

CAP MEETING – 13 NOVEMBER 2024

ITEM 8.1

DEVELOPMENT NO.:	24027220
APPLICANT:	Michael Velonakis
ADDRESS:	31 Crescent Drive, Norton Summit
NATURE OF DEVELOPMENT:	Variation to Development Authorisation 21027228 - addition of two (2) balconies to building for tourist accommodation and studio workshop
ZONING INFORMATION:	<p>Zones:</p> <ul style="list-style-type: none"> Productive Rural Landscape <p>Subzones:</p> <ul style="list-style-type: none"> N/A <p>Overlays:</p> <ul style="list-style-type: none"> Environment and Food Production Area Hazards (Bushfire - High Risk) Hazards (Flooding - Evidence Required) Heritage Adjacency Limited Land Division Native Vegetation Prescribed Wells Area Traffic Generating Development Urban Transport Routes <p>Technical Numeric Variations (TNVs):</p> <ul style="list-style-type: none"> N/A
LODGEMENT DATE:	13 September 2024
RELEVANT AUTHORITY:	Assessment Panel at Adelaide Hills Council
PLANNING & DESIGN CODE VERSION:	2024.17
CATEGORY OF DEVELOPMENT:	Code Assessed – Performance Assessed
NOTIFICATION:	No
RECOMMENDING OFFICER:	Sebastien Paraskevopoulos
REFERRALS STATUTORY:	Nil
REFERRALS NON-STATUTORY:	Nil

CONTENTS:

ATTACHMENT 1: Application Documents

ATTACHMENT 3: Zoning Map

ATTACHMENT 2: Subject Land Map

ATTACHMENT 4: Relevant P & D Code Policies

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DETAILED DESCRIPTION OF PROPOSAL:

The application seeks to modify the approved tourist accommodation and studio workshop building to include two balconies. This building is currently under construction.

The balconies are proposed to the northern and eastern aspects of the building and would both be accessible from the family room on the upper level. The northern balcony has a floor area of 18.66m² and the southeastern balcony has a floor area of 15.73m², while each would be a maximum of 2.8m above the ground floor level of the building.

Other minor changes include the addition of a door and window to the northern upper level of the building, to facilitate access and improve the vantage to the north balcony. Similarly, an additional door is proposed to access the east balcony.

All other aspects of the building would remain as previously approved. This includes the site location and setbacks, floor plan (no increase to internal habitable area) and external finishes, and extends to the operational details conditioned.

BACKGROUND:

The land has been subject to three approved developments since 2017. The retaining walls and associated earthworks approved in Development Application 18/1035/473 provided a level site for the subject building. Stage two of Development Application 15/517/473 was altered by the most recent application following the installation of the foundations and slab. The building for tourist accommodation and studio workshop approved in Development Application 21027228 is currently under construction.

In 2016 the address of the subject land was changed from 6 Crescent Drive to 31 Crescent Drive.

APPROVAL DATE	APPLICATION NUMBER	DESCRIPTION OF PROPOSAL
5 December 2023	21027228	Partial change of use of existing dwelling to include tourist accommodation and construction of building for tourist accommodation and studio workshop
2 April 2020	18/1035/473	Retaining walls (maximum height 3m) and combined fence and retaining wall (3.6m) & associated earthworks
LAPSED	18/338/473	Verandah (freestanding) over existing swimming pool
6 October 2017	15/517/473	Staged development – Stage One - dwelling alterations & additions & deck (maximum height 2.5m), Stage Two - demolition of shed & construction of studio/workshop with associated earthworks

SUBJECT LAND & LOCALITY:

Location reference: 31 Crescent Drive, Norton Summit SA 5136

Title ref.: CT: 6196/807 **Plan Parcel:** Lot 10 Sec: P1079 DP:115375

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Site Description:

The allotment is regularly shaped with a total site area of 3643m². It is one of six allotments in the locality which share street frontages to both Crescent Drive and Lobethal Road.

In addition to the building currently under construction, the land also features the main dwelling, and an associated swimming pool, deck and verandah. These existing elements are located centrally between the front and rear property boundaries but favour the west side boundary.

The topography of the land descends from Crescent Drive to Lobethal Road (south to north), at a gradient of approximately 1:5. The floor level of the existing dwelling is 4.6m below the lower floor level of the building under construction.

The land is served by one existing vehicle access point, located off Crescent Drive near the south-most corner of the allotment.

The land is not connected to SA Water or Sewer Mains and has an approved on-site waste system. The land is not subject to any easements or rights of way.

Locality

The property is located between Lobethal Road to the north, and Crescent Drive to the south, within the Productive Rural Landscape Zone.

This area is characterised by moderate to large rural living allotments with several large horticulture properties located throughout. These include a vineyard to the north of the subject land and the State Heritage listed Grove Hill estate to the south, which is South Australia's oldest orchard in continuous operation.

Norton Summit Primary School is situated further up Crescent Drive to the east, while a range of non-residential uses (including a church, hotel, medical clinic, post office, CFS station, and the Adelaide Hills Council Summit Community Centre) are located to the north-east, clustered around the five-way intersection of Norton Summit Road, Old Norton Summit Road, Lobethal Road, Debneys Road, and Colonial Drive.

CONSENT TYPE REQUIRED:

Planning Consent

CATEGORY OF DEVELOPMENT:

- **PER ELEMENT:**
Balcony/Deck: Code Assessed – Performance Assessed
- **OVERALL APPLICATION CATEGORY:**
Code Assessed – Performance Assessed
- **REASON**
The Planning and Design Code provides no 'Accepted' or 'Deemed to Satisfy' pathway for the above element –nor is it categorised as 'Restricted' under Table 4 of the zone. Therefore, as per sections 105 (b) and 107 of the *Planning Development & Infrastructure Act 2016*, the development is categorised as Code Assessed – Performance Assessed.

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PUBLIC NOTIFICATION

- No
- **REASON**
Balconies (decks) are exempt from public notification as per table 5 item 2 (f) of the Productive Rural Landscape Zone. No Column B exceptions are listed.

PLANNING ASSESSMENT

Desired outcomes

Desired outcomes are policies designed to aid the interpretation of performance outcomes by setting a general policy agenda for a zone, subzone, overlay or general development policies module. Where a relevant authority is uncertain as to whether or how a performance outcome applies to a development, the desired outcome(s) may inform its consideration of the relevance and application of a performance outcome, or assist in assessing the merits of the development against the applicable performance outcomes collectively.

Performance outcomes

Performance outcomes are policies designed to facilitate assessment according to specified factors, including land use, site dimensions and land division, built form, character and hazard risk minimisation.

Designated performance features

In order to assist a relevant authority to interpret the performance outcomes, in some cases the policy includes a standard outcome which will generally meet the corresponding performance outcome (a designated performance feature or DPF). A DPF provides a guide to a relevant authority as to what is generally considered to satisfy the corresponding performance outcome but does not need to necessarily be satisfied to meet the performance outcome, and does not derogate from the discretion to determine that the outcome is met in another way, or from the need to assess development on its merits against all relevant policies.

A detailed assessment of the application has taken place against the relevant provisions of the Planning and Design Code (P & D Code) and this is provided below under a series of headings. A Policy Enquiry extract containing the relevant provisions of the P & D Code is contained in **Attachment 6 – Relevant P & D Code Policies**.

Productive Rural Landscape Zone

Desired Outcomes	
DO 1	A diverse range of land uses at an appropriate scale and intensity that capitalise on the region's proximity to the metropolitan area and the tourist and lifestyle opportunities this presents while also conserving the natural and rural character, identity, biodiversity and sensitive environmental areas and scenic qualities of the landscape.
DO 2	A zone that promotes agriculture, horticulture, value adding opportunities, farm gate businesses, the sale and consumption of agricultural based products, tourist development and accommodation that expands the economic base and promotes its regional identity.
DO 3	The creation of local conditions that support new and continuing investment while seeking to promote co-existence with adjoining activities and mitigate land use conflicts.
Performance Outcomes (PO) & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria	
PO 2.2 & DPF 2.2	

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The subject building was approved under version 2021.14 of the Planning and Design Code. In version 2024.17, the Desired Outcomes remain the same, and the proposed balconies are not considered to alter the approved building's performance against them nor conflict in their own right.

PO 2.2, which directs the siting of buildings with regarding to gradient and earthworks, is not relevant to this assessment. The building is already under construction in the approved location, with the proposed balcony additions not altering earthworks.

Overlays

Environment and Food Production Area Overlay

Desired Outcomes	
DO 1	Protection of valuable rural, landscape, environmental and food production areas from urban encroachment.
Performance Outcome (PO) and Designated Performance Feature (DPF) criteria	
N/A	

This overlay concerns urban encroachment and seeks to ensure land division is undertaken in accordance with Section 7 of the *Planning, Development and Infrastructure Act 2016*. This is not applicable to the proposal.

Hazards (Bushfire - High Risk) Overlay

Desired Outcomes	
DO 1	Development, including land division is sited and designed to minimise the threat and impact of bushfires on life and property with regard to the following risks: (a) potential for uncontrolled bushfire events taking into account the increased frequency and intensity of bushfires as a result of climate change (b) high levels and exposure to ember attack (c) impact from burning debris (d) radiant heat (e) likelihood and direct exposure to flames from a fire front.
DO 2	Activities that increase the number of people living and working in the area or where evacuation would be difficult is sited away from areas of unacceptable bushfire risk.
DO 3	To facilitate access for emergency service vehicles to aid the protection of lives and assets from bushfire danger.
Performance Outcome (PO) and Designated Performance Feature (DPF) criteria	
PO 1.1; PO 2.1; PO 3.1; PO 3.2 & DPF 3.2	

As part of the original assessment of the building itself, referral to the Country Fire Service was undertaken. The Country Fire Service had no objections to the proposal. Conditions relating to firefighting vehicle manoeuvring, water supply and access, and asset protection zones were stipulated.

As an element, balconies do not trigger referral to the CFS. As a variation to the approved building and use, they are not substantial, and do not change the essential nature of the development. The balconies would not increase the potential for fire outbreak as a result of the spontaneous combustion of materials, spark generation or through the magnification or reflection of light. Their inclusion does not alter the building in a way which would increase the potential for trapping burning debris against or underneath the building or structure. The relevant Performance Outcomes are not conflicted by the proposal.

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Hazards (Flooding - Evidence Required)

Desired Outcomes	
DO 1	Development adopts a precautionary approach to mitigate potential impacts on people, property, infrastructure and the environment from potential flood risk through the appropriate siting and design of development.
Performance Outcome (PO) and Designated Performance Feature (DPF) criteria	
N/A	

Owing to the topography of Norton Summit, there is no flood mapping in proximity of the subject land or the greater locality.

Heritage Adjacency

Desired Outcomes	
DO 1	Development adjacent to State and Local Heritage Places maintains the heritage and cultural values of those Places.
Performance Outcome (PO) and Designated Performance Feature (DPF) criteria	
N/A	

The subject land adjoins 412 Old Norton Summit Road, which contains the State Heritage listed Grove Hill estate. This listing includes several buildings, described by the SA Heritage Places Database as '*Dwelling ('Grove Hill'), including Coach House, Stables, 3 Hole Privy, Gatehouse, Fruit Store, Cider Cellars and Hothouses*'.

The site area of the approved building is over 500m from the nearest building on the adjoining land and separated by Crescent Drive. The proposed variations are not considered to impact the heritage context of the adjacent land.

Limited Land Division Overlay

Desired Outcomes	
DO 1	The long term use of land for primary production is maintained by minimising fragmentation through division of land.
Performance Outcome (PO) and Designated Performance Feature (DPF) criteria	
N/A	

This overlay pertains to land division and is not applicable to the proposal.

Native Vegetation

Desired Outcomes	
DO 1	Areas of native vegetation are protected, retained and restored in order to sustain biodiversity, threatened species and vegetation communities, fauna habitat, ecosystems services, carbon storage and amenity values.
Performance Outcome (PO) and Designated Performance Feature (DPF) criteria	
PO 1.1 & DPF 1.1	

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No native vegetation would be impacted by the variation, and the applicant made their declaration upon submission of the application, which complies with DTS/DPF1.1

Prescribed Wells Area Overlay

Desired Outcomes	
DO 1	Sustainable water use in prescribed wells areas.
Performance Outcome (PO) and Designated Performance Feature (DPF) criteria	
N/A	

The proposal would not result in the taking of additional water for which a licence would be required under the *Landscape South Australia Act 2019*, which aligns with PO 1.1.

Urban Transport Routes

Desired Outcomes	
DO 1	Safe and efficient operation of Urban Transport Routes for all road users.
DO 2	Provision of safe and efficient access to and from Urban Transport Routes.
Performance Outcome (PO) and Designated Performance Feature (DPF) criteria	
N/A	

The proposal does not include any new vehicle access points, nor the alteration or re-location of the existing access used to service the development. State-owned Lobethal Road will not be altered or directly impacted by the proposal.

General Development Policies

Clearance from Overhead Powerlines

Desired Outcomes	
DO 1	Protection of human health and safety when undertaking development in the vicinity of overhead transmission powerlines.
Performance Outcome (PO) and Designated Performance Feature (DPF) criteria	
PO 1.1 & DPF 1.1	

A declaration was made by the applicant upon submission of the application that the proposal would not be contrary to the regulations prescribed for the purposes of section 86 of the Electricity Act 1996. On this basis the proposal is in accordance with the above provisions.

Design

Desired Outcomes	
DO 1	Development is: (a) contextual - by considering, recognising and carefully responding to its natural surroundings or built environment and positively contributing to the character of the immediate area (b) durable - fit for purpose, adaptable and long lasting (c) inclusive - by integrating landscape design to optimise pedestrian and cyclist usability, privacy and equitable access and promoting the provision of quality spaces integrated with the public

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	<p>realm that can be used for access and recreation and help optimise security and safety both internally and within the public realm, for occupants and visitors</p> <p>(d) sustainable - by integrating sustainable techniques into the design and siting of development and landscaping to improve community health, urban heat, water management, environmental performance, biodiversity and local amenity and to minimise energy consumption.</p>
<p>Performance Outcome (PO) and Designated Performance Feature (DPF) criteria</p>	
<p>PO 8.1 & DPF 8.1; PO 33.1 & DPF 33.1; PO 33.2 & DPF 33.2; PO 33.3 & DPF 33.3;</p>	

The development does not propose any excavation or filling of land or other works which would disturb the natural topography. PO 8.1 is therefore not applicable.

The balconies do not increase the building footprint or the internal habitable area of the approved building. They retain the existing setbacks, and are an adequate distance from the subject land’s north, east, and south boundaries of which they view. On this basis, the balconies comply with PO 33.1.

The balconies do not present direct overlooking of habitable rooms or private open space of neighbouring 37 Crescent Drive (the allotment abutting east). The Planning and Design Code defines *direct overlooking* as limited to an area that falls within a horizontal distance of 15 metres measured from any point of the overlooking deck, balcony or terrace. See illustration below:

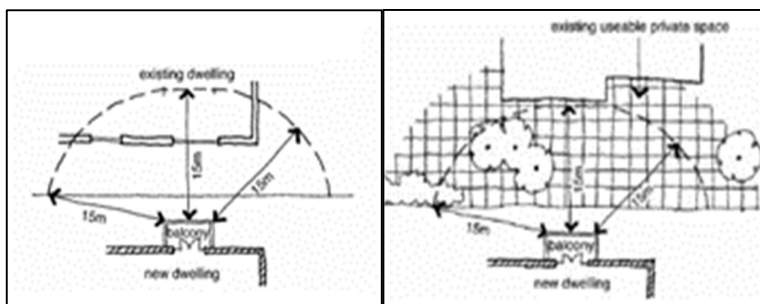


Figure 1: Extract from Planning and Design Code illustrating direct overlooking from deck, balcony, or terrace

The proposal therefore is not obliged to include any methods of screening and is considered to meet PO 33.2.

The variation to include the balconies does not alter the maximum number of guests able to use the building as tourists, and as such the development would remain compliant with Table 1 – General Off-Street Car Parking Requirements of the Planning & Design Code. This satisfies PO 33.3

Infrastructure and Renewable Energy Facilities

<p>Desired Outcomes</p>	
<p>DO 1</p>	<p>Efficient provision of infrastructure networks and services, renewable energy facilities and ancillary development in a manner that minimises hazard, is environmentally and culturally sensitive and manages adverse visual impacts on natural and rural landscapes and residential amenity.</p>
<p>Performance Outcome (PO) and Designated Performance Feature (DPF) criteria</p>	
<p>PO 11.1 & DPF 11.1; PO 12.1 & DPF 12.1; PO 12.2 & DPF 12.2</p>	

The proposed building works would not encroach upon the approved septic system, satisfying PO 12.2.

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CONSIDERATION OF SERIOUSLY AT VARIANCE

The proposal is not considered to be seriously at variance with the provisions of the Planning & Design Code.

Balconies are a common form of ancillary development, and together with decks are found throughout the Productive Rural Landscape Zone and the greater Council district. The balconies proposed in this application are of a modest scale which do not increase the footprint or height of the approved building, nor do they present any direct overlooking which ought to be mitigated. The proposal accords with all relevant polices from the Zone, Overlay, and General Development Polices sections.

CONCLUSION

The proposal is for a variation to Development Authorisation 21027228, to add two balconies to the building approved for tourist accommodation and studio workshop. The subject land is located within the Productive Rural Landscape Zone, in a locality of large rural living allotments with several large horticulture properties located throughout.

The application does not propose to vary any of the operational details which were conditioned as part of the original Development Authorisation. The proposed variations would not change the essential nature of the approved building and are not substantial by the fact the building's original approved footprint, internal habitable area, and wall and building heights are retained.

The proposal is not considered to be seriously at variance with any of the applicable policies of the Planning & Design Code, adequately addressing all relevant Zone, Overlays, and General Development provisions.

RECOMMENDATION

It is recommended that the Council Assessment Panel resolve that:

- 1) Pursuant to Section 107(2)(c) of the Planning, Development and Infrastructure Act 2016, and having undertaken an assessment of the application against the Planning and Design Code, the application is NOT seriously at variance with the provisions of the Planning and Design Code; and**
- 2) Development Application Number 24011855 Demetrios Diamanti for a Variation to Development Authorisation 21027228 - addition of two (2) balconies to building for tourist accommodation and studio workshop at 31 Crescent Drive, Norton Summit is GRANTED Planning Consent subject to the following conditions:**

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CONDITIONS

Planning Consent

- 1) The development granted shall be undertaken and completed in accordance with the stamped plans and documentation, except where varied by conditions below.**
- 2) Except where varied by this authorisation, all other conditions, plans and details relating to Development Authorisation 21027228 continue to apply to this amended authorisation.**

ADVISORY NOTES

General Notes

- 1) No work can commence on this development unless a Development Approval has been obtained. If one or more consents have been granted on this Decision Notification Form, you must not start any site works or building work or change of use of the land until you have received notification that Development Approval has been granted.**
- 2) Appeal rights – General rights of review and appeal exist in relation to any assessment, request, direction or act of a relevant authority in relation to the determination of this application, including conditions.**
- 3) This Planning Consent is valid for a period of twenty-four (24) months commencing from the date of the decision, subject to the below or subject to an extension having been granted by the relevant authority. If applicable, Building Consent must be obtained prior to expiration of the Planning Consent.**
- 4) Where an approved development has been substantially commenced within 2 years from the operative date of approval, the approval will then lapse 3 years from the operative date of the approval (unless the development has been substantially or fully completed within those 3 years, in which case the approval will not lapse).**

OFFICER MAKING RECOMMENDATION

Name: Sebastien Paraskevopoulos
Title: Statutory Planner

REAL PROPERTY ACT, 1886



The Registrar-General certifies that this Title Register Search displays the records maintained in the Register Book and other notations at the time of searching.



Certificate of Title - Volume 6196 Folio 807

Parent Title(s) CT 5081/167
Creating Dealing(s) RTD 12735138
Title Issued 15/09/2017 Edition 1 Edition Issued 15/09/2017

Estate Type

FEE SIMPLE

Registered Proprietor

MANI WHITE
OF 6 CRESCENT DRIVE NORTON SUMMIT SA 5136

Description of Land

ALLOTMENT 10 DEPOSITED PLAN 115375
IN THE AREA NAMED NORTON SUMMIT
HUNDRED OF ADELAIDE

Easements

NIL

Schedule of Dealings

Dealing Number	Description
11564584	MORTGAGE TO AUSTRALIA & NEW ZEALAND BANKING GROUP LTD.

Notations

Dealings Affecting Title	NIL
Priority Notices	NIL
Notations on Plan	NIL
Registrar-General's Notes	NIL
Administrative Interests	NIL

D115375

SHEET 2 OF 2

56675_pland_1_V05_Version_7

BEARING DATUM: ①-④ 157°16'20"

DERIVATION: D48774 ADOPTED

TOTAL AREA:

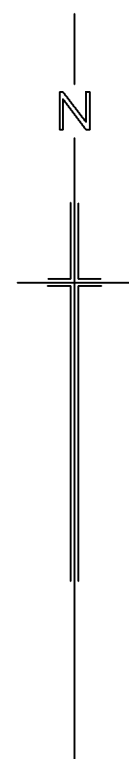
REFERENCE MARKS

CNR	BEARING	FROM	DIST	PM NO
1	252°21'	PM FD	1.01	6628/36923
2	54°52'	PM FD	0.10	6628/36896
3	41°06'	PM FD	10.12	6628/36938



VIDE CONTINUATION
BELOW LEFT

VIDE CONTINUATION
ABOVE RIGHT



GILBERT SURVEYORS PTY LTD

2 CREMORNE STREET
FULLARTON SA 5063
ref: C112/15

tel 82719639
mob 0428719639
gilbert@esc.net.au



26th August 2024

Adelaide Hills Council
26 Onkaparinga Road
Woodside SA 5244

Attn: Planning Department (Blake O'Neill)
RE: ID 21027228

Dear Blake,

We have lodged an application for a Minor Variation to the existing Planning approval ... ID 21027228 approval for B & B

We hereby submit amended Architectural plans showing:

- Proposed balcony facing Crescent Drive to the front of the dwelling (with one single door access only)
- Proposed balcony to the rear of the dwelling facing Lobethal Road (with one single door access & an additional window)
- Covered area internally in lieu of exposed beams

The balcony at the front is facing Crescent Drive and does not impede or overlook any neighbours

The balcony to the rear is facing Lobethal Road & does not overlook any neighbours, it looks directly into our own rear yard with spectacular views down the valley

Could you kindly assess this at your convenience

Please see attached:

- Full set of combined PDF Architectural plans amended as at 12th June 2024

We await your response

Kind Regards

A handwritten signature in black ink, appearing to be "Jim Diamanti", written over a light blue circular background.

Jim Diamanti



P: (08) 82931526

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A: PO Box 551, Marlestone SA, 5033

ABN: 44510290394

ADELAIDE HILLS COUNCIL
RECEIVED 27/08/2024

WORKING DRAWINGS
FOR CONSTRUCTION JUNE 24

PROPOSED B&B TOURIST ACCOMMODATION
AND EXISTING RESIDENCE
MICHAEL VELONAKIS
31 CRESCENT DRIVE
NORTON SUMMIT SA

SHEET	DRAWING LIST
01	GENERAL NOTES
02	PROPOSED SITE PLAN
03	FIRE FIGHTER SERVICES PLAN
04	FLOOR PLANS
05	SEWER FLOOR PLAN LAYOUT
06	PROPOSED B&B FLOOR PLAN (EXISTING HOUSE)
07	CONCRETE PLAN
08	JOIST LAYOUT
09	ELEVATIONS
10	ROOF PLAN
11	SECTION A-A
12	SECTION B-B
13	ELECTRICAL LAYOUT
14	WINDOW AND DOOR SCHEDULE
15	WET AREA DETAILS
16	BRACING DETAILS

WEATHER BOARD CLADDING TO LOWER FLOOR

ORB CLADDING TO UPPER FLOOR SITE PLAN NOTES

ALL SITE DIMENSIONS ARE IN MILLIMETRES UNLESS SPECIFIED OTHERWISE .

REFER TO PLAN OF SUBDIVISION OR CERTIFICATE OF TITLE FOR VERIFICATION OF ALL BEARINGS, DISTANCES AND OTHER SITE INFORMATION.

FOR DETAILS OF ALL EASEMENTS REFER TO THE PLAN OF SUBDIVISION OR CERTIFICATE OF TITLE AND OTHER INFORMATION BY THE RESPONSIBLE AUTHORITY.

INSTALLATION OF ALL SERVICES INCLUDING ALL STORMWATER, WASTE WATER AND SEWER DETAILS SHALL COMPLY WITH THE RESPECTIVE SUPPLY AUTHORITY REQUIREMENTS.

BUILDER TO VERIFY ALL SET DETAILS ON SITE.

NEW WATER METERS ARE TO BE INSTALLED. ENSURE METERS ARE EQUIPPED WITH A BACKFLOW PREVENTION DEVICE & STOP TAP. CONNECT TO BUILDING IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS

CONNECT BUILDING WITH TELSTRA CABLES IN STRICT ACCORDANCE WITH TELSTRA'S REQUIREMENTS

CONNECT WATER SUPPLY TO THE SANITARY ITEMS WITHIN THE PROPOSED BUILDING & HWS WHERE REQUIRED IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS. SUPPLY HOT & COLD WATER TO NEW SANITARY ITEMS AS REQUIRED

PROVIDE UNDERGROUND POWER SUPPLY IN ACCORDANCE WITH POWER SUPPLIERS REQUIREMENTS

ALL DOWN PIPES TO BE CONNECTED TO WATER TANKS. ALL WATER TANKS TO HAVE OVER FLOW PIPE DISCHARGING INTO STORMWATER DRAINAGE. ALL CONNECTIONS TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS, REFER TO ENGINEERS PLANS FOR ALL DETAILS & SPECIFICATIONS.

THE CONTRACTOR AND SUBCONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS, SEWER PIPES AND THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ANY BUILDINGS FOOTINGS AND / OR SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNESS, WEAKENING AND UNDERMINING OF ANY BUILDING AND ITS FOOTING SYSTEM.

STORMWATER NOTES

ALL 90mmØ DOWN PIPE CONNECTIONS SHALL BE CLASS 6 UPVC SOLVENT WELDED JOINTED, LINE LAID TO A MINIMUM GRADE OF 1:100 & CONNECTED TO THE LEGAL POINT OF DISCHARGE TO THE RELEVANT AUTHORITIES APPROVAL. PROVIDE INSPECTION OPENINGS @ 9m MAX CTRS & @ EACH CHANGE OF DIRECTION. THE CONTRACTOR SHALL PROVIDE APPROVED DOWN PIPE TO STORM WATER ADAPTERS WHERE REQUIRED. THE TOP OF THESE ADAPTERS TO FINISH ABOVE EXIST GROUND / PAVING LEVEL.
THE COVER TO UNDERGROUND STORM WATER DRAINS SHALL BE NOT LESS THAN

- 100mm UNDER SOIL
- 50mm UNDER PAVED OR CONCRETE AREAS
- 100mm UNDER UNREINFORCED CONC. OR PAVED DRIVEWAYS
- 75mm UNDER REINFORCED CONC. DRIVEWAYS

GENERAL NOTES

SCALE 1:100 @ A3

COMPACT FILL NOTES

FILL USED ON SITE SHOULD BE PLACED AT OR NEAR OPTIMUM MOISTURE CONTENT AND COMPACTED IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 6 OF AS 2879-2011, AS SUMMARISED BELOW:

(A) NON-SAND FILL UP TO 300mm IN DEPTH OR SAND FILL UP TO 600mm DEEP, COMPACTED IN NOT MORE THAN 150mm LAYERS BY REPEATED ROLLING BY AN EXCAVATOR, IS CLASSED AS ROLLED FILL AND MAY BE USED FOR SUPPORT OF SLAB PANELS AND INTERNAL BEAMS. NOTE THAT EDGE BEAMS MUST BE SUPPORTED ON ORIGINAL GROUND OR ON CONTROLLED FILL AS DEFINED IN (B) BELOW:

(B) NON-SAND FILL UP TO 400mm IN DEPTH OR SAND FILL UP TO 800mm DEEP, COMPACTED BY MECHANICAL ROLLER OR VIBRATING PLATE RESPECTIVELY, IN LAYERS NOT MORE THAN 150mm THICK AND AT CLOSE TO OPTIMUM MOISTURE CONTENT, IS DEEMED TO COMPLY AS CONTROLLED FILL. IT IS DEEMED TO COMPLY AS SUITABLE FOR FOUNDING THE SLAB, EDGE AND INTERNAL BEAMS.

THE REQUIREMENTS OF AS 2879-2011 FOR CONSTRUCTION OF THE FOOTINGS AND LANDSCAPING OF THE SITE SHOULD BE FOLLOWED, WITH PARTICULAR ATTENTION PAID TO SURFACE DRAINAGE AND AVOIDANCE OF PONDING NEXT TO FOOTINGS. TREES SHOULD BE PLANTED NO CLOSER TO THE FOOTINGS THAN 1.0x MATURE HEIGHT.

SHOULD SOIL CONDITIONS DIFFERING THAN DESCRIBED BE FOUND DURING EXCAVATION WORKS, ESPECIALLY THE PRESENCE OF UNREPORTED FILL OR POORLY COMPACTED MATERIAL, PLEASE CONTACT THIS OFFICE

TERMITE PROTECTION NOTES

WHERE THE BUILDING (EXCLUDES A DETACHED CLASS 10) IS LOCATED IN A TERMITE PRONE AREA, THE AREA TO UNDERSIDE OF BUILDING AND PERIMETER IS TO BE TREATED AGAINST TERMITE ATTACK.

A TERMITE BARRIER OR COMBINATION OF BARRIERS MUST BE INSTALLED IN ACCORDANCE WITH AS 3660.1.

THE AREA BENEATH THE SUSPENDED FLOOR MUST BE VENTILATED IN ACCORDANCE WITH THE BCA & INSPECTED IN ACCORDANCE WITH AS 3660.1.
ALL TIMBER COMPLETELY OR PARTIALLY PROTECTED FROM WATHER TO BE H2 TREATED
ALL TIMBER OUTSIDE AND ABOVE GROUND SHALL BE H3 TREATED.
ALL TIMBER THAT IS NON-STRUCTURAL THAT IS IN CONTACT WITH GROUND OR WATER SHALL BE H4 TREATED.

RAINWATER TANK NOTES

SUITABLE WATER TANK/S SHALL BE INSTALLED COMPLETE WITH PRESSURE PUMP, SUPPLY PIPE AND GATE VALVE. RAINWATER SHALL BE PROVIDED TO THE ENTIRE RESIDENCE INCLUDING HWS. TANK OVERFLOW MUST BE DISCHARGED INTO THE EXIST PADDOCK IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS. INSTALLATION TO COMPLY WITH RELEVANT REGULATIONS AND MANUFACTURER'S RECOMMENDATIONS

KITCHEN NOTES

ALL KITCHEN DETAILS BY OWNER -VERIFY ALL LAYOUTS, APPLIANCE SIZES & LOCATION ON SITE PRIOR TO CONSTRUCTION
GAS COOKTOPS ARE TO BE 200mm OR GREATER FROM A STAINLESS STEEL OR GLASS SPLASHBACK WALL.
IF CLEARANCE IS LESS THAN 200mm, THE FOLLOWING MUST APPLY:
STAINLESS STEEL-
(A) THE WALL MUST NOT CONTAIN COMBUSTIBLE MATERS OR
(B) THE SURFACE OF THE WALL IS TO BE PROTECTED AS PER AS 5601/AG601, CLAUSE 5.12.1
TOUGHENED GLASS-
(A) A LETTER IS TO BE SUPPLIED BY GLASS SUPPLIER OR GLASS MANUFACTURER INDICATED THAT THE GLASS IS FIT FOR PURPOSE AT THE CLEARANCE STATED AND;
(B) IF THE GLASS IS FIXED TO A COMPUSTIBLE SURFACE, THAT SURFACE IS TO BE PROTECTED AS PER AS 5601/AG 601 CLAUSE 5.12.1
THIS MAY ALSO BE MEET IF DOCUMENTATION IS PROVIDED TO THE EFFECT THAT THE FIXING METHODS WITH ENSURE THE TEMPERATURE OF THE COMPUSTIBLE SURFACE WILL NOT EXCEED 65°C

HEATING APPLIANCE

TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS TO COMPLY WITH BCA VOL. 1

ENERGY EFFICIENCY

CONSTRUCTION TO COMPLY WITH BCA VOL. 1 REFER TO ENERGY RATER'S REPORT.

BATHROOM & ENSUITE

ALL INSITU SHOWER ENCLOSURE FLOOR TO BE GRADED TOWARDS OUTLET WITH GRADE NOT LESS THAN 1:60
FALL REFER TO BCA
FLOOR TO BE TILED & TO BE NON-SLIP
ALL AREAS TO BE CONSTRUCTED IN ACCORDANCE WITH BCA
GLAZED SCREEN & DOORS AS SELECTED TO COMPLY WITH BCA
ALL FIXTURES, FITTINGS & FINISHES AS SELECTED
VANITY WITH SELECTED FINISH OPENING DOORS WITH CENTRAL SHELF
TILE ABOVE VANITY TO MIN. 150mm
INSTALL FRAMED MIRROR AS SELECTED TO WALL ABOVE VANITY
BATH AS SELECTED SET IN TILED HOB UNLESS OTHERWISE NOTED
ALL WORK IN ACCORDANCE WITH BCA

LAUNDRY

STAINLESS STEEL TROUGH INSET IN BENCH AS SELECTED
SELECTED FINISH TO BENCH & CUPBOARDS
TILE BEHIND BENCH & WASHER TO MIN. HEIGHT OF 500mm
WET AREA TO COMPLY WITH BCA
PRVIDE NOGGING FOR WALL MOUNTED DRYER OVER WASHER
PROVIDE FLOOR OUTLET.

GENERAL NOTES

VERIFY ALL FINISHED FLOOR LEVELS BEFORE THE COMMENCEMENT OF ANY BUILDING WORK.

ALL SANITARY PLUMBING WORK TO BE CARRIED OUT BY FULLY QUALIFIED AND LICENCED TRADES PERSONS. AS PER AS 3500

ALL ELECTRICAL WORK CARRIED OUT TO BE IN ACCORDANCE WITH AS 3000.

THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS, DOCUMENTS, SCHEDULES AND SPECIFICATIONS.

TERMITE PROTECTION SHALL COMPLY WITH AS3660, 1-2000, PROVIDE CERTIFICATE IN ACCORDANCE WITH AS3660, 1-2000 STATING METHOD OF APPLICATION AND CERTIFICATE OF COMPLETION

ROOF CONTRACTOR SHALL PROVIDE ALL NECESSARY FLASHINGS, CAPPINGS AND OTHER ITEMS REQUIRED TO MAKE THE ROOF WATERTIGHT AND COMPLETE.

BUILDER TO CHECK AND CONFIRM ALL SITE AND SET OUT DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.

REFER TO ENGINEERS DOCUMENTATION FOR DETAILS ON FOOTING, STRUCTURE, SITEWORKS AND STORMWATER DETAILS.

ALL STEEL WORK TO COMPLY WITH BCA

OWNERS RESPONSIBILITY TO WASH DOWN ALL PRE-PAINTED AND PAINTED SURFACES ON A REGULAR BASIS FOR LONGEVITY OF PRODUCT.

DRAUGHT PROTECTION DEVICES TO BE INSTALLED TO ALL EXTERNAL DOORWAYS

HOT WATER SUPPLY SYSTEM DESIGNED AND INSTALLED IN ACCORDANCE WITH SECTION 6A OF AS/NZS 3500.4.2 OR CLAUSE 3.38 OF AS/NZS 3500.5

NOTE: ALL EXISTING DIMENSIONS TO BE CONFIRMED ON SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION

NOTE: FINISHED FLOOR LEVEL TO BE A MINIMUM OF 300MM ABOVE TOP OF ROADSIDE KERB LEVEL

CONSTRUCTION TO COMPLY WITH BCA REFER TO ENERGY RATER'S REPORT.

SMOKE DETECTORS TO COMPLY WITH AS1670

FOR CONSTRUCTION JUNE 24

CLIENT:
MICHAEL VELONAKIS
PROPOSED:
PROPOSED B&B TOURIST ACCOMMODATION AND EXISTING RESIDENCE
SITE ADDRESS:
31 CRESCENT DRIVE
NORTON SUMMIT
DATE: JUNE 2024
DRAWN: GR
SHEET: 1 OF 16
JOB No.



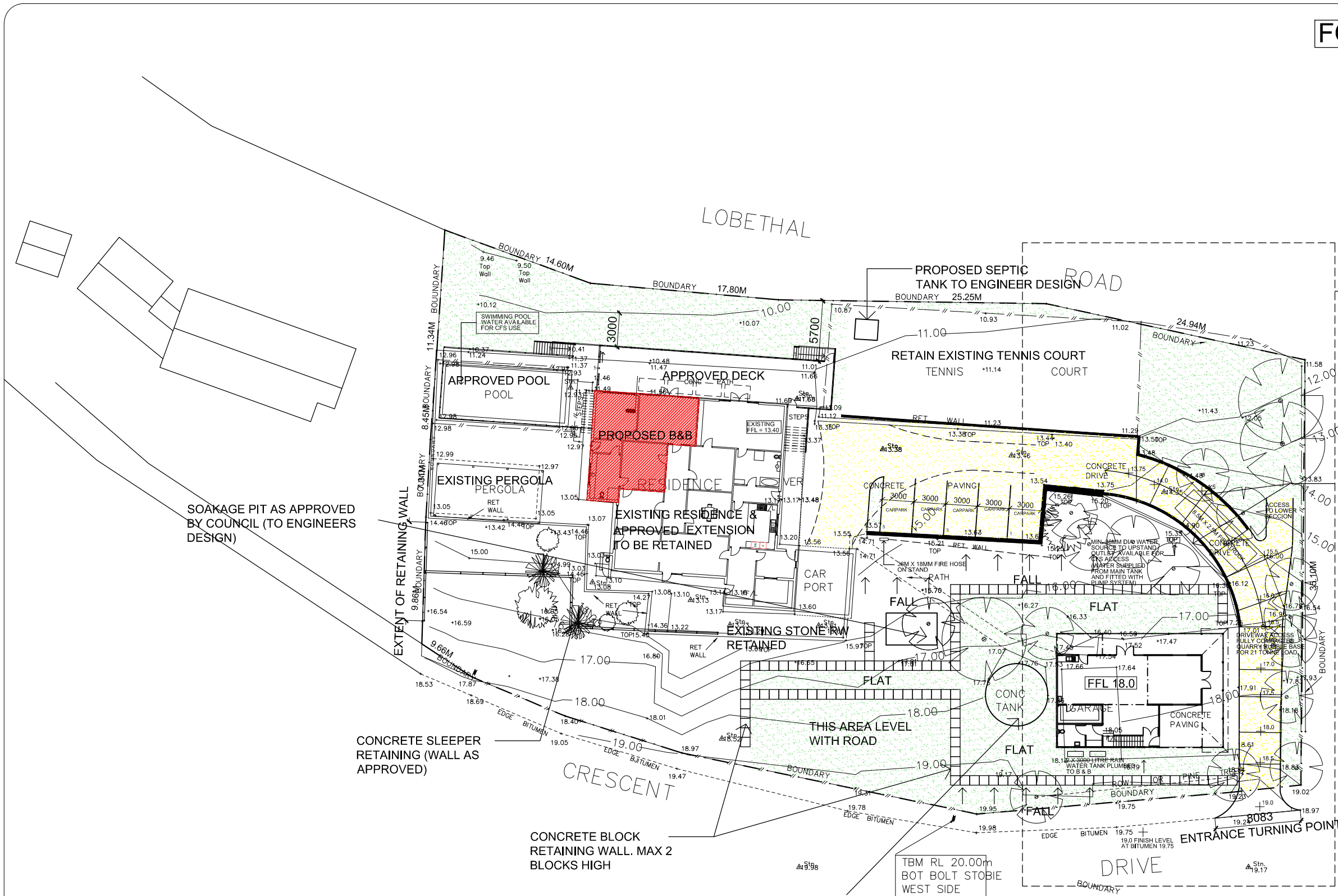
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EMAIL: jim@diamantidd.com.au

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AREA SCHEDULE	
STUDIO BUILDING	
O/ALL SITE (approx)	3800 m2
VERANDAH	35.5 m2
STUDIO SPACE	96.7 m2
TOTAL	132.2 m2
MEZZANINE	38.5 m2



REFER TO SHEET 4 FOR ENLARGED DETAILS

EXISTING RETAINING WALL TO BE RELOCATED

SOAKAGE PIT AS APPROVED BY COUNCIL (TO ENGINEERS DESIGN)

CONCRETE SLEEPER RETAINING (WALL AS APPROVED)

CONCRETE BLOCK RETAINING WALL. MAX 2 BLOCKS HIGH

EXISTING 56000 LITRE BORE PUMP CONCRETE TANK TO BE UTILIZED STRICTLY FOR FIRE FIGHTING PURPOSES

TBM RL 20.00m BOT BOLT STOBIE WEST SIDE ASSUMED DATUM

NOTE:
REFER TO STORM WATER MANAGEMENT PLAN BY GAMA ENGINEERS FOR SITE DRAINAGE DETAILS

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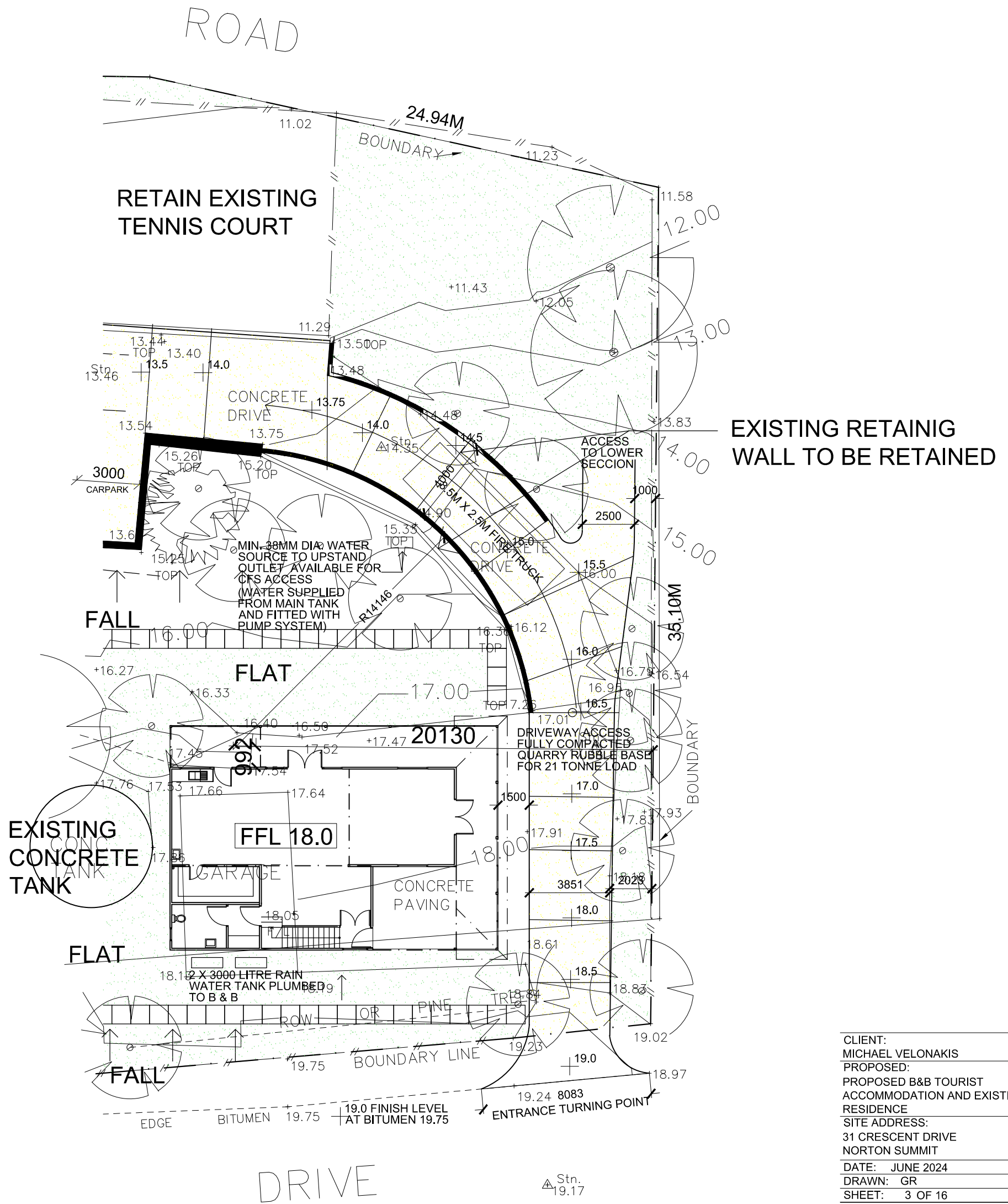
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PROPOSED SITE PLAN

SCALE 1:400 @ A3

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NOTE: GRADIENT OF DRIVEWAY 5.85M OVER 35M PROVIDE 12° GRADIENT (19.0 AT ROAD LEVEL 13.75 ON BOTTOM OF DRIVEWAY)

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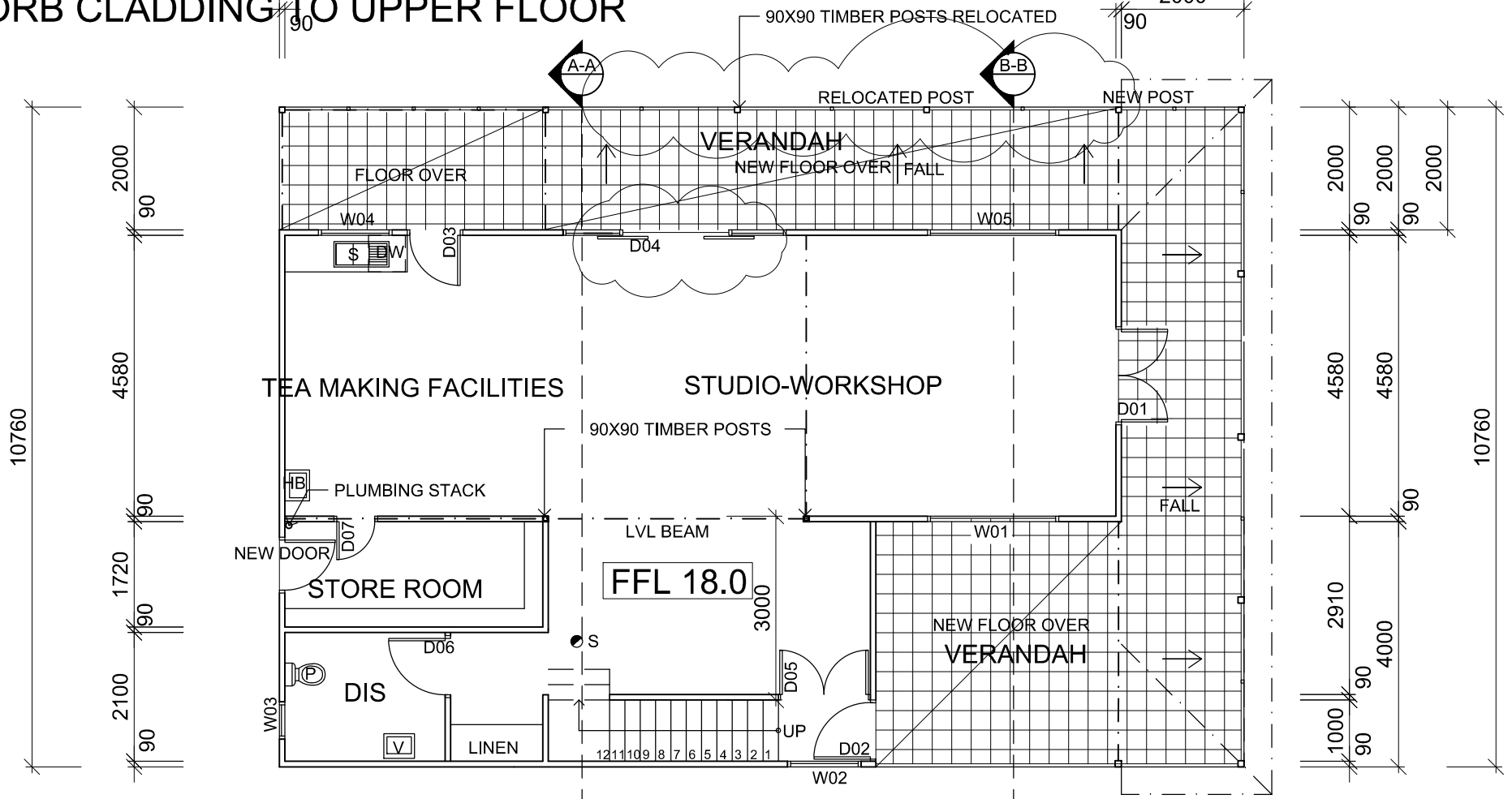
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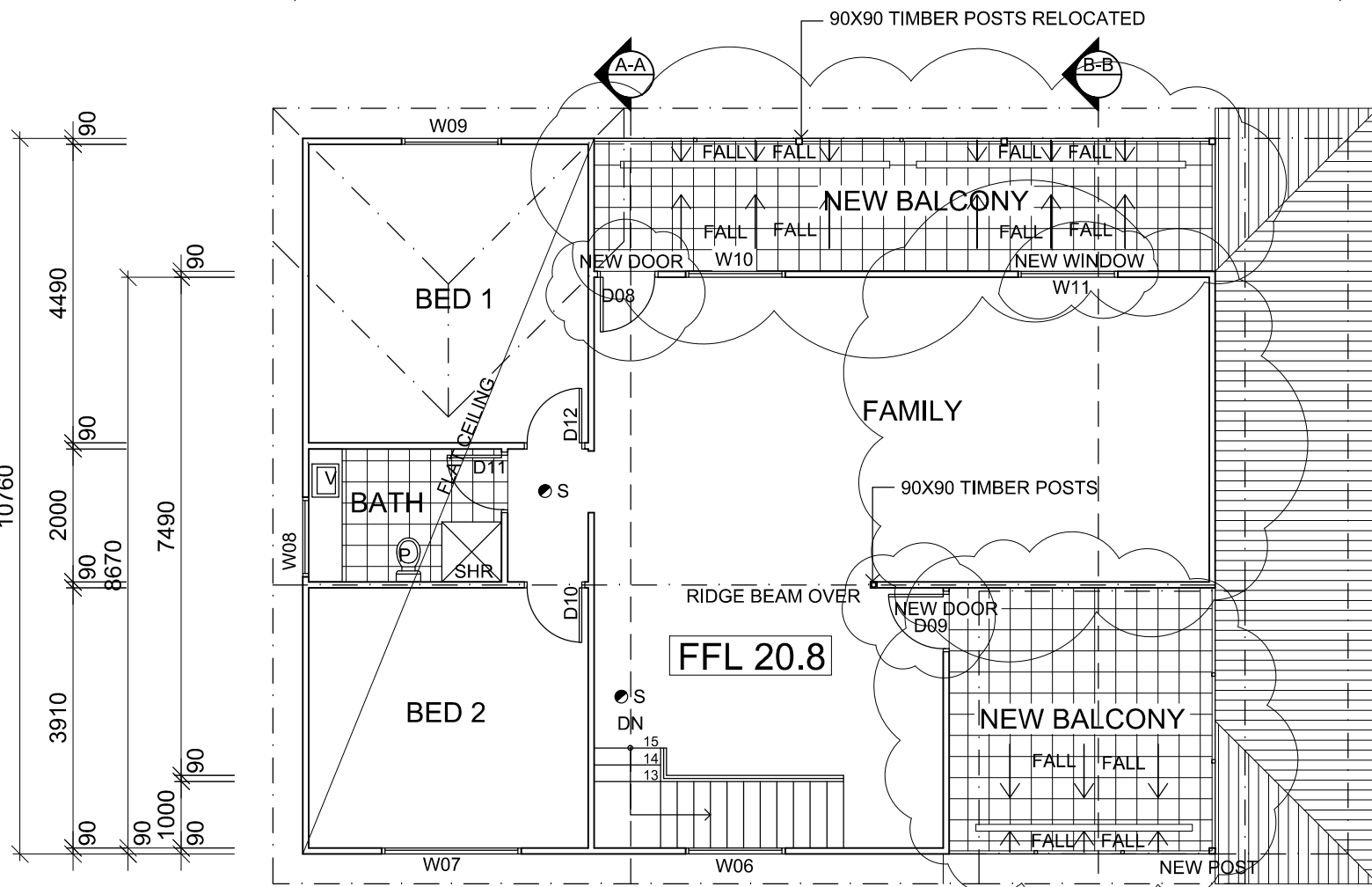
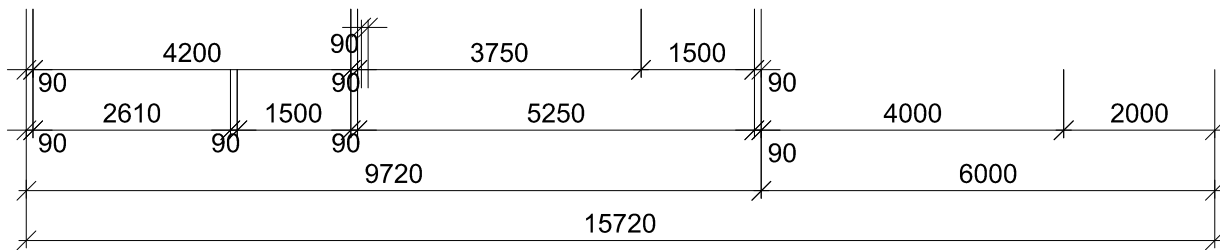
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**WEATHER BOARD CLADDING TO LOWER FLOOR
ORB CLADDING TO UPPER FLOOR**

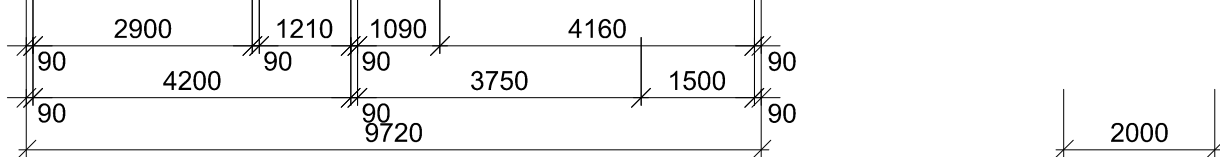
FOR CONSTRUCTION JUNE 24



LOWER FLOOR PLAN



MEZZANINE FLOOR PLAN



CLIENT: MICHAEL VELONAKIS
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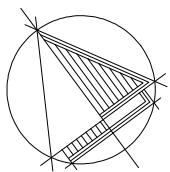
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BUILDING AND COLOUR SCHEDULE		
ITEM	CONSTRUCTION	COLOUR
FLOOR	CONCRETE RAFT SLAB & FOOTING TO ENGINEERS DESIGN	---
WALLS	TIMBER FRAME, WITH GALVANIZED HORIZONTAL CUSTOM ORB	NATURAL COLLOR
ROOF	HARDIES WEATHERBOARD CLADDING	DOESKIN
WINDOWS	ALUMINIUM	TRANSOM: CREAM



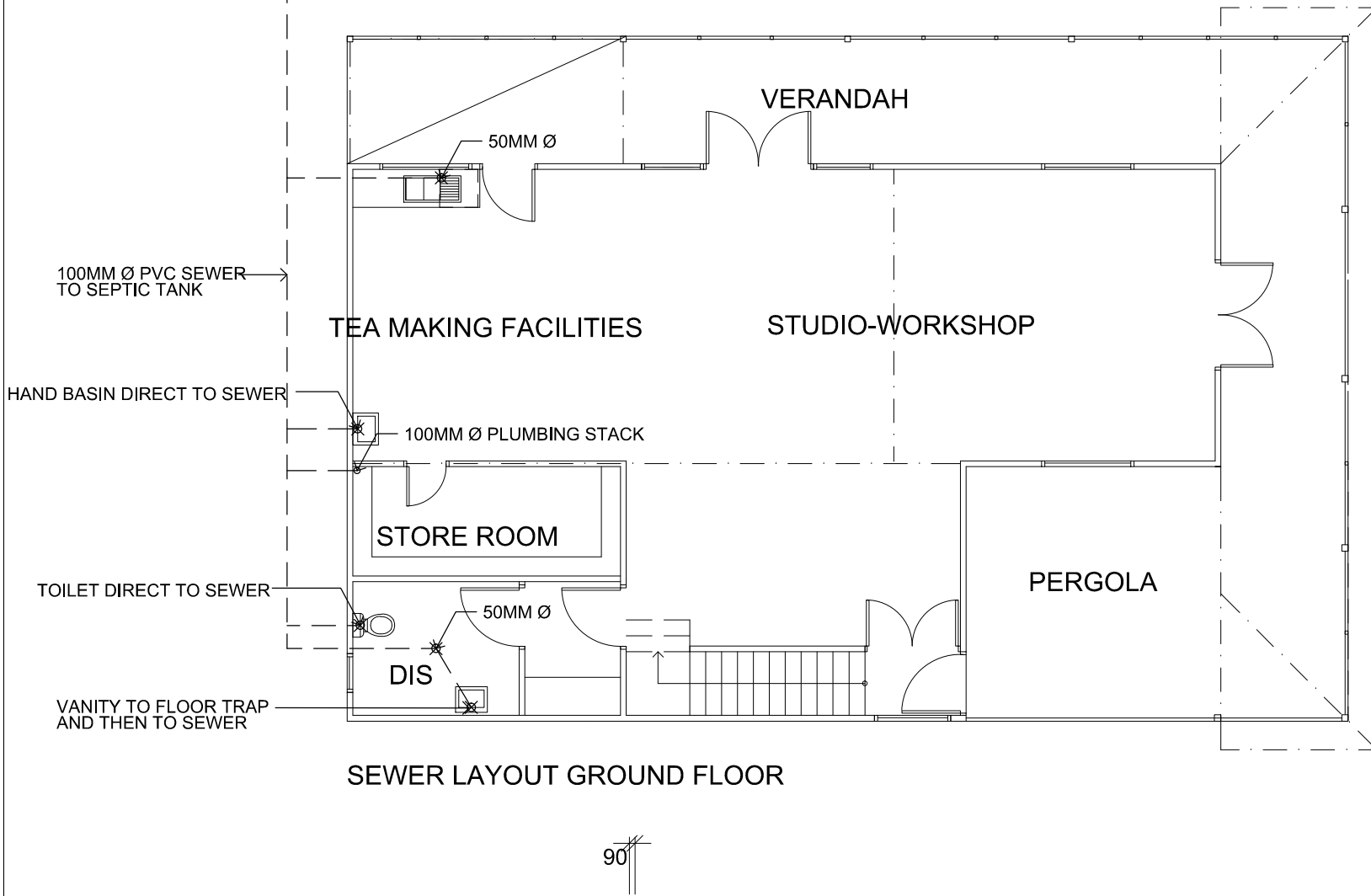
FLOOR PLANS

SCALE 1:100 @ A3

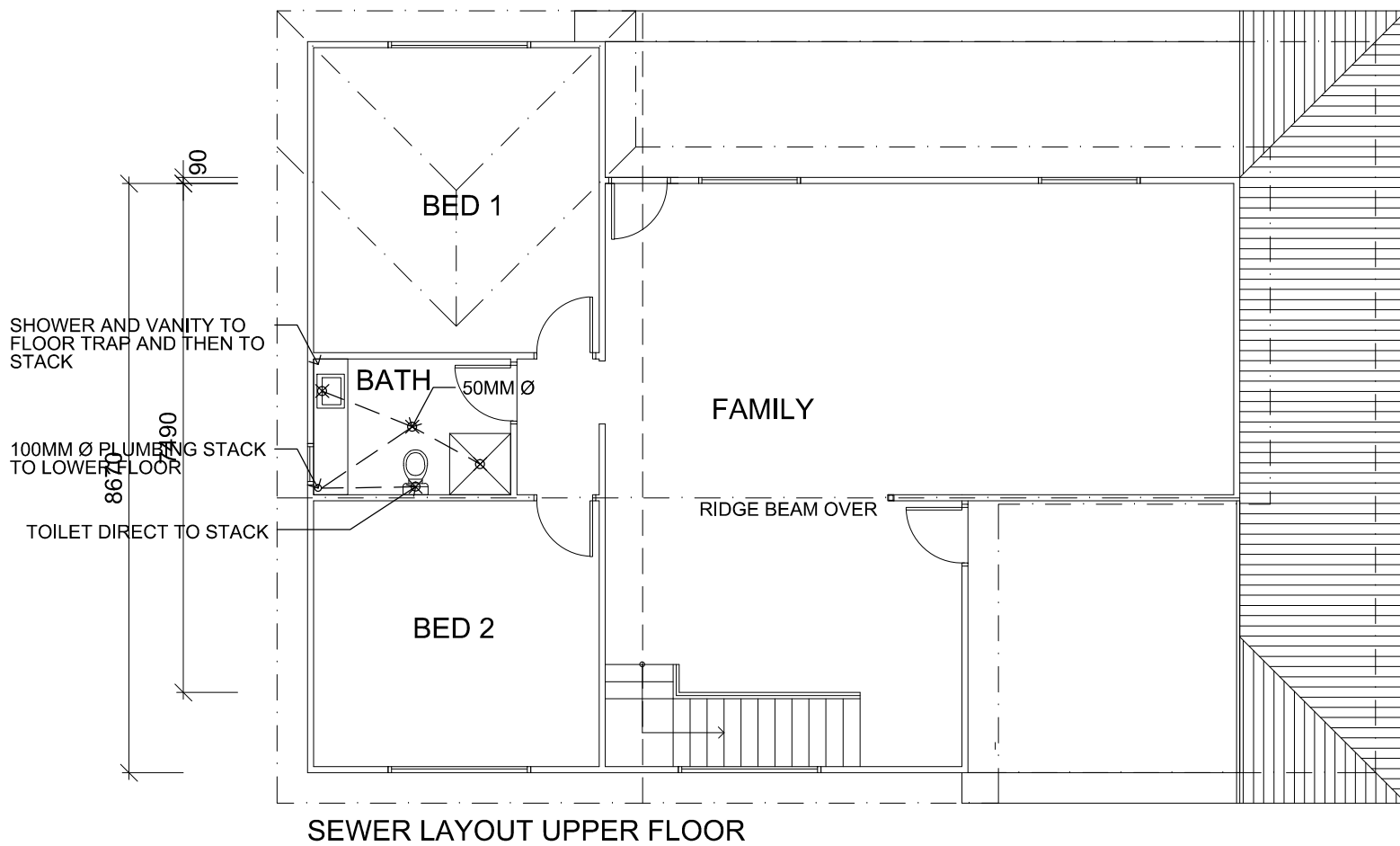


WEATHER BOARD CLADDING TO LOWER FLOOR
ORB CLADDING TO UPPER FLOOR

FOR CONSTRUCTION JUNE 24



SEWER LAYOUT GROUND FLOOR



SEWER LAYOUT UPPER FLOOR

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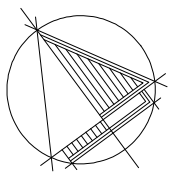
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SEWER LAYOUT

SCALE 1:100 @ A3

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WEATHER BOARD CLADDING TO LOWER FLOOR

FOR CONSTRUCTION JUNE 24

ORB CLADDING TO UPPER FLOOR

FIRE NOTES

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS, DOCUMENTATION, SCHEDULES AND SPECIFICATIONS

ALL PORTABLE FIRE EXTINGUISHERS TO TO COMPLY WITH TABLE E1.6 OF THE BCA AND TO BE SELECTED, LOCATED AND DISTRIBUTED IN ACCORDANCE WITH AS2444

NEW FIRE HOSE REEL TO BE DESIGNED AND INSTALLED AS PER AS2441

AUTOMATIC SMOKE DETECTION AND ALARM SYSTEM TO COMPLY WITH BCA SECTION E2.2a

SMOKE ALARM SYSTEM TO COMPLY WITH AS 3786 AND TO BE POWERED FORM THE CONSUMER MAINS SOURCE WITH 9V BATTERY BACKUP

HEAT ALARMS TO BE USED IN LIEU OF SMOKE ALARMS AS PERMITTED IN THE BCA

SMOKE DETECTION SYSTEM TO COMPLY WITH AS 1670 AND THE BCA REQUIREMENTS

PERGOLA

EXISTING PAVING TO REMAIN

EXISTING SWIMMING POOL

BACKYARD

EXISTING PAVING TO REMAIN

DECK

TILES

TILES

EXISTING T/F ROOF TO BE RETAINED. NEW SHEETING OVER.

EXISTING T/F ROOF AND EXISTING SHEETING OVER.

BATH

BEDROOM

LIVING

BEDROOM

LIVING AREA

PROPOSED B&B

BEDROOM

EXISTING HOUSE

TO BE RETAINED

PASSAGE

SITTING

DINING

STUDY

DECK
TIMBER

BEDROOM

LAUNDRY

KITCHEN

ENTRY

BATH

CELLAR

STORE

UP
VERANDAH

CARPORT

ALL STORMWATER FROM EXISTING RESIDENCE TO BE DIRECTED TO 4 R/W TANKS WITH ONE TO CONTAIN SURFACE WATER TO BE USED FOR IRRIGATION

NEW WALLS

DEMOLISHED WALLS

PROPOSED B&B FLOOR PLAN (EXISTING HOUSE)

SCALE 1:100 @ A3

CLIENT: MICHAEL VELONAKIS
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SITE ADDRESS: 31 CRESCENT DRIVE NORTON SUMMIT
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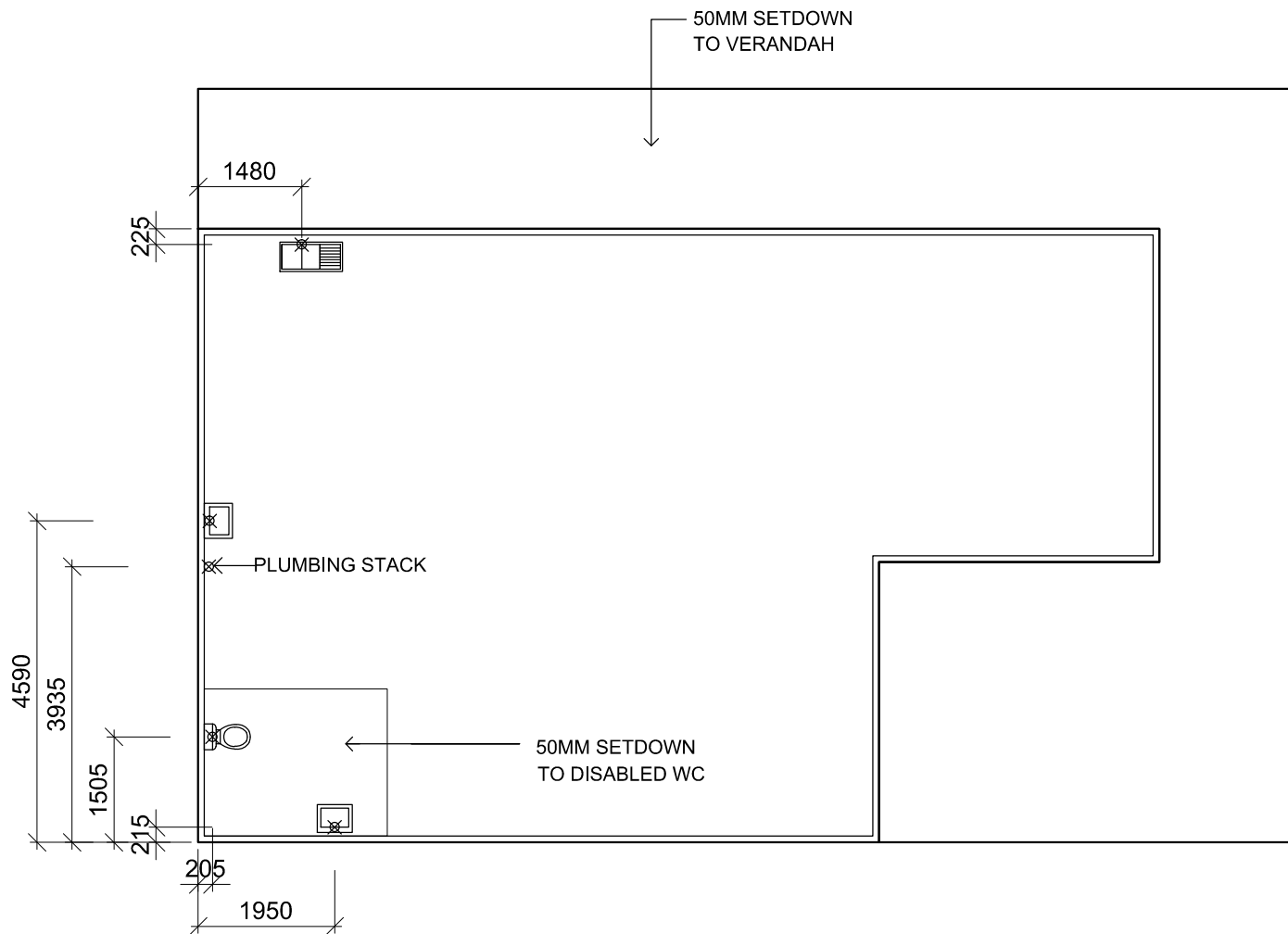
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WEATHER BOARD CLADDING TO LOWER FLOOR
ORB CLADDING TO UPPER FLOOR

FOR CONSTRUCTION JUNE 24



CLIENT:
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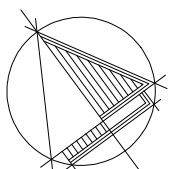
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CONCRETE FOOTINGS TO
ENGINEERS DESIGN AND DETAIL



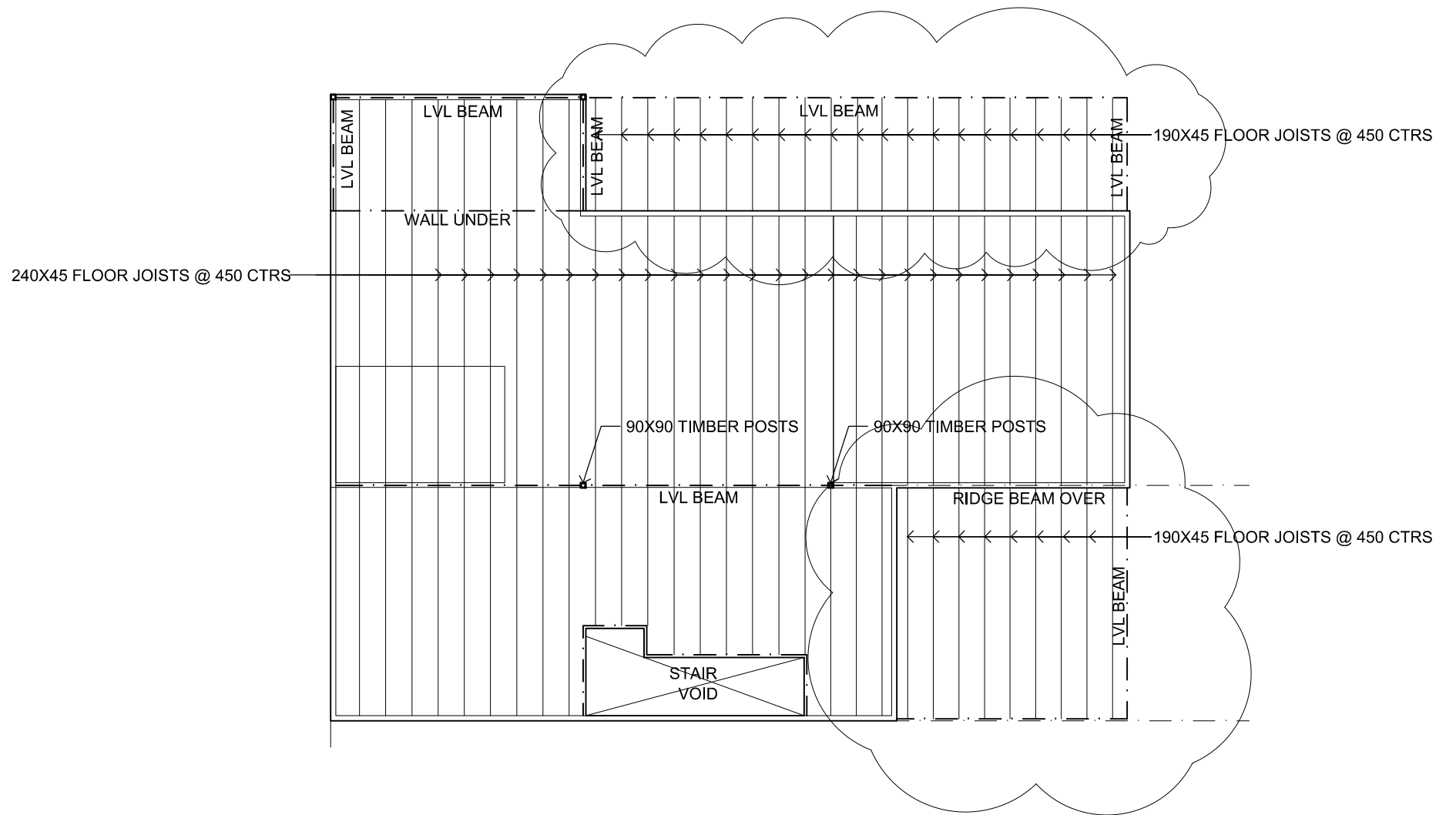
CONCRETE PLAN

SCALE 1:100 @ A3

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WEATHER BOARD CLADDING TO LOWER FLOOR
ORB CLADDING TO UPPER FLOOR

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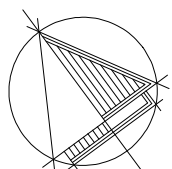


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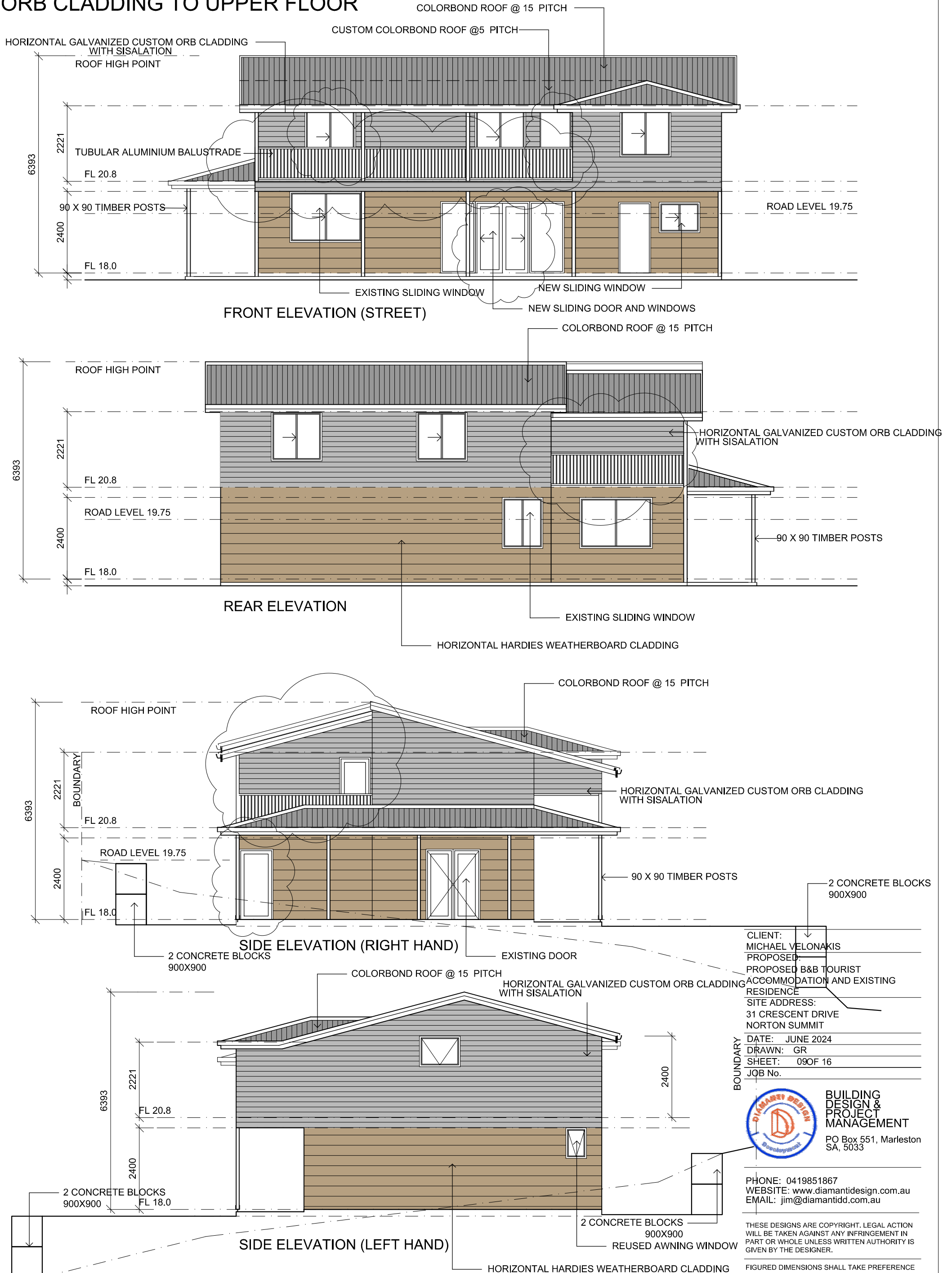
FLOOR JOIST LAYOUT

SCALE 1:100 @ A3

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**WEATHER BOARD CLADDING TO LOWER FLOOR
ORB CLADDING TO UPPER FLOOR**

FOR CONSTRUCTION JUNE 24



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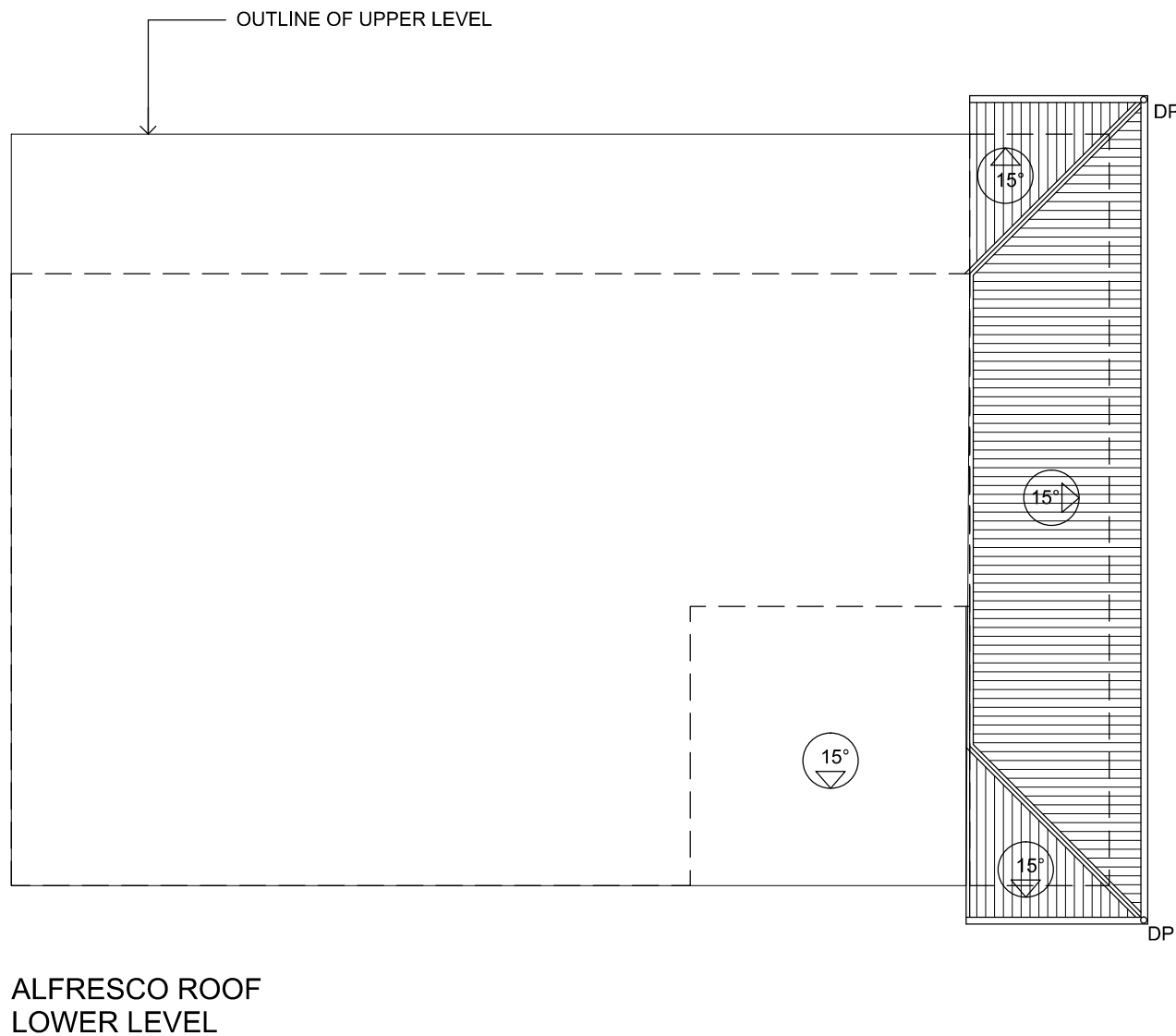
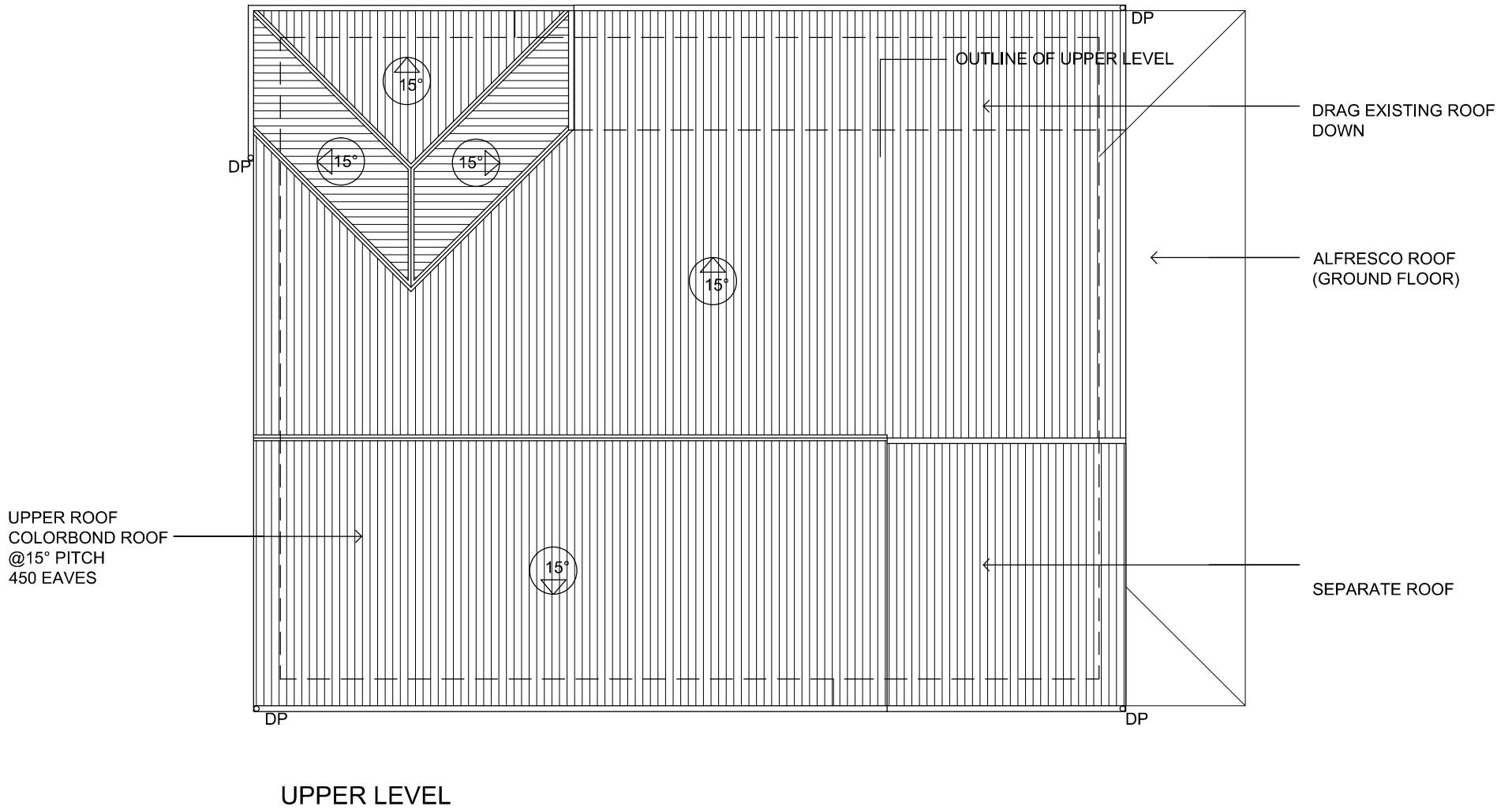
ELEVATIONS

SCALE 1:100 @ A3

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WEATHER BOARD CLADDING TO LOWER FLOOR
ORB CLADDING TO UPPER FLOOR

FOR CONSTRUCTION JUNE 24



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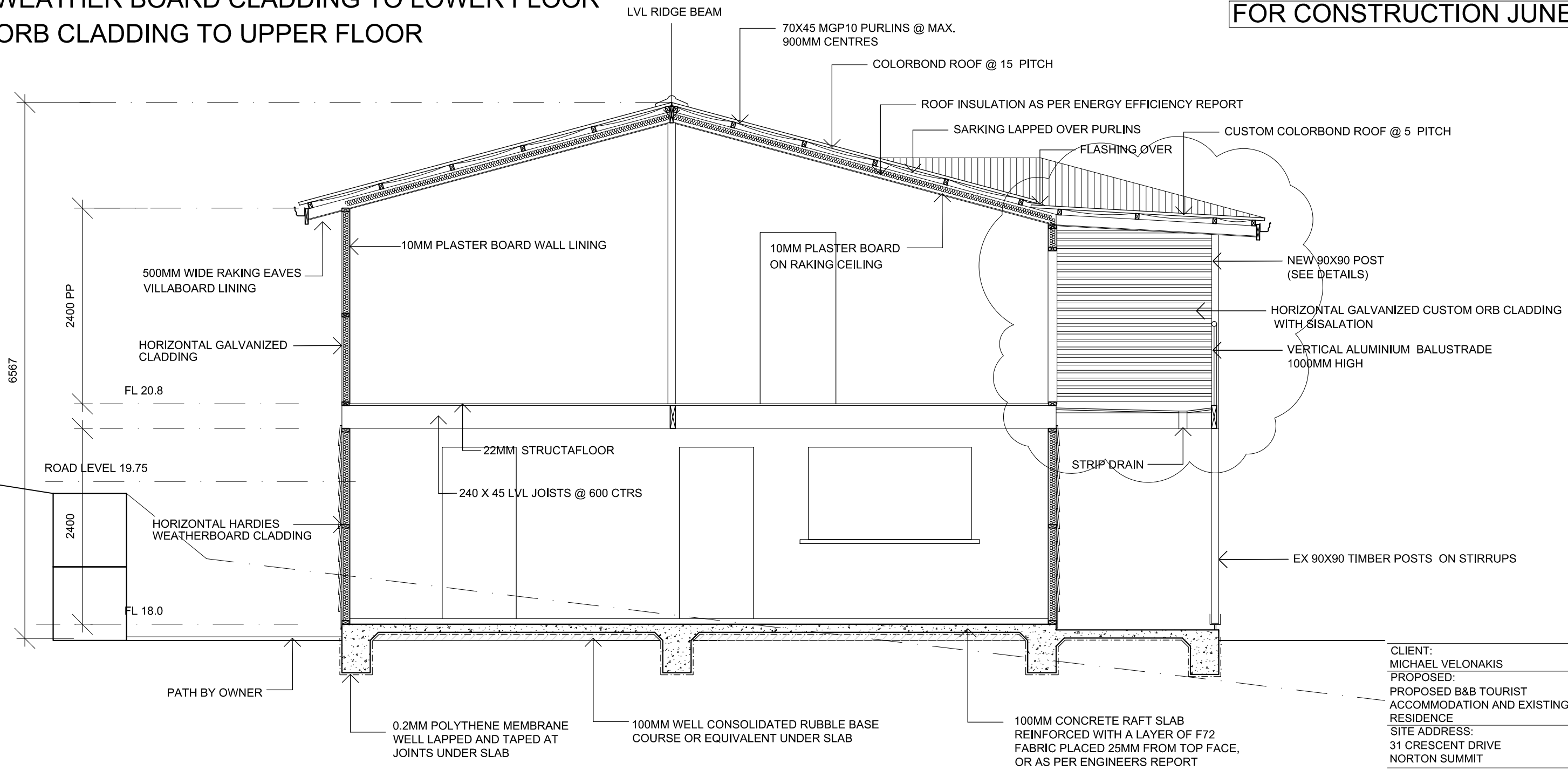
ROOF PLAN

SCALE 1:100 @ A3

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**WEATHER BOARD CLADDING TO LOWER FLOOR
ORB CLADDING TO UPPER FLOOR**

FOR CONSTRUCTION JUNE 24



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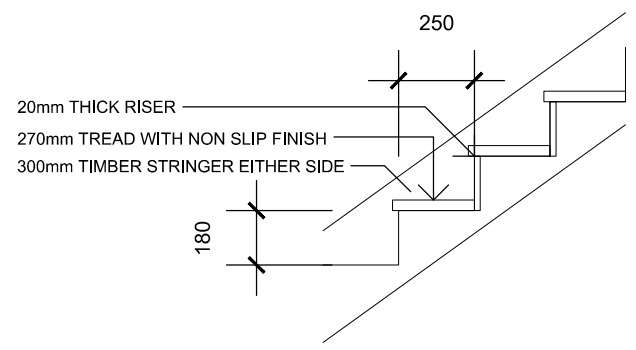


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TYPICAL STAIR DETAIL

STAIR NOTES
 RISERS (R) 190mm MAX & 115mm MIN.
 GOING (G) 355mm MAX. & 240mm MIN.
 2R + 1G = 700mm MAX. & 550mm MIN.
 125mm MAX. GAPS TO OPEN TREADS
 ALL TREADS, LANDINGS AND THE LIKE TO HAVE A NON SLIP FINISH OR A SUITABLE NONSKID STRIP NEAR EDGE OF NOSING.
 ALL STEP SIZES & DETAILS IN STRICT ACCORDANCE WITH PART 3.9.1 OF THE BCA

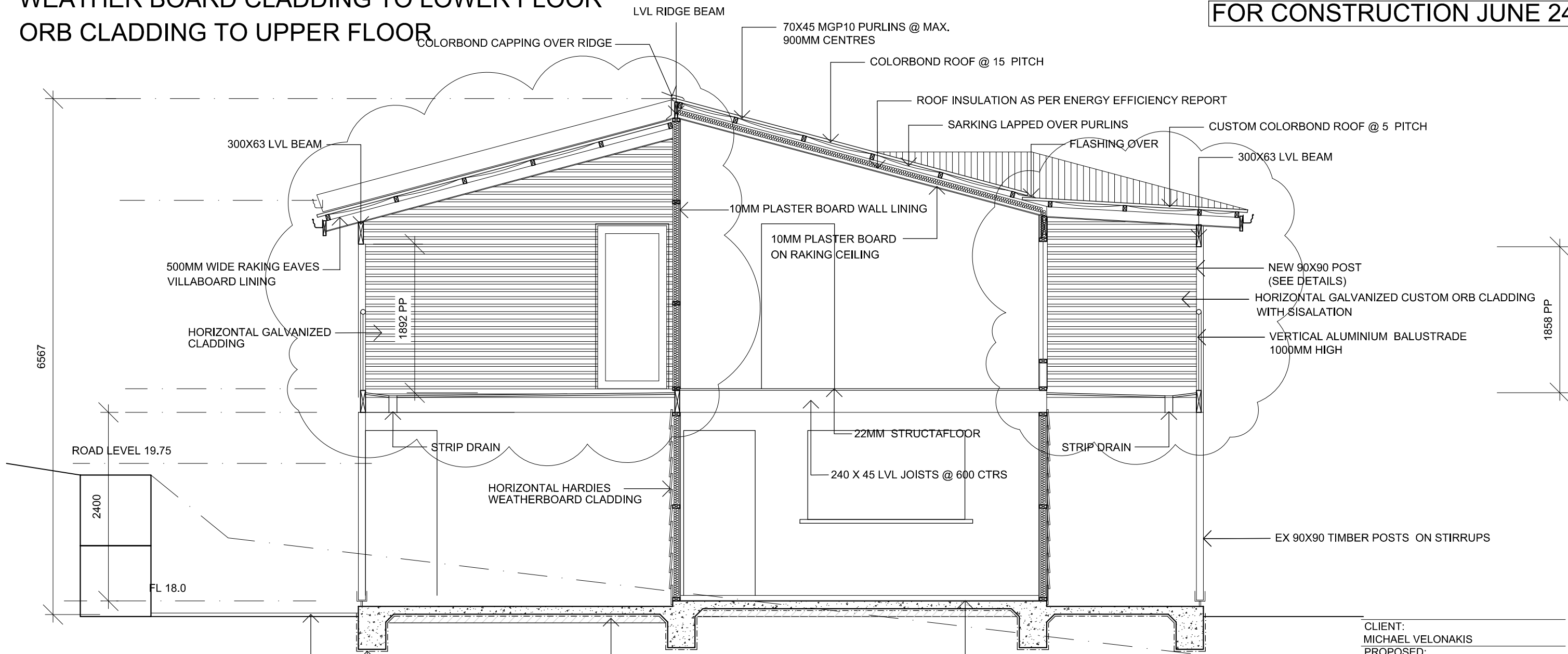
SECTION A-A

SCALE 1:50 @ A3

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 RECEIVED 27/08/2024**

WEATHER BOARD CLADDING TO LOWER FLOOR ORB CLADDING TO UPPER FLOOR

FOR CONSTRUCTION JUNE 24



CLIENT: MICHAEL VELONAKIS
 PROPOSED: PROPOSED B&B TOURIST ACCOMMODATION AND EXISTING RESIDENCE
 SITE ADDRESS: 31 CRESCENT DRIVE NORTON SUMMIT
 DATE: JUNE 2024
 DRAWN: GR
 SHEET: 12 OF 16
 JOB No.

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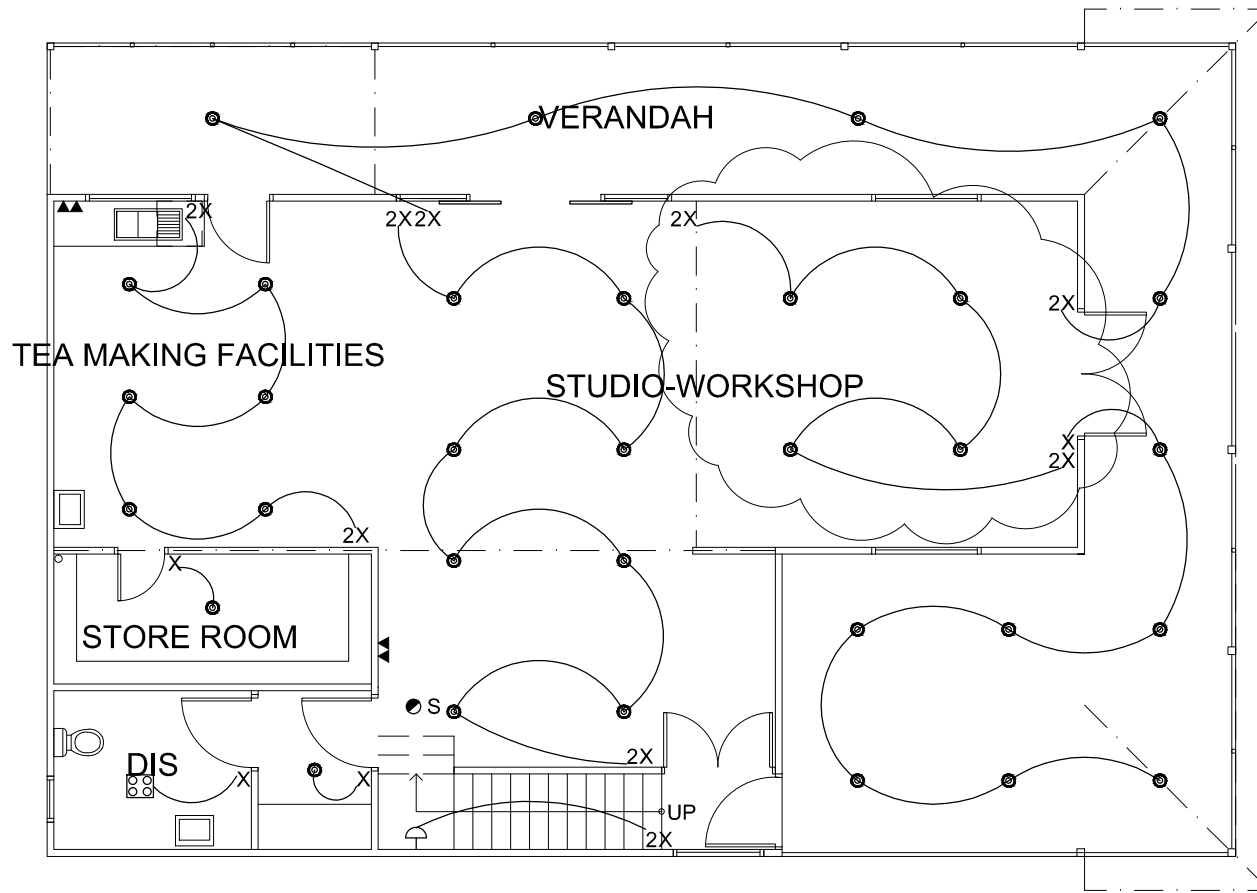
SECTION A-A

SCALE 1:50 @ A3

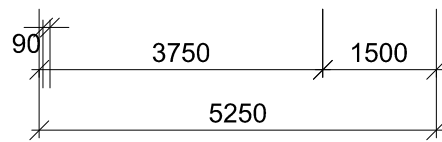
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WEATHER BOARD CLADDING TO LOWER FLOOR
ORB CLADDING TO UPPER FLOOR

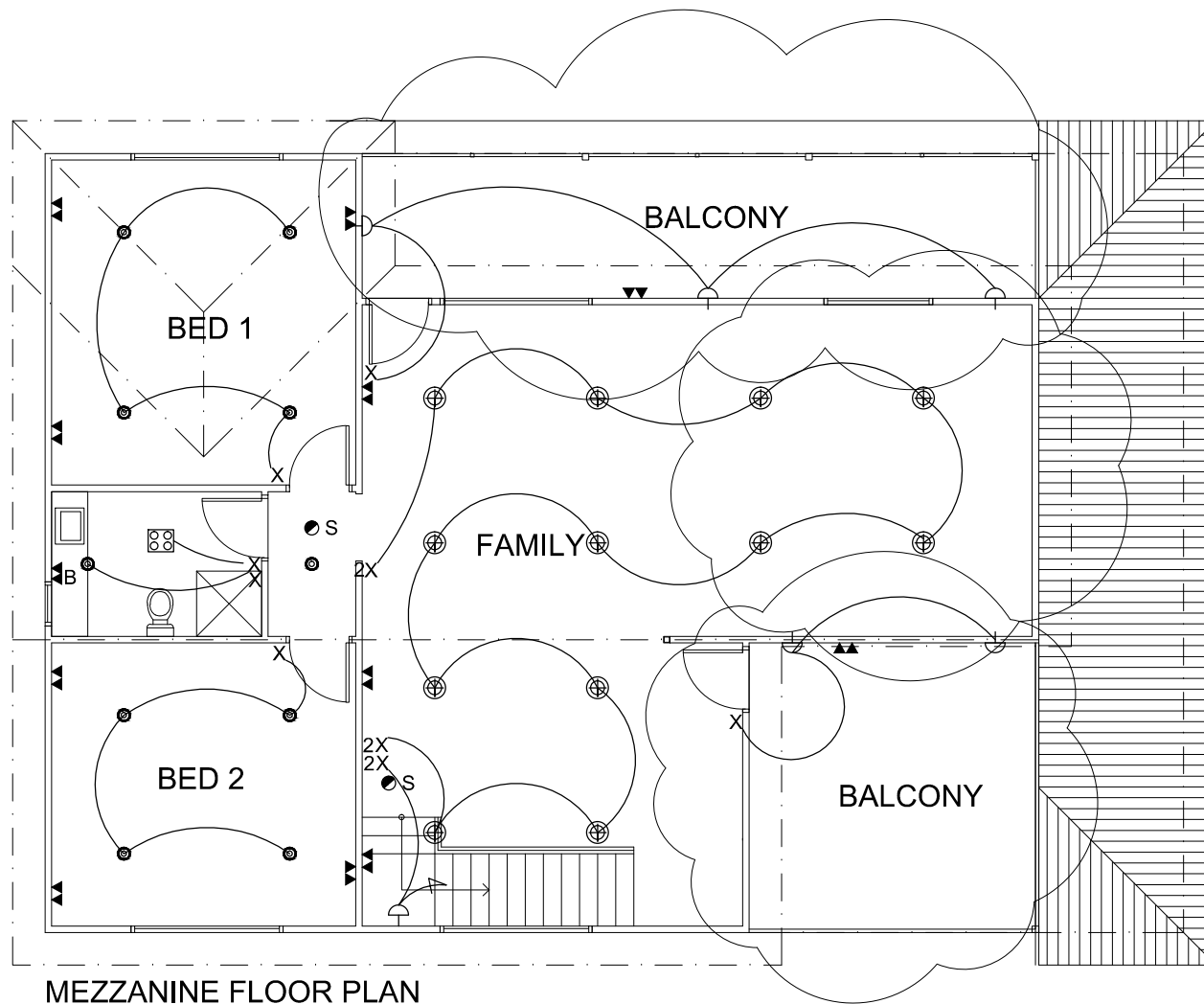
FOR CONSTRUCTION JUNE 24



LOWER FLOOR PLAN



ELECTRICAL LEGEND	
ICON	ITEM
▲▲	300 AFL* DOUBLE POWER OUTLET
▲	300 AFL* SINGLE POWER OUTLET
▲WP	300 AFL* WEATHER PROOF GPO
▲B	1200 AFL* BENCH HEIGHT GPO
▲UB	600 AFL* UNDER BENCH GPO
△TV	300 AFL* TV POINT
△P	300 AFL* PHONE POINT
△DATA	300 AFL* DATA POINT
●	DOWN LIGHT LOW VOLTAGE
⊕	LIGHT BATTEN HOLDER
⊖	WALL LIGHT
⊕	PENDANT LIGHT
◁	SENSOR LIGHT
X 2	TWO WAY CIRCUIT
X	LIGHT SWITCH
⊞	3 IN 1 BATHROOM LIGHTS
MB	METER BOX
⊞	SMOKE DETECTOR HARD WIRED WITH BATTERY BACKUP
⊞	FLUORESCENT LIGHT
⊞	CEILING FANLIGHT
⊞	CEILING FAN
HWS	HOT WATER SYSTEM
⊞	EXHAUST FAN
⊞	SECURITY CAMERA
▲ F	1800 AFL* FRIDGE GPO
▲ FZ	1800 AFL* FREEZER GPO
INT	INTERCOM
▲WM	600 AFL* WASHING MACHINE GPO
▲DR	600 AFL* DRYER GPO
▲C	GPO ON CEILING
▲DW	600 AFL* DISH WASHER GPO
* UNLESS OTHERWISE NOTED	



MEZZANINE FLOOR PLAN

CLIENT:
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PROPOSED:
PROPOSED B&B TOURIST
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RESIDENCE
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ELECTRICAL LAYOUT

SCALE 1:100 @ A3

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WEATHER BOARD CLADDING TO LOWER FLOOR ORB CLADDING TO UPPER FLOOR

FOR CONSTRUCTION JUNE 24

WINDOW AND DOOR NOTES

CONTRACTOR MUST SEAL & FLASH ALL GAPS & CRACKS AROUND WINDOW & DOOR FRAMES PRIOR TO FIXING PLASTERBOARD

INTERNAL DOORS TO BE TIMBER FRAMED UNLESS STATED OTHERWISE.

WINDOWS TO BE ALUMINIUM FRAMED, WITH SUITABLE MATCHING FLY SCREENS TO ALL OPENABLE SASHES UNLESS STATED OTHERWISE.

ALL OPENABLE WINDOWS SHALL HAVE KEYED ALIKE LOCKS

VERIFY ALL SIZES PRIOR TO ORDERING & CONSTRUCTING

DOORS & WINDOWS TO BE HANDLED, FINISHED & INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS

ALL DOOR HARDWARE/FURNITURE SHALL BE AS SELECTED

WINDOW SIZES NOMINATED ARE NOMINAL ONLY. ACTUAL SIZE MAY VARY ACCORDING TO MANUFACTURER.

ALL WINDOWS & DOORS TO BE INSTALLED & FLASHED ALL AROUND IN STRICT ACCORDANCE TO MANUFACTURERS SPECIFICATIONS & THE BCA & ENERGY RATING REQUIREMENTS.

ROBE & CUPBOARD DOORS SHALL BE ALUMINIUM STEEL FRAMED SLIDING DOORS WITH PAINTED PLASTERBOARD INSERTS UNLESS STATED OTHERWISE IN SCHEDULE

ALL WC DOORS TO COMPLY WITH BCA PART 3.8.3.3

GLAZING, INCLUDING SAFETY GLAZING, SHALL BE INSTALLED TO A SIZE, TYPE & THICKNESS SO AS TO COMPLY WITH
-BCA PART 3.6 FOR CLASS 1 AND 10 BUILDINGS WITHIN A DESIGN WIND SPEED OF NOT MORE THAN N3, AND;
-BCA PART B1.4 FOR CLASS 2 TO 9 BUILDINGS

SAFETY GLAZING TO BE USED IN THE FOLLOWING CASES:
ALL ROOMS
- WITHIN 500mm VERTICAL OF FLOOR LEVEL

BATHROOMS
- WITHIN 1500mm VERTICAL FROM BATH BASE
- WITHIN 50mm HORIZONTAL FROM BATH/SHOWER TO SHOWER DOORS, SHOWER SCREENS AND BATH ENCLOSURES

LAUNDRY
- WITHIN 20mm VERTICAL FROM FLOOR LEVEL AND/OR WITHIN 300mm VERTICAL OF TROUGH AND BATH ENCLOSURES

DOORWAY
- WITHIN 300mm HORIZONTAL FROM ALL DOORS

1. WINDOW GLAZING SHALL COMPLY WITH AS 1288 (2006).

2. FOR GLASS LESS THAN 500mm ABOVE FLOOR LEVEL USE ORDINARY ANNEALED GLASS AS FOLLOWS:

-UP TO 0.1msq - 3mm THICK
-0.1 TO 0.3msq - 4mm THICK
-0.3 TO 2.0msq - 5mm THICK

3. OR USE GRADE 'A' SAFETY GLAZING MATERIALS MATERIALS FROM THE GLAZING CODE AS 1288 (2006)

4. FOR SHOWER SCREENS, SHOWER DOORS OR BATH ENCLOSURES USE LAMINATED SAFETY AS FOLLOWS:
-UP TO 2.0msq -5.38mm THICK
-2.0 TO 3.0msq -6.38mm THICK
-3.0 TO 5.0msq -8.38mm THICK
OR OTHER GRADE 'A' SAFETY GLASS MATERIAL

WINDOW SCHEDULE

HEAD HEIGHT 2400 AFL (UNLESS OTHERWISE NOTED)

No.	ROOM	SIZE	TYPE
W01	STUDIO-WORKSHOP	2140 x 1450	ASW CLEAR REUSED
W02	ENTRY HALL	1500 x 1200	ASW CLEAR NEW
W03	DISABLED WC	600 x 900	AAW OBSCURE REUSED
W04	TEA MAKING FACILITIES	1500 x 1200	ASW CLEAR NEW
W05	STUDIO-WORKSHOP	2140x 1450	ASW CLEAR REUSED
W06	FAMILY	1450 x 1500	ASW CLEAR REUSED
W07	BED 2	1450 x 1500	ASW CLEAR REUSED
W08	BATH	1200 x 900	AAW CLEAR REUSED
W09	BED 1	1500 x 1500	ASW CLEAR REUSED
W10	FAMILY	1500 x 1500	ASW CLEAR NEW
W11	FAMILY	1500 x 1500	ASW CLEAR NEW

DOOR SCHEDULE

HEAD HEIGHT 2400 AFL

No.	ROOM	SIZE	TYPE
D01	ENTRY	2 (760 x 2025)	EXTERNAL FULL GLASS DOORS
D02	ENTRY HALL	820 x 2025	EXTERNAL
D03	TEA MAKING FACILITIES	860 x 2040	EXTERNAL
D04	STUDIO-WORKSHOP	2 (760 x 2120)	EXTERNAL FULL GLASS DOORS WITH SIDELIGHT
D05	STUDIO-WORKSHOP	2 (760 x 2040)	INTERNAL
D06	DISABLED WC	920 x 2040	INTERNAL
D07	STORE ROOM	860 x 2040	INTERNAL
D08	BALCONY	820 x 2100	EXTERNAL
D09	BALCONY	820 x 2100	EXTERNAL FULL GLASS DOORS
D10	BED 2	820 x 2040	INTERNAL
D11	WC	820 x 2040	INTERNAL
D12	BED 1	820 x 2040	INTERNAL

AFW	ALUMINIUM FIXED WINDOW
AAW	ALUMINIUM AWNING WINDOW
ASW	ALUMINIUM SLIDING WINDOW
ADH	ALUMINIUM DOUBLE HUNG WINDOW
ASH	ALUMINIUM SINGLE HUNG WINDOW
ACW	ALUMINIUM CASEMENT WINDOW
TFW	TIMBER FIXED WINDOW
TAW	TIMBER AWNING WINDOW
TSW	TIMBER SLIDING WINDOW
TDH	TIMBER DOUBLE HUNG WINDOW
TSH	TIMBER SINGLE HUNG WINDOW
TCW	TIMBER CASEMENT WINDOW

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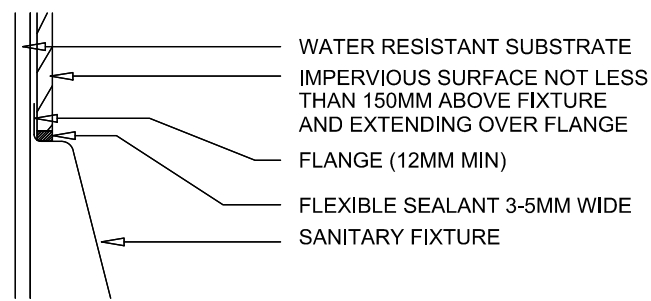
WINDOW AND DOOR SCHEDULE

SCALE 1:100 @ A3

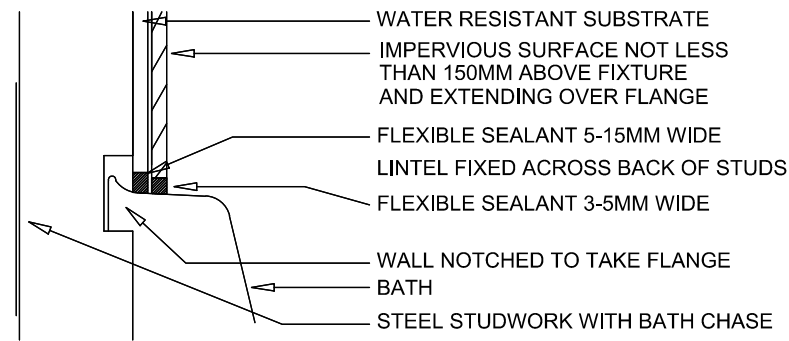
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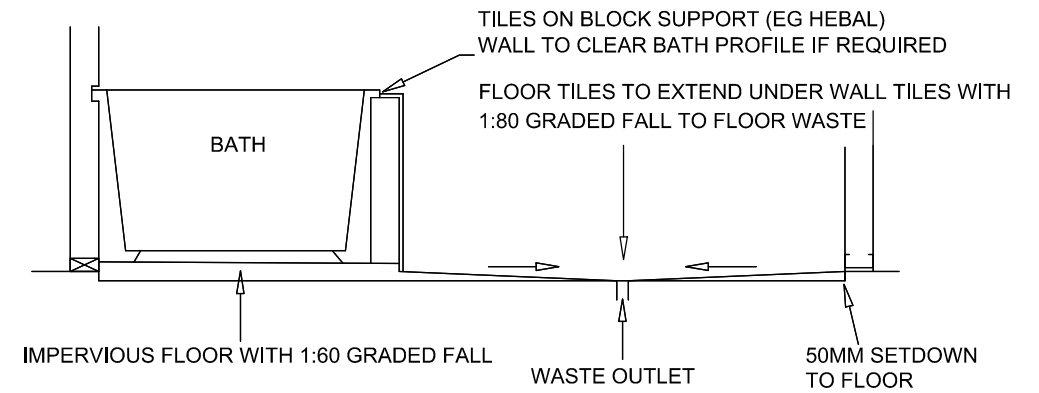
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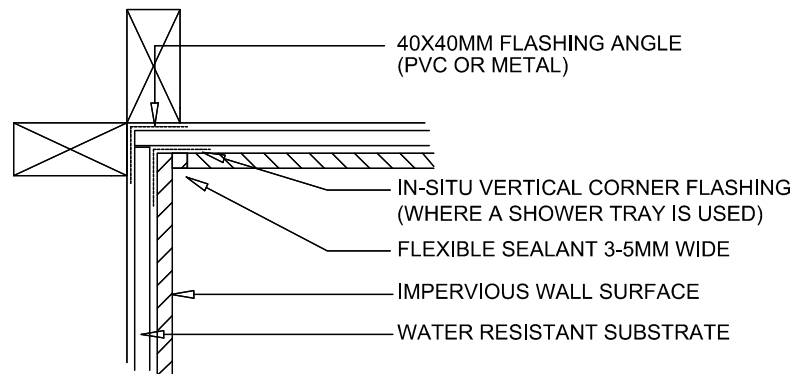
SANITARY FIXTURES ABUTTING WALLS



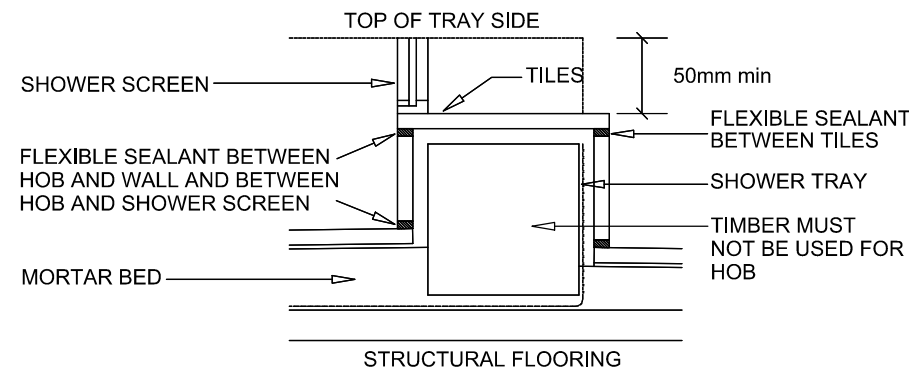
BATH CHASE DETAIL



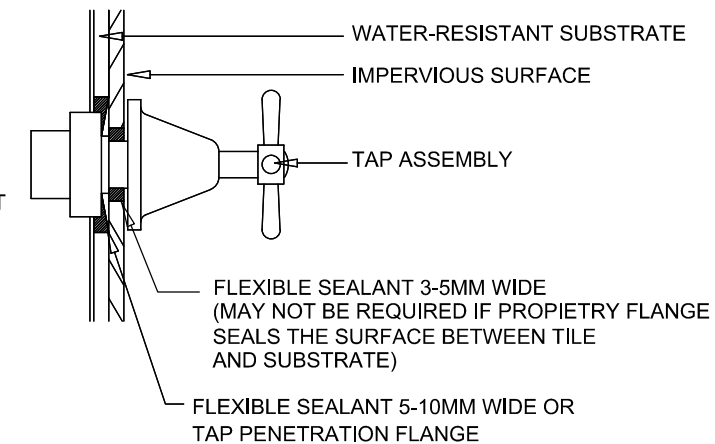
FLOOR GRADES TO WASTE OULETS



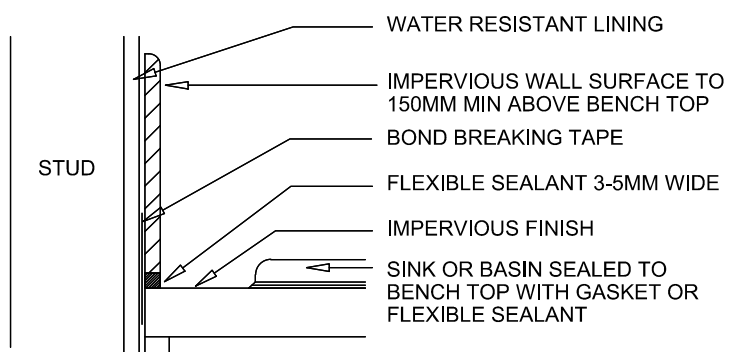
WALL JUNCTION



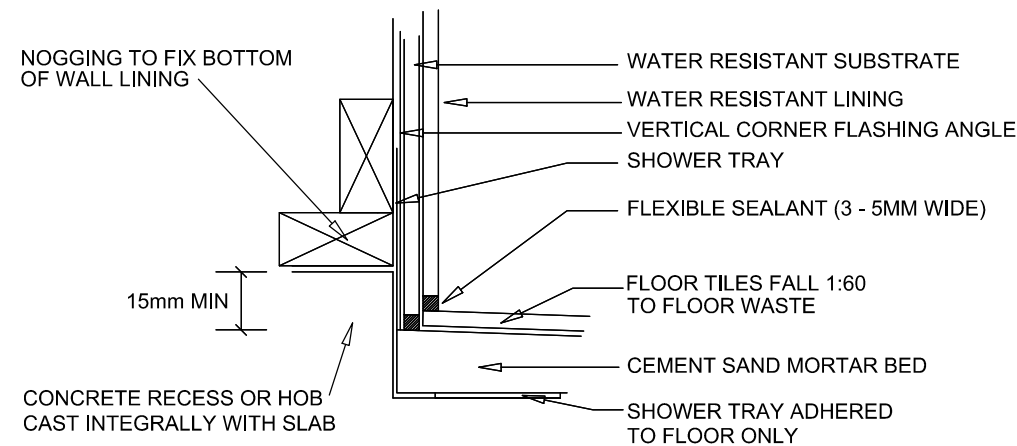
HOB AT SHOWER TRAY



**PENETRATIONS THROUGH WALLS
IN SHOWER AREAS**



**WALL AND BENCH TOP JUNCTION
WITH INSET FIXTURE**



**WATERPROOFING OF SHOWER
WALL AND FLOOR JUNCTIONS**

WET AREA NOTATIONS
TO COMPLY WITH VOLUME TWO OF BCA 2015,
REQUIREMENTS OF BCA PART 3.8.1 (Wet Areas)

SHOWER AREA (Cat. 1)
FLOOR - IMPERVIOUS WITH SHOWER TRAY OR
BASE
DRAINAGE - 1:60 MIN GRADE TO SHOWER
TRAP. SHOWER TRAYS DRAINED TO FLANGE IN
SHOWER TRAP
BATH AND LAUNDRY
FLOOR - IMPERVIOUS
DRAINAGE - BATH - 1:80 MIN TO FLOOR
TRAP. MAY BE DRAINED TO SHOWER TRAP
WHERE HOB NOT USED.
DRAINAGE - LDY - 1:80 MIN TO TRAP
SINGLE ROOM CONTAINING WC
FLOOR - IMPERVIOUS
DRAINAGE - NO REQUIREMENT

NOTE: FLOORING TO BE OF IMPERVIOUS FLOOR
SHEETING OR SIMILAR APPROVED FLOORING AS
SPECIFIED

INSTALLATION OF PREFORMED SHOWER
BASES SHALL COMPLY WITH THE
REQUIREMENTS OF THE MANUFACTURERS
SPECIFICATIONS. ANY ALTERNATIVE
WATERPROOFING SYSTEM SHALL BE AN
ACCREDITED INSTALLATION SYSTEM IN
ACCORDANCE WITH THE MANUFACTURERS'

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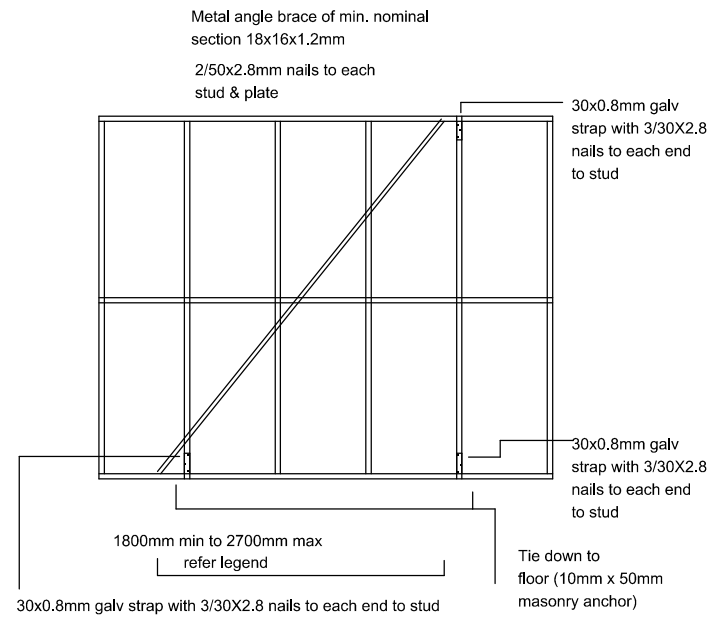
WET AREA DETAILS

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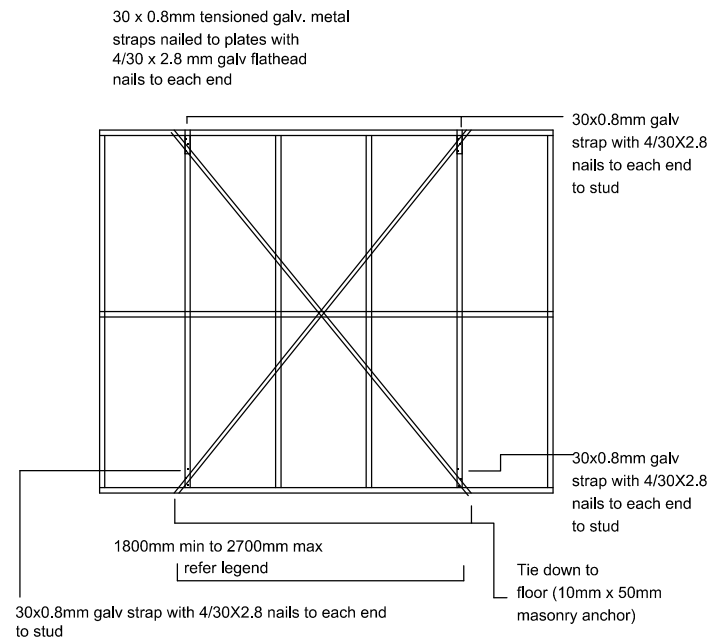
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TYPE A BRACING (1.5kN/m)
METAL ANGLE BRACE. THE MAXIMUM DEPTH OF SAW CUT NOT TO EXCEED 20mm








TYPE B BRACING (3.0kN/m)

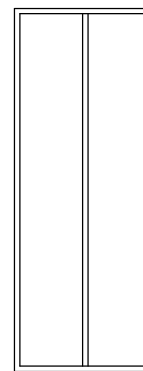
DOUBLE DIAGONAL TENSION BRACE



TYPE B HARDBOARD BRACING (6.4mm) 6.0kN/m

- B  5.4 kN (1 type B top fixing) or (2 type D (a) top fixings)
- B  7.2 kN (1 type B top fixing) or (2 type D (a) top fixings)
- B  2.7 kN (1 type B top fixing) or (1 type D (a) top fixing) with M10 x 50mm coachscrew & 38x38 sq. washer to each corner
- B  2.7 kN (1 type B top fixing) or (1 type D (a) top fixing) with M10 x 50mm coachscrew & 38x38 sq. washer to each corner
- B  1.8 (5.4kN) (1 type B top fixing) or (2 type D (a) top fixings)
- 2.1 (6.3kN) (1 type B top fixing) or (2 type D (a) top fixings)
- 2.4 (7.2kN) (1 type B top fixing) or (2 type D (a) top fixings)
- 2.7 (8.1kN) (1 type B top fixing) or (2 type D (a) top fixings)

Hardboard shall be nailed to frame using minimum 30x2.8mm galvanised nails or equivalent. Nails shall be located a minimum of 10mm from the vertical edges and 15mm from the top and bottom edges panel edges shall be supported by studs



Fastener spacing
top plate 50mm
bot plate 50mm
vertical edges 100mm
intermediate studs 300mm

Tie down to slab
2/10mm x 50mm masonry anchors to each side of bracing panel

STANDARD FIXING & TIE-DOWN REQUIREMENTS

28 m/s SHEET ROOF

BOTTOM PLATES TO CONCRETE SLABS INCLUDING WALLS WITH TYPE A BRACES:

- 1/75 mm MASONRY NAIL AT MAX. 1200 C

BOTTOM PLATES TO CONCRETE SLAB FOR WALLS WITH TYPE B BRACES:

- ADDITIONAL 1/M10 BOLTS OR EQUIVALENT MASONRY ANCHOR AT EACH END OF BRACING UNIT (MAX. 1200 mm C)

NOTE: THESE FIXINGS ARE ONLY REQUIRED TO TIE DOWN BRACED PANELS.

BOTTOM PLATES TO STUDS:

- 2/75 mm NAILS AT MAXIMUM 600 mm C FOR PLATES TO 38 mm THICK

- 2/90 mm NAILS AT MAXIMUM 600 mm C FOR PLATES TO 50 mm THICK

BOTTOM PLATES TO STUDS:

- 2/75 mm NAILS AT MAXIMUM 600 mm C FOR PLATES TO 38 mm THICK

- 2/90 mm NAILS AT MAXIMUM 600 mm C FOR PLATES TO 50 mm THICK

- ADDITIONAL 30 X 0.8 mm G.I. STRAP FIXED WITH 3/25 X 2.5 mm NAILS INTO THE SIDE OF EACH MEMBER

NOTE: MAX. TIE DOWN SPACING SHALL BE 1800 mm OR THREE STUD SPACINGS WHICHEVER IS THE LESSER TO A MAX. TIE DOWN DISTANCE OF 6000 mm FOR TIE-DOWN DISTANCE OVER 6000 mm A TIE-DOWN IS REQUIRED FOR EACH MEMBER

RAFTERS TO TOP PLATES:

- 2/75 mm SKEW NAILS

- ADDITIONAL 30 X 0.8 mm G.I. STRAP FIXED WITH 3/25 X 2.5 mm NAILS INTO THE SIDE OF EACH MEMBER

NOTE: MAX. TIE DOWN SPACING SHALL BE 1800 mm OR THREE STUD SPACINGS WHICHEVER IS THE LESSER TO A MAX. TIE DOWN DISTANCE OF 6000 mm FOR TIE-DOWN DISTANCE OVER 6000 mm A TIE-DOWN IS REQUIRED FOR EACH MEMBER

SECONDARY TOP PLATES (RIBBON PLATES TO TOP PLATES):

- 2/75 mm NAILS AT MAXIMUM 600 mm C FOR PLATES TO 38 mm THICK

- 2/90 mm NAILS AT MAXIMUM 600 mm C FOR PLATES TO 50 mm THICK

ROOF TRUSSES TO TOP PLATES:

- IN A/W MANUFACTURES RECOMMENDATIONS (GENERALLY 1 FRAMING ANCHOR)

- ADDITIONAL ROOF TRUSS TIE-DOWN IN A/W TIE DOWN REQUIRED FOR CONVENTIONAL ROOFS

ROOF PURLINS TO RAFTERS:

- FOR A SHEET ROOF WITH RAFTER SPACING OF 1200 mm, 2/75 GROOVED ANNULAR NAILS SKEW NAILED




COLLAR TIES:

- TO 4.2 m LONG, 2/75 mm NAILS EACH END

- OVER 4.2 m LONG, 1 M10 BOLT EACH END

REFER TO APPENDIX G AS 1684.2-1999 TO OBTAIN DETAILS OF FIXINGS REFERRED TO. INTERMEDIATE TIE-DOWN IS NOT REQUIRED WHERE TIE-DOWN CONNECTIONS ARE CONTINUED THROUGH TO A LOWER MEMBER IN THE FRAME

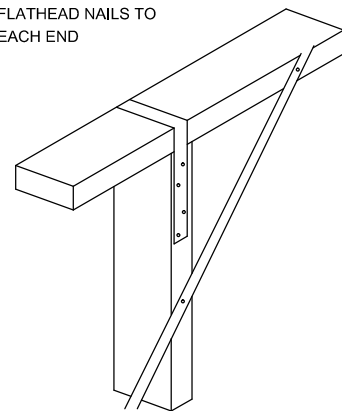
TYPE A HARDBOARD BRACING (6.4mm) 3.4kN/m

- A  3.0 kN (2 type A top fixings) or (1 type D (a) top fixing)
- A  4.0 kN (2 type A top fixings) or (1 type D (b) top fixing)
- A  1.8 (2.7kN) (2 type A top fixings) or (3 type C top fixings)
- 2.1 (3.1kN) (2 type A top fixings) or (3 type C top fixings)
- 2.4 (3.6kN) (2 type A top fixings) or (4 type C top fixings)
- 2.7 (4.0kN) (2 type A top fixings) or (4 type C top fixings)

NOTE:

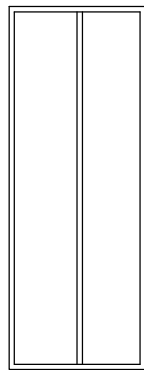
All bracing capacities up to 2700mm high walls. For walls over 2700mm refer to page 145 table 8.19 of AS1684.2-1999

30 X 0.8MM METAL STRAP LOOPED OVER PLATE AND FIXED TO STUD WITH 4/30 X 2.8MM FLATHEAD NAILS TO EACH END



Hardboard shall be nailed to frame using minimum 25x2.8mm galvanised nails or equivalent.

Nails shall be located a minimum of 10mm from the vertical edges and 20mm from the top and bottom edges panel edges shall be supported by studs



Fastener spacing
top plate 100mm
bot plate 100mm
vertical edges 100mm
intermediate studs 300mm

Tie down to slab
10mm x 50mm masonry anchor to each side of bracing panel

BRACING DETAILS



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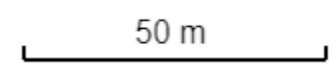
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**ADELAIDE HILLS COUNCIL
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Annotations
Subject land

Scale = 1:1250



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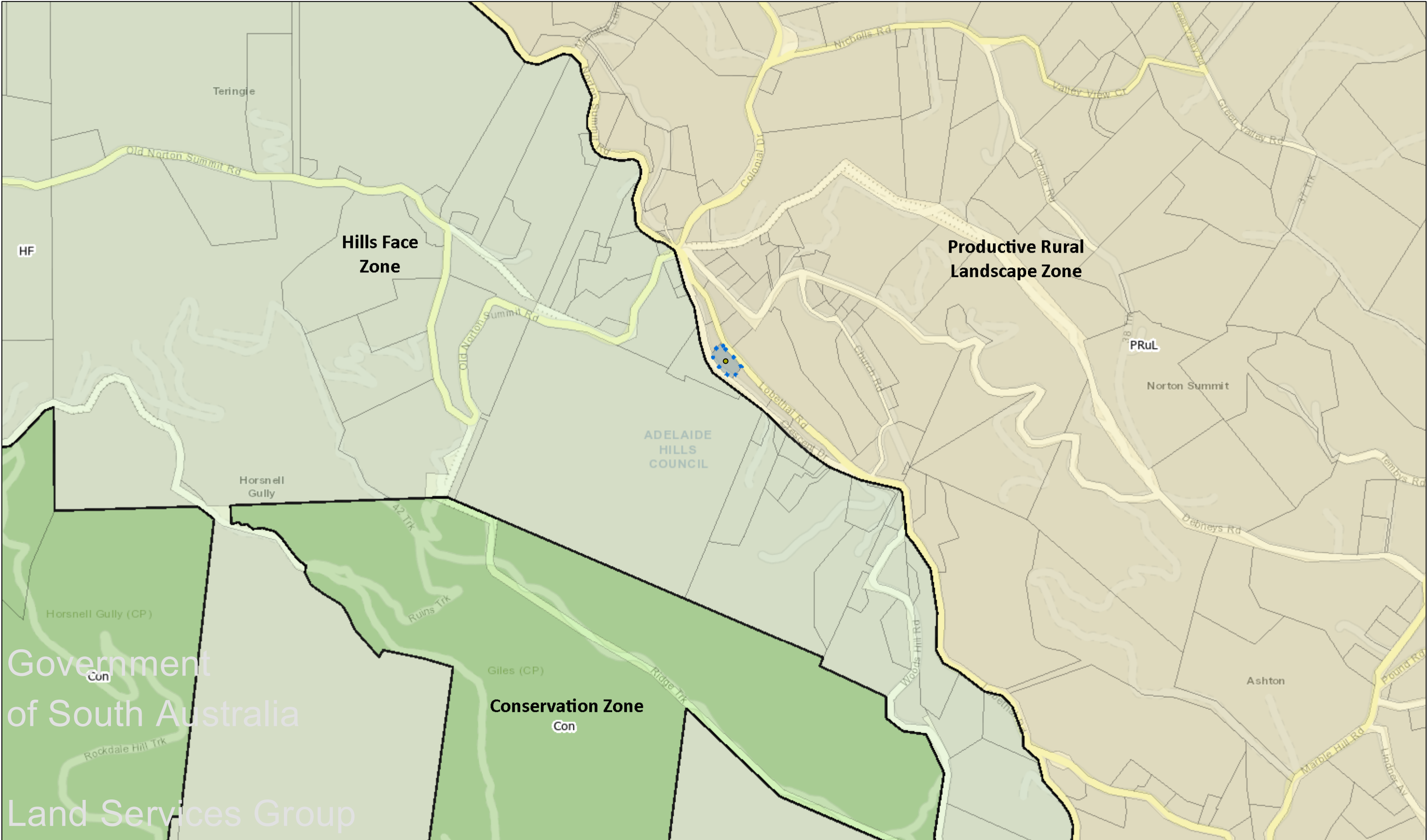
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22-Oct-2024

SAPPA Report

The SA Property and Planning Atlas is available on the Plan SA website: <https://sappa.plan.sa.gov.au>

Zoning Map



Disclaimer: The information provided above, is not represented to be accurate, current or complete at the time of printing this report. The Government of South Australia accepts no liability for the use of this data, or any reliance placed on it.

Address: 31 CRESCENT DR NORTON SUMMIT SA 5136

To view a detailed interactive property map in SAPPA click on the map below



Property Zoning Details

Zone

Productive Rural Landscape

Overlay

- Environment and Food Production Area
- Hazards (Bushfire - High Risk)
- Heritage Adjacency
- Hazards (Flooding - Evidence Required)
- Limited Land Division
- Native Vegetation
- Prescribed Wells Area
- Traffic Generating Development
- Urban Transport Routes

Selected Development(s)

Deck

This development may be subject to multiple assessment pathways. Please review the document below to determine which pathway may be applicable based on the proposed development compliances to standards.

If no assessment pathway is shown this mean the proposed development will default to performance assessed. Please contact your local council in this instance. Refer to Part 1 - Rules of Interpretation - Determination of Classes of Development

Deck - Code Assessed - Performance Assessed

Part 2 - Zones and Sub Zones

Productive Rural Landscape Zone

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	A diverse range of land uses at an appropriate scale and intensity that capitalise on the region's proximity to the metropolitan area and the tourist and lifestyle opportunities this presents while also conserving the natural and rural character, identity, biodiversity and sensitive environmental areas and scenic qualities of the landscape.

DO 2	A zone that promotes agriculture, horticulture, value adding opportunities, farm gate businesses, the sale and consumption of agricultural based products, tourist development and accommodation that expands the economic base and promotes its regional identity.
DO 3	Create local conditions that support new and continuing investment while seeking to promote co-existence with adjoining activities and mitigate land use conflicts.

Performance Outcomes (PO) and Deemed to Satisfy (DTS) / Designated Performance Feature (DPF) Criteria

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Siting and Design	
PO 2.2 Buildings are generally located on flat land to minimise cut and fill and the associated visual impacts.	DTS/DPF 2.2 Buildings: (a) are located on a site with a slope not greater than 10% (1-in-10) (b) do not result excavation and/or filling of land that is greater than 1.5m from natural ground level.

Table 5 - Procedural Matters (PM) - Notification

The following table identifies, pursuant to section 107(6) of the *Planning, Development and Infrastructure Act 2016*, classes of performance assessed development that are excluded from notification. The table also identifies any exemptions to the placement of notices when notification is required.

Interpretation

Notification tables exclude the classes of development listed in Column A from notification provided that they do not fall within a corresponding exclusion prescribed in Column B.

Where a development or an element of a development falls within more than one class of development listed in Column A, it will be excluded from notification if it is excluded (in its entirety) under any of those classes of development. It need not be excluded under all applicable classes of development.

Where a development involves multiple performance assessed elements, all performance assessed elements will require notification (regardless of whether one or more elements are excluded in the applicable notification table) unless every performance assessed element of the application is excluded in the applicable notification table, in which case the application will not require notification.

A relevant authority may determine that a variation to 1 or more corresponding exclusions prescribed in Column B is minor in nature and does not require notification.

Class of Development (Column A)	Exceptions (Column B)
1. Development which, in the opinion of the relevant authority, is of a minor nature only and will not unreasonably impact on the owners or occupiers of land in the locality of the site of the development.	None specified.
2. Any development involving any of the following (or of any combination of any of the following): (a) advertisement (b) agricultural building (c) air handling unit, air conditioning system or exhaust fan (d) ancillary accommodation (e) carport (f) deck (g) fence (h) dwelling (i) dwelling addition (j) farming (k) horse keeping (l) internal building work (m) land division (n) outbuilding (o) pergola (p) private bushfire shelter (q) protective tree netting structure	None specified.

<ul style="list-style-type: none"> (r) replacement building (s) retaining wall (t) solar photovoltaic panels (roof mounted) (u) shade sail (v) swimming pool or spa pool and associated swimming pool safety features (w) temporary accommodation in an area affected by bushfire (x) tree damaging activity (y) verandah (z) water tank. 	
<p>3. Any development involving any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> (a) industry (b) store (c) warehouse. 	<p>Except development that does not satisfy any of the following:</p> <ul style="list-style-type: none"> 1. Productive Rural Landscape Zone DTS/DPF 4.1 2. Productive Rural Landscape Zone DTS/DPF 4.3.
<p>4. Demolition.</p>	<p>Except any of the following:</p> <ul style="list-style-type: none"> 1. the demolition (or partial demolition) of a State or Local Heritage Place (other than an excluded building) 2. the demolition (or partial demolition) of a building in a Historic Area Overlay (other than an excluded building).
<p>5. Function venue within The Cedars Subzone.</p>	<p>None specified.</p>
<p>6. Function venue.</p>	<p>Except function venue that does not satisfy Productive Rural Landscape Zone DTS/DPF 6.6.</p>
<p>7. Horticulture.</p>	<p>Except horticulture that does not satisfy any of the following:</p> <ul style="list-style-type: none"> 1. Productive Rural Landscape Zone DTS/DPF 3.1(d) 2. Productive Rural Landscape Zone DTS/DPF 3.1(e).
<p>8. Railway line.</p>	<p>Except where located outside of a rail corridor or rail reserve.</p>
<p>9. Shop within The Cedars Subzone.</p>	<p>None specified.</p>
<p>10. Shop.</p>	<p>Except shop that does not satisfy any of the following:</p> <ul style="list-style-type: none"> 1. Productive Rural Landscape Zone DTS/DPF 6.1 2. Productive Rural Landscape Zone DTS/DPF 6.2.
<p>11. Tourist accommodation within The Cedars Subzone.</p>	<p>None specified.</p>
<p>12. Tourist accommodation.</p>	<p>Except tourist accommodation that does not to satisfy any of the following:</p> <ul style="list-style-type: none"> 1. Productive Rural Landscape Zone DTS/DPF 6.3 2. Productive Rural Landscape Zone DTS/DPF 6.4.

Placement of Notices - Exemptions for Performance Assessed Development

Pursuant to regulation 47(6)(c) of the Planning, Development and Infrastructure (General) Regulations 2017, the requirement to place a notice on the relevant land under section 107(3)(a)(ii) of the *Planning, Development and Infrastructure Act 2016* does not apply in the Productive Rural Landscape Zone.

Placement of Notices - Exemptions for Restricted Development

Pursuant to regulation 47(6)(c) of the Planning, Development and Infrastructure (General) Regulations 2017, the requirement to place a notice on the relevant land under section 110(2)(a)(iv) of the *Planning, Development and Infrastructure Act 2016* does not apply in the Productive Rural Landscape Zone.

Part 3 - Overlays

Hazards (Bushfire - High Risk) Overlay

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Development, including land division is sited and designed to minimise the threat and impact of bushfires on life and property with regard to the following risks: <ul style="list-style-type: none"> (a) potential for uncontrolled bushfire events taking into account the increased frequency and intensity of bushfires as a result of climate change (b) high levels and exposure to ember attack (c) impact from burning debris (d) radiant heat (e) likelihood and direct exposure to flames from a fire front.
DO 2	Activities that increase the number of people living and working in the area or where evacuation would be difficult is sited away from areas of unacceptable bushfire risk.
DO 3	To facilitate access for emergency service vehicles to aid the protection of lives and assets from bushfire danger.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Land Use	
PO 1.1 Development that significantly increases the potential for fire outbreak as a result of the spontaneous combustion of materials, spark generation or through the magnification and reflection of light is not located in areas of unacceptable bushfire risk.	DTS/DPF 1.1 None are applicable.
Siting	
PO 2.1 Buildings and structures are located away from areas that pose an unacceptable bushfire risk as a result of vegetation cover and type, and terrain.	DTS/DPF 2.1 None are applicable.
Built Form	
PO 3.1 Buildings and structures are designed and configured to reduce the impact of bushfire through using designs that reduce the potential for trapping burning debris against or underneath the building or structure, or between the ground and building floor level in the case of transportable buildings and buildings on stilts.	DTS/DPF 3.1 None are applicable.
PO 3.2 Extensions to buildings, outbuildings and other ancillary structures are sited and constructed using materials to minimise the threat of fire spread to residential and tourist accommodation (including boarding houses, hostels, dormitory style accommodation, student accommodation and Workers' accommodation) in the event of bushfire.	DTS/DPF 3.2 Outbuildings and other ancillary structures are sited no closer than 6m from the habitable building.

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
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<p>Except if a relevant certificate accompanies the application for planning consent in respect of the development, any of the following classes of development (including alterations and additions which increase the floor area of such buildings by 10% or more):</p> <ul style="list-style-type: none"> (a) land division creating one or more additional allotments (b) dwelling (c) ancillary accommodation (d) residential flat building (e) tourist accommodation (f) boarding home (g) dormitory style accommodation (h) workers' accommodation (i) student accommodation (j) child care facility (k) educational facility (l) retirement village (m) supported accommodation (n) residential park (o) hospital (p) camp ground. 	<p>South Australian Country Fire Service.</p>	<p>To provide expert assessment and direction to the relevant authority on the potential impacts of bushfire on the development.</p>	<p>Development of a class to which Schedule 9 clause 3 item 2 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.</p>
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Native Vegetation Overlay

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
<p>DO 1</p>	<p>Areas of native vegetation are protected, retained and restored in order to sustain biodiversity, threatened species and vegetation communities, fauna habitat, ecosystem services, carbon storage and amenity values.</p>

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Environmental Protection	
<p>PO 1.1 Development avoids, or where it cannot be practically avoided, minimises the clearance of native vegetation taking into account the siting of buildings, access points, bushfire protection measures and building maintenance.</p>	<p>DTS/DPF 1.1 An application is accompanied by:</p> <ul style="list-style-type: none"> (a) a declaration stating that the proposal will not, or would not, involve clearance of native vegetation under the Native Vegetation Act 1991, including any clearance that may occur: <ul style="list-style-type: none"> (i) in connection with a relevant access point and / or driveway (ii) within 10m of a building (other than a residential building or tourist accommodation) (iii) within 20m of a dwelling or addition to an existing dwelling for fire prevention and control (iv) within 50m of residential or tourist accommodation in connection with a requirement under a relevant overlay to establish an asset protection zone in a bushfire prone area or (b) a report prepared in accordance with Regulation 18(2)(a) of the Native Vegetation Regulations 2017 that establishes that the clearance is categorised as 'Level 1 clearance'.
<p>PO 1.2 Native vegetation clearance in association with development avoids the following:</p> <ul style="list-style-type: none"> (a) significant wildlife habitat and movement corridors 	<p>DTS/DPF 1.2 None are applicable.</p>

- (b) rare, vulnerable or endangered plants species
- (c) native vegetation that is significant because it is located in an area which has been extensively cleared
- (d) native vegetation that is growing in, or in association with, a wetland environment.

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
Development that is the subject of a report prepared in accordance with Regulation 18(2)(a) of the <i>Native Vegetation Regulations 2017</i> that categorises the clearance, or potential clearance, as 'Level 3 clearance' or 'Level 4 clearance'.	Native Vegetation Council	To provide expert assessment and direction to the relevant authority on the potential impacts of development on native vegetation.	Development of a class to which Schedule 9 clause 3 item 11 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.

Part 4 - General Development Policies

Clearance from Overhead Powerlines

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Protection of human health and safety when undertaking development in the vicinity of overhead transmission powerlines.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
PO 1.1 Buildings are adequately separated from aboveground powerlines to minimise potential hazard to people and property.	DTS/DPF 1.1 One of the following is satisfied: <ul style="list-style-type: none"> (a) a declaration is provided by or on behalf of the applicant to the effect that the proposal would not be contrary to the regulations prescribed for the purposes of section 86 of the <i>Electricity Act 1996</i> (b) there are no aboveground powerlines adjoining the site that are the subject of the proposed development.

Design

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Development is: <ul style="list-style-type: none"> (a) contextual - by considering, recognising and carefully responding to its natural surroundings or built environment and positively contributes to the character of the immediate area (b) durable - fit for purpose, adaptable and long lasting

	<ul style="list-style-type: none"> (c) inclusive - by integrating landscape design to optimise pedestrian and cyclist usability, privacy and equitable access, and promoting the provision of quality spaces integrated with the public realm that can be used for access and recreation and help optimise security and safety both internally and within the public realm, for occupants and visitors (d) sustainable - by integrating sustainable techniques into the design and siting of development and landscaping to improve community health, urban heat, water management, environmental performance, biodiversity and local amenity and to minimise energy consumption.
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Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature										
All development											
Earthworks and sloping land											
PO 8.1 Development, including any associated driveways and access tracks, minimises the need for earthworks to limit disturbance to natural topography.	DTS/DPF 8.1 Development does not involve any of the following: <ul style="list-style-type: none"> (a) excavation exceeding a vertical height of 1m (b) filling exceeding a vertical height of 1m (c) a total combined excavation and filling vertical height of 2m or more. 										
Decks											
Design and Siting											
PO 33.1 Decks are designed and sited to: <ul style="list-style-type: none"> (a) complement the associated building form (b) minimise impacts on the streetscape through siting behind the building line of the principal building (unless on a significant allotment or open space) (c) minimise cut and fill and overall massing when viewed from adjacent land. 	DTS/DPF 33.1 Decks: <ul style="list-style-type: none"> (a) where ancillary to a dwelling: <ul style="list-style-type: none"> (i) are not constructed, added to or altered so that any part is situated: <ul style="list-style-type: none"> A. in front of any part of the building line of the dwelling to which it is ancillary or B. within 900mm of a boundary of the allotment with a secondary street (if the land has boundaries on two or more roads) (ii) are set back at least 900mm from side or rear allotment boundaries (iii) when attached to the dwelling, has a finished floor level consistent with the finished ground floor level of the dwelling (iv) where associated with a residential use, retains a total area of soft landscaping for the entire development site, including any common property, with a minimum dimension of 700mm in accordance with (A) or (B), whichever is less: <ul style="list-style-type: none"> A. a total area is determined by the following table: <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 80%;">Site area (or in the case of residential flat building or group dwelling(s), average site area) (m²)</th> <th>Min per site</th> </tr> </thead> <tbody> <tr> <td><150</td> <td>10%</td> </tr> <tr> <td>150-200</td> <td>15%</td> </tr> <tr> <td>>200-450</td> <td>20%</td> </tr> <tr> <td>>450</td> <td>25%</td> </tr> </tbody> </table> B. the amount of existing soft landscaping prior to the development occurring. (b) where in association with a non-residential use: 	Site area (or in the case of residential flat building or group dwelling(s), average site area) (m ²)	Min per site	<150	10%	150-200	15%	>200-450	20%	>450	25%
Site area (or in the case of residential flat building or group dwelling(s), average site area) (m ²)	Min per site										
<150	10%										
150-200	15%										
>200-450	20%										
>450	25%										

	<ul style="list-style-type: none"> (i) are set back at least 2 metres from the boundary of an allotment used for residential purposes. (ii) are set back at least 2 metres from a public road. (iii) have a floor area not exceeding 25m² <p>(c) in all cases, has a finished floor level not exceeding 1 metre above natural ground level at any point.</p>
<p>PO 33.2</p> <p>Decks are designed and sited to minimise direct overlooking of habitable rooms and private open spaces of adjoining residential uses in neighbourhood-type zones through suitable floor levels, screening and siting taking into account the slope of the subject land, existing vegetation on the subject land, and fencing.</p>	<p>DTS/DPF 33.2</p> <p>Decks with a finished floor level/s 500mm or more above natural ground level facing side or rear boundaries shared with a residential use in a neighbourhood-type zone incorporate screening with a maximum of 25% transparency/openings, permanently fixed to the outer edge of the deck not less than 1.5 m above the finished floor level/s.</p>
<p>PO 33.3</p> <p>Decks used for outdoor dining, entertainment or other commercial uses provide carparking in accordance with the primary use of the deck.</p>	<p>DTS/DPF 33.3</p> <p>Decks used for commercial purposes do not result in less on-site car parking for the primary use of the subject land than specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas.</p>

Infrastructure and Renewable Energy Facilities

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Efficient provision of infrastructure networks and services, renewable energy facilities and ancillary development in a manner that minimises hazard, is environmentally and culturally sensitive and manages adverse visual impacts on natural and rural landscapes and residential amenity.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Wastewater Services	
<p>PO 12.2</p> <p>Effluent drainage fields and other wastewater disposal areas are maintained to ensure the effective operation of waste systems and minimise risks to human health and the environment.</p>	<p>DTS/DPF 12.2</p> <p>Development is not built on, or encroaches within, an area that is, or will be, required for a sewerage system or waste control system.</p>

