floor area.	
Office	1 space for every 200m2 of gross leasable floor area plus 2 spaces plus 1 space per 1000m2 of gross leasable floor area for visitors.	
Child care facility	1 space per 20 full time employees plus 1 space per 40 full time children.	
Recreation area	1 per 1500 spectator seats for employees plus 1 per 250 visitor and customers.	
Residential flat building	Within the City of Adelaide 1 for every dwelling for residents with a total floor area less than 150 square metres, 2 for every dwelling for residents with a total floor area greater than 150 square metres, plus 1 for every 10 dwellings for visitors, and in all other cases 1 space for every 4 dwellings for residents plus 1 for every 10 dwellings for visitors.	
Residential component of a multi-storey building	Within the City of Adelaide 1 for every dwelling for residents with a total floor area less than 150 square metres, 2 for every dwelling for residents with a total floor area greater than 150 square metres, plus 1 for every 10 dwellings for visitors, and in all other cases 1 space for every 4 dwellings for residents plus 1 space for every 10 dwellings for visitors.	
Shop	1 space for every 300m2 of gross leasable floor area plus 1 space for every 600m2 of gross leasable floor area for customers.	
Tourist accommodation	1 space for every 20 employees plus 2 for the first 40 rooms and 1 for every additional 40 rooms for visitors.	
Schedule to Table 3	<b>Designated Area</b>	<b>Relevant part of the State</b>
		<b>The bicycle parking rate applies to a designated area located in a relevant part of the State described below.</b>
	All zones	City of Adelaide
	Business Neighbourhood Zone	Metropolitan Adelaide
	Strategic Innovation Zone	
	Suburban Activity Centre Zone	
	Suburban Business Zone	
	Suburban Main Street Zone	
	Urban Activity Centre Zone	
	Urban Corridor (Boulevard) Zone	
	Urban Corridor (Business) Zone	
	Urban Corridor (Living) Zone	
Urban Corridor (Main Street ) Zone		
Urban Neighbourhood Zone		

### Waste Treatment and Management Facilities

#### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Mitigation of the potential environmental and amenity impacts of waste treatment and management facilities.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Siting	
PO 1.1 Waste treatment and management facilities incorporate separation distances and attenuation measures within the site between waste operations areas (including all closed, operating and future cells) and sensitive receivers and sensitive environmental features to mitigate off-site impacts from noise, air and dust emissions.	DTS/DPF 1.1 None are applicable.
Soil and Water Protection	
PO 2.1 Soil, groundwater and surface water are protected from contamination from waste treatment and management facilities through measures such as: <ul style="list-style-type: none"> <li>(a) containing potential groundwater and surface water contaminants within waste operations areas</li> <li>(b) diverting clean stormwater away from waste operations areas and potentially contaminated areas</li> <li>(c) providing a leachate barrier between waste operations areas and underlying soil and groundwater.</li> </ul>	DTS/DPF 2.1 None are applicable.
PO 2.2 Wastewater lagoons are set back from watercourses to minimise environmental harm and adverse effects on water resources.	DTS/DPF 2.2 Wastewater lagoons are set back 50m or more from watercourse banks.
PO 2.3 Wastewater lagoons are designed and sited to: <ul style="list-style-type: none"> <li>(a) avoid intersecting underground waters;</li> <li>(b) avoid inundation by flood waters;</li> <li>(c) ensure lagoon contents do not overflow;</li> <li>(d) include a liner designed to prevent leakage.</li> </ul>	DTS/DPF 2.3 None are applicable.
PO 2.4 Waste operations areas of landfills and organic waste processing facilities are set back from watercourses to minimise adverse impacts on water resources.	DTS/DPF 2.4 Waste operations areas are set back 100m or more from watercourse banks.
Amenity	
PO 3.1 Waste treatment and management facilities are screened, located and designed to minimise adverse visual impacts on amenity.	DTS/DPF 3.1 None are applicable.
PO 3.2 Access routes to waste treatment and management facilities via residential streets is avoided.	DTS/DPF 3.2 None are applicable.
PO 3.3 Litter control measures minimise the incidence of windblown litter.	DTS/DPF 3.3 None are applicable.
PO 3.4 Waste treatment and management facilities are designed to minimise adverse impacts on both the site and surrounding areas from weed and vermin infestation.	DTS/DPF 3.4 None are applicable.
Access	

PO 4.1 Traffic circulation movements within any waste treatment or management site are designed to enable vehicles to enter and exit the site in a forward direction.	DTS/DPF 4.1 None are applicable.
PO 4.2 Suitable access for emergency vehicles is provided to and within waste treatment or management sites.	DTS/DPF 4.2 None are applicable.
Fencing and Security	
PO 5.1 Security fencing provided around waste treatment and management facilities prevents unauthorised access to operations and potential hazard to the public.	DTS/DPF 5.1 Chain wire mesh or pre-coated painted metal fencing 2m or more in height is erected along the perimeter of the waste treatment or waste management facility site.
Landfill	
PO 6.1 Landfill gas emissions are managed in an environmentally acceptable manner.	DTS/DPF 6.1 None are applicable.
PO 6.2 Landfill facilities are separated from areas of environmental significance and land used for public recreation and enjoyment.	DTS/DPF 6.2 Landfill facilities are set back 250m or more from a public open space reserve, forest reserve, national park or Conservation Zone.
PO 6.3 Landfill facilities are located on land that is not subject to land slip.	DTS/DPF 6.3 None are applicable.
PO 6.4 Landfill facilities are separated from areas subject to flooding.	DTS/DPF 6.4 Landfill facilities are set back 500m or more from land inundated in a 1% AEP flood event.
Organic Waste Processing Facilities	
PO 7.1 Organic waste processing facilities are separated from the coast to avoid potential environment harm.	DTS/DPF 7.1 Organic waste processing facilities are set back 500m or more from the coastal high water mark.
PO 7.2 Organic waste processing facilities are located on land where the engineered liner and underlying seasonal water table cannot intersect.	DTS/DPF 7.2 None are applicable.
PO 7.3 Organic waste processing facilities are sited away from areas of environmental significance and land used for public recreation and enjoyment.	DTS/DPF 7.3 Organic waste processing facilities are set back 250m or more from a public open space reserve, forest reserve, national park or a Conservation Zone.
PO 7.4 Organic waste processing facilities are located on land that is not subject to land slip.	DTS/DPF 7.4 None are applicable.
PO 7.5 Organic waste processing facilities separated from areas subject to flooding.	DTS/DPF 7.5 Organic waste processing facilities are set back 500m or more from land inundated in a 1% AEP flood event.
Major Wastewater Treatment Facilities	
PO 8.1 Major wastewater treatment and disposal systems, including lagoons, are designed to minimise potential adverse odour impacts on sensitive receivers, minimise public and environmental health risks and protect water quality.	DTS/DPF 8.1 None are applicable.
PO 8.2	DTS/DPF 8.2



Artificial wetland systems for the storage of treated wastewater are designed and sited to minimise potential public health risks arising from the breeding of mosquitoes.	None are applicable.
--	----------------------

## Workers' accommodation and Settlements

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Appropriately designed and located accommodation for seasonal and short-term workers in rural areas that minimises environmental and social impacts.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
PO 1.1 Workers' accommodation and settlements are obscured from scenic routes, tourist destinations and areas of conservation significance or otherwise designed to complement the surrounding landscape.	DTS/DPF 1.1 None are applicable.
PO 1.2 Workers' accommodation and settlements are sited and designed to minimise nuisance impacts on the amenity of adjacent users of land.	DTS/DPF 1.2 None are applicable.
PO 1.3 Workers' accommodation and settlements are built with materials and colours that blend with the landscape.	DTS/DPF 1.3 None are applicable.
PO 1.4 Workers' accommodation and settlements are supplied with service infrastructure such as power, water and effluent disposal sufficient to satisfy the living requirements of workers.	DTS/DPF 1.4 None are applicable.

No criteria applies to this land use. Please check the definition of the land use for further detail.