

CAP MEETING – 12 March 2025

ITEM 8.1

<b>DEVELOPMENT NO.:</b>	23034790
<b>APPLICANT:</b>	David Crawford
<b>ADDRESS:</b>	644 PARACOMBE RD PARACOMBE SA 5132
<b>NATURE OF DEVELOPMENT:</b>	Construction of single storey detached dwelling & associated landscaping and change of use of existing dwelling to tourist accommodation
<b>ZONING INFORMATION:</b>	<p><b>Zones:</b></p> <ul style="list-style-type: none"> <li>• Productive Rural Landscape</li> </ul> <p><b>Overlays:</b></p> <ul style="list-style-type: none"> <li>• Environment and Food Production Area</li> <li>• Hazards (Bushfire - High Risk)</li> <li>• Hazards (Flooding - Evidence Required)</li> <li>• Limited Land Division</li> <li>• Mount Lofty Ranges Water Supply Catchment (Area 1)</li> <li>• Native Vegetation</li> <li>• Prescribed Water Resources Area</li> <li>• Water Resources</li> </ul>
<b>LODGEMENT DATE:</b>	30 Nov 2023
<b>RELEVANT AUTHORITY:</b>	Assessment Panel at Adelaide Hills Council
<b>PLANNING &amp; DESIGN CODE VERSION:</b>	P&D Code (in effect) - Version 2023.17 23/11/2023
<b>CATEGORY OF DEVELOPMENT:</b>	Code Assessed - Performance Assessed
<b>NOTIFICATION:</b>	Yes - 15 August 2024 to 04 September 2024
<b>RECOMMENDING OFFICER:</b>	Doug Samardzija Senior Statutory Planner
<b>REFERRALS STATUTORY:</b>	Environment Protection Authority Native Vegetation Council South Australian Country Fire Service
<b>REFERRALS NON-STATUTORY:</b>	Environmental Health Unit

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#### DETAILED DESCRIPTION OF PROPOSAL:

The subject application is for the construction of a single storey detached dwelling, associated landscaping and the change of use of the existing dwelling to be utilised as tourist accommodation.

The proposed new dwelling will comprise of four (4) bedrooms with one (1) being the master bedroom with an ensuite and walk in robe. It also possesses two (2) studies, a retreat, a laundry, and a powder room. There is also a main kitchen with a walk-in pantry, a main living area and dining space that opens out to the alfresco area at the rear of the dwelling. The dwelling also proposes a double garage with a service area immediately adjacent to be used as an area for clothes drying.

The existing dwelling on site will be changed to accommodate tourist accommodation. That building comprises of three (3) bedrooms, a lounge room, bathroom, and a kitchen/dining room. The building also currently possesses a verandah at the front of the building. The accommodation aspect of the proposal will support a maximum number of six (6) guests and typically be utilised for weekend or one (1) week stays - with the maximum length of stay being three (3) months.

The site will continue to be serviced by the current driveway with the crossover being on Paracombe Road. The internal driveway will be extended to allow the area of the proposed dwelling to be serviced.

The proposal will also seek to establish landscaping at the site of the proposed dwelling. With the landscaping plan showing that Kikuyu grass will be planted surrounding the dwelling with soft mat-rush to be established on the areas surrounding the dwelling that have been battered. Where possible, native vegetation will be retained and incorporated into the landscaping.

#### BACKGROUND:

APPROVAL DATE	APPLICATION NUMBER	DESCRIPTION OF PROPOSAL
06 December 2019	473/937/19	Verandah, retaining wall (maximum height 800mm) & associated earthworks

#### SUBJECT LAND & LOCALITY:

**Location reference:** 644 PARACOMBE RD, PARACOMBE SA 5132

**Title ref.:** CT 5733/519 **Plan Parcel:** H105700 BL577 **Council:** ADELAIDE HILLS COUNCIL

#### Site Description:

The subject site is a rectangular shaped allotment, with an irregular shaped frontage to Paracombe Road. The site exists wholly within the *Productive Rural Landscape Zone*. The site has a total area of 106,360 square metres (10.63 hectares) with a maximum depth of 833 metres and a width of 133 metres.

The subject land possesses an undulating topography, with the site generally sloping up from Paracombe Road towards the rear of the site. The area of the proposed dwelling has recently been benched to accommodate the proposed dwelling and therefore minimal earthworks are included as a part of this subject application.

The eastern portion of the subject site possesses large amounts of vegetation on much steeper topography, the majority of this vegetation on the eastern portion of the allotment appears to be various species of shrubs and small potentially native vegetation. The western portion of the allotment possesses more farmed vegetation with the majority of those species being Pear orchards.

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#### Locality

The locality generally comprises large, rural residential land holdings. With a number of these properties also undertaking primary production in the forms of orchards, vineyards, and other rural activities. Many of the allotments within the locality are of a similar size to the subject site, however noting definite outliers - ranging from 2,000 square metres directly across Paracombe Road to 17 hectares immediately north of the subject site.

It is noted that most of the sites within the locality are similarly within the *Productive Rural Landscape* zone with the sites within the township of Paracombe being zoned as *Rural Settlement* however, these allotments are some 400 metres away from the subject site.

It is further noted that there are no Local or State Heritage listed properties that exist within proximity to the subject site or within the immediate locality.

The subject land is identified on **Attachment 2 - Subject Land/Representation Map. With the zoning that impacts the properties shown within Attachment 3 - Zoning Map.**

#### CONSENT TYPE REQUIRED:

Planning Consent

#### CATEGORY OF DEVELOPMENT:

- **PER ELEMENT:**

New housing

Tourist accommodation: Code Assessed - Performance Assessed

Change of use: Code Assessed - Performance Assessed

Detached dwelling: Code Assessed - Performance Assessed

- **OVERALL APPLICATION CATEGORY:**

Code Assessed - Performance Assessed

- **REASON**

The Planning and Design Code does not provide an 'Accepted' or a 'Deemed to Satisfy' pathway for the above noted elements. They are also not listed as being 'Restricted' forms of development under Table 4 of the Productive Rural Landscape Zone. Therefore it is considered that as per Sections 105 (b) and 107 of the PDI Act, 2016, that the proposal be assessed as 'Performance Assessed' development.

#### PUBLIC NOTIFICATION

- **REASON**

The proposal does not meet all of the DPF 6.3 criteria of the Zone, specifically the tourist accommodation floor area in the existing building exceeds 150m<sup>2</sup>

The period of Public Notification for the subject application was undertaken between the 15 August 2024 and the 04 September 2024

- **LIST OF REPRESENTATIONS**

Two (2) representations were received during the Public Notification period, with one (1) of the representations providing their support for the proposal and not wishing to be heard. The other representor opposes the development and wishes to be heard at the Council Assessment Panel (CAP) meeting.

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Representor Name	Representor's Property Address	Wishes to be heard (Y/N)	Nominated Speaker (if relevant)
Helen Hurst	632 Paracombe Road, Paracombe	No	No
Christopher and Maragrete Sprod	5 D'erlanger Avenue, Collinswood	Yes	Self

#### • SUMMARY

The key issues that were noted within the representations can be briefly summarised as follows:

- Viability of the proposed tourist accommodation use
- Safety, security, and privacy issues
- Suitability of the grazing of Wagyu Beef cattle
- Siting of proposed dwelling
- Landscaping surrounding the dwelling

A copy of the representations are included as **Attachment 4 – Representations** and the applicant's response is provided in **Attachment 5 – Response to Representations**.

#### AGENCY REFERRALS

##### • Environment Protection Authority:

The EPA notes that a 250 square metre irrigation area is proposed for the tourist accommodation (converted dwelling), which is to be vegetated with fully managed shrubs and trees, and a 500 square metre subsurface dripper irrigation area is proposed for the new dwelling, which will be vegetated with a well-maintained lawn. A nutrient balance has been provided demonstrating that the proposed application areas are sufficient to demonstrate a neutral or beneficial environmental impact from this development. In addition, the EPA notes that the proposed irrigation areas are proposed to be well managed, with all clippings or pruning to be removed from site. The EPA further notes that diversion trenches are proposed to direct surface runoff around the irrigation areas. This is satisfactory to the EPA.

One condition has been directed by the EPA requiring the installation and management of the waste system in accordance with the approved plans (refer Recommended Condition 21).

##### • Native Vegetation Council:

The proposal requires the clearance of some native vegetation, therefore a native vegetation data report was required to determine the potential level of clearance associated with the proposal. A report was obtained by the applicant that noted that the clearance level was three (3) and therefore required a statutory referral to the Native Vegetation Council. The Native Vegetation Council have since returned their comments, providing support for the application subject to conditions included within this report.

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- **South Australian Country Fire Service:**

As the property is located within a Hazards (Bushfire - High Risk) overlay and the proposal seeks to create a new dwelling and tourist accommodation a statutory referral was required to be sent to the CFS. The CFS have since returned their comments, providing support for the application subject to conditions included within this report.

Referral responses are contained in **Attachment 6- Referrals Statutory Responses**.

### INTERNAL REFERRALS

- **Environmental Health Unit:**

Councils Environmental Health Unit have sought the lodgement of a wastewater application for the new system required to service the proposed dwelling. It is noted that as of the date of this meeting that the wastewater application has received approval under application 23/W245/473.

### PLANNING ASSESSMENT

#### *Desired outcomes*

*Desired outcomes are policies designed to aid the interpretation of performance outcomes by setting a general policy agenda for a zone, subzone, overlay or general development policies module. Where a relevant authority is uncertain as to whether or how a performance outcome applies to a development, the desired outcome(s) may inform its consideration of the relevance and application of a performance outcome, or assist in assessing the merits of the development against the applicable performance outcomes collectively.*

#### *Performance outcomes*

*Performance outcomes are policies designed to facilitate assessment according to specified factors, including land use, site dimensions and land division, built form, character and hazard risk minimisation.*

#### *Designated performance features*

*In order to assist a relevant authority to interpret the performance outcomes, in some cases the policy includes a standard outcome which will generally meet the corresponding performance outcome (a designated performance feature or DPF). A DPF provides a guide to a relevant authority as to what is generally considered to satisfy the corresponding performance outcome but does not need to necessarily be satisfied to meet the performance outcome, and does not derogate from the discretion to determine that the outcome is met in another way, or from the need to assess development on its merits against all relevant policies.*

A detailed assessment of the application has taken place against the relevant provisions of the Planning and Design Code (P & D Code) and this is provided below under a series of headings. A Policy Enquiry extract containing the relevant provisions of the P & D Code is contained in **Attachment 7 – Relevant P & D Code Policies**.

#### **Zone:**

#### **Productive Rural Landscape Zone:**

<b>Desired Outcomes</b>	
DO1	A diverse range of land uses at an appropriate scale and intensity that capitalise on the region's proximity to the metropolitan area and the tourist and lifestyle opportunities this presents while also conserving the natural and rural character, identity, biodiversity and sensitive environmental areas and scenic qualities of the landscape.

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DO2	A zone that promotes agriculture, horticulture, value adding opportunities, farm gate businesses, the sale and consumption of agricultural based products, tourist development and accommodation that expands the economic base and promotes its regional identity.
DO3	Create local conditions that support new and continuing investment while seeking to promote co-existence with adjoining activities and mitigate land use conflicts.
<b>Performance Outcomes (PO) &amp; Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria</b>	
PO 1.1 & DPF 1.1, PO 2.1 & DPF 2.1, PO 2.2 & DPF 2.2, PO 5.1 & DPF 5.1, PO 5.2 & DPF 5.2, PO 6.3 & DPF 6.3, PO 8.1 & DPF 8.1, PO 11.1 & DPF 11.1	

PO 1.1 of the Productive Rural Landscape Zone seeks a range of primary production and horticultural activities and associated value adding of primary produce, retailing and tourism. The proposed forms of development sought as a part of the subject application are both captured within the list of anticipated land uses within the corresponding DPF 1.1

The site is serviced by an existing lawful crossover to Paracombe Road, therefore it is considered that PO 2.1 is achieved by way of meeting the corresponding DPF 2.1

The proposed dwelling is sought on the subject site in an area that has recently been benched to a suitable level and therefore it is considered not to exist on a site with a slope greater than 1 in 10 or require cutting/filling of land to a height greater than 1.5 metres. Therefore, the proposed dwelling is considered to comply with PO 2.2 and the provisions listed within DPF 2.2

PO 5.1 of the Zone notes that dwellings shall provide a convenient base for landowners to conduct and manage commercial scale primary production and related value adding activities without comprising the use of the allotment or the adjacent land. The proposal is not considered to be contrary to PO 5.1 because the allotment is not of size, nor does it have the capacity to be used for commercial scale primary production use without significant clearance of native vegetation. That being said, the applicant has advised that they will still utilize the land for small scale cattle breeding.

DPF 5.1 (a) seeks for dwellings to be located on certain sized sites, in this instance no value was returned for the minimum allotment size to accommodate a dwelling. Therefore, in accordance with the portion of the DPF that states *"In relation to DTS/DPF 5.1, in instances where no value is returned for DPF 5.1(a) (ie there is a blank field), then there is no minimum dwelling allotment size applicable and DTS/DPF 5.1(a) is met."*

DPF 5.1 (b) notes that dwelling should also be located on *"allotments used for and ancillary to primary production or primary production related value-adding activities."* With this particular site it is noted that the property is sought to be utilised for primary production in the form of cattle grazing with an associated tourist accommodation development on the site and therefore it is considered to comply with DPF 5.1(b)

DPF 5.1 (c) notes that a proposed dwelling should not result in more than one (1) dwelling on an allotment. In this proposal it is noted that the existing dwelling will have the use changed to a tourist accommodation unit and therefore post-approval there will still only be one (1) dwelling on the allotment.

PO 5.2 stipulates that dwellings should be sited, designed and of a scale that maintains a pleasant natural and rural character and amenity. The DPF provisions note that dwellings should be set back 40 metres from all allotment boundaries, should not exceed 2 building levels and 9 metres when measured from the top of the footings and also have a wall height no greater than 6 metres.

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The proposed dwelling is single storey in nature and in turn will not offend the DPF 5.2 (b) and (c) provisions relating to maximum height of buildings and also their respective wall heights.

It is acknowledged that the proposed dwelling will have a setback less than 40 metres to the Northern allotment boundary, with the proposal seeking for a 33 metre setback from that particular boundary and in turn would not comply with DPF 5.2 (a). This shortfall in setback however is considered to be acceptable when in context to the site's shape, the single storey nature of the dwelling and the topography of the site and surrounding sites.

The intent of the provisions of DPF 5.2 (a) is to reinforce the PO 5.2 statement of "maintaining a pleasant natural and rural character and amenity". In this instance it has been determined that the proposed shortfall in Northern setback does not hinder the proposal's ability to meet PO 5.2.

PO 6.3 notes that tourist accommodation within the Productive Rural Landscape Zone is associated with the primary use of the land for primary production or primary production related value adding industry to provide authentic visitor experiences. Within this proposal the applicant has noted the owner's intention to continue the use of grazing with breeding of Wagyu heifers and this is considered sufficient to achieve PO 6.3.

DPF 6.3 (a) notes that tourist accommodation shall be ancillary to and located on the same allotment or an adjoining allotment used for primary production or primary production related value adding industry. In the case of the subject site, it is noted that the site is currently rated and utilised for grazing with the applicant noting that breeding of heifers forms a part of that use.

Generally grazing itself would not satisfy this provisions however the applicant has provided further clarity noting that the site will breed Wagyu cattle and given the price of that specific variety of cattle conservatively each animal can be sold for between \$8,000 to \$12,000 (*with 8 cows per year approx. \$64,000 to \$96,000 annually*). It is further noted that the owner intends to undertake 'agritourism' in association with this primary production use through farm stays, culinary experiences, interactive activities, and marketing/branding.

DPF 6.3 (b)(ii) notes that where tourist accommodation uses are being undertaken in existing buildings, the buildings should not exceed 150 square metres. In the case of this proposal the existing building is 156.9 square metres which is a marginal exceedance of the DPF provision and not considered to cause any impact.

DPF 6.3 (c) states that no more than one (1) tourist accommodation facility should be undertaken on the one (1) allotment. This proposal would only seek for the one (1) unit.

PO 8.1 of the Zone seeks for adaptive re-use of existing buildings for small scale shops, offices, tourist accommodation or ancillary rural activities. In the case of this proposal the existing building would be utilised for tourist accommodation, complying with both DPF 8.1 and PO 8.1

PO 11.1 seeks for large buildings to be designed and sited to reduce any potential impacts on scenic and rural vistas by having substantial setbacks from all boundaries, using low reflective materials and finishes to blend with the landscape and being located below ridge lines.

The proposed development is sited well away from Paracombe Road behind a large paddock and existing vegetation on the primary road frontage. When combined with the single storey nature of the buildings sought or currently on site the proposed development would result in extremely limited views of any of the buildings on site. Further noting that the proposed dwelling is clad with suitable material and finishes and each building provides a suitable setback from the public realm and other private properties.

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#### Overlays

##### Environment and Food Production Area

Desired Outcomes	
DO1	Protection of valuable rural, landscape, environmental and food production areas from urban encroachment.
Performance Outcomes (PO) & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria	
N/A	

This particular overlay relates to ensuring that land division is undertaken in accordance with Section 7 of the *Planning, Development and Infrastructure Act, 2016*. As the proposal is not seeking for division of land it is not applicable.

##### Hazards (Bushfire- High Risk) Overlay

Desired Outcomes	
DO1	Development, including land division is sited and designed to minimise the threat and impact of bushfires on life and property with regard to the following risks: <ul style="list-style-type: none"><li>• Potential for uncontrolled bushfire events taking into account the increased frequency and intensity of bushfires as a result of climate change</li><li>• High levels and exposure to ember attack</li><li>• Impact from burning debris</li><li>• Radiant heat</li><li>• Likelihood and direct exposure to flames from a fire front.</li></ul>
DO2	Activities that increase the number of people living and working in the area or where evacuation would be difficult is sited away from areas of unacceptable bushfire risk.
DO3	To facilitate access for emergency service vehicles to aid the protection of lives and assets from bushfire danger.
Performance Outcomes (PO) & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria	
PO 1.1 & DPF 1.1, PO 2.1 & DPF 2.1, PO 3.1 & DPF 3.1, PO 4.1 & DPF 4.1, PO 4.2 & DPF 4.2, PO 4.3 & DPF 4.3, PO 6.1 & DPF 6.1, PO 6.2 & DPF 6.2, PO 6.3 & DPF 6.3	

As the proposed development seeks to introduce new habitable and residential land uses a statutory referral to the Country Fire Service (CFS) was required to be undertaken as a part of the applications assessment process in accordance with the Procedural Matters table within the overlay. The CFS have since returned their comments, outlining their support for the proposal. There were also a number of conditions returned to be placed on a potential approval. These have been included within this report (Refer Recommended Conditions 17 to 20).

In regards to the provisions within this particular overlay it is noted that in accordance with PO 1.1 that the buildings do not appear to be located in a particular area that may pose an unacceptable bushfire risk.



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PO 4.1 seeks for residential and tourist accommodation type developments to be sited in portions of the site that are flatter and to site these buildings away from steep slopes. In the case of this provision, it is considered that the buildings have been thoughtfully sited in areas where the ground is already relatively flat or previous benching has occurred.

PO 4.2 similarly relates to siting and seeks for these residential and tourist accommodation type uses to be sited in areas away from vegetated areas that may pose an elevated bushfire risk. In the case of this proposal it is considered that DPF 4.2 seeks for an asset protection zone of at least 50 metres to unmanaged grassland. In the case of this proposal it is noted that there is only a 33m setback to the northern allotment boundary however, the CFS have returned their referral comments and provided a condition around asset protection zones supporting the proposal.

PO 4.3 of the overlay seeks for habitable forms of development to have dedicated areas that can accommodate bushfire protection systems and an all-weather hardstand area. As a part of the proposal the applicant has provided fire protection amenities in accordance with the *Ministerial Building Standard MBS 008 - Designated bushfire prone areas - additional requirements* and it is further noted that the CFS referral comments have included a condition based around the provision of these amenities and hardstand area.

The CFS have also looked at the access arrangements for the site and have advised that they support the access arrangements subject to compliance with the recommended condition. The proposal therefore satisfies PO's 6.1, 6.2 and 6.3 of the overlay.

#### Hazards (Flooding – Evidence Required) Overlay

Desired Outcomes	
DO1	Development adopts a precautionary approach to mitigate potential impacts on people, property, infrastructure and the environment from potential flood risk through the appropriate siting and design of development.
Performance Outcomes (PO) & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria	
PO 1.1 & DPF 1.1	

In the case of the Flooding - Evidence required overlay it is considered that the site does not exist in an area that is subject to flooding.

#### Limited Land Division Overlay

Desired Outcomes	
DO1	The long term use of land for primary production is maintained by minimising fragmentation through division of land.
Performance Outcomes (PO) & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria	
N/A	

The proposal does not seek for division of the site and therefore it is considered that this overlay and the associated provisions are not relevant to this assessment.

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#### Mount Lofty Ranges Water Supply Catchment (Area 1) Overlay

Desired Outcomes	
DO1	Safeguard Greater Adelaide's public water supply by ensuring development has a neutral or beneficial effect on the quality of water harvested from primary reservoirs or diversion weir catchments from the Mount Lofty Ranges.
Performance Outcomes (PO) & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria	
PO 1.1 & DPF 1.1, PO 2.2 & DPF 2.2, PO 2.3 & DPF 2.3, PO 2.4 & DPF 2.4, PO 3.1 & DPF 3.1, PO 3.2 & DPF 3.2, PO 3.9 & DPF 3.9, PO 4.1 & DPF 4.1	

The Overlay puts a high emphasis on ensuring that the development does not impact on the quality of water draining from the site by ensuring that maintains a neutral or beneficial impacts. As part of the proposal a new wastewater system was designed for the tourist accommodation component of the application. This was reviewed and approved by Council's Environmental Health Unit. Further review was also undertaken by the EPA as part of a referral process who approved the design as it was demonstrated that a neutral or beneficial environmental impact was achieved. The proposal therefore satisfies POs 1.1 2.2, 2.3 and 2.4.

Given the size of the subject land and the location of the proposed dwelling it is accepted that all stormwater from the new dwelling can effectively be managed on site via water storage tanks which will satisfy the requirements of POs 3.1, 3.2 and 3.9.

#### Native Vegetation Overlay

Desired Outcomes	
DO1	Areas of native vegetation are protected, retained and restored in order to sustain biodiversity, threatened species and vegetation communities, fauna habitat, ecosystem services, carbon storage and amenity values.
Performance Outcomes (PO) & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria	
PO 1.1 & DPF 1.1, PO 1.2 & DPF 1.2	

The proposal sought for the removal of native vegetation and therefore was subject to obtaining a native vegetation data report to determine a level of clearance that would be required to be undertaken to accommodate the proposed dwelling.

The report noted a clearance level of three (3) which triggered the requirement for a statutory referral to the Native Vegetation Council. A total area of 0.06 hectares of native vegetation is sought to be removed to accommodate the new dwelling.

As a part of the referral process the Native Vegetation Council have since returned their comments and provided support for the proposal with conditions to be placed on a potential approval (refer recommended conditions 9 to 16) and an offset payment of \$1,165.25 to be paid to the Native Vegetation Council.

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#### Prescribed Water Resources Overlay

Desired Outcomes	
DO1	Sustainable water use in prescribed water resources areas maintains the health and natural flow paths of surface water, watercourses and wells.
Performance Outcomes (PO) & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria	
N/A	

This overlay relates to sustainable water use through water licensing for certain forms of development including horticulture, activities that require irrigation, aquaculture, industry, intensive animal keeping and commercial forestry. The subject proposal seeks for none of these elements and is therefore considered to not be applicable.

#### Water Resources Overlay

Desired Outcomes	
DO1	Protection of the quality of surface waters considering adverse water quality impacts associated with projected reductions in rainfall and warmer air temperatures as a result of climate change.
DO2	Maintain the conveyance function and natural flow paths of watercourses to assist in the management of flood waters and stormwater runoff.
Performance Outcomes (PO) & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria	
PO 1.1 & DPF 1.1, PO 1.2 & DPF 1.2, PO 1.5 & DPF 1.5, PO 1.6 & DPF 1.6, PO 1.7 & DPF 1.7, PO 1.8 & DPF 1.8	

It is noted that the site does not possess a watercourse, nor is there a watercourse within the immediate locality that may be impacted by the proposal and the associated built form.

#### General Development Policies

##### Clearance from Overhead Powerlines

Desired Outcomes	
DO1	Protection of human health and safety when undertaking development in the vicinity of overhead transmission powerlines.
Performance Outcomes (PO) & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria	
PO 1.1 & DPF 1.1	

A declaration was submitted by the applicant at the time of lodgement that the proposal would not be contrary to the regulations prescribed for the purposes of section 86 of the Electricity Act 1996. Therefore PO 1.1 is considered to be satisfied by way of achieving DPF 1.1 (a).

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#### Design

Desired Outcomes	
DO1	<p>Development is:</p> <ul style="list-style-type: none"><li>• Contextual - by considering, recognising and carefully responding to its natural surroundings or built environment and positively contributes to the character of the immediate area</li><li>• Durable - fit for purpose, adaptable and long lasting</li><li>• Inclusive - by integrating landscape design to optimise pedestrian and cyclist usability, privacy and equitable access, and promoting the provision of quality spaces integrated with the public realm that can be used for access and recreation and help optimise security and safety both internally and within the public realm, for occupants and visitors</li><li>• Sustainable - by integrating sustainable techniques into the design and siting of development and landscaping to improve community health, urban heat, water management, environmental performance, biodiversity, and local amenity and to minimise energy consumption.</li></ul>
Performance Outcomes (PO) & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria	
PO 6.1 and DPF 6.1, PO 8.1 and DPF 8.1, PO 11.1 and DPF 11.1, PO 10.1 & DPF 10.1, PO 10.2 & DPF 10.2, PO 11.2 and DPF 11.2, PO 12.1 and DPF 12.1, PO 14.1 and DPF 14.1, PO 15.1, PO 17.1 and DPF 17.1, PO 19.1 and DPF 19.1	

The proposed development seeks for a single storey detached dwelling of a size and scale that is relatively commonplace within more rural type allotments given the generous site areas. It is considered that the dwelling sought is in compliance with the policies outlined within this design section relating to front elevations/passive surveillance, outlook and amenity, garage appearance, massing and private open space.

The Design section also notes policies relating to the potential for overlooking and how to mitigate that potential. In the case of the proposal, the dwelling is single storey in nature and does not possess any balconies or decks. Therefore, these two policies, PO 10.1 and 10.2, are considered to not be applicable.

In regard to PO 6.1 it is sought that any part of the site to be utilised as a wastewater disposal area is not included within areas that are considered to be private open space. In this instance the site allows for ample private open space and is therefore meeting the PO 6.1.

The proposal complies with PO 8.1 by having the majority of earthworks required within this application form the internal driveway that will service the new dwelling on site. As a part of these earthworks it is noted that the level of excavation will not exceed 1 metre in cut or 1 metre in fill and will not exceed a total of 2 metres in line with DPF 8.1.

Further noting that PO 8.3 seeks for driveways and access tracks to be designed in a manner that integrates with the natural topography of the land. In the case of the proposal it is considered that there will not be any portion of the internal access track that unduly impacts on the natural topography of the land.

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#### Infrastructure and Renewable Energy Facilities

Desired Outcomes	
DO1	Efficient provision of infrastructure networks and services, renewable energy facilities and ancillary development in a manner that minimises hazard, is environmentally and culturally sensitive and manages adverse visual impacts on natural and rural landscapes and residential amenity.
Performance Outcomes (PO) & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria	
PO 11.1 & DPF 11.1, PO 12.1 & DPF 12.1, PO 12.2 & DPF 12.2	

The subject site has sufficient access to SA Water mains and the proposed dwelling will be attached to that main, complying with PO 11.1

It is considered that the proposal will be compliant with PO 12.1 and PO 12.2 by being serviced by an on-site wastewater management system.

#### Interface between Land Uses

Desired Outcomes	
DO1	Development is located and designed to mitigate adverse effects on or from neighbouring and proximate land uses
Performance Outcomes (PO) & Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria	
PO 1.1 & DPF 1.1, PO 1.2 & DPF 1.2, PO 3.1 & DPF 3.1, PO 3.2 & DPF 3.2, PO 3.3 & DPF 3.3, PO 9.3 & DPF 9.3, PO 9.4 & DPF 9.4, PO 9.5 & DPF 9.5	

The proposed development seeks for a dwelling that is single storey in nature, PO's 3.1, 3.2 and 3.3 relate to the potential for overshadowing to have impacts on neighbouring properties. In this case it is considered that the nearest neighbouring dwelling is approximately 120 metres away and therefore there is no overshadowing impact.

The remainder of the policies within this section relate to how certain development types will interact with rural activities. In this case the proposed tourist accommodation use and dwelling are located over 200 metres away from the nearest horticultural use. The use itself possesses an aspect of farming (*cattle grazing and existing pear orchard*) however the proposed tourist accommodation use and new dwelling will not cause any impacts for the continuance of that use and the similar uses in the immediate locality of the site. The proposal is considered to comply with POs 9.1 and 9.2.

POs 9.3, 9.4 and 9.5 are all met by way of there not being any land based aquaculture, solid waste storage and handling/storage of bulk commodities.

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#### Site Contamination

<b>Desired Outcomes</b>	
DO1	Ensure land is suitable for the proposed use in circumstances where it is, or may have been, subject to site contamination.
<b>Performance Outcomes (PO) &amp; Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria</b>	
PO 1.1 & DPF 1.1	

PO 1.1 of this section notes that land should be suitable for use when altered to proposed a more sensitive land use. In accordance with the Land Use Sensitivity Hierarchy table the land use will not be changing to a more sensitive use. Therefore, it is considered that the proposal is compliant with PO 1.1 by way of meeting DPF 1.1 (b)

#### Tourism Development

<b>Desired Outcomes</b>	
DO1	Tourism development is built in locations that cater to the needs of visitors and positively contributes to South Australia's visitor economy.
<b>Performance Outcomes (PO) &amp; Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria</b>	
PO 1.1 & DPF 1.1, PO 1.2 & DPF 1.2	

PO 1.1 of the Tourism Development section seeks for development that complements and contributes to local, natural, cultural, and historic context. In the case of this proposal is broadly compliant with the policy in that the tourist accommodation aspect will showcase South Australian produce by being in association with the Wagyu heifer breeding, allowing for tourists to experience farm stays, farm to table dining and other interactive activities on the site.

PO 1.2 of the Tourism Development section is not considered to be relevant to the assessment as there is not multiple units being utilised for the tourism accommodation use.

#### Transport, Access and Parking

<b>Desired Outcomes</b>	
DO1	A comprehensive, integrated and connected transport system that is safe, sustainable, efficient, convenient and accessible to all users.
<b>Performance Outcomes (PO) &amp; Deemed to Satisfy (DTS)/Designated Performance Feature (DPF) criteria</b>	
PO 1.4 & DPF 1.4, PO 3.1 & DPF 3.1, PO 3.5 & DPF 3.5, PO 5.1 & DPF 5.1, Table 1 - General off-street car parking requirements	

The proposed application does not seek for any additional crossovers onto Paracombe Road, nor does it seek to substantially alter the existing crossover. It is considered that the proposal will comply with PO 3.1 as it will gain access through a lawfully created crossover. Noting that the rest of the policies within this section relate to the creation of new access points.

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On-site car parking has been undertaken in accordance with *Table 1 - General Off-Street Car Parking Requirements* noting that the proposed dwelling will possess two (2) undercover car parking spaces within the garage under the main roof.

The proposed tourist accommodation unit will have one (1) car parking space available on the internal driveway. Therefore the proposal is considered compliant with PO 5.1

### **CONSIDERATION OF SERIOUSLY AT VARIANCE**

The proposal is not considered to be seriously at variance with the provisions within the Planning and Design Code.

The Productive Rural Landscape Zone envisages tourist accommodation uses within the zone when in association with primary production uses on the same site. In this instance it is noted that the tourist accommodation aspect of development will be undertaken in conjunction with a primary activity, complying with PO 6.3 of the Productive Rural Landscape Zone.

Dwellings are also envisaged within the Productive Rural Landscape Zone. In the case of this proposal, it will not result in more than one (1) dwelling on the allotment and it is broadly consistent with the Zone's policies relating to siting and design, notably PO 5.1 and 5.2 respectively.

The proposal is in general compliance with the associated policies included in the overlays, notably with the Hazards (Bushfire - High Risk) and the Mount Lofty Ranges Water Supply Catchment (Area 1). The intent and nature of the proposal are considered to be in compliance with the objective of the Productive Rural Landscape Zone the associated policies applicable to the site.

### **CONCLUSION**

The proposal seeks for the construction of a single storey detached dwelling & associated landscaping and change of use of existing dwelling to tourist accommodation. The subject site is located within the Productive Rural Landscape zone, in a locality where many sites are of a rural residential nature with primary production uses on the land.

The application proposes a new dwelling, single storey in nature with design elements and features that are in compliance with the applicable policies within the Productive Rural Landscape Zone and the Design section of the General Development Policies. Further the proposal includes establishment of lawn surrounding the dwelling on the portion of the site previously cleared.

The tourist accommodation use seeks to be undertaken in an existing building on site, showing intent for adaptive re-use. The use will be in association with a primary production related value-adding activity and the use will allow for authentic visitor experiences surrounding that primary production use.

The proposal is not considered to be seriously at variance with any of the applicable policies within the Planning & Design Code, 2021 and therefore adequately addresses all relevant zone, overlay and general development policies.

### **RECOMMENDATION**

**It is recommended that the Council Assessment Pane resolve that:**

- 1) Pursuant to Section 107(2)(c) of the Planning, Development and Infrastructure Act 2016, and having undertaken an assessment of the application against the Planning and Design Code, the application is NOT seriously at variance with the provisions of the Planning and Design Code; and**

**ITEM 8.1**

- 2) Development Application Number 23034790 by David Crawford for the construction of a single storey detached dwelling & associated landscaping and change of use of existing dwelling to tourist accommodation at 644 Paracombe Road, Paracombe is granted Planning Consent subject to the following conditions.

**CONDITIONS**

**Planning Consent**

- 1) The development granted shall be undertaken and completed in accordance with the stamped plans and documentation, except where varied by conditions below.
- 2) All external lighting shall be directed away from residential development and shielded if necessary to prevent light spill causing nuisance to the occupiers of those residential properties.
- 3) Flood lighting shall be restricted to that necessary for security purposes only and shall be directed and shielded in such a manner as to not cause nuisance to adjacent properties.
- 4) All external materials and finishes shall be of subdued colours and of a low-light reflective nature which blend with the natural features of the landscape.

**NOTE: browns, greys, greens and beige are suitable and galvanised iron and zincalume are not suitable.**

- 5) All exposed excavations and fill shall be:
  - rounded off and battered to match and blend with the natural contours of the land;
  - covered with approximately 100mm of topsoil;
  - seeded to avoid erosion and visual concerns ; and
  - screened with trees, shrubs and ground coversAll works must be completed prior to occupation of the approved development to the reasonable satisfaction of Council.
- 6) Prior to commencement of work, straw bales (or other soil erosion control methods as approved by Council) shall be placed and secured below areas of excavation and fill to prevent soil moving off the site during construction.
- 7) All roof runoff generated by the development hereby approved shall be managed on-site to the satisfaction of Council within one month of the roof cladding being installed using design techniques such as:
  - Rainwater tanks
  - Grassed swales
  - Stone filled trenches
  - Small infiltration basins

**Stormwater overflow management shall be designed so as to not permit trespass into the effluent disposal area. All stormwater including hard surface runoff shall be managed on site with no stormwater to trespass onto adjoining properties.**

- 8) Upon commencement of occupancy of the approved dwelling, the person(s) having the benefit of this consent shall refrain from permitting the use of the approved tourist accommodation (or any part thereof) for provision long term accommodation or as a separate dwelling. The tourist accommodation shall be used and operated on a short term rental arrangement with a maximum of a ninety day stay per occupancy.



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A logbook shall be kept of all occupancies for each calendar year and made available for inspection by the Council upon request.

Conditions imposed by Native Vegetation Council under Section 122 of the Act

- 9) Prior to any clearance of native vegetation, the Native Vegetation Council must provide written confirmation that the Significant Environmental Benefit requirements under the *Native Vegetation Act 1991* have been satisfied.
- 10) No clearance to occur until the full Development Approval has been provided to the Native Vegetation Branch for Decision Notification that approves the clearance of native vegetation.
- 11) Clearance areas are to be defined with barriers, pegs, flags or temporary fencing to ensure that native vegetation outside the approved area is not damaged.
- 12) Native Vegetation and trees retained in close proximity to the construction activity zone are to be protected with barriers (i.e. fencing or flagging) in accordance with the Australian Standard for Protection of Trees on Development Sites AS 4970-2009.
- 13) Stockpiled materials, including cleared vegetation and excavated soil is not to be placed under native trees or on top of native understorey outside the approved area.
- 14) Construction vehicles, equipment or materials are not to be stored or placed on top of native vegetation outside the approved clearance area.
- 15) Construction vehicles, equipment or materials are not to be stored or placed within the Tree Protection Zone of retained trees.
- 16) Follow and comply all conditions set out in Decision Notification 2024/3173/473.

Conditions imposed by South Australian Country Fire Service under Section 122 of the Act

#### 17) SITING (ANCILLARY STRUCTURES)

The 'Planning and Design Code' Hazards (Bushfire – High Risk) Overlay (Performance Outcome 3.2) details the mandatory requirements for extensions to buildings, outbuildings and other ancillary structures are sited and constructed using materials to minimise the threat of fire spread to residential and tourist accommodation (including boarding houses, hostels, dormitory style accommodation, student accommodation and workers' accommodation) in the event of bushfire.

- Outbuildings and other ancillary structures shall be sited no closer than 6m from the habitable buildings, unless built to relevant building standards for associated structures in Bushfire Prone Areas. This includes future structures which may or may not require planning and/or building consent including (but not limited to) garden sheds, animal shelters and cubby houses.

#### 18) ACCESS TO HABITABLE BUILDING

The 'Planning and Design Code' Hazards (Bushfire – High Risk) Overlay (Performance Outcome 6.2) details the mandatory requirements for 'Private' roads and driveways to facilitate safe and effective use, operation and evacuation for firefighting and emergency personnel and evacuation of residents, occupants and visitors where required. These requirements apply when the furthest point of the building is more than 60m from the nearest public road.

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### ITEM 8.1

SA CFS has no objection to the proposed access driveway as detailed on drawing named ENLARGEMENT 2- SITE PLAN dated at last revision JULY 2024, with the following conditions:

- The driveway shall be connected to a formed, all-weather public road with the transition area between the road and driveway having a gradient of not more than 7 degrees (1-in-8).
- Access to each building site shall be of all-weather construction, with a minimum formed road surface width of 3 metres and must allow forward entry and exit for large fire-fighting vehicles, to within 60m of the furthest point of each building.
- Where the gradient of the driveway is steeper than 12 degrees (1-in-4.5) the minimum formed road surface shall be 4 metres.
- The all-weather road shall allow fire-fighting vehicles to safely enter and exit the allotment in a forward direction by incorporating either –
  1. A loop road around the building, OR
  2. A turning area with a minimum radius of 12.5 metres, OR
  3. A 'T' or 'Y' shaped turning area with a minimum formed length of 11 metres (for each 'leg') and minimum internal radii of 9.5 metres OR
  4. A 'U' shaped 'drive-through' option.
- Private access shall have minimum internal radii of 9.5 metres on all bends.
- Private access shall provide overhead clearances of not less than 4.0m horizontally and vertically between the driveway surface and overhanging branches or other obstructions, including buildings and/or structures.
- Vegetation to be established along the access road shall be carefully selected and designed in accordance with the following:
  1. No understorey vegetation shall be established either side of the access road (understorey is defined as plants and bushes up to 2 metres in height),
  2. Grasses shall be reduced to a maximum height of 10cm for a distance of 3 metres (or to the property boundary, whichever comes first).
  3. Mature trees with a single stem habit, are permitted within this fuel reduced zone, providing they are maintained to achieve a minimum vehicular clearance of not less than 4 metres in width and a vertical height clearance of 4 metres.
- The all-weather road shall incorporate passing bays. The combined width of the passing bay and access track shall be 6 metres, and a minimum formed length of 17 metres. The passing bays should be constructed at 200 metre intervals along the road or driveway. Where it is necessary to provide adequate visibility, such as the nearest point to the public road or other passing bay, passing bays may be required at intervals of less than 200 metres.
- The gradient of the access road shall not exceed 16 degrees (1-in-3.5) at any point along the driveway. In steep terrain exceeding 10 degrees (1-in-5.5) the surface should be sealed.
- The cross fall of the driveway shall be not more than 6 degrees (1-in-9.5) at any point along the driveway.
- The all weather road is to be constructed such that it is protected from water erosion of the traffic surface. The road surface shall be profiled to manage storm water run off to appropriate drains, at one or both sides of the traffic surface. The accumulated volumes of water shall be directed via:
  1. open drains; or
  2. culverts and pipes under the traffic surface, and / or away from same, without causing further soil erosion, silting of adjacent areas or water courses or instability of any embankment or cutting.
- Solid crossings over waterways shall be provided to withstand the weight of large bushfire appliances (GVM 21 tonnes).

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19) WATER SUPPLY & ACCESS (to dedicated water supply)

Ministerial Building Standard MBS008 “Designated bushfire prone areas - additional requirements” 2020, as published under the Planning, Development and Infrastructure Act 2016, provides the technical details of the dedicated water supply for bushfire fighting for the bushfire zone. The dedicated bushfire fighting water supply shall also incorporate the installation of a pumping system, pipe-work and fire-fighting hose(s) in accordance with MBS008.

*Please note that where the water supply is an above-ground water tank, the tank (including any support structure) should be constructed of non-combustible material, such as concrete or metal.*

The 'Planning and Design Code' Hazards (Bushfire – High Risk) Overlay (Performance Outcome 4.3) details the mandatory requirements for the site to provide a dedicated hardstand area in a location that allows fire fighting vehicles to safely access the dedicated water supply.

*Where a water storage facility is required to have a fire authority fitting, the following will apply:*

SA CFS has no objection to the proposed locations for the dedicated water supply as detailed on drawing named ENLARGEMENT 2- SITE PLAN dated at last revision JULY 2024, providing each supply has an outlet is positioned to comply with the following conditions:

- The water supply outlet shall be easily accessible and clearly identifiable from the access way and is no greater than 60m path of travel to the furthestmost point of the building, to enable fire services to reach all parts of the building with no more than two lengths of hose from the hardstand area.
- The dedicated water supply and its location should be identified with suitable signage (i.e. blue sign with white lettering “FIRE WATER”).
- Access to the dedicated water supply shall be of all-weather construction, with a minimum formed road surface width of 3 metres.
- Provision shall be made adjacent the water supply for a nominally level hardstand area (capable of supporting fire-fighting vehicles with a gross vehicle mass (GVM) of 21 tonnes) that is a distance equal to or less than 6 metres from the water supply outlet.
- SA CFS appliance’s inlet is rear mounted; therefore the outlet/water storage shall be positioned so that the SA CFS appliance can easily connect to it rear facing.
- A gravity fed water supply outlet may be remotely located from the above ground tank to provide adequate access.
- All non-metal water supply pipes for bushfire fighting purposes (other than flexible connections and hoses for fire-fighting) shall be buried below ground to a minimum depth of 300mm with no non-metal parts above ground level.
- All water supply pipes for draughting purposes shall be capable of withstanding the required pressure for draughting.
- The minimum water supply required may be combined with domestic use, providing the outlet for domestic use is located above the dedicated fire water supply (in order for it to remain as a dedicated supply).

20) MAINTAIN AN ASSET PROTECTION ZONE (APZ) - VEGETATION MANAGEMENT

The 'Planning and Design Code' Hazards (Bushfire – High Risk) Overlay (Performance Outcome 4.2) details the mandatory requirements to establish and maintain an asset protection zone. As such, landscaping shall include bushfire protection features that will prevent or inhibit the spread of bushfires and minimise the risk to life and/or damage to buildings and property and maintain a fuel reduced zone for safe movement of occupants and fire fighters.

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An APZ shall be implemented and maintained in line with the vegetation management conditions below:

- Vegetation management shall be established and maintained within 20 metres of the habitable building (or to the property boundaries – whichever comes first) as follows:
  1. The number of trees and understorey plants existing and to be established within the APZ shall be reduced and maintained such that when considered overall a maximum coverage of 30% is attained, and so that the leaf area of shrubs is not continuous. Careful selection of the vegetation will permit the ‘clumping’ of shrubs where desirable, for diversity, and privacy and yet achieve the ‘overall maximum coverage of 30%’.
  2. Reduction of vegetation shall be in accordance with SA Native Vegetation Act 1991 and SA Native Vegetation Regulations 2017.
  3. Trees and shrubs shall not be planted closer to the building(s) than the distance equivalent to their mature height.
  4. Trees and shrubs must not overhang the roofline of the building, touch walls, windows or other elements of the building.
  5. Shrubs must not be planted under trees or must be separated by at least 1.5 times their mature height from the trees’ lowest branches.
  6. Grasses within the zone shall be reduced to a maximum height of 10cm during the Fire Danger Season.
  7. No understorey vegetation shall be established within 2 metres of the habitable building (understorey is defined as plants and bushes up to 2 metres in height).
  8. Flammable objects such as plants, mulches and fences must not be located adjacent to vulnerable parts of the building such as windows, decks and eaves
  9. The APZ shall be maintained to be free of accumulated dead vegetation.

Conditions imposed by Environment Protection Authority under Section 122 of the Act

- 21) The on-site wastewater systems must be installed in accordance with the details and plans contained within the *Wastewater Calculation Package* prepared by Bentley Consulting, marked Job Number BC230630 (Rev C), dated 18 December 2024 and must include:
  - a) the installation of two Fuji Clean Australia ACE 1200 systems
  - b) the construction of a 250m<sup>2</sup> irrigation area, vegetated with shrubs and trees to service the proposed tourist accommodation, and the construction of a 500m<sup>2</sup> subsurface irrigation area, vegetated with lawn to service the dwelling. Both irrigation areas are to be located more than 50 metres from the nearest watercourse, dam or bore; more than 1.2 metres from the seasonal groundwater table; on a slope less than 20%; and not in the 10% AEP flood zone
  - c) regular maintenance of the vegetation in the irrigation areas, including mowing and pruning with all clippings to be removed from site, and
  - d) bunding to direct surface runoff away from the irrigation areas and creating a bund downhill to prevent any runoff, from over-irrigation, moving off site.

ADVISORY NOTES

General Notes

- 1) No work can commence on this development unless a Development Approval has been obtained. If one or more consents have been granted on this Decision Notification Form, you must not start any site works or building work or change of use of the land until you have received notification that Development Approval has been granted.

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- 2) Appeal rights – General rights of review and appeal exist in relation to any assessment, request, direction or act of a relevant authority in relation to the determination of this application, including conditions.
- 3) This Planning Consent is valid for a period of twenty-four (24) months commencing from the date of the decision, subject to the below or subject to an extension having been granted by the relevant authority. If applicable, Building Consent must be obtained prior to expiration of the Planning Consent.
- 4) Where an approved development has been substantially commenced within 2 years from the operative date of approval, the approval will then lapse 3 years from the operative date of the approval (unless the development has been substantially or fully completed within those 3 years, in which case the approval will not lapse).
- 5) This consent is strictly limited to works on the subject land. This consent does not permit any alteration to road verge. Works including tree pruning/removal, earthworks, kerbing, storage of material or any alteration to the verge or a reserve requires a separate approval under Section 221 of the *Local Government Act 1999*. For more information regarding this process please visit: <https://www.ahc.sa.gov.au/development/roads-and-construction/authorisation-to-alter-a-public-road>

Advisory Notes imposed by Native Vegetation Council under Section 122 of the Act

- 6) Prior to any clearance of native vegetation occurring in relation to this development application, the applicant must submit an application to and gain the approval of the Native Vegetation Council under the Native Vegetation Act 1991. The application is to be submitted at the following site - <https://apps.environment.sa.gov.au/nvmu/> and must be accompanied by the report prepared by the Accredited Consultant provided with this development application.
- 7) The clearance of native vegetation must be undertaken in accordance with the approval of the Native Vegetation Council under the *Native Vegetation Act 1991* as set out in Decision Notification 2024/3173/473.

Advisory Notes imposed by South Australian Country Fire Service under Section 122 of the Act

- 8) **BUILDING CONSIDERATIONS**  
Ministerial Building Standard MBS008 “Designated bushfire prone areas - additional requirements” 2020, as published under the Planning, Development and Infrastructure Act 2016 applies to this site.

Please refer to the National Construction Code (NCC), relevant standards and state provisions for construction requirements and performance provisions.

A site Bushfire Attack Level (BAL) assessment was conducted in accordance with the NCC and Australian Standard™3959 (AS3959) “Construction of Buildings in Bushfire Prone Areas”.

**NEW DWELLING**

Category of Bushfire Attack Level: BAL 19

This BAL rating is conditional upon the establishment and maintenance of a 20 metre Asset Protection Zone, in accordance with the Asset Protection Zone – Vegetation Management condition of consent placed on the planning consent with the same application reference.

**EXISTING DWELLING (PROPOSED TOURIST ACCOMMODATION)**

Category of Bushfire Attack Level: BAL 29

ITEM 8.1

This BAL rating is conditional upon the establishment and maintenance of a 20 metre Asset Protection Zone, in accordance with the Asset Protection Zone – Vegetation Management condition of consent placed on the planning consent with the same application reference.

SA CFS acknowledges there are no proposed building works included in this application for this building. SACFS conducted an assessment of the BAL to inform consideration of PO 4.2 (tourist accommodation sited away from vegetated areas that pose an unacceptable bushfire risk).

This result is considered relevant at the date of assessment with respect to the elevations detailed on Planning Report Dwelling and Tourist Accommodation 644 Paracombe Road, Paracombe dated July 2024 and shall not be considered as SA CFS endorsement of any subsequent development.

9) TOURIST ACCOMMODATION - BUSHFIRE SURVIVAL PLAN

CFS further recommends:

- The applicants to prepare and display a BUSHFIRE SURVIVAL PLAN (BSP) designed specifically for the purpose of any guests that may be in residence during a bushfire event, especially during the Fire Danger Season. The BSP:
  1. should provide clear directions to persons that may be unfamiliar with the area/locality and unfamiliar with what protective actions they may need to take to protect their lives during a bushfire event, including when to take such protective actions; and
  2. should address the possibility that the owners may not be present at the time of the bushfire event; and
  3. should not expect guests to be involved in fire-fighting operations.

The SA CFS 'Bushfire Safety Guide For Business' document (refer to CFS website) should be utilised as a basis for information and the drafting of the (GUEST) BSP.

The applicant should consider reducing operating hours and restrictions on days of heightened bushfire danger and/or bushfire events and consider including any alterations to bookings and services offered due to actual or predicted conditions during the Fire Danger Season in any booking/refund policy.

Advisory Notes imposed by Environment Protection Authority under Section 122 of the Act

10) The applicant/owner/operator are reminded of its general environmental duty, as required by section 25 of the *Environment Protection Act 1993*, to take all reasonable and practicable measures to ensure that activities on the site and associated with the site (including during construction) do not pollute the environment in a way which causes or may cause environmental harm. Reasonable and practicable measures may include (but not be limited to):

- constructing the new dwelling in a manner that prevents erosion and soil transport to the nearby watercourses and dams, or off the property
- minimising soil exposure and disturbance, and controlling and minimising surface runoff entering or leaving the disturbed areas. This may be achieved by installing and maintaining sediment and erosion control devices, appropriately managing any stockpiles and rehabilitating disturbed areas as soon as is practicable.

More information about the Environment Protection Authority and the Environment Protection Act and policies can be found at: [www.epa.sa.gov.au](http://www.epa.sa.gov.au)

**CAP MEETING – 12 March 2025**

**ITEM 8.1**

**OFFICER MAKING RECOMMENDATION**

**Name:** Doug Samardzija  
**Title:** Senior Statutory Planner

29 July 2024

Doug Samardzija  
Adelaide Hills Council  
Via: PlanSA Portal

Our Ref: 53307LET02

Dear Doug

**Response to Council's further information request letter  
Development Application ID: 23034790**

MasterPlan has been engaged by David Crawford to assist in the response to Council's further information request letter dated 15 July 2024. Please find our response below, along with the following additional plans uploaded to the PlanSA Portal in support of our response:

- Landscaping Plan provided by David Crawford
- Amended site plan provided by MasterPlan
- Amended floor plan provided by MasterPlan

- 1 Demonstrate that the waste control system has been approved. Whilst you have sent the wastewater application to Councils Health Department, the requested application fee has been outstanding since 15 December 2023. Wastewater application will need to be approved to satisfy this part of the RFI.**

Please note that this has now been paid by our client.

- 2 Council requires further information on the proposed cattle grazing and feeding. Some of the additional information required includes:**
  - (a) Council requires further justification that this is still a commercial primary production land use. Currently there are only 4 cattle with the envisaged maximum number to be 16. How would this be considered a commercial primary production use to ensure that the proposed tourist accommodation satisfies PO 6.3 which seeks tourist accommodation with primary production use.**





Please note that PO 6.3 does not refer to 'commercial' primary production, the Performance Outcome refers to 'tourist accommodation' in association '*with the primary use of the land for primary production*'. As referenced in the Planning report, the primary use of the land will remain primary production in the form of breeding heifers. In terms of the scale of the breeding, our client offers the following summary:

*'With 8 breeding heifers, this will provide the ability to have 8 cows available for sale every 18 months, which conservatively for wagyu can fetch from \$8,000 to \$12,000, or \$64K to \$96K total annually, clearly showing the intent to make a profit. This represents a commercial scale and demonstrates via the business plan the ability of how this can be achieved as per ATO guidelines for primary production.'*

**(b) In addition to the above, further justification is required how the cattle grazing provides authentic visitor experience.**

Tourist accommodation will be associated with breeding Wagyu cattle through agritourism, where tourists experience farm life and participate in activities related to cattle breeding.

Farm stay - Tourists will stay on location where Wagyu cattle are bred, giving them a firsthand look at the breeding process, daily care, and maintenance of the cattle. The accommodation provides views of the farm, ensuring a comfortable yet immersive experience.

Culinary Experiences - by Incorporating Wagyu beef into produce provided at the accommodation, tourists can enjoy farm-to-table dining experiences, that highlight the distinct flavour and quality of Wagyu beef.

Interactive Activities - Allowing guests to participate in feeding, grooming, or simple veterinary care of the cattle. This hands-on experience can be both educational and enjoyable for visitors, deepening their connection to the farm life.

Marketing and Branding - Highlighting the unique experience of staying on a Wagyu breeding farm in promotional materials. This can attract tourists interested in agriculture, food, and unique rural experiences.

By integrating these elements, the tourist accommodation can create a unique and appealing experience that combines leisure with learning about the prestigious Wagyu cattle breeding industry.

**(c) Large portion of the subject land is covered by dense vegetation of which a large portion is native vegetation and is therefore not considered traditional grazing land. What impacts if any would the proposed grazing of land in different paddocks have on native vegetation.**

The site is zoned Primary Production and is supported by an existing PIC number, which allows for the grazing of cattle.



No native vegetation impacts are anticipated. The sustainable approach to grazing of cattle, which utilises paddock rotation, will ensure that the cattle and vegetation work together.

With cattle grazing on the site, it has meant that when gorse has been cut back the cattle have been maintained the area and native trees have thrived.

- (d) **Provide further clarification on the fence element that you state has been added to the proposal. What type of fence is it? Is it over 2.1m in height?**

The fencing will be consistent with the existing fencing on the property, with a height of 900 millimetres, plus 100-millimetre barb wire.

- 3 **Amended floor plan of the existing dwelling is required. The plan doesn't show verandah along the front and the side of the existing dwelling. The verandah will need to be shown on the plan if being retained as it is factored into the floor area calculations or if it is being removed it also need to be shown on the plan as part of the existing structure that is being partially demolished.**

Please find the **attached** amended floor plan which includes the verandah. The amended total floor area equates to 156.9 square metres, marginally over the 150 square metres anticipated in the zone.

- 4 **In relation to tourist accommodation use. Whilst not originally requested can you please provide confirmation of the maximum number of guests staying at any one time and also what is the maximum length of stay proposed per booking?**

The accommodation will support a maximum of 6 guests. Typically, the accommodation will be used for weekend or one week stays. The maximum length will be 3 months.

- 5 **Detail of water supply for the dwelling, minimum supply of 50,000 litres should be provided as envisaged by DPF 11.2 Part 4-General Development Policies-Infrastructure and Renewable Energy Facilities section of the Code. Also, the site plans and site drainage plan need to be consistent regarding the location, number and size of water storage tanks.**

The dwelling will be connected to mains water, which is available along Paracombe Road. We note that PO 11.2 refers to 'Dwellings are connected to a reticulated water scheme or mains water supply with the capacity to meet the requirements of the intended use. Where this is not available an appropriate rainwater tank or storage system for domestic use is provided'. The proposal is compliant with PO 11.2 as no additional water storage is required where mains water is available.



- 6 Part of the new internal access track cuts through a water course. What modification to the water course are required to ensure that the works do not restrict the flow of waters. If a new culvert is proposed, then a more detailed site plan is required detailing the culvert and its location. Please also note that CFS in the RFI letter have also requested that a solid crossings over waterways shall be provided to withstand the weight of large bushfire appliances (GVM 21 tonnes).

Please find the culvert location on the attached site plan, which has already been installed. The culvert incorporates a 600-millimetre concrete pipe with a 9-metre by 2-metre by 0.15-metre 32mpa concrete slab, ensuring it is compliant with the GVM 21 tonne capacity required by the CFS. Please find the culvert depicted in the following photograph:



**Figure 1: views to the north-west of the culvert.**

- 7 Landscaping plan for the fill batters has not been provided as requested. Preference is given to selecting plant species from Council's native habitat and landscaping guides: Native Gardens at Home o Adelaide Hills Council ([ahc.sa.gov.au](http://ahc.sa.gov.au)). Landscaping details provided on the amended plan are just indicative and surrounding the house. Council requires details for the landscaping of the batter area. Landscaping plan should be provided prior to CFS making their assessment to ensure that it is not contrary to their asset protection zone requirements.

Please find the attached landscaping plan which depicts kikuya grass surrounding the dwelling and soft mat-rush across the batter.



We trust this additional information enables assessment of the application to progress. Please do not hesitate to contact me at [stewarth@masterplan.com.au](mailto:stewarth@masterplan.com.au) or 0418 853 601 should further clarification be required.

Yours sincerely

A handwritten signature in blue ink, appearing to read 'Stewart Hocking'.

Stewart Hocking  
MasterPlan SA Pty Ltd



# Planning Report

## Dwelling and Tourist Accommodation

644 Paracombe Road,  
Paracombe, SA 5132

July 2024

# Planning Report

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644 Paracombe Road,  
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July 2024

**MasterPlan SA Pty Ltd**  
ABN 30 007 755 277

33 Carrington Street  
Adelaide SA 5000  
Australia

(08) 8193 5600

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## **1 Introduction**

MasterPlan SA have been engaged by Dave Crawford ('our client') to review and prepare supporting documentation to accompany the lodgement of an application for the construction of a dwelling and the change of land use of the existing dwelling to tourist accommodation, located at 644 Paracombe Road, Paracombe SA 5132 ('the subject site').

The subject site is located within the Productive Rural Landscape Zone as designated by the Planning and Design Code (2023.16-09/11/2023). A dwelling and tourist accommodation are each performance assessed forms of development.

Following an assessment of the proposal against the relevant policies of the Code, we have formed the view that it represents an appropriate form of development and warrants the granting of planning consent.



## **2 Site and Locality**

The subject site has an area of approximately 10.6 hectares, is generally rectangular in shape, of an east-west orientation and has an irregular frontage to Paracombe Road to the west. The site is approximately 120 metres from Tilmouth Road to the east, and approximately 400 metres from the intersection of Paracombe Road and North East Road to the north.

The land has an undulating topography throughout that generally slopes up to the east. The site is currently occupied by a dwelling and ancillary buildings that are associated with activities relating to the existing pear orchard and cattle grazing on the property (ID code SB407005). The eastern portion of the land has substantial vegetation whilst the western portion is characterised by more organised vegetation in the form of pear orchards, in addition to the existing buildings.

Access to the site is obtained via the existing driveway from Paracombe Road.

The locality is characterised by large allotments of a similar nature that are used for agricultural and horticultural purposes. Tourist development and accommodation also represents a characteristic use.

### 3 The Proposal

The proposed development is summarised in **Table 1** below and with a more detailed description of the proposed works outlined in the following sections.

**Table 1: Proposed Development Summary**

Proposed Development Summary	
Summary Description	Detached dwelling and change in land use of existing dwelling to tourist accommodation.
Development Elements	Dwelling Tourist Accommodation Fencing

The proposal incorporates the construction of a new dwelling, a change in land use from an existing dwelling to tourist accommodation and fencing. The proposed development is depicted in the following Attachments:

- **Attachment A** Architectural drawings prepared by Think Architects illustrate the proposed dwelling.
- **Attachment B** Floor plan of existing dwelling to become tourist accommodation prepared by Masterplan.
- **Attachment C** Site plan prepared by Masterplan illustrating the proposed driveway extension to service new dwelling.
- **Attachment D** Wastewater plan provided by Bentley Consulting.
- **Attachment E** Native Vegetation Clearance report provided by Terra Gana
- **Attachment F** Business Plan provided by Adelaide Hills Cattle company
- **Attachment G** Photographs of the CFS fire truck access road.

The land comprises a pear orchard, which located primarily located along the south-eastern portion of the site. The site also supports a cattle grazing licence (ID code SB407005).

The fencing associated with the proposal is provided to enable the property to be divided into four paddocks for cattle grazing and breeding. The proposed breeding program is intended to expand the existing four cattle supported on the land to ultimately 16. The fencing and breeding business plan is outlined in **Attachment F**.

The proposed land use change from dwelling to tourist accommodation is not expected to impact the grazing on the site. Notably, fencing is proposed to separate the tourist accommodation building from the four paddocks identified.

The tourist accommodation building has a total floor area of 133 square metres. This does not include the verandah and outbuilding at the rear of the existing dwelling, which are not habitable, nor do they provide domestic services for the dwelling (such as a laundry). The buildings represent Class 10A outbuildings.

The proposed dwelling is located on the bank of flat land adjacent West of the existing Dam, approximately 35.5 metres from the northern boundary. The dwelling has a total floor area of 457.19 square metres and comprises four (4) bedrooms, a double garage, a large open plan living/dining/kitchen space and an alfresco area. The entry of the dwelling has a frontage to the east, which overlooks the dam.

The proposed dwelling incorporates brick veneer walling, a 25-degree pitch custom orb Colorbond roof, and aluminium awning windows throughout. The front elevation features a raised porch with sandstone cladding to the piers and a timber infill above. The feature cladding is translated to the rear of the dwelling as it is incorporated into the alfresco piers. The dwelling comprises a 3.0-metre ceiling height, and a raised 3.6-metre-high ceiling to the living/dining/kitchen and alfresco area.

The existing dwelling is located on the eastern portion of the site approximately 115 metres from the western boundary and 30 metres from the northern boundary. It is proposed to change the land use of the dwelling to tourist accommodation, as depicted in the attached floor plan.

The existing driveway provides access to the existing dwelling (proposed tourist accommodation) and will be extended to accommodate adequate access to the proposed dwelling. The full extent of the proposed driveway is depicted in **Attachment C**.

A wastewater application to support the proposed dwelling has been lodged in parallel with this development application. The application details are provided in **Attachment D**.

The proposed dwelling will be provided with mains water access and electricity.

## 4 Planning and Design Code

The Planning and Design Code identifies and applies policies for the assessment of development relative to each zone.

For each zone, policies and rules are identified and applied to classes of development within the zone, including by the application of policies within subzones and overlays that apply only in the area affected by the subzone/overlay, together with the relevant general development policies.

**Table 2** below, provides a summary of the applicable zone, sub-zone, overlays and general development policy sections that have been identified as applying to the subject land.

**Table 2: Planning and Design Code Summary**

Planning and Design Code Summary	
Version and Date	Version 2023.16 - 09/11/2023
Zone	Productive Rural Landscape
Overlays	Environment and Food Production Area Hazards (Bushfire - High Risk) Hazards (Flooding - Evidence Required) Limited Land Division Mount Lofty Ranges Water Supply Catchment (Area 1) Native Vegetation Prescribed Water Resources Area Water Resources
General Sections	Design Tourism Development Transport, access and parking Infrastructure and Renewable Energy Facilities

### 4.1 Procedural Matters

The zones, subzones, overlays and general development policies that apply may contain sections headed 'Procedural matters', including the requirement to notify certain applications for planning consent, and referrals to prescribed bodies.

**Table 3** below, provides a summary of the procedural matters associated with the identified assessment pathway.

**Table 3: Procedural Matters**

Procedural Matters Summary	
Relevant Authority	Adelaide Hills Council
Assessment Pathway	Code Assessed – Performance Assessed

Procedural Matters Summary	
Statutory Referrals	South Australian Country Fire Service Environmental Protection Agency Native Vegetation Council.
Public Notification	Dwelling is exempt. Tourist accommodation exempt unless it doesn't satisfy DTS/DPF 6.3 or DTS/DPF 6.4.

## 4.2 Relevant Authority

The subject land is located with the Adelaide Hills Council Area.

As the proposed development is to be undertaken within the Adelaide Hills Council Area then the Adelaide Hills Council Assessment Panel is considered to be the relevant authority in accordance with Section 93 (1)(a) of the *Planning Development and Infrastructure Act 2016* unless the Council's Assessment Manager is identified during the course of the assessment as being able to act as the relevant authority.

## 4.3 Assessment Pathway

An assessment of each of the development elements against the assessment pathways identified in the Planning and Design Code, identifies that the proposed development requires assessment as a Performance Assessment Pathway.

## 4.4 Statutory Referrals

Our assessment of the Planning and Design Code has identified the following statutory referrals to be triggered by this proposed development:

- South Australian Country Fire Service.
- Environmental Protection Agency.
- Native Vegetation Council.

## 4.5 Public Notification

Table 5 – Procedural Matters (PM) – Notification of the Productive Rural Landscape Zone outlines classes of development that are excluded from notification.

A dwelling is listed in Table 5 and is therefore excluded from requiring public notification.

Tourist accommodation is listed in Table 5 as excluded from notification unless it does not satisfy the criteria of DTS/DPF 6.3 or DTS/DPF 6.4.

In regards to DTS/DPF 6.3, which seeks to ensure that tourist accommodation remains subservient to the use of the land for primary production or primary production-related value adding industry. We note that the tourist accommodation is proposed to accompany the existing dwelling on the site and thus will not impact on the use of the land for primary production activities related to the existing, and expanding, grazing cattle, which will continue to be supported by the proposed dwelling. Further, as depicted in **Attachment B**, the floor area of the proposed tourist accommodation in the existing dwelling does not exceed 150 square metres.

Additionally, DTS/DPF 6.4 refers to tourist accommodation proposed in a new building. This proposal comprises a change in land use of the existing dwelling to tourist accommodation.

For these reasons, we consider that the proposed development complies with the criteria of DTS/DPF 6.3 and DTS/DPF 6.4 and is therefore exempt from public notification.

## 5 Planning and Design Code Assessment

The following provides our assessment of the provisions we consider most relevant to the assessment of this application.

### 5.1 Land Use

The land use intentions of the Productive Rural Landscape Zone are outlined in the following relevant policies:

Productive Rural Landscape Zone	
DO 1	A diverse range of land uses at an appropriate scale and intensity that capitalise on the region's proximity to the metropolitan area and the tourist and lifestyle opportunities this presents while also conserving the natural and rural character, identity, biodiversity and sensitive environmental areas and scenic qualities of the landscape.
DO 2	A zone that promotes agriculture, horticulture, value adding opportunities, farm gate businesses, the sale and consumption of agricultural based products, tourist development and accommodation that expands the economic base and promotes its regional identity.
DO 2	Create local conditions that support new and continuing investment while seeking to promote co-existence with adjoining activities and mitigate land use conflicts.

Productive Rural Landscape Zone	
Relevant Performance Outcomes	Deemed to Satisfy Criteria/ Designated Performance Feature
PO 1.1 The productive value of rural land for a range of primary production and horticultural activities and associated value adding of primary produce (such as beverage production), retailing and tourism is supported, protected and maintained. The proliferation of land uses that may be sensitive to those activities is avoided.	Development comprises one or more of the following land uses: ... h) Dwelling ... s) Tourist Accommodation ...
PO 2.2 Buildings are generally located on flat land to minimise cut and fill and the associated visual impacts.	DTS/DPF 2.2 Buildings: a) are located on a site with a slope not greater than 10% (1-in-10) b) do not result excavation and/or filling of land that is greater than 1.5m from natural ground level.
PO 5.1 Dwellings provide a convenient base for landowners to conduct and manage commercial scale primary production and related value adding activities without compromising the use of the allotment, adjacent land or long term purpose of the zone for primary production or related tourism values due to a proliferation of dwellings.	DTS/DPF 5.1 Dwellings: a) are located on an allotment with an area not less than: b) are located on an allotment used for and is ancillary to primary production and/or primary production related value-adding activities.

Productive Rural Landscape Zone	
Relevant Performance Outcomes	Deemed to Satisfy Criteria/ Designated Performance Feature
	<p>c) will not result in more than one dwelling on an allotment.</p> <p>In relation to DTS/DPF 5.1, in instances where:</p> <p>...</p> <p>a) no value is returned for DTS/DPF 5.1(a) (ie there is a blank field), then there is no minimum dwelling allotment size applicable and DTS/DPF 5.1(a) is met.</p>
<p>PO 5.2</p> <p>Dwellings are sited, designed and of a scale that maintains a pleasant natural and rural character and amenity.</p>	<p>DTS/DPF 5.2</p> <p>Dwellings:</p> <p>a) are setback from all allotment boundaries by at least 40m</p> <p>b) do not exceed 2 building levels and 9m measured from the top of the</p> <p>c) footings have a wall height no greater than 6m.</p>
<p>PO 6.3</p> <p>Tourist accommodation is associated with the primary use of the land for primary production or primary production related value adding industry to enhance and provide authentic visitor experiences.</p>	<p>DTS/DPF 6.3</p> <p>Tourist accommodation, other than where located in The Cedars Subzone:</p> <p>a) is ancillary to and located on the same allotment or an adjoining allotment used for primary production or primary production related value adding industry</p> <p>b) in relation to the area used for accommodation:</p> <p>i. where in a new building, or buildings, does not exceed a cumulative total floor area of 100m<sup>2</sup></p> <p>or</p> <p>ii. where in an existing building, does not exceed 150m<sup>2</sup></p> <p>a) does not result in more than one tourist accommodation facility being located on the same allotment.</p>
<p>PO 8.1</p> <p>Adaptive reuse of existing buildings for small-scale shops, offices, tourist accommodation or ancillary rural activities.</p>	<p>DTS/DPF 8.1</p> <p>Development within an existing building is for any of the following:</p> <p>a) a shop</p> <p>b) office</p> <p>c) tourist accommodation.</p>

A dwelling and tourist accommodation are each expressly envisaged land uses within PO/DPF 1.1 of the Productive Rural Landscape Zone.

The proposed dwelling is modest in scale and form and is sited on flat land adjacent to the existing dam. As such, it will minimise the need for earthworks as sought by PO/DPF 2.2.

The proposed tourist accommodation involves the adaptive reuse of the existing dwelling, thus satisfying PO, DPF 8.1.



The proposed dwelling is single-storey and comfortably satisfies the maximum wall height provisions of DTS/SPF 5.2. We note that the proposed dwelling setback to the northern boundary has a shortfall of approximately 5.0 metres from the 40 metres sought by DTS/DPF 5.2. However, in consideration of the contextual setting such as the scale of the dwelling in proportion to the size of the allotment and its significant separation from public roads and neighbouring dwellings, we consider this shortfall to be minor with no unreasonable external impacts. The intent of PO 5.2 is to maintain a pleasant natural and rural character and amenity will not be adversely impacted.

The proposed dwelling and tourist accommodation will not compromise the use of the allotment for primary production activities related to the management and operation of the existing and expanding cattle grazing. Further, the floor area of the proposed tourist accommodation in the existing dwelling does not exceed 150 square metres.

We note that PO 6.3 refers to tourist accommodation where it is ‘associated with the primary use of the land for primary production’. Importantly, the PO includes ‘or’ after this phrase, ensuring that development consistent with this element results in compliance.

The fencing associated with the application is proposed to enable approximately 90 per cent of the site to be used to support the grazing of cattle. This will result in an expansion of the existing four cattle currently on-site. The primary use of the land will be cattle grazing, which will be supported by the permanent residents in the dwelling and will not be compromised by the tourist accommodation. Thus, we consider the provisions of PO/DPF 5.1 and PO/DPF 6.3 to be satisfied.

For these reasons, we consider the proposal to be in accordance with the Desired Outcomes of the Productive Rural Landscape Zone and the relevant land use provisions of the Planning and Design Code.

## 5.2 Built Form and Design

The built form and design intentions of the Planning and Design Code are outlined in the following relevant policies.

General Development Policies	
Performance Outcomes	Deemed to Satisfy Criteria/ Designated Performance Feature
Design	
DO1	
Development is:	
a)	contextual - by considering, recognising and carefully responding to its natural surroundings or built environment and positively contributes to the character of the immediate area
b)	durable - fit for purpose, adaptable and long lasting
c)	inclusive - by integrating landscape design to optimise pedestrian and cyclist usability, privacy and equitable access, and promoting the provision of quality spaces integrated with the public realm that can be used for access and recreation and help optimise security and safety both internally and within the public realm, for occupants and visitors

General Development Policies	
d)	sustainable - by integrating sustainable techniques into the design and siting of development and landscaping to improve community health, urban heat, water management, environmental performance, biodiversity and local amenity and to minimise energy consumption.
PO 9.7 Urban development does not prejudice existing agricultural and horticultural activities through appropriate separation and design techniques.	DTS/DPF 9.7 None are applicable.
Tourism Development	
DO1 Tourism development is built in locations that cater to the needs of visitors and positively contributes to South Australia's visitor economy.	
PO 1.1 Tourism development complements and contributes to local, natural, cultural or historical context where: <ol style="list-style-type: none"> <li>1. it supports immersive natural experiences</li> <li>2. it showcases South Australia's landscapes and produce</li> <li>3. its events and functions are connected to local food, wine and nature.</li> </ol>	DTS/DPF 1.1 None are applicable.

The proposed dwelling incorporates a low-scale design and appropriate siting and materiality that is contextual to the rural character of the locality. Further, the dwelling does not substantially prejudice the operation and management of the existing pear orchard. We consider the proposal to satisfy DO1 and PO 9.7 of the General Development Policies (Design).

The proposed tourist accommodation is a land use that is expressly envisaged in the Zone. Its proximity to the grazing cattle on the site will provide positive natural experiences while not compromising the operation given the paddock fencing. Furthermore, the location of the site will provide convenient access for tourists to other local, natural and cultural experiences in the locality. Thus, we consider PO 1.1 to be comfortably satisfied.

As such, we believe the proposal is in accordance with the relevant built form and design provisions of the Planning and Design Code.

## 5.3 Transport, Access and Parking

The transport, access and parking intentions of the Code are outlined in the following relevant policies:

General Development Policies	
Performance Outcomes	Deemed to Satisfy Criteria/ Designated Performance Feature
Transport, Access and Parking	
<p>DO1 A comprehensive, integrated and connected transport system that is safe, sustainable, efficient, convenient and accessible to all users.</p>	
<p>PO 5.1 Sufficient on-site vehicle parking and specifically marked accessible car parking places are provided to meet the needs of the development or land use having regard to factors that may support a reduced on-site rate such as:</p> <ul style="list-style-type: none"> <li>a) availability of on-street car parking</li> <li>b) shared use of other parking areas</li> <li>c) in relation to a mixed-use development, where the hours of operation of commercial activities complement the residential use of the site, the provision of vehicle parking may be shared</li> <li>d) the adaptive reuse of a State or Local Heritage Place.</li> </ul>	<p>DTS/DPF 5.1 Development provides a number of car parking spaces on-site at a rate no less than the amount calculated using one of the following, whichever is relevant:</p> <p>...</p> <ul style="list-style-type: none"> <li>a) Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements where (a) does not apply</li> </ul> <p>...</p> <p><u>Table 1 - General Off-Street Car Parking</u> Tourist Accommodation: 1 car parking space per accommodation unit / guest room.</p>
<p>EARTHWORKS AND LAND</p>	
<p>PO 8.1 Development, including any associated driveways and access tracks, minimises the need for earthworks to limit disturbance to natural topography</p>	<p>DTS/DPF 8.1 Development does not involve any of the following:</p> <ul style="list-style-type: none"> <li>a) excavation exceeding a vertical height of 1m</li> <li>b) filling exceeding a vertical height of 1m</li> <li>c) a total combined excavation and filling vertical height of 2m or more.</li> </ul>
<p>PO 8.3 Driveways and access tracks on sloping land (with a gradient exceeding 1 in 8):</p> <ul style="list-style-type: none"> <li>a) do not contribute to the instability of embankments and cuttings</li> <li>b) provide level transition areas for the safe movement of people and goods to and from the development</li> <li>c) are designed to integrate with the natural topography of the land.</li> </ul>	<p>DTS/DPF 8.3 None are applicable.</p>
<p>PO 8.4 Development on sloping land (with a gradient exceeding 1 in 8) avoids the alteration of natural drainage lines and includes on-site drainage systems to minimise erosion.</p>	<p>DTS/DPF 8.4 None are applicable.</p>

The site is provided with access to an all-weather public road (Paracombe Road) as sought by DO1.

The proposed tourist accommodation is provided with sufficient space to meet the desired on-site car parking requirements of PO/DPF 5.1.

The driveway extension to service the proposed dwelling will be designed such that the need for earthworks is minimised and consideration is given to the natural topography and drainage lines that PO 8.1, PO 8.3 and PO 8.4 seek to protect..

As such, we consider the proposal to satisfy the requirements of the Code as they relate to transport, access and parking.

## 5.4 Environment

The proposed development is required to be sited and designed to ensure environmental protection measures are in place, as relevant to the following policies:

<p style="text-align: center;"><b>Productive Rural Landscape Zone</b></p> <p>DO 1 Protection of valuable rural, landscape, environmental and food production areas from urban encroachment.</p>
<p style="text-align: center;"><b>Native Vegetation Overlay</b></p> <p>DO 1 Areas of native vegetation are protected, retained and restored in order to sustain biodiversity, threatened species and vegetation communities, fauna habitat, ecosystem services, carbon storage and amenity values.</p>
<p style="text-align: center;"><b>Hazards (Flooding – Evidence Required) Overlay</b></p> <p>DO 1 Development adopts a precautionary approach to mitigate potential impacts on people, property, infrastructure and the environment from potential flood risk through the appropriate siting and design of development.</p>
<p style="text-align: center;"><b>Water Resources Overlay</b></p> <p>DO 2 Maintain the conveyance function and natural flow paths of watercourses to assist in the management of flood waters and stormwater runoff.</p>
<p style="text-align: center;"><b>General Development Policies – Infrastructure And Renewable Energy Facilities</b></p> <p>DO 1 Efficient provision of infrastructure networks and services, renewable energy facilities and ancillary development in a manner that minimises hazard, is environmentally and culturally sensitive and manages adverse visual impacts on natural and rural landscapes and residential amenity.</p>

With regard to environmental matters, we consider the proposal:

- Will not require extensive clearance of native vegetation (level 3 proposed) in relation to the dwelling or driveway construction (DO1 – Native Vegetation Overlay).
- Is not expected to modify any existing watercourses on the site such that the function or natural flow paths is significantly impacted (DO2 – Water Resources Overlay).

- Will not significantly increase the amount of wastewater to adversely impact the water quality. A waste water application has been lodged in parallel with this proposal, with the relevant details provided in **Attachment D**.
- A comprehensive stormwater plan has been provided that will ensure that stormwater is duly managed on-site to protect water quality (DO1, PO/DPF 2.2, PO/DPF 3.6 – Mount Lofty Ranges Water Supply Catchment (Area 1) Overlay).
- Is appropriately sited and designed on a flatter portion of the land such that the potential risk of flood waters on people and property is minimised (DO1 – Hazards (Flooding – Evidence Required) Overlay).
- The dwelling will be provided with mains water supply.
- The dwelling will be connected to an approved wastewater disposal system, as demonstrated in **Attachment D** (DO1 - Infrastructure and renewable energy facilities).

For these reasons, we consider the proposal to be in accordance with the environmental provisions of the Planning and Design Code.

## 5.5 Fire Safety

The proposed development is required to be sited and designed to ensure fire prevention measures are in place, as relevant to the following policies.

Hazards (Bushfire – High Risk) Overlay	
DO 1	
Development, including land division is sited and designed to minimise the threat and impact of bushfires on life and property with regard to the following risks:	
a)	potential for uncontrolled bushfire events taking into account the increased frequency and intensity of bushfires as a result of climate change
b)	high levels and exposure to ember attack
c)	impact from burning debris
d)	radiant heat
e)	likelihood and direct exposure to flames from a fire front.
DO3	
To facilitate access for emergency service vehicles to aid the protection of lives and assets from bushfire danger.	

Performance Outcomes	Deemed to Satisfy Criteria/ Designated Performance Feature
PO 2.1 Buildings and structures are located away from areas that pose an unacceptable bushfire risk as a result of vegetation cover and type, and terrain.	DTS/DPF 2.1 None are applicable.
PO 4.1	DTS/DPF 4.1 None are applicable.

Performance Outcomes	Deemed to Satisfy Criteria/ Designated Performance Feature
To minimise the threat, impact and potential exposure to bushfires on life and property, residential and tourist accommodation and habitable buildings for vulnerable communities (including boarding houses, hostels, dormitory style accommodation, student accommodation and workers' accommodation) is sited on the flatter portion of allotments away from steep slopes.	
<p>PO 4.2</p> <p>Residential and tourist accommodation and habitable buildings for vulnerable communities (including boarding houses, hostels, dormitory style accommodation, student accommodation and workers' accommodation) is sited away from vegetated areas that pose an unacceptable bushfire risk.</p>	<p>DTS/DPF 4.2</p> <p>Residential and tourist accommodation and habitable buildings for vulnerable communities are provided with asset protection zone(s) in accordance with (a) and (b):</p> <ul style="list-style-type: none"> <li>a) the asset protection zone has a minimum width of at least: <ul style="list-style-type: none"> <li>i. 50 metres to unmanaged grasslands</li> <li>ii. 100 metres to hazardous bushland vegetation</li> </ul> </li> <li>b) the asset protection zone is contained wholly within the allotment of the development.</li> </ul>
<p>PO 4.3</p> <p>Residential and tourist accommodation and habitable buildings for vulnerable communities (including boarding houses, hostels, dormitory style accommodation, student accommodation and workers' accommodation) has a dedicated area available that:</p> <ul style="list-style-type: none"> <li>a) is capable of accommodating a bushfire protection system comprising firefighting equipment and water supply in accordance with <i>Ministerial Building Standard MBS 008 - Designated bushfire prone areas - additional requirements</i></li> <li>b) includes the provision of an all-weather hardstand area in a location that: <ul style="list-style-type: none"> <li>i. allows fire-fighting vehicles to safely access the dedicated water supply and exit the site in a forward direction</li> <li>ii. is no further than 6 metres from the dedicated water supply outlet(s) where required.</li> </ul> </li> </ul>	<p>DTS/DPF 4.3</p> <p>None are applicable.</p>
<p>PO 6.1</p> <p>Roads are designed and constructed to facilitate the safe and effective:</p> <ul style="list-style-type: none"> <li>a) access, operation and evacuation of fire-fighting vehicles and emergency personnel</li> <li>b) evacuation of residents, occupants and visitors.</li> </ul>	<p>DTS/DPF 6.1</p> <p>Roads:</p> <ul style="list-style-type: none"> <li>a) are constructed with a formed, all-weather surface</li> <li>b) have a gradient of not more than 16 degrees (1-in-3.5) at any point along the road</li> <li>c) have a cross fall of not more than 6 degrees (1-in-9.5) at any point along the road</li> <li>d) have a minimum formed road width of 6m</li> </ul>

Performance Outcomes	Deemed to Satisfy Criteria/ Designated Performance Feature
	<ul style="list-style-type: none"> <li>e) provide overhead clearance of not less than 4.0m between the road surface and overhanging branches or other obstructions including buildings and/or structures (Figure 1)</li> <li>f) allow fire-fighting services (personnel and vehicles) to travel in a continuous forward movement around road curves by constructing the curves with a minimum external radius of 12.5m (Figure 2)</li> <li>g) incorporating cul-de-sac endings or dead end roads are provided within an alternative evacuation route and do not exceed 200m in length and the end of the road has either: <ul style="list-style-type: none"> <li>i. a turning area with a minimum formed surface radius of 12.5m (Figure 3)</li> <li>or</li> <li>ii. a 'T' or 'Y' shaped turning area with a minimum formed surface length of 11m and minimum internal radii of 9.5m (Figure 4)</li> </ul> </li> <li>h) incorporate solid, all-weather crossings over any watercourse that support fire-fighting vehicles with a gross vehicle mass (GVM) of 21 tonnes.</li> </ul>
<p>PO 6.2</p> <p>Access to habitable buildings is designed and constructed to facilitate the safe and effective:</p> <ul style="list-style-type: none"> <li>a) use, operation and evacuation of fire-fighting and emergency personnel</li> <li>b) evacuation of residents, occupants and visitors.</li> </ul>	<p>DTS/DPF 6.2</p> <p>Access is in accordance with (a) or (b):</p> <ul style="list-style-type: none"> <li>a) a clear and unobstructed vehicle or pedestrian pathway of not greater than 60 metres in length is available between the most distant part of the habitable building and the nearest part of a formed public access road</li> <li>b) driveways: <ul style="list-style-type: none"> <li>i. do not exceed 600m in length</li> <li>ii. are constructed with a formed, all-weather surface</li> <li>iii. are connected to a formed, all-weather public road with the transition area between the road and driveway having a gradient of not more than 7 degrees (1-in-8)</li> <li>iv. have a gradient of not more than 16 degrees (1-in-3.5) at any point along the driveway</li> <li>v. have a crossfall of not more than 6 degrees (1-in-9.5) at any point along the driveway</li> </ul> </li> </ul>

Performance Outcomes	Deemed to Satisfy Criteria/ Designated Performance Feature
	<ul style="list-style-type: none"> <li data-bbox="847 371 1367 584">vi. have a minimum formed width of 3m (4m where the gradient of the driveway is steeper than 12 degrees (1-in-4.5)) plus 0.5 metres clearance either side of the driveway from overhanging branches or other obstructions, including buildings and/or structures (Figure 1)</li> <li data-bbox="847 584 1367 685">vii. incorporate passing bays with a minimum width of 6m and length of 17m every 200m (Figure 5)</li> <li data-bbox="847 685 1367 842">viii. provide overhead clearance of not less than 4.0m between the driveway surface and overhanging branches or other obstructions, including buildings and/or structures (Figure 1)</li> <li data-bbox="847 842 1367 1032">ix. allow fire-fighting services (personnel and vehicles) to travel in a continuous forward movement around driveway curves by constructing the curves with a minimum external radius of 12.5m (Figure 2)</li> <li data-bbox="847 1032 1367 1458">x. allow fire-fighting vehicles to safely enter and exit an allotment in a forward direction by using a 'U' shaped drive through design or by incorporating at the end of the driveway either: <ul style="list-style-type: none"> <li data-bbox="954 1189 1367 1245">A. a loop road around the building or</li> <li data-bbox="954 1245 1367 1301">B. a turning area with a minimum radius of 12.5m (Figure 3)</li> <li data-bbox="954 1301 1367 1335">or</li> <li data-bbox="954 1335 1367 1458">C. a 'T' or 'Y' shaped turning area with a minimum formed length of 11m and minimum internal radii of 9.5m (Figure 4)</li> </ul> </li> <li data-bbox="847 1458 1367 1599">i. incorporate solid, all-weather crossings over any watercourse that support fire-fighting vehicles with a gross vehicle mass (GVM) of 21 tonnes.</li> </ul>

The site is provided with access for emergency vehicles via Paracombe Road. The proposed tourist accommodation incorporates appropriate fire prevention siting, water supply and vehicle access arrangements, as depicted on the attached site plan. Photographs of the existing track and proposed hardstand areas are also provided in **Attachment G**.

The proposed dwelling has been sited to ensure it is not in close proximity to areas of significant vegetation and is located on a flat portion of the allotment such that the threat of bushfire on life and property is minimised, as sought by PO 2.1, PO 4.1 and DO1.



DTS/DPF 4.2 seeks an asset protection zone of at least 50 metres to unmanaged grasslands. We note that the proposed dwelling has a setback of 35.5 metres to the northern boundary, however, the subject site and neighbouring allotment do not contain unmanaged grasslands.

Thus, the proposed development is not within 50 metres of unmanaged grassland that may pose an unacceptable bushfire risk and we consider the setback distances comply with CFS fire prevention expectations. As such, we consider the intent of PO 4.2 to be satisfied.

Fire prevention water tanks are able to be connected to the proposed dwelling and tourist accommodation in line with relevant standards as sought by PO 4.3. Their location is depicted on the site plan at **Attachment C**. A condition to this effect would be supported by our client. The tank location is also able to be accessed by fire fighting vehicles via the proposed extension of the driveway, providing access to the dwelling that is consistent with the requirements of DTS/DPF 6.1 and DTS/DPF 6.2, as depicted in the attached site plan.

As such, we consider the proposal to be in accordance with the relevant fire safety provisions of the Planning and Design Code.

## 6 Conclusion

The proposed development of a dwelling, the change in land use of the existing dwelling to tourist accommodation and fencing complies with the relevant Overlays, Rural Zone and General provisions of the Code. As a land use, both a dwelling and tourist accommodation are expressly envisaged in the Zone. The siting, design and management of the land use will not adversely impact the value and operation of the existing and expanding grazing cattle on the site. Similarly, the modest scale of the proposed dwelling is not visually dominant in the context of the size of the allotment such that it impacts on the rural and visual amenity of the locality. Consideration has been given to the management of environmental matters as they relate to potential impacts on the environment.

Ultimately, for the reasons outlined above, we consider the proposal warrants Planning Consent being granted.

Should you require any additional information or clarification, please do not hesitate to contact the undersigned.



Stewart Hocking MPlA  
B/A in Planning



# Attachment A

## Architectural Drawings

**THiNK**  
**ARCHITECTS**

**DESIGN DEVELOPMENT**

CRAWFORD RESIDENCE

**PROJECT NUMBER :** 26.2023

**PROJECT ADDRESS:** 644 PARACOMBE RD, PARACOMBE

**INSPIRE . DREAM . PLAN . THINK**

hello@thinkarchitects.com.au



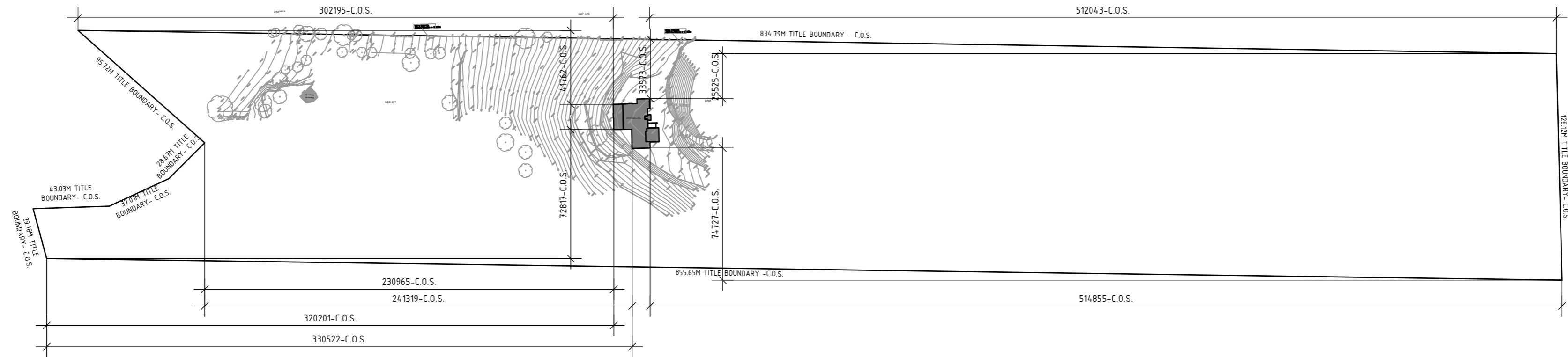
1. PGH MANHATTAN CHELSEA BRICK



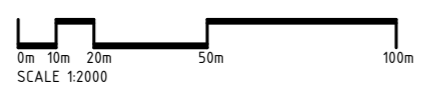
2. SANDSTONE CLADDING - LOCALLY SOURCES WITHIN THE PROPERTY



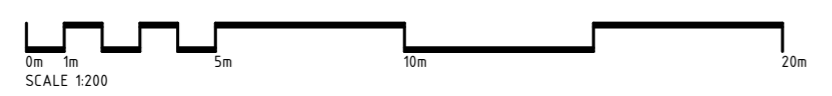
3. TIMBER INFILL PORCH



LOCATION PLAN  
SCALE 1:2000



SITE PLAN  
SCALE 1:200



DESIGN DEVELOPMENT  
DATED: 12/07/2023

**RAIN WATER TANK:**  
THE REQUIRED RAINWATER TANK (MIN 2000 LITRES RETENTION 1000 LITRES DETENTION) COLLECTING A MINIMUM OF 60% OF ROOF CATCHMENT AREA.  
THE TANK MUST ALSO BE FITTED WITH 20-25 MM DIAMETER SLOW RELEASE ORIFICE AT THE BOTTOM OF THE DETENTION COMPONENT.  
THE RETENTION PART OF THE TANK TO BE PLUMBED TO A WATER CLOSET, WATER HEATER OR LAUNDRY COLD WATER OUTLETS.  
THE TANK MUST ALSO BE FITTED WITH MOSQUITO PROOF, NON DE-GRADABLE SCREENS, FORMED FORM NOT LESS THAN 315MM DIAMETER MATERIAL AND HAVE A MINIMUM OF 6 X 7 OPENINGS PER CM2. IN THE EVENT THAT THE TANK IS TO BE SUPPORTED ON A STAND THE STAND SHALL BE DESIGNED TO BE ABLE TO ACCOMMODATE THE IMPOSED DEAD LOADS, WIND LOADS AND WHERE APPLICABLE THE EARTHQUAKE LOADS AS REQUIRED BY CLAUSE 3.11.2 OF THE NCC (APPLICABLE AS OF JULY 1ST 2006 NCC-SA 2.1)

**CONSTRUCTION MATERIALS:**  
- BRICK VENEER CONSTRUCTION  
- COLORBOND CUSTOM ORB ON 25° FALL  
- CHARCOAL ALUMINIUM WINDOWS & DOORS  
- SANDSTONE FEATURE THROUGHOUT  
- CONCRETE PAVING AND DRIVEWAY TO FRONT AND PERIMETER

**SITE DRAINAGE:**  
NOTE: REFER TO ENGINEERS DETAILS AND DOCUMENTATION FOR ALL SITEWORKS, DRAINAGE AND ALL LEVEL DESIGN

**INDICATIVE LANDSCAPING SCHEDULE**

TREES	COMMON NAMES	HEIGHT
	PYRUS CALLERYANA 'CHANDICLEER'	5.0 - 6.0m
<b>SHRUBS</b>		
	CROWEA EXCELATA	1.0m
	CAMELIA SASANQUA	2.0 - 2.5m
	ABELIA GRANDIFLORA NANA	0.8 - 1.0m
	LAVANDULA DENTATA	1.0m
	CHOISYA TERNATA	0.8 - 1.0m
	BUXUS JAPONICA	0.4 - 1.5m
<b>STRAP LEAF PLANTS</b>		
	PHORMIUM RUBRA	0.5 - 0.8m
	DIANELLA TASMANICA	0.5 - 0.8m
	LIRIOPE MUSCARI	0.5 - 0.8m
<b>GROUND COVERS AND GRASSES</b>		
	SCAEVOLA 'MAUVE'	MAUVE FAN FLOWER
	VIOLA HEDERACEA	NATIVE VIOLET
	LIRIOPE MUSCARI	STAR JASMINE

**LEGEND:**  
 - INDICATIVE LANDSCAPED AREA  
 - INDICATIVE PAVED AREA  
 - INDICATIVE STONE GRAVEL AREA

**AREAS: - PER DW**

AREA	AREA (M²)
L/LIVING	314.16
GARAGE	57.18
TERRACE	78.03
PORCH	7.82
TOTAL	457.19

DATE	REV	DESCRIPTION	DRAWN	CLIENT NAME:
08/08/23	A	CLIENT REQUEST	MB	D & D CRAWFORD
				ADDRESS: 644 PARACOMBE RD
				SUBURB: PARACOMBE

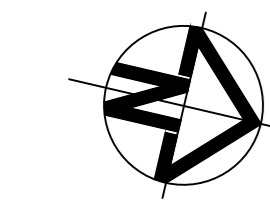
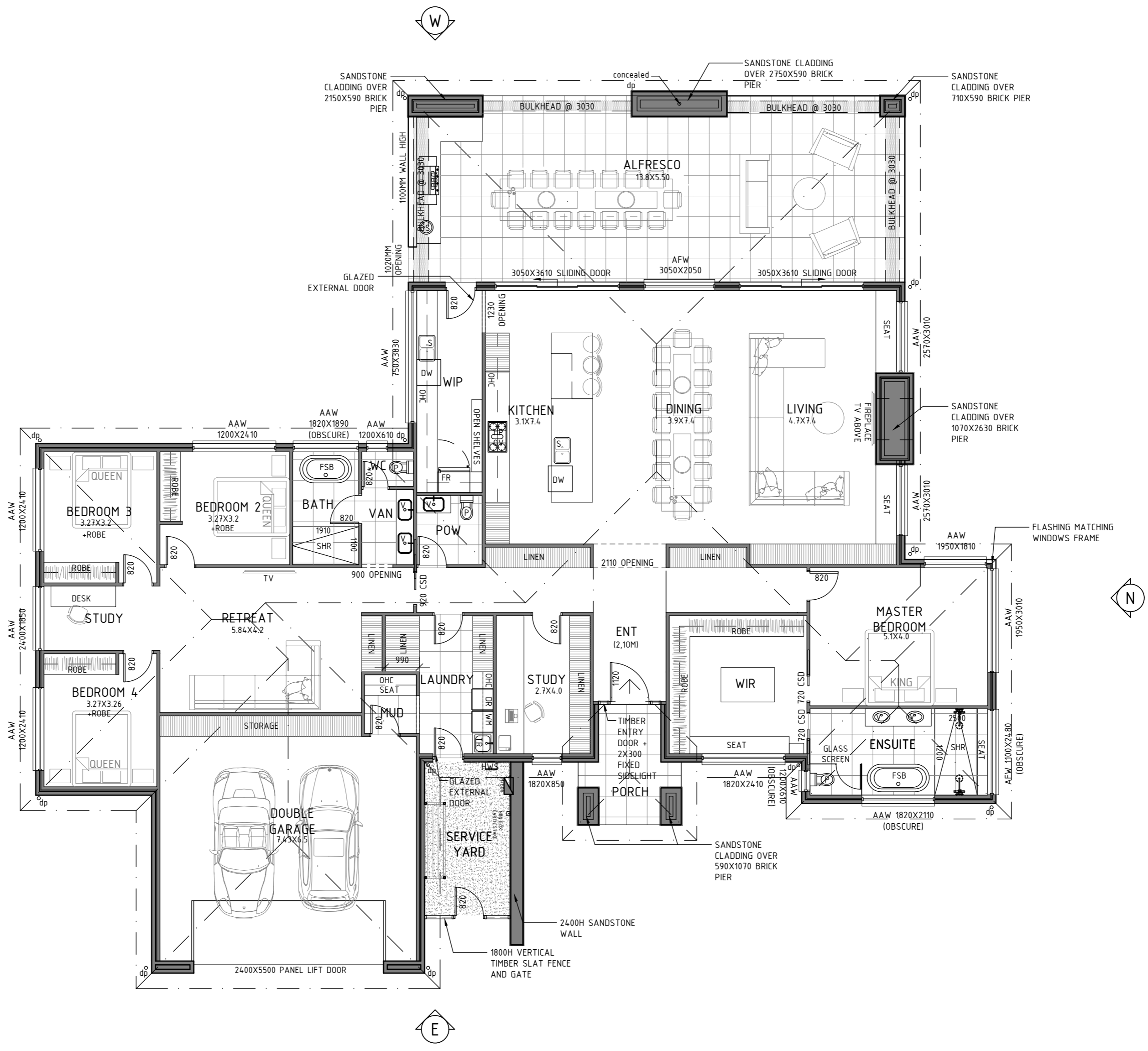
PROJECT NO: 26.2023	SHEET NO: DDA 01 OF 03
PAGE SIZE: A2	DESIGNED: MB
	DRAWN: MB

35 Portrush Road, Payneham  
SA, 5070  
P. 08 7078 4070  
E. hello@thinkarchitects.com.au  
W. www.thinkarchitects.com.au



PLEASE NOTE: ALL KITCHEN & WET AREA LAYOUTS SHOWN ON THESE PLANS ARE INDICATIVE ONLY. REFER TO SELECTED JOINERY MANUFACTURER'S PLANS FOR CORRECT LAYOUTS AND PLUMBING POSITIONS AND CO-ORDINATE ACCORDINGLY.

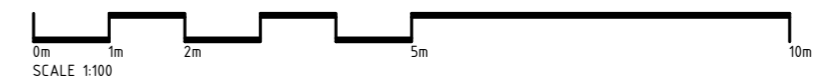
- \* REMOVABLE DOOR HINGES FITTED IN ACCORDANCE WITH NCC VOLUME TWO- PART 3.8.3.3
- SC STEEL COLUMN. REFER TO ENGINEER'S DRAWINGS FOR SIZE
- V SELECTED VANITY BOWL
- P SELECTED CISTERN
- HP SELECTED HOT PLATE
- MV MICROWAVE BUILT IN
- OHC OVERHEAD CUPBOARDS
- WO WALL OVEN
- FR/FZ FRIDGE/FREEZER
- DWP DISHWASHER PROVISION
- RHO RANGEHOOD OVER
- CM COFFEE MACHINE BUILT IN
- TR SELECTED LAUNDRY TROUGH
- WM WASHING MACHINE PROVISION
- TH TOWEL HOLDER
- TL TOWEL LADDER
- RH ROLL HOLDER
- M MIXER TAP
- SHC SHOWER HEAD ( CEILING )
- SHW SHOWER HEAD ( WALL )
- MC MIRRORRED CABINET
- M TOUGHENED MIRROR
- TRH TOILET ROLL HOLDER
- FT FLOOR TRAP



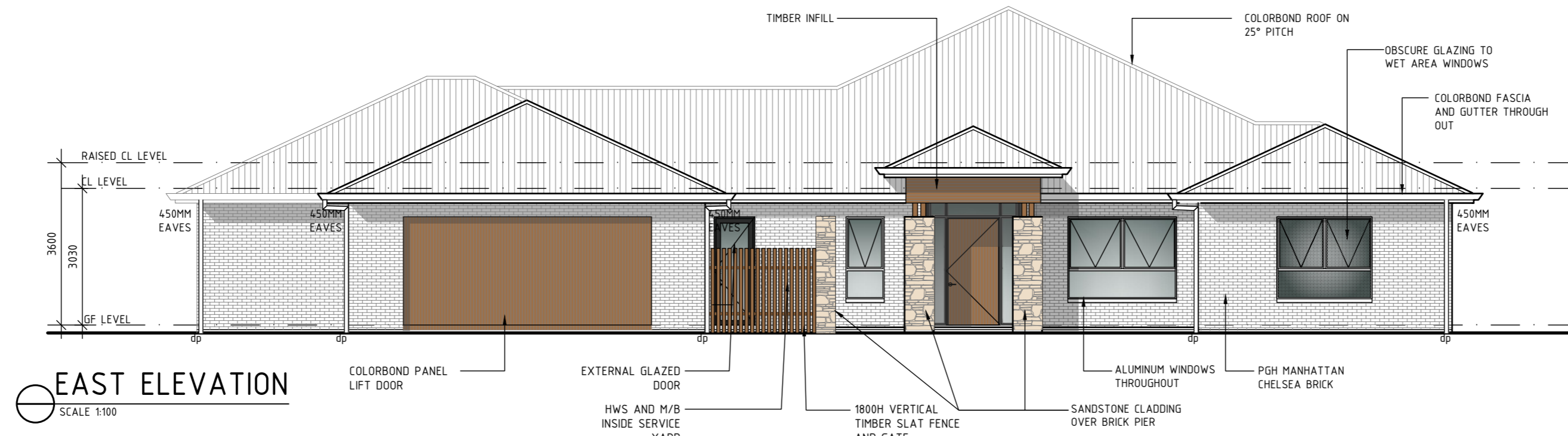
**FLOOR PLAN**  
SCALE 1:100

DESIGN DEVELOPMENT	DATE	REV	DESCRIPTION	DRAWN	CLIENT NAME:	PROJECT NO:	SHEET NO:
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DATED: 12/07/2023					ADDRESS: 644 PARACOMBE RD	PAGE SIZE:	DESIGNED: DRAWN:
					SUBURB: PARACOMBE	A2	MB MB

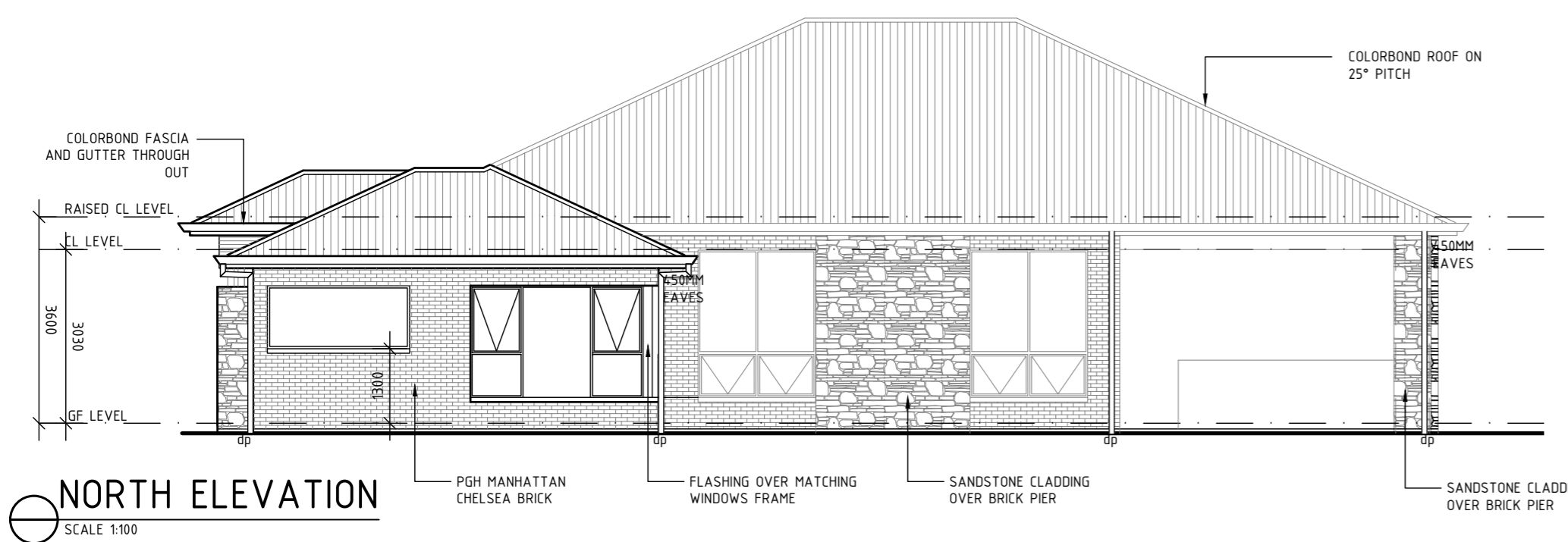
35 Portrush Road, Payneham  
SA, 5070  
P. 08 7078 4070  
E. hello@thinkarchitects.com.au  
W. www.thinkarchitects.com.au



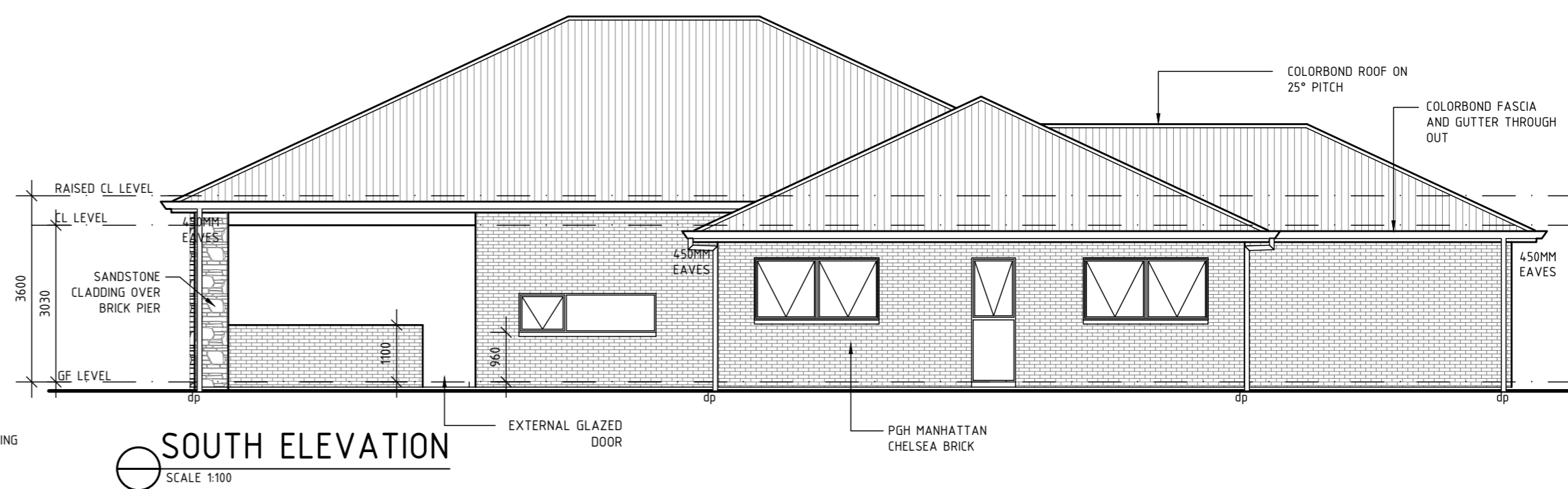




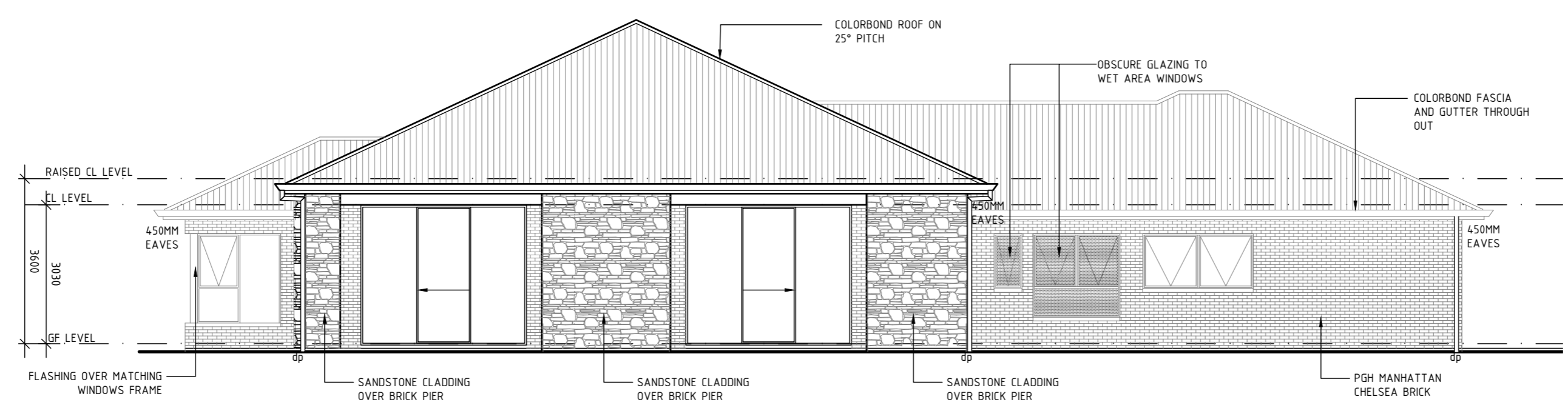
**EAST ELEVATION**  
SCALE 1:100



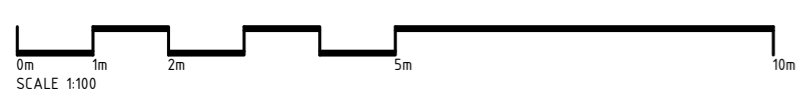
**NORTH ELEVATION**  
SCALE 1:100



**SOUTH ELEVATION**  
SCALE 1:100



**WEST ELEVATION**  
SCALE 1:100



**DESIGN DEVELOPMENT**  
DATED: 12/07/2023

DATE	REV	DESCRIPTION	DRAWN
08/08/23	A	CLIENT REQUEST	MB

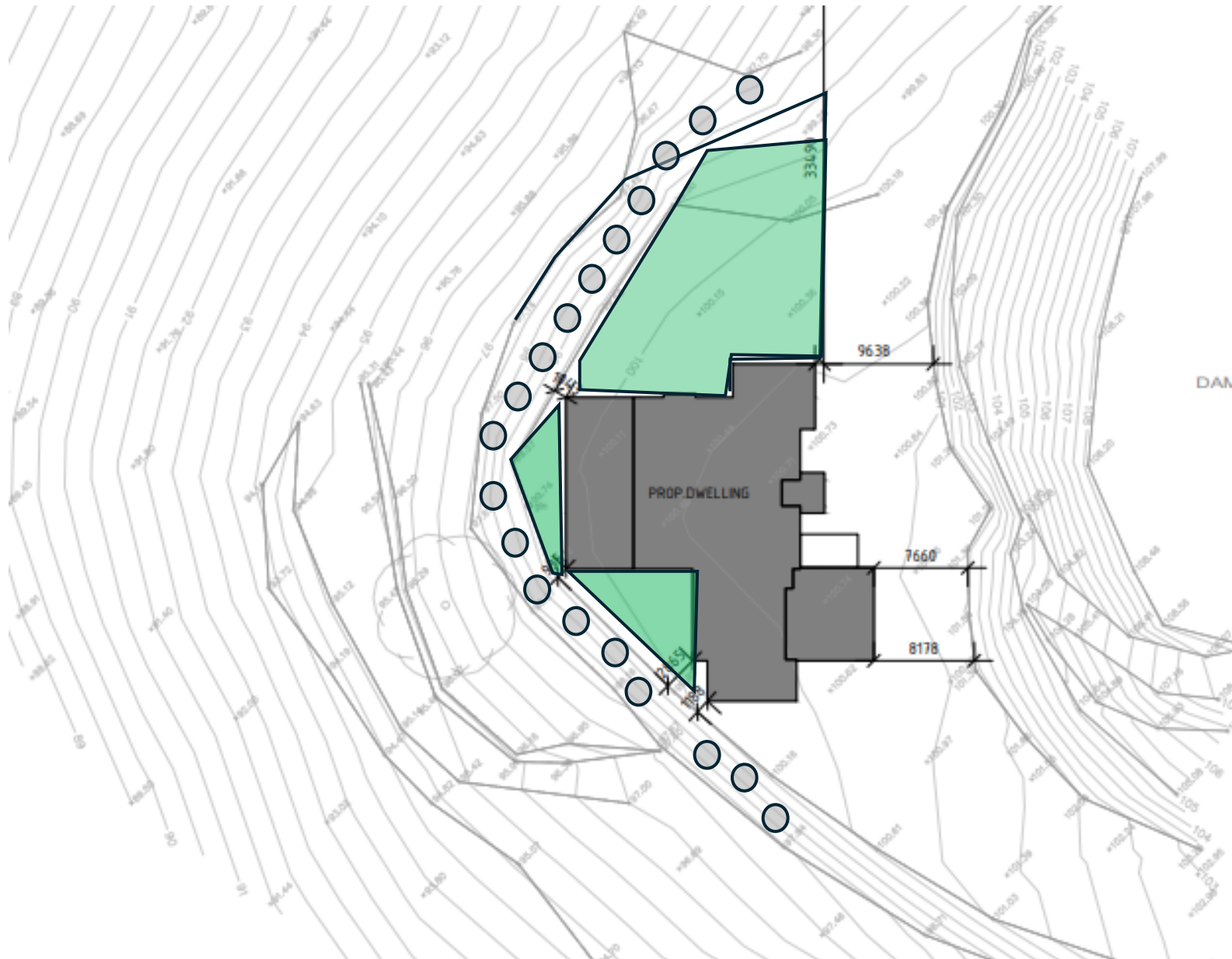
CLIENT NAME:  
D & D CRAWFORD  
ADDRESS:  
644 PARACOMBE RD  
SUBURB:  
PARACOMBE

PROJECT NO: 26.2023	SHEET NO: DDA 03 OF 03
PAGE SIZE: A2	DESIGNED: MB
	DRAWN: MB

35 Portrush Road, Payneham  
SA, 5070  
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# Landscaping plan for fill batters



### Legend

-  Kikuya grass
-  Soft mat-rush

*Low flammability species – Strappy foliage*

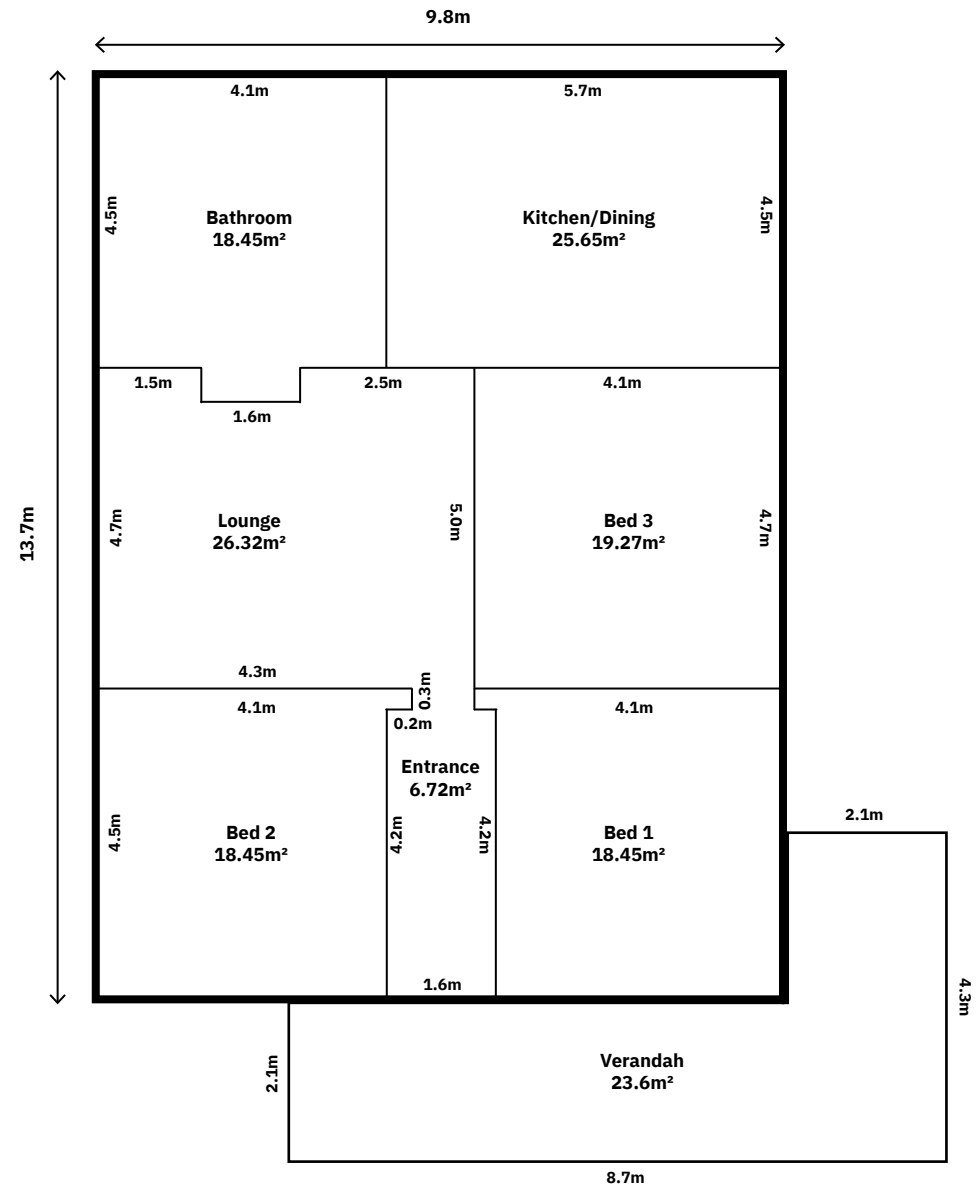


**Soft Mat-rush**

*Lomandra densiflora*

# **Attachment B**

## Floor Plan of Existing Dwelling to Become Tourist Accommodation

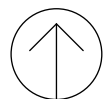


**Total Area - 156.91m<sup>2</sup>**

**FLOOR PLAN**  
TOURIST ACCOMMODATION

644 PARACOMBE ROAD  
PARACOMBE

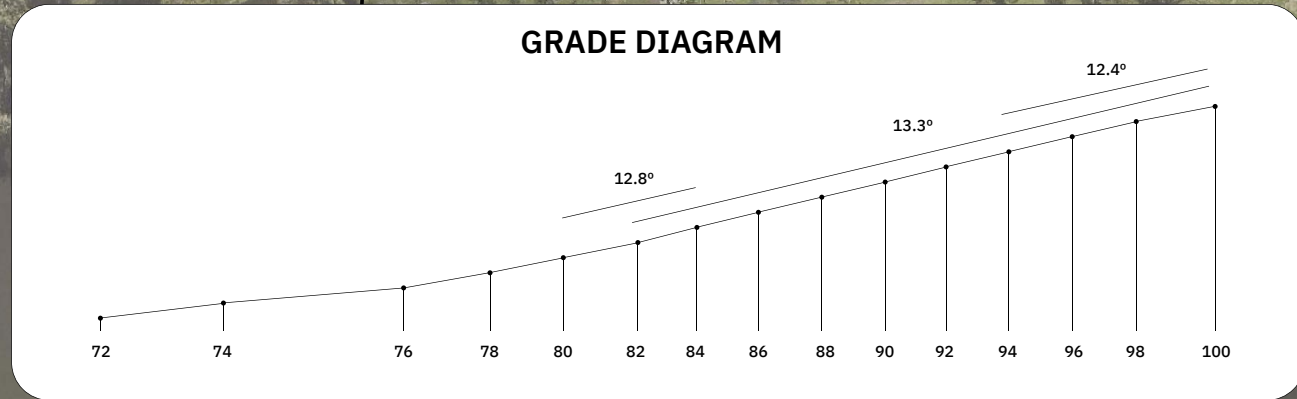
for David and Danielle Crawford



1:100 @ A3  
0 |-----| 2

# Attachment C

## Site Plan



- Subject Site
- Proposed Dwelling
- 20m Asset Protection Zone Boundary
- Proposed Paddock Fencing (Indicative Only)
- 3m Wide Compacted Hardstand track in accordance with Hazards (Bushfire - High Risk) Overlay DPF6.2(b)
- 22,000 litre dedicated fire water supply Tank - ffl 1.2m above ground level (3780D x 2560H)
- Culvert

**ENLARGEMENT 2- SITE PLAN**

644 PARACOMBE ROAD  
PARACOMBE

for David and Danielle Crawford

# Attachment D

## Wastewater Plan

# BENTLEY

## CONSULTING

### PROPOSED DWELLING

644 PARACOMBE ROAD,  
PARACOMBE, SA 5132

### WASTEWATER DESIGN

**CLIENT:** DAVID CRAWFORD

**JOB NUMBER:** BC230630

**REVISION:** C

**BY:** RR



---

## CIVIL DESIGN PACKAGE

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**Project:** PROPOSED DWELLING

**Site Address:** 644 PARACOMBE ROAD, PARACOMBE, SA 5132

**Job Number:** BC230630

**Revision:** C

---

### APPROVAL REGISTER

Revision	Date	Issue	Engineer	Checked
A	24/08/2023	APPROVAL	RR	JSB
B	12/03/2024	APPROVAL	RR	JSB
C	14/05/2024	APPROVAL	RR	JSB

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#### Table of Contents

Letter of Wastewater Certification  
Wastewater Design  
Wastewater Plan & Details  
Attachments

#### Section

A  
B  
C  
D

#### The following Australian Standards have been used in the preparation of this design:

OSWSC      On-site Wastewater Systems Code SA  
AS 1547     On-site Domestic Wastewater Management  
AS 3500     Plumbing and Drainage  
AS 1546     On-site Domestic Wastewater Treatment Units

## APPLICATION FOR AN ON-SITE WASTEWATER WORKS APPROVAL

Pursuant to the SA Public Health (Wastewater) Regulations 2013, all on-site wastewater systems and alterations to on-site wastewater systems are subject to a wastewater works approval. Refer to the South Australian Department for Health and Ageing **ON-SITE WASTEWATER SYSTEMS CODE (the Code)** for further information to assist in the completion of this application form. The Code can be accessed online at <http://www.health.sa.gov.au/pehs/branches/wastewater/new-regulations-and-codes.htm>

Each application must include **two copies** of a detailed sanitary plumbing and drainage lay-out (refer to Section 8 of the Code), a site and soil report (refer to Section 3.6.1 of the Code) and the appropriate fee as determined by the relevant authority. Applications where necessary, must include a detailed assessment of the land capability of the site via a soil report (i.e. the suitability of the site for treatment and disposal/reuse of domestic wastewater).

Please contact the relevant authority for details regarding the fee and method of payment. The relevant authority is:

- The local council for the installation of on-site wastewater systems with a capacity up to 40EP or connection to a Community Wastewater Management System (CWMS)
- The South Australian Department for Health and Ageing for systems to be installed with a capacity greater than 40EP, Community Wastewater Management Systems (CWMS) and for wastewater systems in areas of the state not under local government control

**FAILURE TO PROVIDE THE CORRECT INFORMATION OR FEE WILL RESULT IN APPROVAL DELAYS**

### OFFICE USE ONLY

WS No.

/

DA No.

/

Date Received:

Fee Paid:

Receipt No:

## 1. APPLICANT/OWNER DETAILS

*Enquiries regarding this application will be directed to the applicant:*

Applicant's name David Crawford

Applicant's address 644 Paracombe Road

Township or Suburb Paracombe Postcode 5132

Phone \_\_\_\_\_ Mobile 0430 797 651

Email davidcrawford@westpac.com.au

*If the applicant is not the owner, please also fill in the details below:*

Owner's name \_\_\_\_\_

Owner's address \_\_\_\_\_

Township or Suburb \_\_\_\_\_ Postcode \_\_\_\_\_

Phone \_\_\_\_\_ Mobile \_\_\_\_\_

Email \_\_\_\_\_

## 2. LOCATION OF INSTALLATION

Property No. 644 Street Paracombe Road

Township or Suburb Paracombe, SA 5132

Lot \_\_\_\_\_ Section \_\_\_\_\_ CT No \_\_\_\_\_

### 3. PREMISES DETAILS

PREMISES DESCRIPTION:  Dwelling     Units     Commercial     Other

OCCUPANCY (RESIDENTIAL PREMISES): 8 (number of persons)

OCCUPANCY (NON-RESIDENTIAL PREMISES): Refer to **APPENDIX E** of the Code to decide on a suitable premises category to calculate the capacity of the septic tank and the effluent disposal requirements.

Premises Category: \_\_\_\_\_ P1: \_\_\_\_\_ P2: \_\_\_\_\_

WATER SUPPLY TO PREMISES:

Reticulated mains water supplied to premises

If not, what water supply is used:

Roof catchment / storage or carted supply     Other (please specify) \_\_\_\_\_

NON-STANDARD FIXTURES:

Food waste disposal unit     Spa bath capacity (litres) \_\_\_\_\_

### 4. PROPOSED TYPE OF WASTEWATER WORKS

New system     Alteration/addition to an existing system

For an alteration/addition to the system or a design utilising more than one of the options below, please provide a brief description of works here or attach a covering letter to the application:

The site comprises of an existing system in addition to the proposed system. Details for the existing wastewater treatment system is attached separately.

*Please ensure that the submitted plans show the existing pipework and fittings (as known) and the intended additions, making a clear visual distinction between the two*

TYPE OF SYSTEM:

Onsite Disposal     CWMS Connection

Septic tank

Tank capacity \_\_\_\_\_ Make \_\_\_\_\_

Aerobic     Sand Filter     Reed Bed     Composting Toilet

Grey Water Treatment     Grey Water Diversion

Make Ozzi-Kleen    Model RP10A+ (only preferred)

Other (please specify): \_\_\_\_\_

Pump

Make \_\_\_\_\_ Model \_\_\_\_\_

Sump Capacity \_\_\_\_\_ Type and location of Alarm \_\_\_\_\_

Trade waste – Please refer to Section 7

**Please ensure that all nominated systems and components are on the Department for Health and Ageing Approved Products List:**

<http://www.health.sa.gov.au/pehs/branches/wastewater/wastewater-products.htm>

## 5. EFFLUENT DISPOSAL METHOD

### LAND APPLICATION OF EFFLUENT:

Please ensure that Section 6 is also completed

- SUBSURFACE DISPOSAL  
Required contact area for subsurface disposal (in square metres) 40m<sup>2</sup>
- Plastic tunnel       Perforated pipe
- Length (m) 20      Width (m) 2      Depth (mm) 600(approx)
- Depth below natural ground surface to base of trench 600mm(approx)
- SUBSURFACE IRRIGATION DISPOSAL  
Irrigation area required (in square metres) \_\_\_\_\_
- SURFACE IRRIGATION DISPOSAL  
Irrigation area required (in square metres) \_\_\_\_\_
- AS/NZS 1547 LAND APPLICATION DESIGN  
Type \_\_\_\_\_      Basal area \_\_\_\_\_  
Length (m) \_\_\_\_\_      Width (m) \_\_\_\_\_      Depth (mm) \_\_\_\_\_

### OTHER:

- OFF-SITE DISPOSAL – Connection to CWMS or sewer
- TEMPORARY ON-SITE CONTAINMENT FOR TANKER REMOVAL  
Holding tank capacity (litres) \_\_\_\_\_
- OTHER METHOD - Please provide full details with attachments as appropriate  
\_\_\_\_\_

## 6. LAND CAPABILITY ASSESMENT

This section is relevant for applications intending land application for effluent:

Within 50m of a well, bore, or dam used or likely to be used for human or domestic purposes	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Within 50m of a watercourse as identified on a 1:50 000 SA Government topographic map and used or likely to be used for human or domestic purposes	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Within 100m of the pool level of the River Murray and its lakes	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Within the 1956 River Murray and lakes flood zone	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Above shallow underground water supplies used for human or domestic purposes	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Within 100m of the mean high water mark along coastal foreshore areas	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Within 50m of a water source used for agriculture, aquaculture or stock purposes	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
In an area likely to be subject to flooding or inundation in a 1:10 year recurrent event	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No

**SOIL REPORT:** For applications involving the land application of effluent, please provide a site and soil suitability report from a Wastewater Engineer if applicable

DLR/DIR or EPR nominated by the wastewater engineer 30mm/day

## 7. TRADE WASTE DISCHARGES

New connection       Alteration to a system with an existing trade waste connection

Provide details of the proposed activity and processes which produce wastewater for discharge to CWMS.

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Provide details of pre-treatment system (e.g. grease arrestor, pH correction, solid settling) including its size and capability.

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Provide details of proposed cross connection and backflow prevention devices, where required:

---

---

Details of the wastewater discharge

Gravity       Pumped      Peak flow rate (L/second): \_\_\_\_\_

*(Please attach additional information where required)*

## 8. DECLARATION AND SIGNATURE OF OWNER AND APPLICANT

The application ***must*** be signed by both the owner and applicant.

I / We hereby declare that the information provided in this application, attachments and accompanying plans are true and correct.

It is acknowledged that:

- Pursuant to Regulation 11 of the SA Public Health (Wastewater) Regulations, the plumbing contractor(s) must provide a **Certificate of Compliance** to the relevant authorities following installation of an on-site wastewater system or components.
- All work on the wastewater system must be carried out by persons licensed pursuant to the Plumbers, Gas Fitters and Electricians Act 1995.
- Penalties apply for the provision of false or misleading information or failure to install and maintain the system in accordance with approval conditions.

It is the responsibility of the applicant to ensure that the wastewater works are installed in accordance with the approved plan and relevant conditions.

Owner's signature David Crawford Date 21/5/24

Applicant's signature David Crawford Date 21/5/24

## SECTION A : LETTER OF WASTEWATER CERTIFICATION

Client: DAVID CRAWFORD  
Location: 644 PARACOMBE ROAD, PARACOMBE, SA 5132  
Date: 24/08/2023

### ***On-Site Disposal of Wastewater Assessment at 644 PARACOMBE ROAD, PARACOMBE, SA 5132***

Dear Whomever it may concern,

Please find attached in this report the wastewater disposal drawing and respective calculations for the construction of the proposed residence at the above address. The advice contained in this assessment has been based upon soil sampling carried out in the locations shown on the attached Borehole Location Plan, information supplied by yourself (the client) and previous experience.

The disposal system has been designed based on the following design codes:

OSWSC	On-site Wastewater Systems Code SA
AS 1547	On-site Domestic Wastewater Management
AS 3500	Plumbing and Drainage
AS 1546	On-site Domestic Wastewater Treatment Units

The proposed location for effluent disposal is shown on the associated Wastewater System Layout. Wastewater producing facilities are limited to the proposed new residential dwelling as directed by the client. This office should be advised if any changes be made to the information outlined in this wastewater report.

Copies of this assessment are to be sent to:

1. Local Council Environmental Health Officer for approval
2. Suitably qualified Plumbing Contractor for Construction.

Should you have any queries, please do not hesitate to contact this office for further information.

*Yours faithfully*



Leo Noicos  
Beng FIEAust CPEng NER RPEQ APEC Engineer IntPE(Aus)  
for  
**BENTLEY CONSULTING**

#### **Attachments**

- Soil Borehole Location Plan & Respective Bore log
- Wastewater Disposal Plan & Typical Details
- Suitable Plants for Recycled Water Irrigation

## SECTION B : WASTEWATER DESIGN

### 0. SITE CHARACTERISTICS

The site comprises of few vegetation and an existing dwelling. The existing dwelling is not part of the proposed wastewater system. The surrounding area is made up of residential dwelling, agricultural and vacant lands.

<u>Surface Gradient:</u>	The site has a gradient of 20% - 23% (approx).
<u>Site Subject to 10yr ARI Flooding:</u>	Site not subjected to flooding
<u>Water Table:</u>	Not encountered within the 3m sampling depth.
<u>Groundwater Bores:</u>	Not within 50m of the disposal area.
<u>Watercourses and Dams:</u>	Not within 50m of disposal area
<u>Mains Water Available:</u>	Yes
<u>Spa baths or other fixtures generating additional effluent:</u>	No
<u>Water used for agri/aqua cultural purposes:</u>	Not within 50m of disposal area
<u>Pool Level for River Murray and it's lakes:</u>	100 metres and above 1956 Flood level
<u>Mean high water spring along coastal foreshore areas:</u>	Not within 50m of the disposal area
<u>Depth to bedrock or cap rock is at least 1.2m below surface:</u>	Yes

### 1. SOIL TYPE & EFFLUENT DISPOSAL/LAND APPLICATION SYSTEM

Refer the attached soil letter for details of the soil profile at this site. The soil is classified based on AS1547:2012 Table L1 classification of soils as outlined below. The soil between point of application and limiting layer is sandy clay.

**TABLE L1  
RECOMMENDED DESIGN LOADING RATES FOR TRENCHES AND BEDS**

Soil category	Soil texture	Structure	Indicative permeability ( $K_{sat}$ )(m/d)	Design loading rate (DLR) (mm/d)			ETA/ETS beds and trenches
				Trenches and beds		Secondary treated effluent	
				Conservative rate	Maximum rate		
1	Gravels and sands	Structureless (massive)	> 3.0	20 (see Note 1)	35 (see Note 1)	50 (see Note 1)	(see Note 4)
2	Sandy loams	Weakly structured	> 3.0	20 (see Note 1)	30 (see Note 1)	50 (see Note 1)	
		Massive	1.4 – 3.0	15	25	50	
3	Loams	High/moderate structured	1.5 – 3.0	15	25	50	
		Weakly structured or massive	0.5 – 1.5	10	15	30	
4	Clay loams	High/moderate structured	0.5 – 1.5	10	15	30	
		Weakly structured	0.12 – 0.5	6	10	20	8
		Massive	0.06 – 0.12	4	5	10	5
5	Light clays	Strongly structured	0.12 – 0.5	5	8	12	8
		Moderately structured	0.06 – 0.12		5	10	
		Weakly structured or massive	< 0.06			8	
6	Medium to heavy clays	Strongly structured	0.06 – 0.5	(see Notes 2 & 3)			5 (see Notes 2, 3, & 5)
		Moderately structured	< 0.06				
		Weakly structured or massive	< 0.06				

Soil Category C4.1  
Soil Type: Clay loams - High/ Moderate structured  
Design Loading Rate: 30 mm/day (Secondary Treated)

Note that the above disposal rate is taking into consideration of the soil modification and infiltration improvement through deep ripping to the soil for improving trench life.

Soakage Trenches/Beds receiving secondary treated effluent is recommended and will be suitable for the long term disposal of effluent. Other options for disposal can be investigated if required.

**2. DESIGN DAILY INFLOW & SIZING OF LAND APPLICATION SYSTEM**

Water Use: Domestic / Residential  
Max Number of Persons: 8  
Water Supply: Mains Water (includes bore water or any other reticulated supply)  
Source of Waste Water: Raw sewage  
Type of Waste Water: All wastewater

As per the discussion with client, the current wastewater system design is to make allowance for the proposed dwelling connection of typical 4 bedroom building design. The building with standard fixtures (e.g. W.C./ urinal, basin, shower and laundry) is not for commercial use and therefore, has been assessed holistically with future dwelling connection as a standard residential premise. Should the property owners wish to make allowance for higher occupation, then this office should be advised immediately.

Equivalent Persons (EP)	Flow Rate L/p/d (DF)	Sludge / Scum L/p/y (S)	BOD5 loading g/p/d
8	150	40	70
Total	1200L/d	320L/d	560g/d

Desludging frequency of 1yr or as required is appropriate for the system nominated in this report. Therefore, minimum secondary treatment storage capacity:

$$L = (EP \times DF) = 1200L$$

Therefore we require a hydraulic capacity of 1200L and BOD5 capacity of 560g/d.

The proposed position of the AWTS system complies with the required setback distances:

Not within 3m from any building or boundary Yes  
 On land above the 1in 10 year return period flood event Yes  
 Tanks must be 2m apart if more than one is used Yes  
 Not within 10m from any water course, well, bore or dam Yes  
 Not within 1.5m from the surface or shallow subsurface irrigation area Yes

The proposed position of the soakage bed/trench complies with the required setback distances:

2.5m from wastewater treatment systems, pump sumps, etc Yes  
 6m upslope from a building or swimming pool Yes  
 3m downslope from a building or a swimming pool Yes  
 If land is flat 3m from any point of building or swimming pool Yes

**3. DESIGN AREA SIZING**

a. Based on hydraulic capacity

$$A = \frac{P2 \times DF}{DLR} = \frac{8EP \times 150L/p/d}{30} = 40 \text{ m}^2$$

Where

A = Required Contact Area (m2)



DF = Design Daily Flow (L/p/day)  
DLR = Design Load Rate (mm/d)  
P2 = Number of Equivalent Persons

No of trenches/bed: 1  
Width of trench/bed: 2 m  
Length of trench/bed: 20 m  
Adjusted Length: 20 m

**b. Based on Nutrient loading (Nitrogen)**

Daily hydraulic load (DHL):  $8EP \times 150L/p/d = 1200 \text{ L/d}$

In accordance with the SA Health-endorsed inventory of secondary treatment systems, the effluent concentrations of Total Nitrogen (TN) from secondary treated systems, as derived from manufacturer-conducted tests, are enumerated. The most desirable product is Ozzi Kleen RP10A+. Therefore, the minimum value of 10mg/L is employed for computational purposes. Due to the presence of alum in this treatment, sludge disposal of this system needs to be with a licensed sludge removal provider. In any unforeseen circumstance if other system is used the calculation will need to be revised.

Model	TN in
Ozzi Kleen (RP10A+)	< 10mg/L
FujiClean (ACE1200)	14.8mg/L
Taylex (ABSNR-1350)	23.3mg/L

Daily Nitrogen load (DNL):  $DHL \times 10mg/L = 12000 \text{ mg/d}$   
Annual Nitrogen load (ANL):  $DNL \times 365 \text{ days/year} = 4.38 \text{ kg/year}$

Considering 20% loss of nitrogen through denitrification, volatilization, microbial digestion and  
 $ANL \times 0.8 = 3.504 \text{ kg/year}$

Consider Nitrogen uptake by plants using a fully managed lawn. Indicative nutrient uptake rates for selected crops as per Victorian guideline for water recycling is shown below :

**Table 6 – Indicative nutrient uptake rates for selected crops**

Plant species	Nitrogen uptake (kg/ha/year)	Phosphorus uptake (kg/ha/year)	Potassium uptake (kg/ha/year)
Bent grass	170	-	-
Bermuda grass	280	30– 50	220
Clover	180	20	100
Eucalypts	90	15	60
Grapes	20	-	-
Lemons	60	-	-
Lucerne	220–540	20–30	170–220
Oats	60	50	130
Oranges	40	-	-
Poplars	115	25	75
Radiata pine	95	10	70
River Sheoak	140	20	80
Ryegrass	200–280	60–80	270–330
Rye/clover (2:1)	220	50	230
Sorghum	90	15	-
Tall fescue	150–320	30	300

Source: Guidelines for wastewater Irrigation (publication 168), (EPA Victoria, 1991). Additional data is available from the AGWR (NRMMC et al., 2006)

A completely maintained lawn with either Bermuda grass or Ryegrass is preferred, contingent upon their availability.

Therefore, minimum area required for Nitrogen uptake =  $\frac{3.50}{280}$  ha

= 125 m<sup>2</sup>

From the above calculations it is clearly understood that the land application area required for Nitrogen is substantially larger than the area required for the hydraulic load. Considering both cases soakage area of 40m<sup>2</sup> with an additional nitrogen buffer land of 125m<sup>2</sup> will be adequate for a beneficial impact for the proposed development.

In the case of nitrogen buffer area, a completely maintained lawn with Bermuda grass or Ryegrass is preferred and is restricted for further development as this piece of land should solely serve to absorb nitrogen and prevent runoff to nearby catchment areas.

#### **4. SUMMARY**

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Design Loading Rate: 30mm/day (Secondary Treated)

SA Health Approved Aerated Wastewater Treatment System (AWTS) with minimum Hydraulic capacity – 1200L and .

Desludging frequency of at least every 2.9 years or as required.

1 x Soakage Trench/Bed of 20m Length, 2m Width, founded at 0.60m Depth or minimum as required by sewer grades with an additional lawn land of 125m<sup>2</sup> for maintaining nitrogen balance in disposal is recommended.

The soil beneath the base of the bed is to be thoroughly ripped to a depth of 0.6m. During ripping, breakthrough and remove any limestone caprock if encountered. Refer to typical details on drawings for further information.

#### **5. IMPORTANT NOTES**

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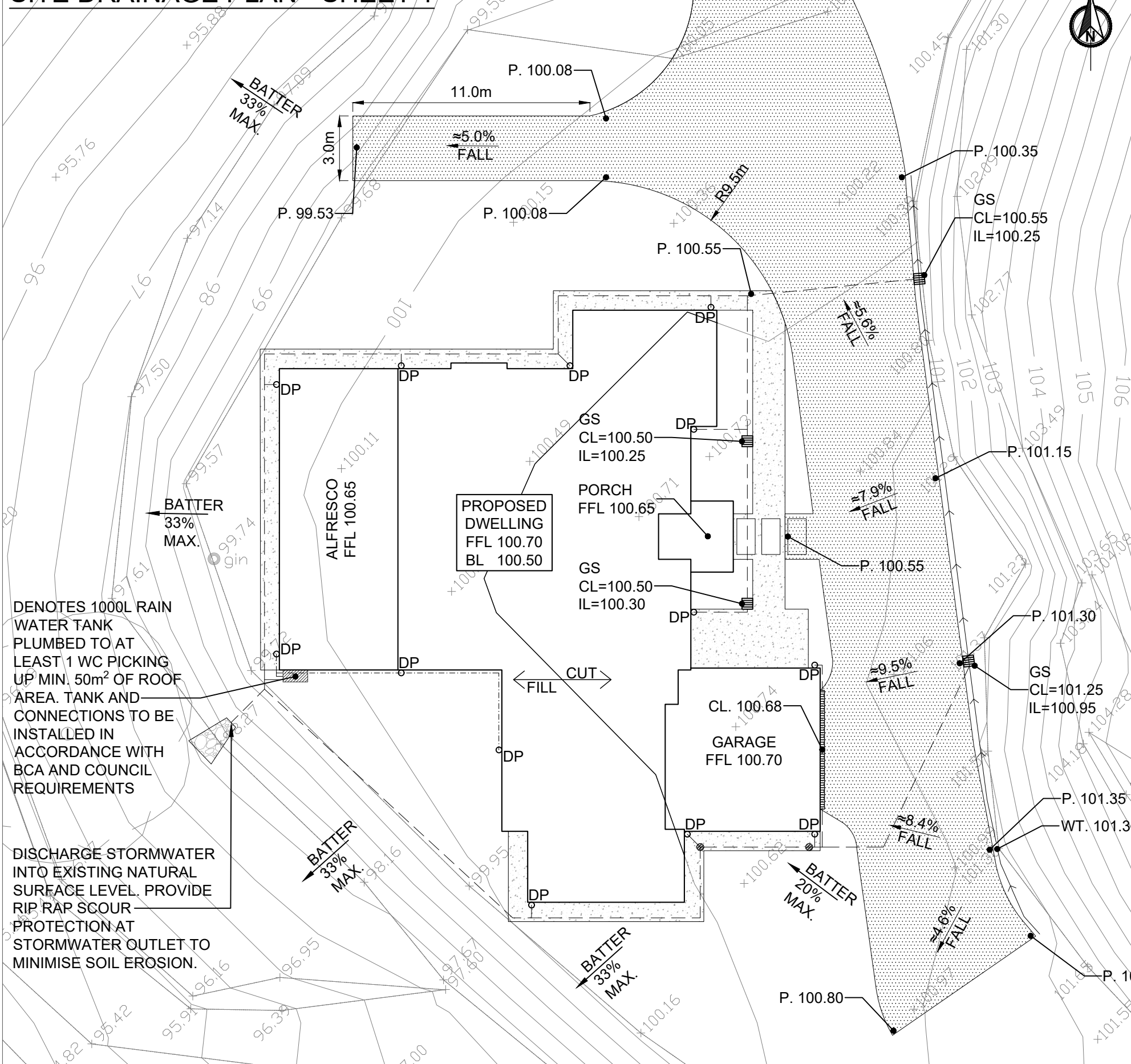
1. The wastewater disposal design is based upon the attached bore log and disposal plan. If the soil profile or site characteristics vary from what is outlined in this report or the Siteworks & Drainage Plan, this office is to be notified so further assessment and possible design alteration can be undertaken.
2. Effluent must be evenly distributed over the soakage trench/bed area to ensure continued effective operation of the system.
3. Surface water diversion measures are to be implemented if required to prevent rainfall and runoff from the surrounding land flowing through or any runoff from exiting the land application area. This requirement may be reassessed during construction due to the minimal gradient on the site. Where site is flat, it is not practical to install a diversion trench.
4. Dense covering, such as a lawn, is recommended over a soakage area to help prevent soil erosion. Consult with garden specialist for suitable plants and small groundcovers that do not have deep roots that will disrupt the soakage system and pipeline of the septic system.
5. Vehicle traffic and livestock access must be prevented over the land application area.
6. During excavation, care should be taken to avoid smearing the bed wall and floor surfaces. When smearing occurs, the typical characteristics of the soil should be reinstated using hand tools.
7. Induct vents and inspection risers are to be installed in pipework as shown on the Siteworks & Drainage Plan.
8. Trench excavation beyond a depth of 1.5m may require benching and should be assessed at the time of construction in accordance with the relevant WH&S guidelines.
9. Plumber to confirm all sewer grades prior to construction. Where a level has been set for the base of the Bed, plumber to confirm sufficient depth for sewer grade is possible prior to construction.
10. Wherever the site slope is more than 20%, ensure that the slope is maintained by doing necessary measurement (Cut and Fill)
11. Provide bunding on the downhill side to capture & contain any runoff generated from soakage area.

# SITE DRAINAGE PLAN - SHEET 1

CONTINUE NEXT SHEET

## NOTES

1. SET-OUT OF BUILDING TO BE AS PER ARCHITECTURAL DRAWINGS.
2. REFER TO FOOTING CONSTRUCTION REPORT FOR SERVICE PIPE LAGGING REQUIREMENTS. REFER TO FOOTING DESIGN ENGINEER FOR ADVICE IF NO FOOTING CONSTRUCTION REPORT.
3. FLEXIBLE CONNECTIONS FOR SEWER AND STORMWATER PIPES ARE REQUIRED FOR THIS SITE
4. SUITABLE VERTICAL EXPANSION JOINT IS TO BE PROVIDED TO DOWNPIPES AT PAVING LEVEL.
5. PATH LEVEL AT FLOOD GULLY TO BE A MINIMUM OF 165mm BELOW FINISHED FLOOR LEVEL
6. GRADE PAVING TOWARDS STORMWATER PIT AT MIN. 1.0%
7. DURING CONSTRUCTION WATER RUN-OFF SHALL BE COLLECTED AND CHANNLED AWAY FROM THE BUILDING.
8. PROVIDE MIN. 150mm COVER TO ALL STORMWATER PIPES, OR MIN. 300mm IF SUBJECT TO VEHICULAR LOADING. PROVIDE CONCRETE ENCASEMENT IF UNABLE TO ACHIEVE MIN. COVER.
9. PROVIDE TRAFFICABLE LID TO STORMWATER PIT WITHIN DRIVEWAY
10. ENGINEERING DRAWINGS SHALL NOT BE SCALED FOR DIMENSIONS
11. U.N.O LEVELS SHOWN BASED ON ENGINEERING SURVEY TO BE CONFIRMED BY BUILDER. THE BOUNDARY DATA SHOWN IS FOR INDICATIVE PURPOSES ONLY
12. LOCATION AND EXTENTS OF RETAINING WALLS ARE INDICATIVE ONLY. OWNER/BUILDER TO CONFIRM SURVEY LEVELS MATCH ACTUAL SITE CONDITION.
13. RETAINING WALL'S HEIGHT OF 400mm OR LESS CAN BE SUBSTITUTED WITH CONCRETE PLINTH.
14. OWNER/ BUILDER TO ENSURE THAT ADJOINING STRUCTURES INCLUDING RETAINING WALLS WILL NOT BE COMPROMISED BY ANY CONSTRUCTION WORK ON PROPOSED SITE.
15. REFER TO FOOTING DETAILS FOR REQUIREMENTS OF ALL TRENCH EXCAVATIONS NEXT TO FOOTINGS.
16. ALL WORKS TO BE COMPLETED IN STRICT ACCORDANCE WITH RULES, REQUIREMENTS, LAW & REGULATIONS OF ALL AUTHORITIES THAT HAVE JURISDICTION OVER ANY ASPECTS OF THE WORK.
17. ALL TREES WITHIN THE SITE BOUNDARIES ARE TO BE REMOVED U.N.O AND THE VOIDS BACKFILLED WITH COMPACTED SOIL OF THE SAME MOISTURE CONTENT AS THE REST OF THE SITE
18. GUTTERS BETWEEN DWELLINGS TO BE SIZED AS BOX GUTTERS
19. BUILDER/ OWNER TO CONFIRM DOWNPIPES LOCATIONS WITH ARCHITECT/ BUILDING DESIGNER PRIOR TO CONSTRUCTION.

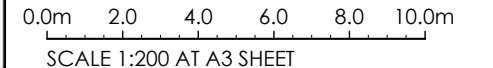


DENOTES 1000L RAIN WATER TANK PLUMBED TO AT LEAST 1 WC PICKING UP MIN. 50m<sup>2</sup> OF ROOF AREA. TANK AND CONNECTIONS TO BE INSTALLED IN ACCORDANCE WITH BCA AND COUNCIL REQUIREMENTS

DISCHARGE STORMWATER INTO EXISTING NATURAL SURFACE LEVEL. PROVIDE RIP RAP SCOUR PROTECTION AT STORMWATER OUTLET TO MINIMISE SOIL EROSION.

### LEGEND

- GRAVEL PAVING
- CONCRETE PAVING
- GRATED SUMP 300x300
- GRATED INLET PIT 90 DIA. MIN.
- DOWNPIPE (SIZE AS PER ARCHITECT)
- STORMWATER PIPE 90 DIA. UPVC MIN 1:200 FALL
- SEALED STORMWATER PIPE 90 DIA. UPVC
- 200mm WIDE TRENCH GRATE
- SHALLOW DEPRESSION (MIN. 1:200 FALL)



**BENTLEY**  
CONSULTING

ABN: 51 515 149 696    PHONE: 0428 444 784  
ADDRESS: ADELAIDE SHOWGROUND, WAYVILLE SA 5034

CLIENT: **THINK ARCHITECTS**

NAME: THINK ARCHITECTS  
EMAIL: hello@thinkarchitects.com.au

PROJECT: **644 Paracombe Rd, Paracombe SA**

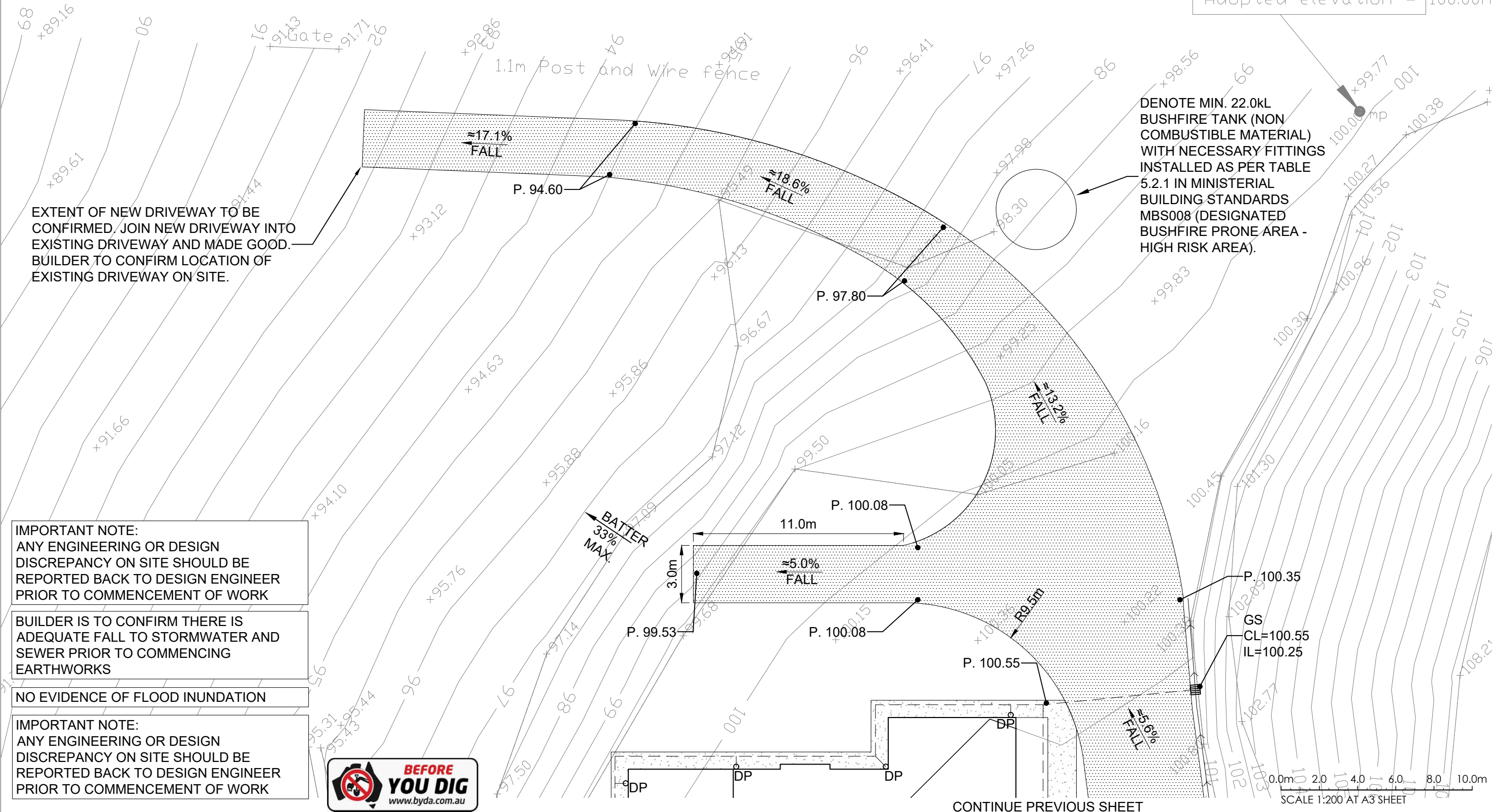
JOB NUMBER: BC230630  
ADDRESS: 644 Paracombe Rd, Paracombe SA

STATUS	DATE	BY	ISSUE
ISSUE FOR APPROVAL	05/09/23	AL	A
ISSUE FOR APPROVAL	10/05/24	AL	B

# SITE DRAINAGE PLAN - SHEET 2



TBM : Metal Pin  
Adopted elevation = 100.00m



EXTENT OF NEW DRIVEWAY TO BE CONFIRMED. JOIN NEW DRIVEWAY INTO EXISTING DRIVEWAY AND MADE GOOD. BUILDER TO CONFIRM LOCATION OF EXISTING DRIVEWAY ON SITE.

**IMPORTANT NOTE:**  
ANY ENGINEERING OR DESIGN DISCREPANCY ON SITE SHOULD BE REPORTED BACK TO DESIGN ENGINEER PRIOR TO COMMENCEMENT OF WORK

BUILDER IS TO CONFIRM THERE IS ADEQUATE FALL TO STORMWATER AND SEWER PRIOR TO COMMENCING EARTHWORKS

NO EVIDENCE OF FLOOD INUNDATION

**IMPORTANT NOTE:**  
ANY ENGINEERING OR DESIGN DISCREPANCY ON SITE SHOULD BE REPORTED BACK TO DESIGN ENGINEER PRIOR TO COMMENCEMENT OF WORK



CONTINUE PREVIOUS SHEET

**BENTLEY**  
CONSULTING

ABN: 51 515 149 696 PHONE: 0428 444 784  
ADDRESS: ADELAIDE SHOWGROUND, WAYVILLE SA 5034

CLIENT:

**THINK**  
ARCHITECTS

NAME:  
THINK ARCHITECTS  
EMAIL:  
hello@thinkarchitects.com.au

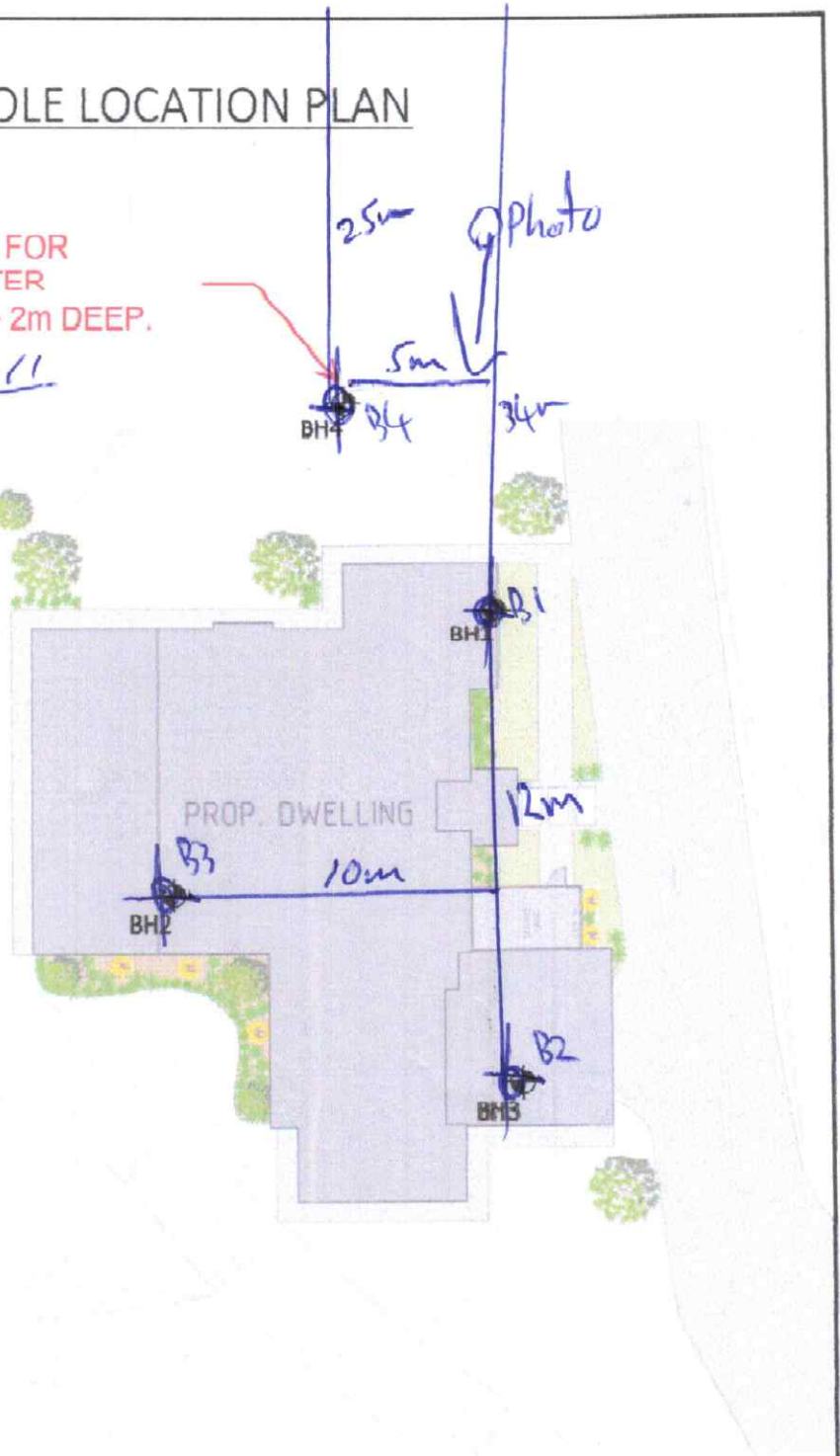
PROJECT:

JOB NUMBER:  
BC230630  
ADDRESS:  
644 Paracombe Rd, Paracombe SA

STATUS	DATE	BY	ISSUE
ISSUE FOR APPROVAL	05/09/23	AL	A
ISSUE FOR APPROVAL	10/05/24	AL	B

# BOREHOLE LOCATION PLAN

BOREHOLE FOR  
WASTEWATER  
LOCATION - 2m DEEP.



⊕ APPROXIMATE BOREHOLE LOCATION. REFER  
SOIL BORELOG FOR SOIL PROFILE DETAILS.

**BENTLEY**  
CONSULTING

DATE

JOB No.

BOREHOLE LOCATION

SOIL BORELOG

Job No: BC230630

Site: Parakombu

Date: 15/8/23

CLIENT: BC

VISUAL ASSESSMENT OF PROPERTIES

1	2	3	4	COLOUR	CONSISTENCY, TEXTURE & STRUCTURE	SOIL DESCRIPTION	U.S.C	M.C.	BEARING	EST Ips (AVE)
00 015	00 020	00 075	00 080	Dark Brown	Firm, Crumbly	(Fill) Sandy clay, gravel patches, HP	CL GM	B	M	0015
				<del>Brown</del>		Refusal on bore - 4				
015 025		075 090		Brown	Friable, Crumbly	Clayey Sand VLP	SM SC	B	M	0005
025 060	020 060	090 130		Red Brown	Hard, Crumbly	Sandy clay HP	CH	B	M	0030
060 075	060 090	130 150		Orange Brown	Friable, Crumbly	Sandy clay, Rock nodules, LP	CL GM	B	H	0015
						Refusal				

REMARKS:	TYPE: FILL OVER P1
	SOIL MAPS:
	SAMPLE METHOD: PUSH TUBE - RIG / HAND HELD



# DRILLING

ENGINEER: Bentley DATE: 25/7/23

JOB NO.: BC230630 RING: YES  NO

SITE ADDRESS: 204 Paracombe rd  
Paracombe

NEW STRUCT.  ADDITION  S/ POOL  OTHER   
 HAND GEAR  RIG   
 AUGER  B1 PT 750 - Auger 750 - Refused  
B2 PT 0.9 - Refused  
B3 PT 1.5 - Refused  
B4 PT 0.8 - Auger 0.8 - Refused Rock

CORES	1	2	3	4	5	6	7	8	9	10
DEPTH	750	0.9	1.5	0.8						
CORE RECOVERY										
100%	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>						
LOSS	-	-	-	-						
STRETCHED	-	-	-	-						
RESISTANCE										
LOW	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>						
MEDIUM	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>						
HIGH	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>						
WATER TABLE	-	-	-	-						

SURFACE DRY  MOIST  WET   
 VEGETATION TREES  GRASS  PAVED  GRAVEL   
 SAND  BITUMEN  DIRT  CONCRETE   
 CRACKING YES  NO   
 SLIGHT  MODERATE  SEVERE   
 SURFACE SOIL STRENGTH FIRM  SOFT  LOOSE  HARD   
 ROCK OUTCROPS YES  NO   
 UNUSUAL FEATURES YES  NO

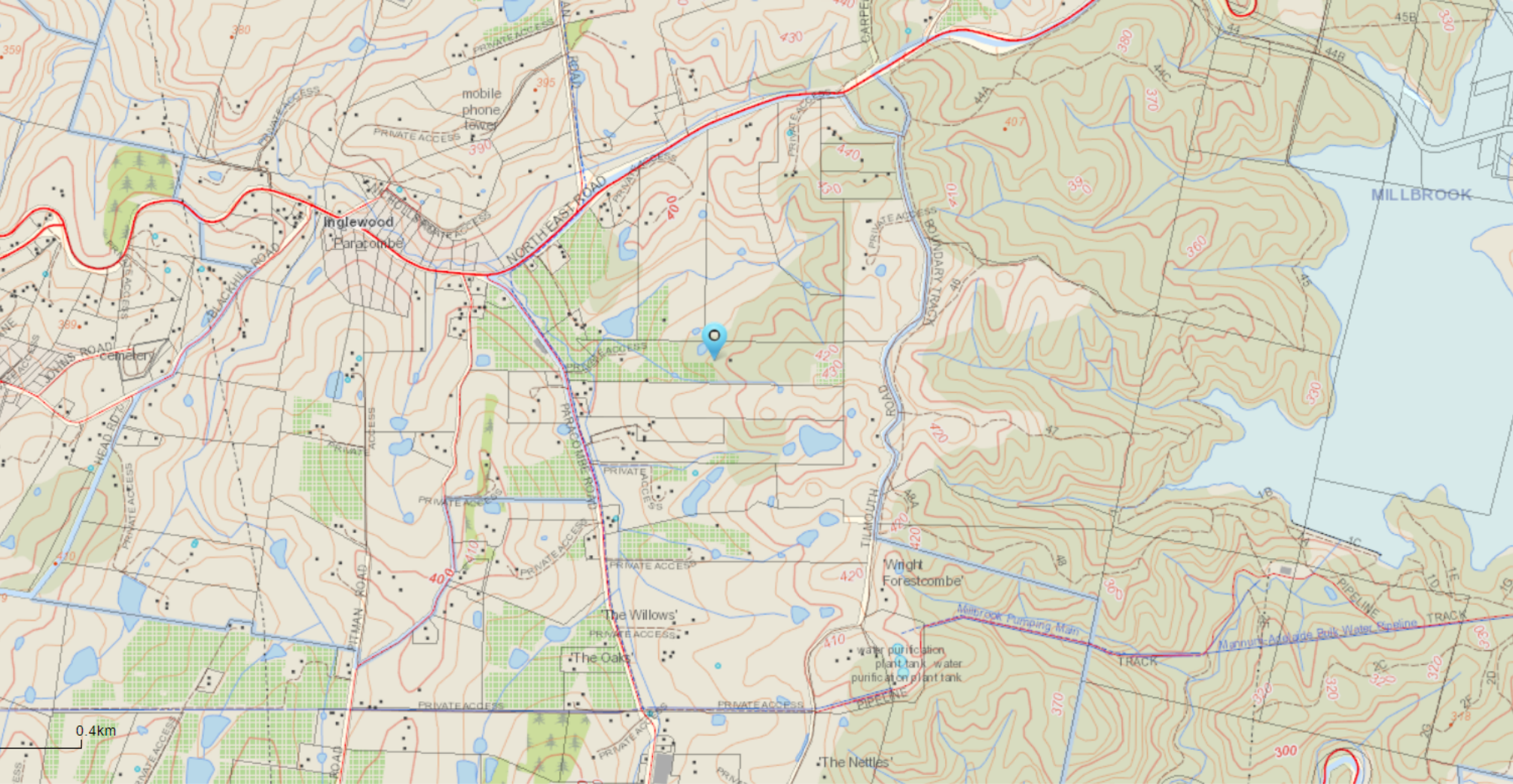
**\*\*WILL BE SHOWN ON SITE LAYOUT\*\***

*Includes such things as heaps of filling, pits, excavations, drains, large rocks and trees (inc surrounding trees)*

SLOPE YES  NO  LEVEL YES  NO  FALL As per location  
 UNDULATING YES  NO   
 CRACKING IN EXISTING BUILDING YES  NO  N/A  
 OR IN BUILDING ADJACENT YES  NO  N/A

DRILLERS NAME: Angela + Justin DATE DRILLED: 15/8/23

**ENVIRONMENTAL FEATURES MAP**





# BENTLEY

## CONSULTING

### SECTION C

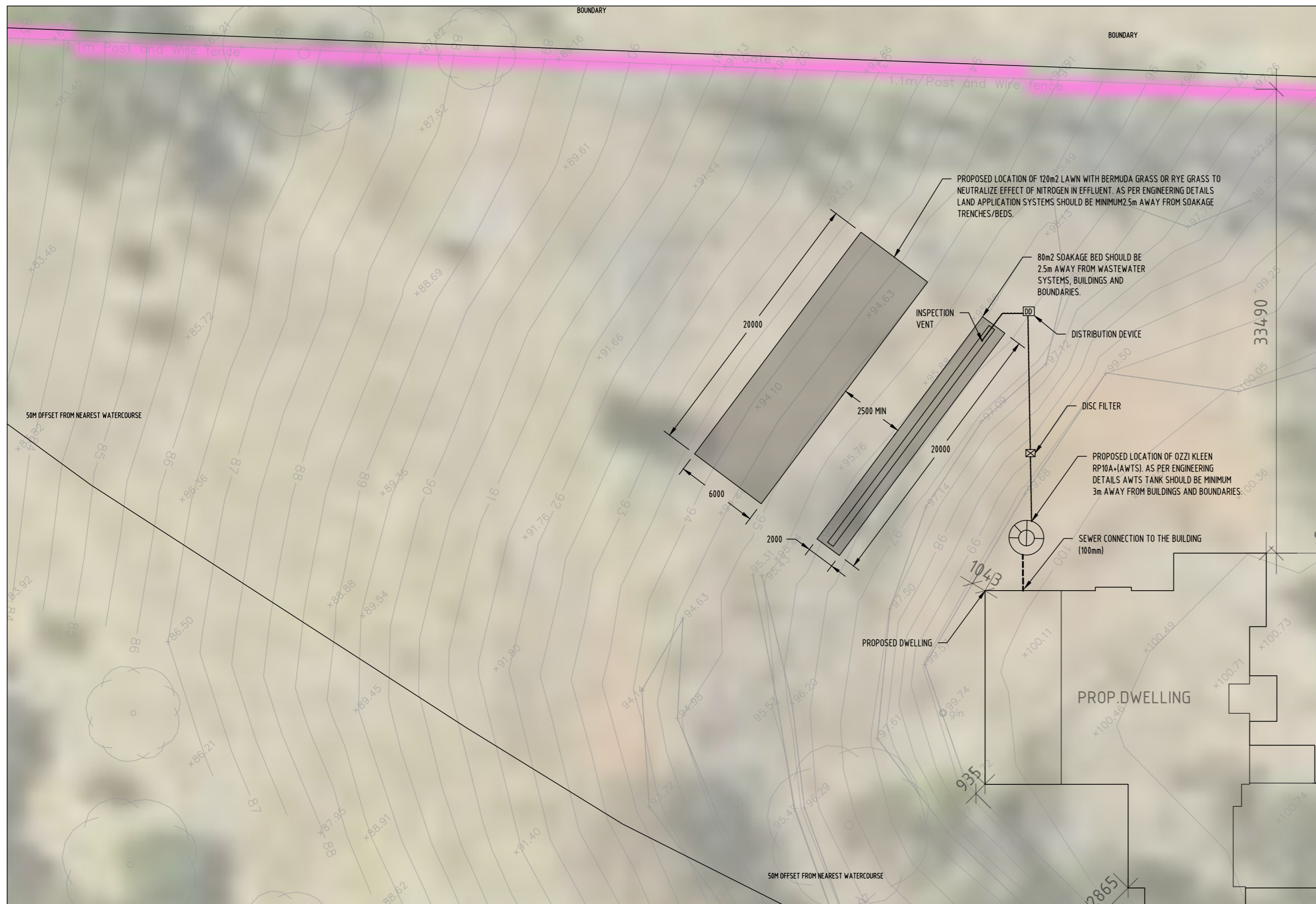
#### WASTEWATER SYSTEM LAYOUT & TYPICAL DETAILS

CLIENT: DAVID CRAWFORD

JOB NUMBER: BC230630

REVISION: C

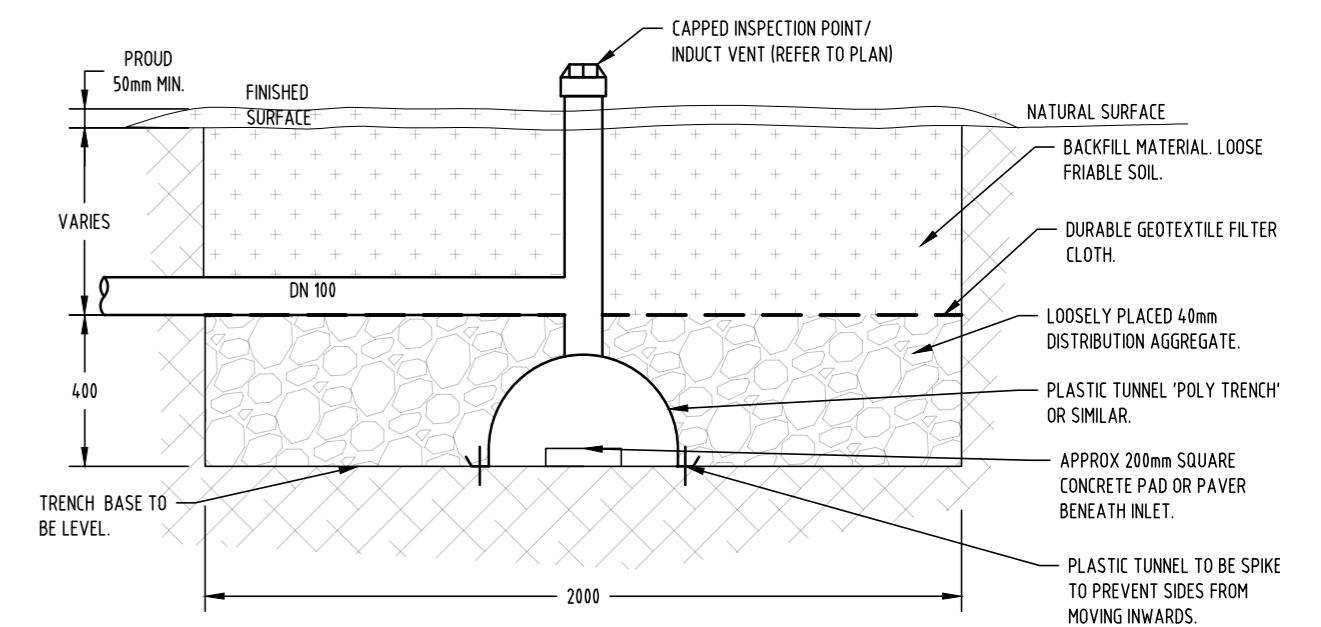
BY: RR



**WASTEWATER SYSTEM LAYOUT**  
SCALE 1:250

SYMBOL	DENOTES
---	100 DIA GRAVITY SEWER PIPE @ MIN 1.65%
----	40 DIA HDPE SUPPLY HEADER
----	40 DIA HDPE RETURN HEADER
-----	TECHLINE AS PURPLE PRESSURE LINES WITH DRIP EMITTERS OR EQUIVALENT PRODUCT, MINIMUM 1.0m DRIP LINE SPACING AND 0.3m EMITTER SPACING. REFER PRODUCT SPECIFICATIONS
☒	80 MICRON & 120 MICRON FILTERS PLACED IN SERIES
⊗	AIR VACUUM RELEASE VALVE
⊙	FLUSH VALVE
⊕	CONTROL SWITCH
⊖	SEPTIC TANK - NA
⊗	AWTS - OZZI KLEEN RP10A+
⊕	BALANCING TANK - NA
⊖	PUMP CHAMBER
⊗	SEQUENCING VALVE
⊕	DISTRIBUTION BOX

ITEM	SET-BACK FROM	MINIMUM DIMENSIONS (M)
SEPTIC TANK	BOUNDARIES	2.5
SEPTIC TANK	BUILDINGS	2.5
DISTRIBUTION SUMPS	SEPTIC TANK	1
DISTRIBUTION SUMPS	SOAKAGE TRENCH	1
DISTRIBUTION SUMPS	BOUNDARIES	2.5
DISTRIBUTION SUMPS	BUILDINGS	2.5
SOAKAGE TRENCH	SEPTIC TANK	2.5
SOAKAGE TRENCH	BUILDINGS (UPSLOPE)	6
SOAKAGE TRENCH	BUILDINGS (DOWNSLOPE)	3
SOAKAGE TRENCH	SWIMMING POOLS (UPSLOPE)	6
SOAKAGE TRENCH	SWIMMING POOLS (DOWNSLOPE)	3



**TYPICAL SOAKAGE TRENCH/BED - PLASTIC TUNNEL SYSTEM**  
SCALE NTS

**NOTES:**

- EFFLUENT MUST BE EVENLY DISTRIBUTED OVER THE SOAKAGE BED AREA TO ENSURE CONTINUED EFFECTIVE OPERATION OF THE SYSTEM.
- SURFACE WATER DIVERSION MEASURES ARE TO BE IMPLEMENTED UPSLOPE OF, AND AROUND THE APPLICATION AREA SUFFICIENT TO PREVENT RAINFALL AND RUNOFF FROM THE SURROUNDING LAND FLOWING THROUGH OR ANY RUNOFF FROM EXITING.
- ALTHOUGH NOT REQUIRED, THE LAND APPLICATION AREA WILL BENEFIT FROM APPROPRIATE FLORA BEING PLANTED ADJACENT THE SOAKAGE BED. PLANTS MUST BE SUITABLE FOR TRANSPIRATION OF RECYCLED WATER AND BE SALT AND NUTRIENT TOLERANT, SEE WASTEWATER REPORT FOR SUITABLE SPECIES.
- VEHICLE TRAFFIC MUST BE PREVENTED OVER THE LAND APPLICATION AREA.
- DURING EXCAVATION, CARE SHOULD BE TAKEN TO AVOID SMEARING THE BED WALL AND FLOOR SURFACES. WHEN SMEARING OCCURS, THE TYPICAL CHARACTERISTICS OF THE SOIL SHOULD BE REINSTATED USING HAND TOOLS.
- 40mm SINGLE SIZE AGGREGATE SHALL BE USED WITHIN TRENCH AND BED SUBSURFACE DISPOSAL SYSTEMS. A DURABLE GEOTEXTILE MATERIAL IS TO BE PLACED OVER THE AGGREGATE PRIOR TO BACKFILLING WITH LOOSE SOIL.
- INDUCT VENTS AND INSPECTION RISERS ARE TO BE INSTALLED IN PIPEWORK AS SHOWN ON THE SITWORKS & DRAINAGE PLAN.
- ALL WORKS TO BE INSTALLED BY SUITABLY QUALIFIED PLUMBING CONTRACTOR. STANDARD DETAILS ARE TO BE READ IN CONJUNCTION WITH ASSOCIATED ON-SITE WASTEWATER REPORT.

REFER TO THE ONSITE WASTEWATER ASSESSMENT, DETAIL AND THE ONSITE WASTEWATER SYSTEMS CODE FOR ADDITIONAL INFORMATION ON THE DISPOSAL SYSTEM SHOWN.

REV.	DATE	DESCRIPTION	DRAFT	ENG.
A	24/08/23	FOR APPROVAL	RR	RR
B	12/03/24	FOR APPROVAL	RR	RR

**BENTLEY CONSULTING**  
Aelaide Showground, Wayville  
South Australia 5034  
Telephone 08 7081 4120  
Email admin@bentleyconsulting.net.au

**PROPOSED DWELLING**  
644 PARACOMBE ROAD, PARACOMBE, SA 5132  
**WASTEWATER SYSTEM LAYOUT**

		DRAWING NUMBER	Sheet No.	Rev.
A2	Design	BC230630	CV-0101	A

## SECTION D : ATTACHMENTS

Manufacturer	Model name	EP and treatment capacity	Description, servicing frequency, and recommended desludge frequency at maximum design EP use	DHW Approval No. & expiry	AS 1546.3:2017 Certification No. & expiry
<a href="#">Ri-Industries</a> Angle Park, SA  <a href="mailto:sales@ri-industries.com.au">sales@ri-industries.com.au</a>	Ri-Treat EP10	10 EP  1,500L/d 700g BOD <sub>5</sub> /d	Single tank, concrete, vertical orientation. Contains a primary settlement chamber, aeration chamber, clarification chamber, and pump/disinfection chamber.  Servicing frequency: 3 monthly Desludge frequency: 6 years or as required	WWP-20078  13 October 2025	SMK20560  13 October 2025
	Ri-Treat EP30	33EP  5,000L/d 2,310g BOD <sub>5</sub> /d	Three-tank, concrete, all vertical orientation. Contains an 8kL septic tank, an 8kL aeration tank, and an 8kL tank with aeration, settlement and pump/disinfection chambers.  Servicing frequency: 3 monthly Desludge frequency: 3.8 years or as required	WWP-20105  13 October 2025	
<a href="#">Suncoast Waste Water Management</a> Kunda Park, QLD  <a href="mailto:info@ozzikleen.com">info@ozzikleen.com</a>	Ozzi Kleen RP10	10 EP  1,500L/d 700g BOD <sub>5</sub> /d	Single tank, polyethylene, vertical orientation. Contains a primary settlement/aeration chamber, and pump/disinfection chamber.  Servicing frequency: 3 monthly Desludge frequency: 1.9 years or as required	WWP-20103  22 July 2027	SMK02608  22 July 2027
	Ozzi Kleen RP10S	10 EP  1,500L/d 700g BOD <sub>5</sub> /d	Single tank, polyethylene, vertical orientation. Contains a primary settlement/aeration chamber, and pump/disinfection chamber, and alum dosing system.  Servicing frequency: 3 monthly Desludge frequency: 2.8 years or as required		

Manufacturer	Model name	EP and treatment capacity	Description, servicing frequency, and recommended desludge frequency at maximum design EP use	DHW Approval No. & expiry	AS 1546.3:2017 Certification No. & expiry
	Ozzi Kleen RP10S+	10 EP 1,500L/d 700g BOD <sub>5</sub> /d	Single tank, polyethylene, vertical orientation. Contains a primary settlement/aeration chamber, and pump/disinfection chamber, and alum dosing system.  Servicing frequency: 3 monthly Desludge frequency: 0.9 years or as required		
	Ozzi Kleen RP10A+	10 EP 1,500L/d 700g BOD <sub>5</sub> /d	Single tank, polyethylene, vertical orientation. Contains a primary settlement/aeration chamber, pump/disinfection chamber, and alum dosing system.  Servicing frequency: 3 monthly Desludge frequency: 2.9 years or as required		
<a href="#">Suncoast Waste Water Management</a> Kunda Park, QLD  <a href="mailto:info@ozzikleen.com">info@ozzikleen.com</a>	Ozzi Kleen SK20A & SK20G	20 EP 4,000L/d 1,400g BOD <sub>5</sub> /d	Transportable treatment unit consisting of a manual bar screen, inflow balance tank, and two Ozzi Kleen RP10 units and on a skid mount. The SK20G also contains a grease trap. To be installed on ground, requiring a pump station with proprietary controller prior to unit.  Servicing frequency: 3 monthly Desludge frequency: 1.9 years or as required	WWP-20092 22 July 2027	SMK02608 22 July 2027

# OZZIKLEEN

Water & Waste Water

RP10 Range Specifications



Sewage  
Treatment Systems

*Efficiency, Reliability, Simplicity*

[www.ozzicleen.com](http://www.ozzicleen.com)

## TREATED EFFLUENT QUALITY

The treated effluent produced by the RP10, RP10A and RP10A+ sewage treatment plants are designed to be within the required guidelines for secondary effluent quality, advanced secondary effluent quality and advanced secondary effluent quality with nutrient reduction respectively. The effluent quality guidelines are as follows:

PARAMETER	UNIT	STANDARD SECONDARY EFFLUENT QUALITY	ADVANCED SECONDARY EFFLUENT QUALITY	ADVANCED SECONDARY W/NUTRIENT REDUCTION EFFLUENT QUALITY
Ozzi Kleen Model		RP10	RP10A	RP10A+
Biological Oxygen Demand (BOD <sub>5</sub> )	mg/L	≤ 20	≤ 10	≤ 10
Total Suspended Solids (TSS)	mg/L	≤ 30	≤ 10	≤ 10
Total Nitrogen (TN)	mg/L	-	-	≤ 10
Total Phosphorus (TP)	mg/L	-	-	≤ 5
Turbidity	NTU	-	-	≤ 2
pH		6.5 - 8.5	6.5 - 8.5	6.5 - 8.5
Faecal Coliforms, FC	cfu per 100 mL	≤ 10	≤ 10	≤ 10
Chlorine Residual	mg/L	0.5 – 2.0	0.5 – 2.0	0.5 – 2.0

- \* The treatment plant is to be serviced at the regular interval of every three months, which will require a full service as set out in the Owner's Manual.

### NOTE

The Actual Water Quality for the RP10A+ was independently measured as:-

Average final effluent quality:	E. coli	cBOD <sub>5</sub>	TSS	TN	TP
	CFU/100mL	mg/L	mg/L	mg/L	mg/L
	<b>&lt;1</b>	<b>&lt;3</b>	<b>3.7</b>	<b>8.4</b>	<b>1.7</b>

## Maintenance of aerobic wastewater treatment systems

This fact sheet provides basic information about types of aerobic wastewater treatment systems, obtaining approval to install them and how to operate and maintain the systems to prevent risks to health and safety.

There are basically two types of systems for aerobic wastewater treatment:

- Aerated wastewater treatment systems (AWTS)
- Aerobic sand filters.

### Aerated wastewater treatment systems (AWTS)

An AWTS is designed to treat wastewater to a level suitable for surface irrigation within the site.

Following primary treatment, the effluent is treated by a process of aeration, settling and disinfection and then pumped to a dedicated irrigation area as recycled water.

### Aerobic sand filters

Sand filters achieve a similar result to AWTS but the treatment process is different.

The effluent from a septic tank is filtered through a sand layer which provides natural aeration and biological oxidation through aerobic and nitrifying organisms.

From the disinfection chamber the recycled water is pumped to the dedicated irrigation area.

### Aerobic sand filters

Both types of treatment achieve a level of water quality that permits the discharge of the recycled water to surface irrigation within a dedicated landscaped irrigation area.

Before an aerobic system can be installed, an approval must be obtained from the local council.

The approval specifies the plumbing and drainage layout, wastewater treatment system and location of the dedicated irrigation area.

The occupier of the premises should have received a comprehensive manual on the care, operation and maintenance of the system when it was installed.

As a condition of approval, the occupier of the premises served by an aerobic system must maintain the system to ensure that recycled water complies with safe water-quality standards. See below for servicing requirements.

An aerobic system may create health risks for the occupants if it is not correctly maintained.

**General maintenance requirements for aerobic systems**

### Aeration and maintenance

A correctly operated and maintained aerobic system provides the occupants with a safe means of using recycled water without risk to health and helps conserve water.



# Wastewater Fact Sheet

## Service

AWTS and sand filters must be serviced by an appropriately trained person at specified intervals as recommended by the manufacturer in the service manual. The [SA Health On-site Wastewater Systems Code](#) provides details of the training requirements for service providers.

Maintenance, depending on the type of system, may include checking the blowers, contact media, pipework, valves, diffusers, effluent clarity and sludge return, removal of excess scum, testing the pump and general operation of the system.

Where chlorine tablets are used, the amount supplied must be sufficient to last until the next scheduled service.

## Seismic

Where installed, a septic tank needs to be pumped out every 4 years or more often according to the installation approval conditions.

Pumping out of the septic tank must be done by a licensed contractor.

## Alarm

All aerobic wastewater treatment systems must be provided with an alarm system to alert occupants to an electrical or mechanical malfunction.

The alarm must have an audible and visual (indicator light) component with muting for the audible alarm.

The fault indicators should be located inside the premises, preferably within the kitchen or laundry.

## Odour

Slight odour from the system is normal. However, strong persistent odours indicate the system is not functioning correctly.

## Permeable

Remember that the dedicated surface irrigation system and irrigation area

must function every day of the year - rain, hail or shine.

When setting up the irrigation system, the following points should be considered:

- The wastewater engineer specifies the required irrigation area for the system (the size can generally be found on the installation approval).
- The irrigation area must comply with setback distances from the building, boundaries, swimming pools etc..
- The irrigation area must be landscaped with suitable salt and nutrient tolerant plants and must be designed to discourage or prevent access by pets and people.
- The recycled water must be evenly distributed over the whole area without spray drift, pooling or run-off. On some sites the design may specify drippers or sub-surface irrigation.
- The irrigation system must not be connected to the reticulated mains supply or other drinking water supply.
- All distribution pipework for the irrigation system should be buried at least 150mm below the ground surface.
- The recycled water is not to be used for growing food crops.
- Roof and surface waters must be diverted away from the irrigation area.
- The irrigation area must not be located on land subject to flooding or waterlogging.
- The irrigation area should have precautionary signs placed on all sides worded as follows:

**Warning: Irrigation area is not suitable for human consumption**



# Wastewater Fact Sheet

The signs should have a white background with red lettering of at least 20mm in height.

- The pump provided in the aerobic system must be of sufficient capacity to ensure an even distribution of recycled water to the whole of the irrigation area and is usually specified by the design engineer.

## Sealing and approval conditions

If you did not receive a copy of the operating and service manual and the approval conditions when you moved into the premises, contact the system installer or the manufacturer to obtain this information.

## Sealing and approval conditions

This fact sheet is only a brief guide to the basic requirements. For more detailed information on the installation, operation and maintenance of aerobic systems see the [SA Health On-site Wastewater Systems Code](#).

To download the application form for approval to install aerobic wastewater treatment systems go to our [On-site Systems webpage](#).

## Further information

Contact the Environmental Health Officer at your local council for further information. Go to the [Local Government website](#) to locate the council responsible for a particular town or suburb.

## Contact

Wastewater Management  
Public Health  
SA Health

Level 1  
Citi Centre Building  
11 Hindmarsh Square  
Adelaide SA 5000

PO Box 6  
Rundle Mall SA 5000

Tel: (08) 8226 7100  
Fax: (08) 8226 7102

Email: [public.health@health.sa.gov.au](mailto:public.health@health.sa.gov.au)  
Web: [www.health.sa.gov.au/pehs/environ-health-index.htm](http://www.health.sa.gov.au/pehs/environ-health-index.htm)

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SA Health

# Suitable Plants for Recycled Water Irrigation<sup>1</sup>

Note: This list is only intended to provide a selection of plants which may be considered suitable for the land application area. Due to climatic and soil variations, it is essential that further investigation be made before finalising your plant choice to suit your particular locality and site conditions.

The associated Construction Footing Report (if applicable) and the included CSIRO 'Foundation Maintenance & Footing Performance: A Homeowner's Guide' are to be consulted for acceptable tree planting locations in relation to the proposed dwelling, contact this office for advice if required.

## Trees

Botanical Name	Common Name	Approx. Heights (m)
<i>Agonis flexuosa</i>	Willow Myrtle	5-6
<i>Allocasuarina verticillata</i>	Drooping She Oak	3-5
<i>Banksia</i> spp.		3 - 10
<i>Callistemon salignus</i>	White Bottlebrush	3 - 6
<i>Callistemon viminalis</i>	Red Bottlebrush	3 - 6
<i>Casuarina cunninghamiana</i>	River She Oak	6 - 10
<i>Eucalyptus camaldulensis</i>	River Red Gum	15 - 20
<i>Eucalyptus cosmophylla</i>	Cup Gum	5 - 6
<i>Eucalyptus grandis</i>	Flooded Gum	10 - 20

<i>Eucalyptus robusta</i>	Swamp Mahogany	6 - 9
<i>Eucalyptus saligna</i>	Sydney Blue Gum	15 - 20
<i>Hymenosporum flavum</i>	Native Frangipani	3 - 6
<i>Melaleuca nesophila</i>	Western Tea Myrtle	2 - 4
<i>Melaleuca quinquenervia</i>	Broad Paperbark	5 - 7
<i>Syzygium paniculatum</i>	Bush Cherry	8 - 10
<i>Tristaniopsis laurina</i>	Kanuka	3 - 5

## Shrubs

Botanical Name	Common Name	Approx. Heights (m)
<i>Abelia grandiflora</i>	Abelia	2 - 3
<i>Acacia floribunda</i>	Gossamer Wattle	2 - 4
<i>Argyranthemum frutescens</i>	Marguerite Daisy	1
<i>Chamaelirium uncinatum</i>	Geraldton Wax	2 - 4
<i>Cyperus alternifolius</i>	Umbrella Grass	0.5 - 1
<i>Cyperus papyrus</i>	Papyrus	1 - 2
<i>Dryandra Formosa</i>		1 - 3
<i>Eremophila</i> spp.		1 - 2
<i>Grevillea</i> spp.		1 - 3
<i>Hebe</i> spp.	Veronica	0.5 - 1
<i>Iris pseudacorus</i>	Yellow Flag Iris	0.5 - 1
<i>Melaleuca decussata</i>	Cross Leaved Honey Myrtle	1 - 2
<i>Phormium tenax</i>	New Zealand Flax	2 - 2.5
<i>Senna</i> spp.		1 - 3

## Perennials/ Ground Cover

Botanical Name	Common Name	Approx. Heights (m)
<i>Aster novi-belgii</i>	Perennial Aster	0.5 - 1
<i>Canna</i>		1 - 2
<i>Chrysanthemum Maximum</i>	Shasta Daisy	1
<i>Impatiens</i> spp.		0.4
<i>Salvia uliginosa</i>	Bog Salvia	0.4
<i>Viola hederacea, eminens or sieberana</i>		0.4

## Climbers

Botanical Name	Common Name	Approx. Heights (m)
<i>Bougainvillea</i> spp.		Variable
<i>Clematis microphylla</i>		Variable
<i>Hardenbergia violacea</i>	Purple Coral Pea	Variable
<i>Hibbertia scandens</i>	Snake Vine	Variable
<i>Jasminum grandiflorum</i>		Variable
<i>Jasminum officinale</i>	Common Jasmine	Variable
<i>Jasminum polyanthum</i>		Variable
<i>Kennedia rubicunda</i>	Dusky Coral Pea	Variable
<i>Passiflora</i> spp.	Passion Flower	Variable
<i>Vitis coignetiae</i>	Glory Vine	Variable

<sup>1</sup> SA Health On-site Wastewater Systems Code April 2013) Appendix D – Suitable Plants For Recycled Water Irrigation

# Attachment E

## Native Vegetation Clearance Report



**TERRA  
GANA**

# Native Vegetation Clearance Data Report

## Crawford – New Dwelling (Paracombe)

Clearance under the *Native Vegetation Regulations 2017*

15<sup>th</sup> April 2024

Prepared by Sheree Edwards, Senior Environmental Consultant



Document Information

Client	David Crawford
Issue Date	15/04/24
Version	1.0 Final
Author	Sheree Edwards
Title	Senior Environmental Consultant

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  - 4.5 Principles of clearance
  - 4.6 Risk Assessment
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5. Clearance summary
6. Significant environmental benefit

## Attachments:

1. Bushland Assessment Scoresheet (Excel format).
2. Mapping Files (in Shapefile format)
3. Site Plans

# 1. Application information

## Application Details

Applicant:	David Crawford		
Key contact:	P: 0466 467 119   E: davidcrawford@westpac.com.au   A: 644 Paracombe Road Paracombe 5132		
Landowner:	As Above		
Site Address:	644 Paracombe Road, Paracombe 5132		
Local Government Area:	Adelaide Hills Council	Hundred:	Para Wirra
Title ID:	CT5733/519	Parcel ID	H105700BL577

## Summary of proposed clearance

Purpose of clearance	Clearance required for the construction of a house.
Native Vegetation Regulation	Regulation 12, Schedule 1; clause 33, House or Buildings
Description of the vegetation under application	<i>Eucalyptus goniocalyx</i> ssp. <i>goniocalyx</i> very open woodland with sparse understorey
Total proposed clearance - area	0.06 ha native vegetation proposed to be cleared.
Level of clearance	Level 3
Overlay (Planning and Design Code)	Native Vegetation Overlay

## Map of proposed clearance area



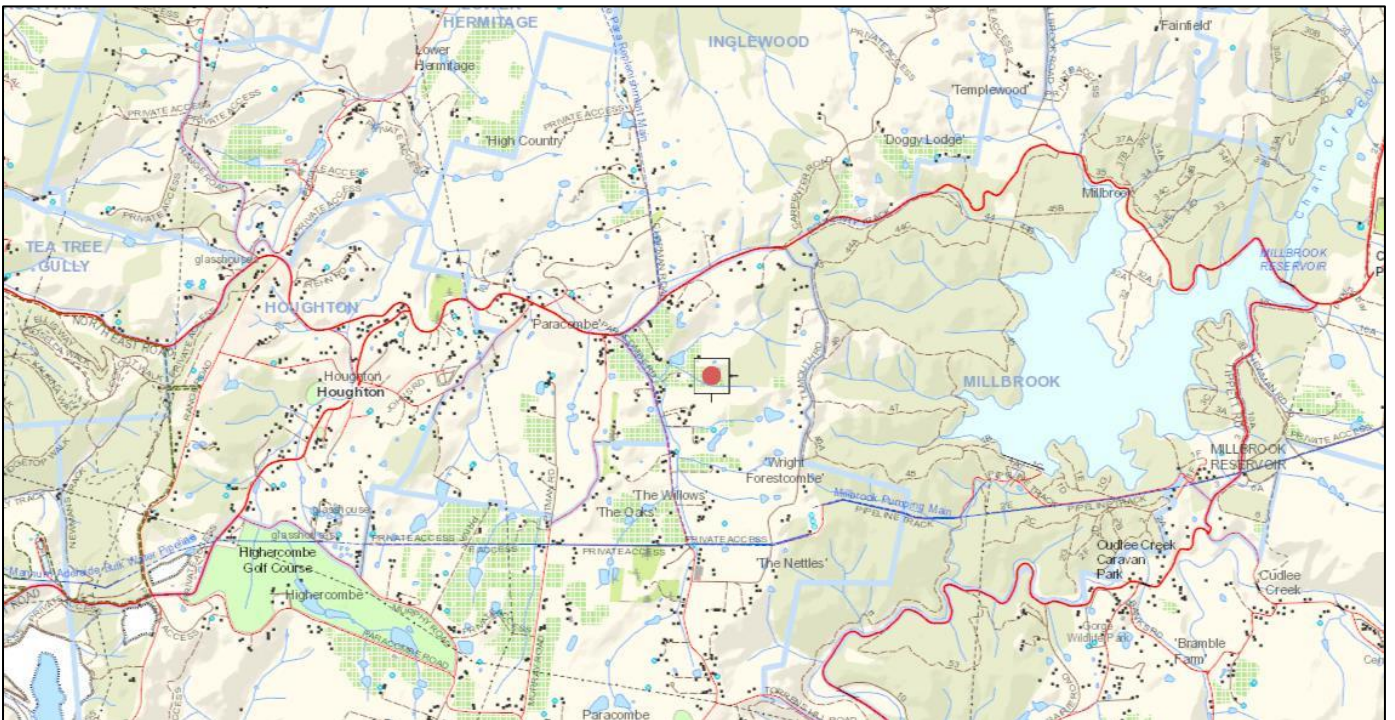
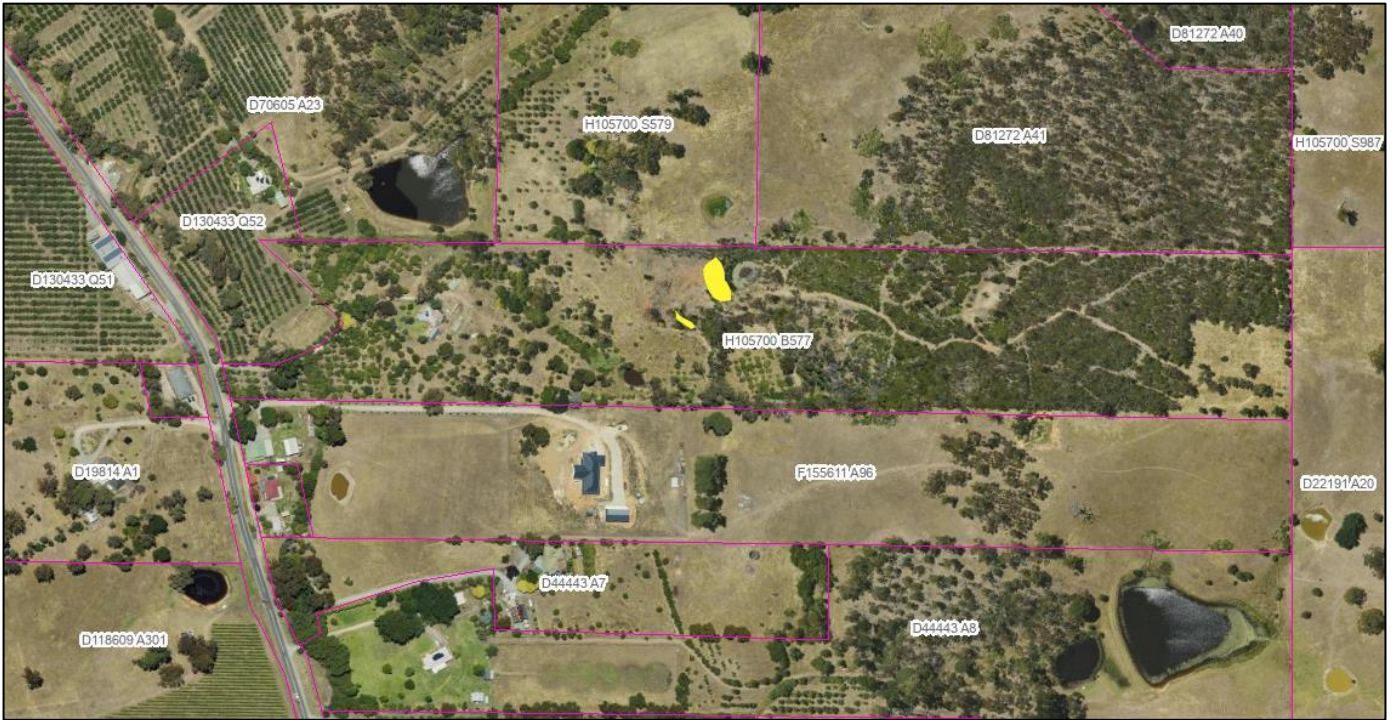
Mitigation hierarchy	Refer to Section 4.4: Address the Mitigation Hierarchy.
SEB Offset proposal	Payment into the Native Vegetation Fund of \$1,104.50 (no GST) plus Administration Fee of \$60.75 (GST incl) = \$1,165.25

# 2. Purpose of clearance

## 2.1 Description & Background

The proposed clearance is incidental to the construction of a new dwelling on the property. The current dwelling on the property will be converted to tourist accommodation and not expanded. The associated development application includes the installation of new internal fencing to ensure maintenance of existing land-use (primary production). All proposed fence line locations were inspected and no native vegetation will be impacted from their installation.

## 2.2 General location map





## 2.3 Details of the proposal

Refer to Site Plans.

## 2.4 Approvals required or obtained

- Native Vegetation Act 1991 (Application here-in)

## 2.5 Native Vegetation Regulation

This application is suggested to be assessed under the Regulation 12, Schedule 1; clause 33, House or Buildings.

## 2.6 Development Application information

Zone: Productive Rural Landscape - PRuL

### Overlays

Environment and Food Production Area: *The Environment and Food Production Area Overlay is an area of rural, landscape, environmental or food production significance within Greater Adelaide that is protected from urban encroachment*

Hazards (Bushfire - High Risk): *The Hazards (Bushfire - High Risk) Overlay seeks to ensure development responds to the high level of bushfire risk by siting and designing buildings to mitigate threat and impact of bushfires on life and property, facilitating access for emergency service vehicles and situating activities that increase the number of people living and working in the area away from areas of unacceptable bushfire risk.*

Hazards (Flooding - Evidence Required): *The Hazards (Flooding - Evidence Required) Overlay adopts a precautionary approach to mitigate potential impacts of potential flood risk through appropriate siting and design of development.*

Limited Land Division: *The Limited Land Division Overlay seeks to limit fragmentation of land to avoid undermining primary production.*

Mount Lofty Ranges Water Supply Catchment (Area 1): *The Mount Lofty Ranges Water Supply Catchment (Area 1) Overlay is to protect Adelaide's drinking water supply by limiting development to that which has a beneficial impact on the quality of water harvested from the Mount Lofty Ranges Watershed*

Native Vegetation: *The Native Vegetation Overlay seeks to protect, retain and restore areas of native vegetation.*

Prescribed Water Resources Area: *The Prescribed Water Resources Area Overlay seeks to ensure the sustainable use of water in prescribed water resource areas.*

Water Resources: *The Water Resources Overlay seeks to protect the quality of surface waters in South Australia.*

# 3. Method

## 3.1 Flora assessment

The flora assessment was undertaken by Sheree Edwards (Native Vegetation Accredited Consultant) on the 5<sup>th</sup> of April 2024. Approximately 1 hour spent on site, following the Bushland Assessment Methodology as detailed in the Native Vegetation Council Bushland Assessment Manual (Feb 2017) approved by the Department for Environment and Water. 0.06 Hectares of native vegetation was assessed. A Level 3 assessment was completed due to the size and nature of the proposed native vegetation clearance footprint.

A pre-field desktop assessment was undertaken utilizing searches for the presence of species listed under the National Parks and Wildlife Act 1972 (SA) and the Environmental Protection and Biodiversity Conservation Act 1999 (Commonwealth). The following databases were queried for records since 1995 and within 5km's of the proposed clearance site - EPBC Act Protected Matters Search Tool, Biological Database of South Australia, and Atlas of Living Australia.

### 3.2 Fauna assessment

A pre-field desktop assessment was undertaken utilizing searches for the presence of threatened fauna species listed under the National Parks and Wildlife Act 1972 (SA) and the Environmental Protection and Biodiversity Conservation Act 1999 (Commonwealth). The following databases were queried for records since 1995 and within 5km's of the proposed clearance site - EPBC Act Protected Matters Search Tool, Biological Database of South Australia, and Atlas of Living Australia. During the field assessment, common fauna species were observed on site. The fauna assessment relied largely on database searches and corroborated with the suitable habitat present on site.

## 4. Assessment Outcomes

### 4.1 Vegetation Assessment

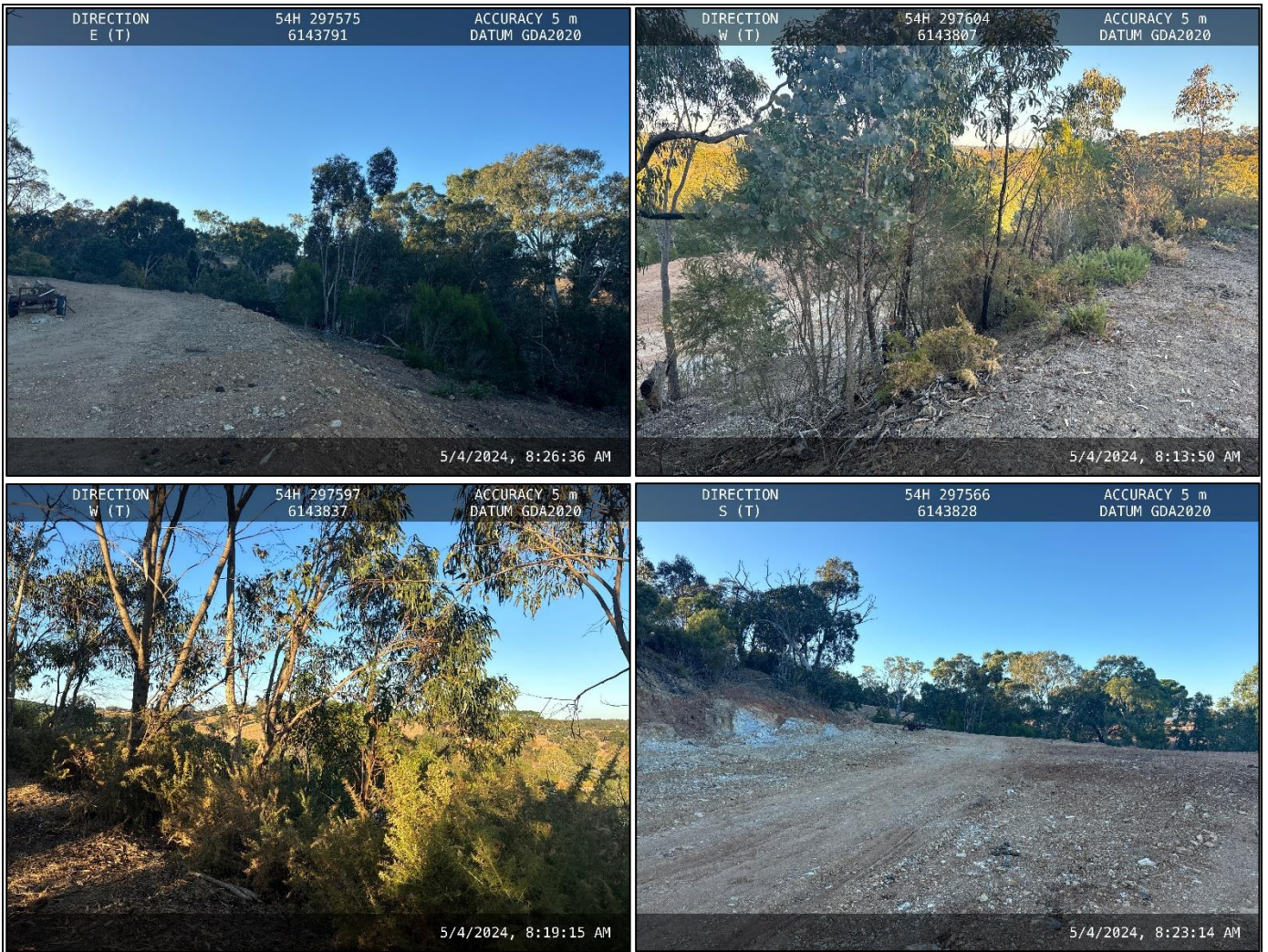
#### General description of the vegetation, the site and matters of significance

The proposed native vegetation impact site is situated within the Mount Gawler Land System, which is characterized by steep rocky hillslopes with shallow to moderately deep sandy loam surface soils. It is virtually all non-arable, and three quarters is too steep for normal farm machinery, so productive potential is severely limited. Where accessible, soils are infertile and acidic. Most of the more moderate slopes are used for grazing, with most of the steep land under scrub in reserves.

The site is highly degraded as described below. It is on a property which has been subject to historical degradation of grazing and mixed farming practices including horticulture. There is evidence to suggest some recent clearing of vegetation has occurred (within the last 5 years potentially?). The site is less than 1km to a large area of bushland as part of the Millbrook Reservoir Reserve, which is actively managed for conservation and water quality.

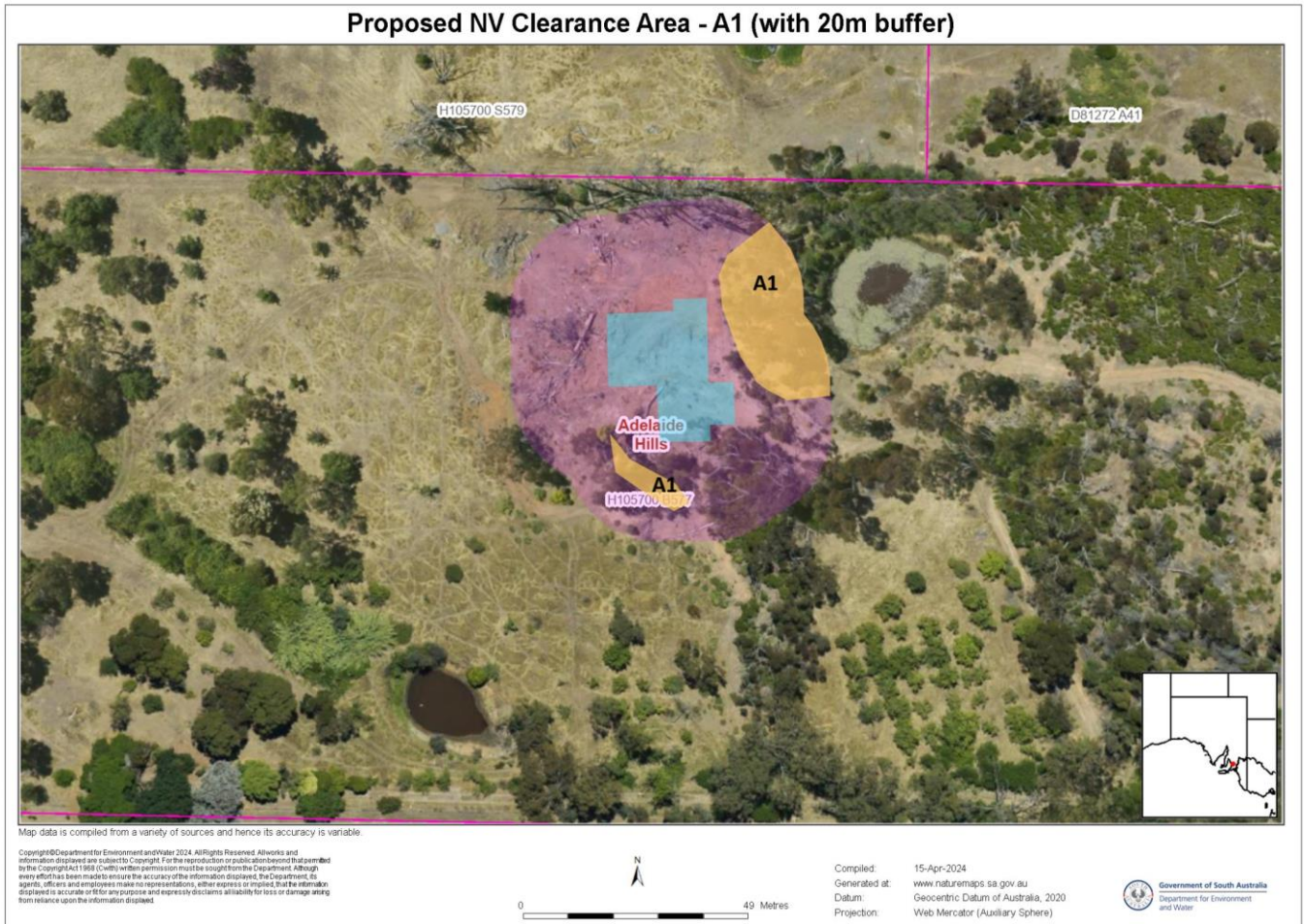
#### Details of the vegetation associations proposed to be impacted

Vegetation Association	A1: <i>Eucalyptus goniocalyx</i> ssp. <i>goniocalyx</i> very open woodland with sparse understorey
	



General description	A1 is a highly degraded and fragmented patch of bushland, with much recent and historical disturbance. Within the last 5 years the area was impacted by bushfire and vegetation was impacted. Photographs from the property sale in 2017 and following bushfire show regeneration of mature trees. The vegetation is infested with Gorse and is currently grazed by cattle.				
Threatened species or community	No threatened flora or fauna under the NP&W Act or EPBC Act listed species or community recorded.				
Landscape context score	1.14	Vegetation Condition Score	11.81	Conservation significance score	1.10
Unit biodiversity Score	14.81	Area (ha)	0.06	Total biodiversity Score	0.89

**Site map showing areas of proposed impact**



**Photo log**

Photograph of the track leading up to the proposed house site.



Photographs of the areas where the proposed fence lines will be placed (avoiding impacting native vegetation).



Photographs of the vegetation surrounding the existing dwelling – planted.





Photograph of 1 tree situated more than 10m away from the existing dwelling with a trunk circumference greater than 200cm at 1m high.



## 4.2 Threatened Species assessment

Species observed on site, or recorded within 5km of the application area since 1995, or the vegetation is considered to provide suitable habitat

Species	Common name	EPBC Act	NP&W Act	Data source	Date of last record	Species known habitat preferences and likelihood of use
<i>Trichosurus vulpecula</i>	Common Brushtail possum	-	R	3	02-Nov-2000	Possible - Common Brushtail Possums are found in Eucalyptus and Sheoak woodlands. As arboreal animals, they make their nests (also known as dens) in tree hollows or other dark confined spaces such as hollow logs, dense vegetation or rock crevices.
<i>Pseudophryne bibronii</i>	Brown Toadlet	-	R	3	12-Sep-1998	Possible - Adults frequent dry forest, woodland, shrubland and grassland. They shelter under leaf litter and other debris in moist soaks and depressions. Eggs are spawned in shallow burrows under litter, in low areas, near water, that will later be flooded. Tadpoles are aquatic in ponds, flooded grassland, and roadside ditches
<i>Melanodryas cucullata cucullata</i>	Hooded Robin	EN	R	3	27-May-2012	Possible - Prefers lightly wooded country, usually open eucalypt woodland, acacia scrub and mallee, often in or near clearings or open areas. Requires structurally diverse habitats featuring mature eucalypts, saplings, some small shrubs and a ground layer of moderately tall native grasses.
<i>Petroica boodang boodang</i>	Scarlet Robin	-	R	3	15-May-2023	Possible - Woodland and forest habitats with trees available for perching and areas for foraging
<i>Antechinus flavipes</i>	Yellow-footed Antechinus	-	V	3	02-Nov-2000	Unlikely - Most commonly found in woodland and forest communities. The strongest influence on their presence is the cover of litter, the density of hollow-bearing trees and rock cover.
<p>Source; 1- BDBSA, 2 - AoLA, 3 – NatureMaps 4 – Observed/recorded in the field, 5 - Protected matters search tool, 6 – others            NP&amp;W Act; E= Endangered, V = Vulnerable, R= Rare            EPBC Act; Ex = Extinct, CR = Critically endangered, EN = Endangered; VU = Vulnerable</p>						

Criteria for the likelihood of occurrence of species within the Study area.

Likelihood	Criteria
Highly Likely/Known	Recorded in the last 10 years, the species does not have highly specific niche requirements, the habitat is present and falls within the known range of the species distribution or; The species was recorded as part of field surveys.
Likely	Recorded within the previous 20 years, the area falls within the known distribution of the species and the area provides habitat or feeding resources for the species.
Possible	Recorded within the previous 20 years, the area falls inside the known distribution of the species, but the area provide limited habitat or feeding resources for the species. Recorded within 20 -40 years, survey effort is considered adequate, habitat and feeding resources present, and species of similar habitat needs have been recorded in the area.
Unlikely	Recorded within the previous 20 years, but the area provide no habitat or feeding resources for the species, including perching, roosting or nesting opportunities, corridor for movement or shelter. Recorded within 20 -40 years; however, suitable habitat does not occur, and species of similar habitat requirements have not been recorded in the area. No records despite adequate survey effort.

### 4.3 Cumulative impact

*When exercising a power or making a decision under Division 5 of the Native Vegetation Regulations 2017, the NVC must consider the potential cumulative impact, both direct and indirect, that is reasonably likely to result from a proposed clearance activity.*

All direct and indirect impacts to native vegetation have been included as part of this application, with most of the vegetation under application within the 20m buffer zone of the proposed new dwelling. An area of 10 and 20m surrounding the existing dwelling (which will be converted to tourist accommodation with no change to the existing building footprint) was also inspected to ensure no clearance would be required or indirectly achieved as a result.

The proposed internal fence lines were inspected and no native vegetation will be impacted with their installation. Existing access tracks will be utilized.

### 4.4 Address the Mitigation Hierarchy

*When exercising a power or making a decision under Division 5 of the Native Vegetation Regulations 2017, the NVC must have regard to the mitigation hierarchy. The NVC will also consider, with the aim to minimize, impacts on biological diversity, soil, water and other natural resources, threatened species or ecological communities under the EPBC Act or listed species under the NP&W Act.*

**a) Avoidance – outline measures taken to avoid clearance of native vegetation**

*The applicant was not able to avoid impacting native vegetation as part of this proposal.*

**b) Minimization – if clearance cannot be avoided, outline measures taken to minimize the extent, duration and intensity of impacts of the clearance on biodiversity to the fullest possible extent (whether the impact is direct, indirect or cumulative).**

*The applicant has indicated that best attempts have been made to minimize native vegetation clearance. The new dwelling will be located on an existing cleared pad which has had recent earthworks. Existing access tracks will be utilised also. Native vegetation impacts have been avoided for all new internal fencing proposed in this development. Refer to photo log for supporting evidence of this.*



- c) **Rehabilitation or restoration – outline measures taken to rehabilitate ecosystems that have been degraded, and to restore ecosystems that have been degraded, or destroyed by the impact of clearance that cannot be avoided or further minimized, such as allowing for the re-establishment of the vegetation.**

No rehabilitation or restoration is included in this proposal.

- d) **Offset – any adverse impact on native vegetation that cannot be avoided or further minimized should be offset by the achievement of a significant environmental benefit that outweighs that impact.**

The applicant will address the Significant Environmental Benefit Offset by making a payment into the Native Vegetation Fund.

The NVC will only consider an offset once avoidance, minimization and restoration have been documented and fulfilled. The SEB Policy explains the biodiversity offsetting principles that must be met.

## 4.5 Principles of Clearance (Schedule 1, Native Vegetation Act 1991)

The Native Vegetation Council will consider Principles 1(b), 1(c) and 1(d) when assigning a level of Risk under Regulation 16 of the Native Vegetation Regulations. The Native Vegetation Council will consider all the Principles of clearance of the Act as relevant, when considering an application referred under the *Planning, Development and Infrastructure Act 2016*.

Principle of clearance	Considerations
<b>Principle 1a - it comprises a high level of diversity of plant species</b>	<p><u>Relevant information</u></p> <p>Native plant species recorded: 4 Introduced plant species recorded: 4</p> <p>Patches; A1 Bushland Plant Diversity Score – 6</p> <p><u>Assessment against the principles: Not at Variance</u></p>
<b>Principle 1b - significance as a habitat for wildlife</b>	<p><u>Relevant information</u></p> <p>Due to the degraded nature of the vegetation, the size of the remnant, condition and lack of connectivity, this vegetation provides limited habitat for most threatened fauna species. The Threatened Species Assessment provides additional information to consider, considering potential recent clearance undertaken (less than 5 years).</p> <p>Many fauna species were removed from the assessment due to the lack of suitable habitat, including species with niche habitat requirements, species records prior to 1995 and wetland species.</p> <p>Patches; A1 Threatened Fauna Score – 0.1 Unit biodiversity Score – 14.81</p> <p><u>Assessment against the principles: Seriously at Variance</u></p>

	<p><u>Moderating factors that may be considered by the NVC:</u> The Native Vegetation Council (or delegate) may choose to consider the 'Impact Significance' moderating factor when assessing this native vegetation application.</p> <p>The Native Vegetation Council may wish to decrease the risk from 'Seriously at variance' to 'At Variance' with impact significance considerations. This determination is at the assessment and discretion of the Native Vegetation Council (or delegate).</p> <p>It is unlikely that this clearance impact will result in accelerated declines of the listed threatened species. Including a decrease in species occupancy and population size. Due to the location, it is unlikely to fragment existing local threatened species populations or adversely affect critical habitats of a species. It is noted that the cumulative impacts (from clearance, land degradation and other impacts) contribute to declines across the landscape and this can be seen in incremental and long-term degradation of habitats and species decline. However, much of the declines in species' have been observed from long term historical degradation across the landscape.</p>
<p><b>Principle 1c - plants of a rare, vulnerable or endangered species</b></p>	<p><u>Relevant information</u> No threatened species were recorded for the site or that may be present but undetectable at the time of assessment.</p> <p>Threatened Flora Score(s) – 0</p> <p><u>Assessment against the principles: Not at Variance</u></p>
<p><b>Principle 1d - the vegetation comprises the whole or part of a plant community that is Rare, Vulnerable or endangered:</b></p>	<p><u>Relevant information</u> No threatened communities under the EPBC Act or threatened ecosystems under the DEW Provisional list of threatened ecosystems recorded.</p> <p>Threatened Community Score – 1</p> <p><u>Assessment against the principles: Not at Variance</u></p>
<p><b>Principle 1e - it is significant as a remnant of vegetation in an area which has been extensively cleared.</b></p>	<p><u>Relevant information</u> Remnancy figures for IBRA Association: 25% (Bare Hill) Remnancy figures for IBRA Subregion: 15% (Mount Lofty Ranges)</p> <p>Total Biodiversity Score – 0.89</p> <p><u>Assessment against the principles: Not At Variance</u></p>
<p><b>Principle 1f - it is growing in, or in association with, a</b></p>	<p><u>Relevant information</u> The vegetation is NOT associated with a wetland</p> <p><u>Assessment against the principles: Not At Variance</u></p>

<b>wetland environment.</b>	
<b>Principle 1g - it contributes significantly to the amenity of the area in which it is growing or is situated.</b>	<p><u>Relevant information</u></p> <p>It is highly unlikely this development will impact the visual amenity of the site.</p>

Principles of Clearance (h-m) will be considered by comments provided by the local NRM Board or relevant Minister. The Data Report should contain information on these principles where relevant and where sufficient information or expertise is available.

## 4.6 Risk Assessment

**Determine the level of risk associated with the application**

<b>Total clearance</b>	No. of trees	-
	Area (ha)	0.06
	Total biodiversity Score	0.89
<b>Seriously at variance with principle 1(b), 1(c) or 1 (d)</b>		1(b)
<b>Risk assessment outcome</b>		Level 3

# 5. Clearance summary

**Clearance Area Summary table**

Block	Site	Species diversity score	Threatened Ecological community Score	Threatened plant score	Threatened fauna score	UBS	Area (ha)	Total Biodiversity score	Loss factor	Loadings	Reductions	SEB Points required	SEB payment	Admin Fee
A	1	6	1	0	0.1	14.81	.06	0.89	1			0.93	\$1,104.50	\$60.75
							<b>Total</b>	<b>.06</b>	<b>0.89</b>			<b>0.93</b>	<b>\$1,104.50</b>	<b>\$60.75</b>

### Totals summary table

	Total Biodiversity score	Total SEB points required	SEB Payment	Admin Fee	Total Payment
Application	0.89	0.93	\$1,104.50	\$60.75	\$1,165.25

Economies of Scale Factor	0.5
Rainfall (mm)	793

## 6. Significant Environmental Benefit

A Significant Environmental Benefit (SEB) is required for approval to clear under Division 5 of the *Native Vegetation Regulations 2017*. The NVC must be satisfied that as a result of the loss of vegetation from the clearance that an SEB will result in a positive impact on the environment that is over and above the negative impact of the clearance.

### ACHIEVING AN SEB

Indicate how the SEB will be achieved by ticking the appropriate box and providing the associated information:

Pay into the Native Vegetation Fund.

### PAYMENT SEB

If a proponent proposes to achieve the SEB by paying into the Native Vegetation Fund, summary information must be provided on the amount required to be paid and the manner of payment:

- Payment into the Native Vegetation Fund of \$1,104.50 (no GST) plus Administration Fee of \$60.75 (GST incl) = \$1,165.25

# Attachment F

## Business Plan



# Business Plan

Adelaide Hills Cattle Company

# Adelaide Hills Cattle Company Business Objective

As highlighted by the Department of Primary Industries and Regions (PIRSA) Australia has the largest population of full blood genetic Wagyu outside of Japan, in an optimal environment, free of the diseases that have otherwise restricted exports to other markets, the Australian Wagyu industry has good prospects

Adelaide Hills Cattle Company located at 644 Paracombe Road, objective is to utilise this market opportunity and develop a boutique breeding program through sustainable farming practises which produces an elite standard of Wagyu beef which in turn can be utilised for both on-breeding, domestic and international live market sales and dressed beef sales.

Unique opportunity exists utilising a mixture of both pasture and property grown apple and pears to enhance the marbling and flavour of the beef to set AHCC apart from other primary producers.

# Sustainable farming through paddock rotation

The property will be divided into 4 paddocks

Additional fencing will create two new paddocks (1 & 2 in diagram below) and split the existing main paddock into 2 smaller paddocks both utilising existing water sources.

New paddocks will utilise 90% of the property for primary production purposes.

Rotation of paddocks will enable 9 weeks of rest between stock grazing, giving the ability to increase stock rates per breeding plan.





# Breeding program

- Breeding will incorporate a mixture of artificial insemination and leased sires to select premium genetics
  - Leasing will reduce paddock holding times for bulls, saving premium feed for breeding stock and subsequent calves
  - Artificial insemination provides the ability to select from specimens worldwide, reducing the need to replace expensive bulls
- Stock numbers will increase from the current 4 through to 8 and then to 16 once the next round of calving is complete.
- Black angus initially will be crossed with full blooded wagyu which will result in F1 wagyu. Following with Australian Wagyu Association guidelines for quality of both angus and wagyu sires.
- Gradually full blood wagyu heifers will be introduced to the herd through each round of breeding replacing angus until the herd is completely full-blooded wagyu.

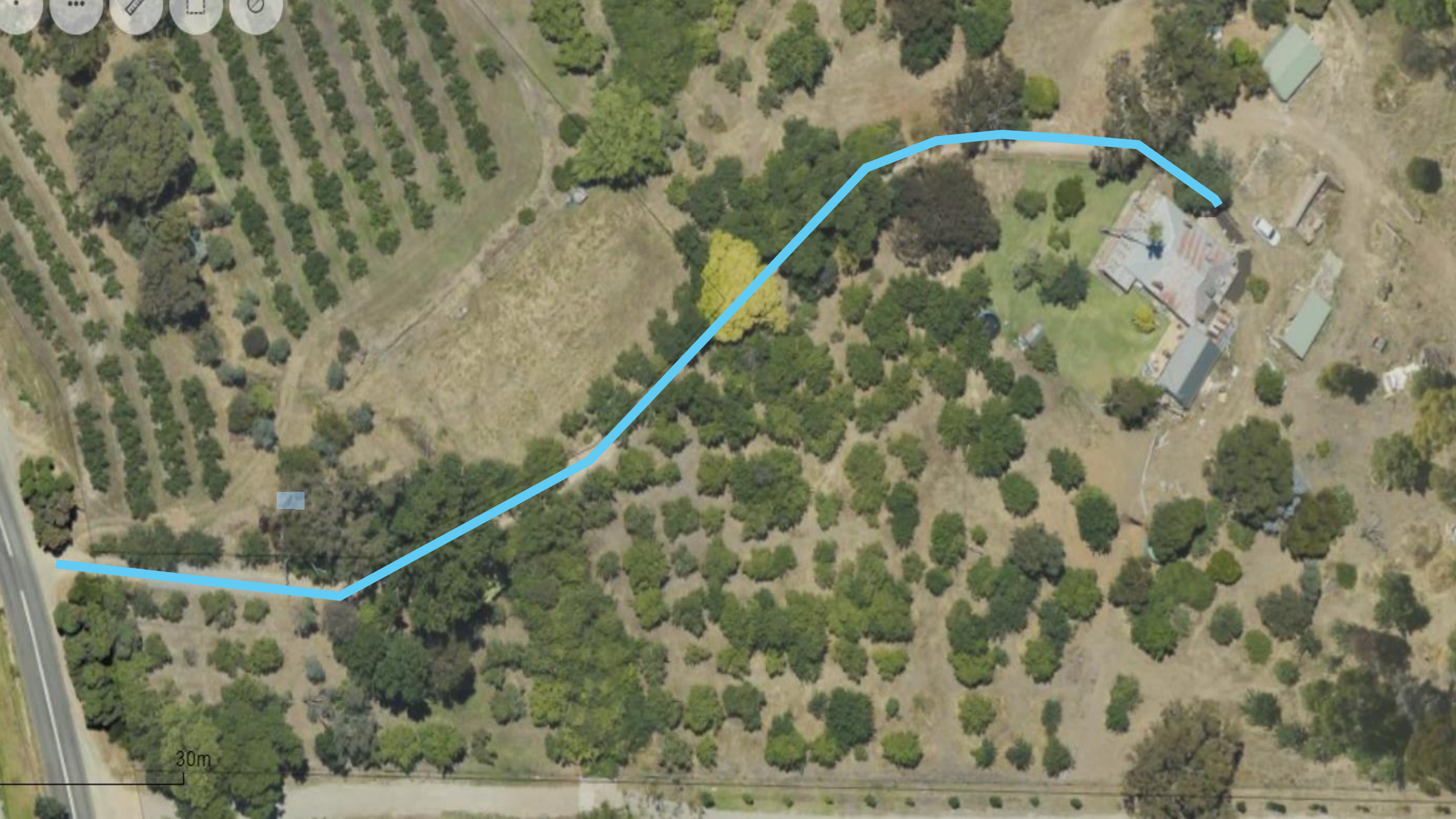
# Infrastructure enhancement

- Paddock 1 fencing has been completed with additional 100 meters of fencing installed. A cattle race and ramp for loading of stock will be the final intension for this paddock.
- Paddock 2 will require 300 meters of fencing, completed on the whole perimeter
- Paddocks 3 and 4 will require another 320 meters of fencing to divide the paddocks and then separate the driveway. This is in addition to the 170 meters of fencing already completed to divide 3 and 4 for from the existing house.
- Gates will be installed throughout to allow cattle to be shifted between paddocks



# Attachment G

## Photographs of the CFS Fire Truck Access Road



30m



**Y shaped turn around has excess of 11 metres with multiple options of turning around**

**Dedicated tank located at  
end of shed, within 3 metres  
of hard stand**



**Hard stand for dedicated  
firefighting tank**



**Multiple access points frequently used by trucks and machinery**



**Passing bay for fire trucks has excess of six metres width and 20 metres in length**





**Driveway width is minimum of 3.5 metres with clearances of 4 metres vertically and horizontally**

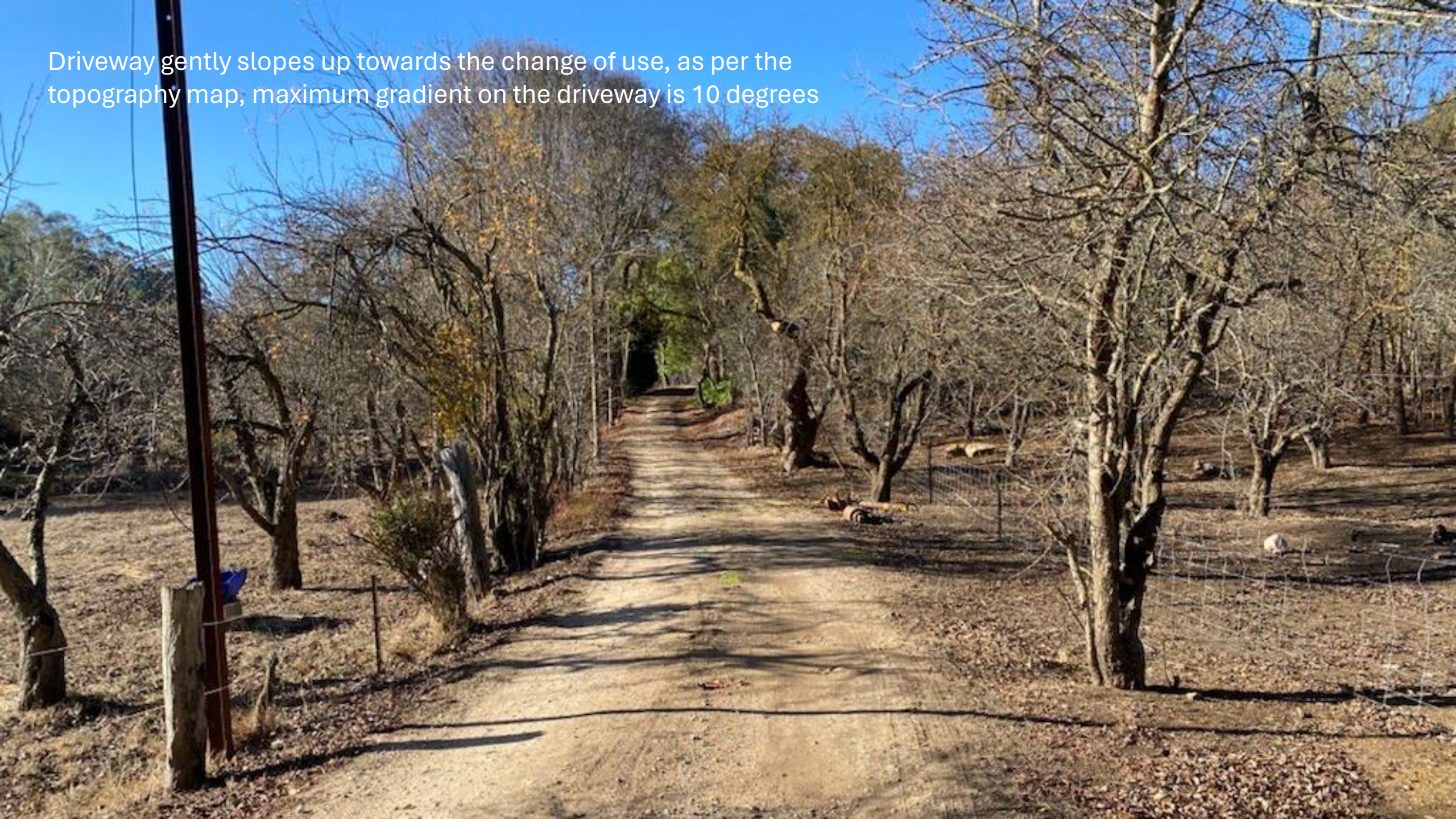


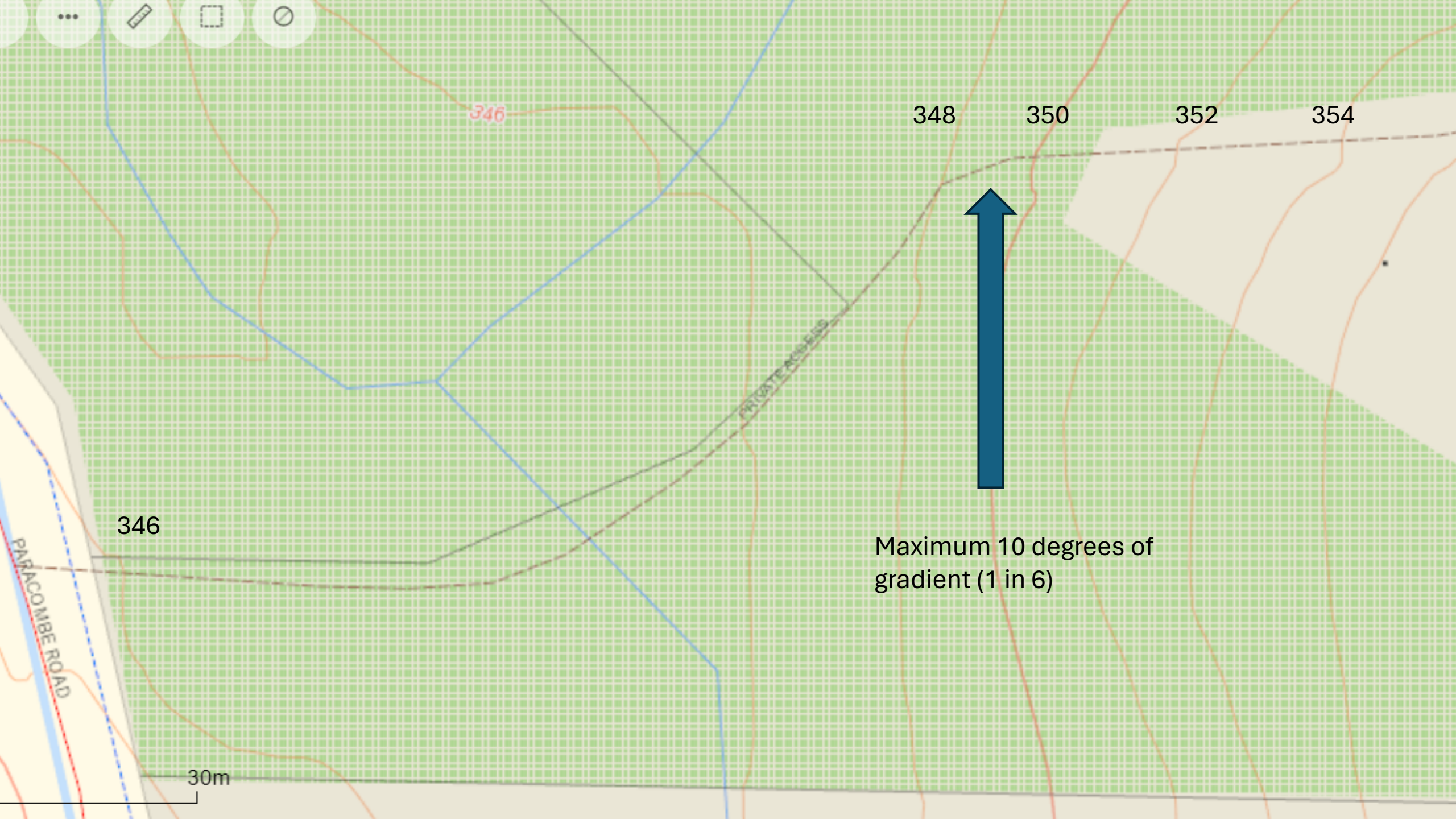


4.5metres

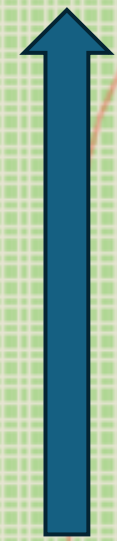
3.5metres

Driveway gently slopes up towards the change of use, as per the topography map, maximum gradient on the driveway is 10 degrees





348 350 352 354



346

Maximum 10 degrees of gradient (1 in 6)

PARACOMBE ROAD

PRIGTERSES

30m

**Lowest point of the property which has the  
formed road and existing solid crossing**





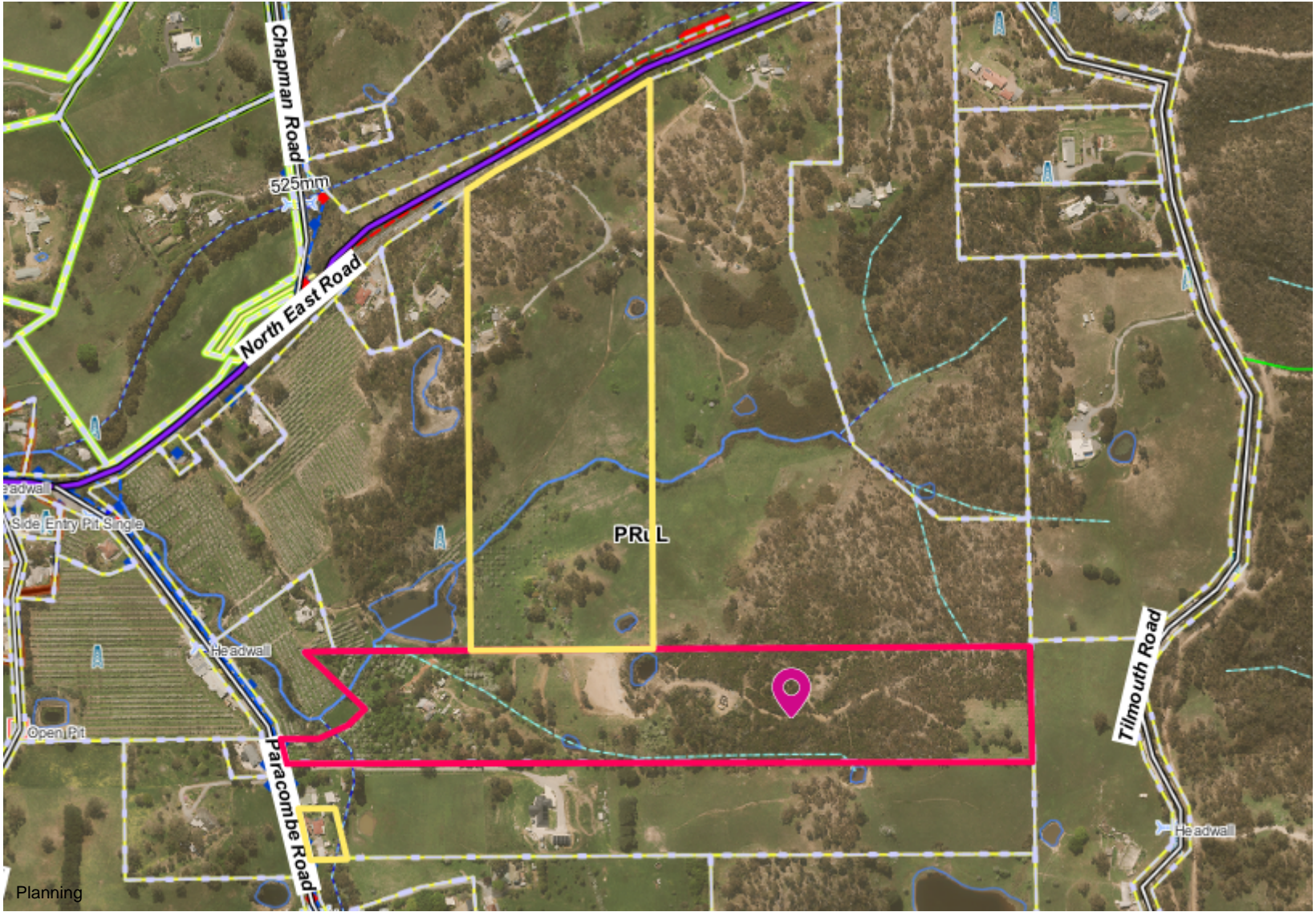
Exiting property to Paracombe Road






Entrance to property via Paracombe  
Road







- Annotations**
-  Representors Land 2
  -  Representors Land 1
  -  Subject Land

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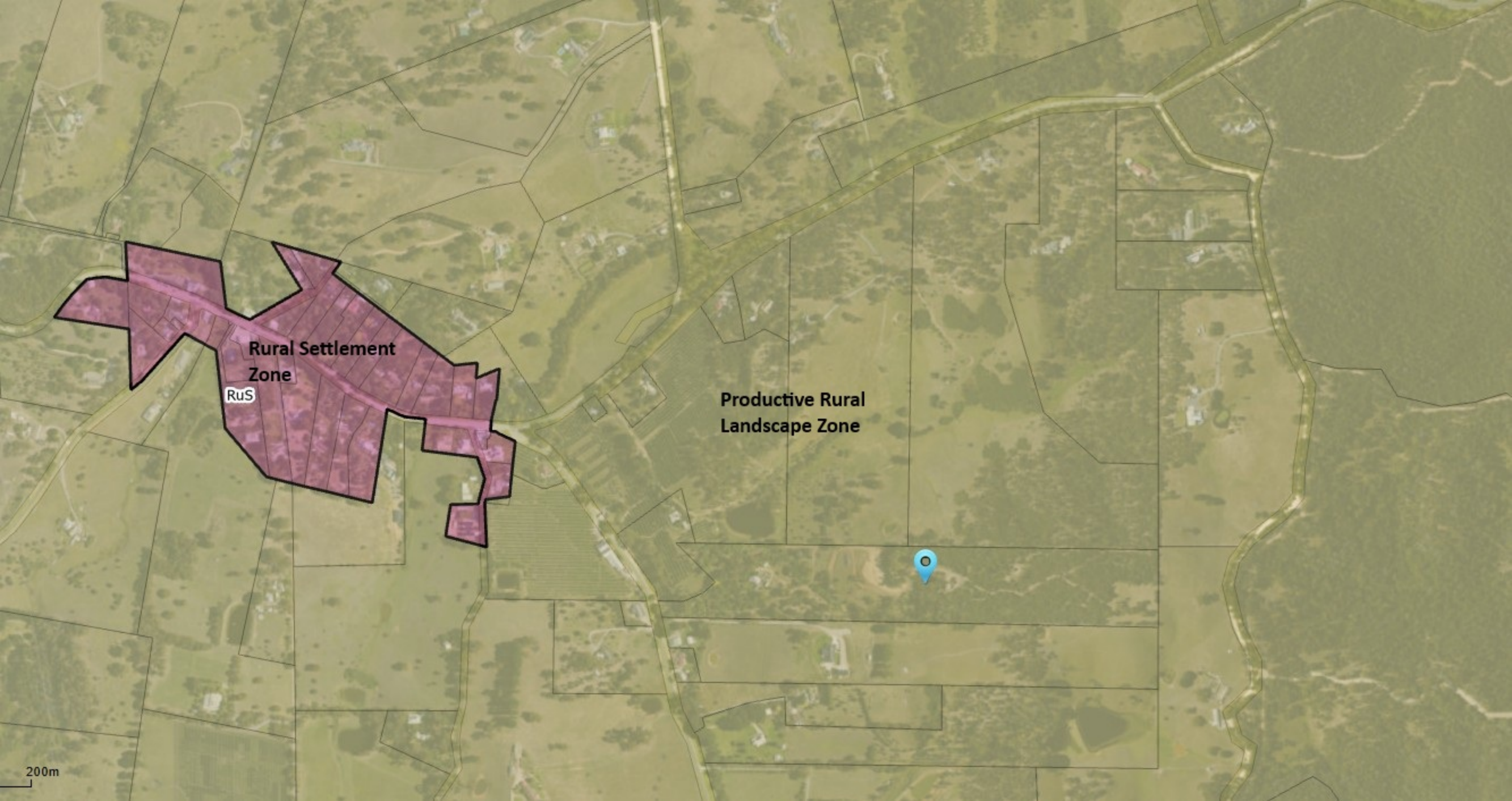
representations regarding the use, or results of use of the information contained herein as to its correctness, accuracy, currency or otherwise. In particular, it should be noted that the accuracy of property boundaries when displayed over aerial photography cannot be considered to be accurate, and that the only certain method of determining boundary locations is to use the services of a licensed Surveyor. The Adelaide Hills Council, its

employees and servants expressly disclaim all liability or responsibility to any person using the information or advice contained herein. ©

Scale = 1:6993.000

200 m





**Rural Settlement  
Zone**

**RuS**

**Productive Rural  
Landscape Zone**

200m

# Details of Representations

## Application Summary

Application ID	23034790
Proposal	Construction of single storey detached dwelling & associated landscaping and change of use of existing dwelling to tourist accommodation
Location	644 PARACOMBE RD PARACOMBE SA 5132

## Representations

### Representor 1 - C and M Sprod

Name	C and M Sprod
Address	5 D'ERLANGER AVENUE COLLINSWOOD SA, 5081 Australia
Submission Date	04/09/2024 04:40 PM
Submission Source	Over Counter
Late Submission	No
Would you like to talk to your representation at the decision-making hearing for this development?	Yes
My position is	I oppose the development
<b>Reasons</b>	
As per attached document	

## Attached Documents

23034790Representation-9124423.pdf

# REPRESENTATION ON APPLICATION

*Planning, Development and Infrastructure Act 2016*

**Applicant:** C and M Sprod *[applicant name]*

**Development Number:** 23034790 *[development application number]*

**Nature of Development:** Tourist accommodation, change of use, detached dwelling *[development description of performance assessed elements or aspects of outline consent application]*

**Zone/Sub-zone/Overlay:** Productive Rural Landscape *[zone/sub-zone/overlay of subject land]*

**Subject Land:** 644 Paracombe Rd Paracombe *[street number, street name, suburb, postcode]*  
*[lot number, plan number, certificate of title number, volume & folio]*

**Contact Officer:** Adelaide Hills Council *[relevant authority name]*

**Phone Number:** 84080400 *[authority phone]*

**Close Date:** 4.9.24 *[closing date for submissions]*

My name\*: Christopher and Margarete Sprod

My phone number:

My postal address\*:  
SA 5081

My email:

*\* Indicates mandatory information*

My position is:  I support the development  
 I support the development with some concerns (detail below)  
 I oppose the development



**Government of South Australia**

Department for Trade  
and Investment

The specific reasons I believe that consent should be granted/refused are:

*See attached letter*

*[attach additional pages as needed]*

Note: In order for this submission to be valid, it must:

- be in writing; and
- include the name and address of the person (or persons) who are making the representation; and
- set out the particular reasons why consent should be granted or refused; and
- comment only on the performance-based elements (or aspects) of the proposal, which does not include the:
  - [Click here to enter text.](#) *[list any accepted or deemed-to-satisfy elements of the development].*

I:  wish to be heard in support of my submission\*  
 do not wish to be heard in support of my submission

By:  appearing personally  
 being represented by the following person: [Click here to enter text.](#)

*\*You may be contacted if you indicate that you wish to be heard by the relevant authority in support of your submission*

Signature:



Date: 4.9.24

Assessment Panel, Adelaide Hills Council, 63 Mt Barker Rd  
Stirling 5152

Return Address: [Click here to enter text.](#) *[relevant authority postal address]* or

Email: *[relevant authority email address]* or

Complete online submission: [plan.sa.gov.au/have\\_your\\_say/notified\\_developments](http://plan.sa.gov.au/have_your_say/notified_developments)

Submission –Public Consultation for Proposed Development -  
644 Paracombe Rd Paracombe, SA 5132. ID 23034790

This is a difficult Submission. We object to components of the proposal stemming from our concerns to several points in Masterplan report and general safety issues but also to preserve for now and future generations the environment, rural outlook and the general amenity. However, in practical terms, we understand that others would also like to have and enjoy that amazing view and amenity of the area so please consider our concerns and submission.

In regard to the application for approval of-

- 1) Change of use of existing dwelling/house to Tourist Accommodation
- 2) New dwelling on another site on the property.

Item (1) Tourist Accommodation-

(a) Our main concern for the change of use to tourist accommodation is its viability but also safety, security and privacy issues for both the tourist/visitors and neighbours. At the moment there is no delineation between the neighbours' boundary fences and the proposed internal fences. Tourists need to know where these boundaries are in order to stop them wandering on to neighbouring properties, especially since most neighbours have substantial dams and infrastructure which gives rise to safety concerns. We also expect our privacy, possessions and security be respected.

(b) Also a concern regarding the suitability/sustainability/health of grazing 16 Waygu Beef cattle in native vegetation with little lush pastures that Waygu beef require to attain and maintain their best quality, if that is the aim, but we do like cattle.

Item (2) New Dwelling-

(a) Proposed site.

Without the professional knowledge of how to specifically relate the siting of the dwelling to a PO/DPF, the closest DPF of concern is PO/DPF 2.2 but others may be more relevant.

Our concern is the new location/site of the proposed dwelling. It is not just adjacent to the dam, it is **below** the dam. The contoured site plans show the dwelling is sited less than 10m from the base of the 8m steep dam embankment. We are concerned for the integrity of this dam given all the recent earthworks at its base and allowance for further vegetation clearance near the embankment.

If the dam fails, besides the proposed dwelling being flooded, the lower part of our property will be also impacted/flooded. We are hopeful however that engineering has addressed this issue.

(b) The Masterplan document suggest that the house will be built 35.5m from the neighbouring boundary. This is incorrect. Two of their plans show it is actually 33.5m (33.49m and 33.57m) away from the boundary. Therefore, the proposed dwelling is almost 7m closer to the neighbouring boundary than the Planning and Design Code DTS/DPF 5.2 allows (setback at least 40m not 33.5m). Masterplan report dismisses this as not significant, but it is significant to us and it does not meet the DTS/DPF 5.2 requirements.

There is plenty of space to move the proposed dwelling a further 7m away from the

boundary to avoid any future issues where the DTS/DPF setback requirement of 40m is critical. It also allows more room for landscaping (see below).

- (c) We note that there is minimal landscaping around the proposed house/dwelling to minimise the visual impact on and from neighbouring properties in this setting. Four deciduous ornamental pears, (the only trees) do not make substantial landscaping. Since major earthworks have already been done, and with further allowance for even more removal of vegetation, the site, without intensive landscaping and revegetation, will not be visually sympathetic to the environment, particularly from our outlook to the previously wooded area and scrub that is the now proposed dwelling site. We cannot avoid seeing it. Whether this comes under the Built form and Design DO1 or some other DTS/DPF, we believe that current landscaping plan does not address this loss of vegetation in this setting and if the aim is to provide a pleasant, natural and rural character and amenity, then this has not been met.

#### Suggestions-

If the change of use of the existing house is approved, please ensure there is a suitable boundary fencing, preferably higher than 900cm, with clear indications that the fences are boundary fences and, as such, no entry onto the neighbouring properties is permitted.

- (1) If the new dwelling/house is approved due to the primary production capability allowing for a change of use of the existing house to Tourist Accommodation, then we suggest the site of the new dwelling, as shown on the plan, be located away from the base of the existing dam wall/embankment, unless the engineering guarantees there will be no dam failure in the future.
- (2) Locate the new dwelling at least 40m away from the boundary fence to comply with the Planning and Design Code DTS/DPF.
- (3) (i) Soften the visual impact and provide privacy from and towards the proposed new dwelling by incorporating more appropriate screening trees and plantings in the landscaping and ensure that these will be maintained.  
(ii) Further soften the visual impact of the dwelling by using appropriately coloured roofing and wall materials that blends into neighbouring rural environment.

These points have been raised to document our concerns.

Again, if the change of use to tourist accommodation is approved, we ask that visitors are made aware of the property boundaries, do not enter the neighbour's properties and respect the neighbour's activities and privacy.

The proposed new dwelling, if approved, will be a permanent fixture on the landscape and as such we hope that it will blend into the rural landscape and minimises the visual impact on our property in particular, as we cannot avoid seeing it nor they us.

Christopher and Margarete Sprod

## Representations

### Representor 2 - Helen Hurst

Name	Helen Hurst
Address	632 PARACOMBE ROAD PARACOMBE SA, 5132 Australia
Submission Date	05/09/2024 04:36 PM
Submission Source	Post
Late Submission	No
Would you like to talk to your representation at the decision-making hearing for this development?	No
My position is	I support the development
<b>Reasons</b> Please see attached document	

### Attached Documents

ProposedDevelopment-644ParacombeRoad002-9137524.pdf



ADELAIDE HILLS COUNCIL  
RECEIVED

4 SEP 2024

632 Paracombe Rd.  
Paracombe  
S.A

To Adelaide Hills Council,  
re proposed development at  
644 Paracombe Rd.  
Paracombe,  
Application ID 23034790.

After viewing the development plan of  
the above address - I have no  
objection to the proposed  
construction of a dwelling and  
landscaping

After speaking to a Deputy Planner  
regarding the existing dwelling  
being changed to Tourist Accommodation.  
If all conditions and requirements  
are met for such a development,  
and it will not revert to be a  
full time rental property/dwelling  
I have no objection

Yours Truly,

Helen Hurst

"All the Best"



23 September 2024

Doug Samardzija  
Adelaide Hills Council

Via Plan SA Portal

Our Ref: 53307LET04

Dear Doug

### **Response to Representations Development Application 23034790 644 Paracombe Road, Paracombe**

MasterPlan has been engaged by David Crawford to assist in responding to representations for Development Application 23034790 at 644 Paracombe Road, Paracombe.

Two representations were received during the public notification process, one in support and one against. The concerns raised within the representation against are repeated below, with our response following.

#### ***Item (1) Tourist Accommodation-***

- a) *Our main concern for the change of use to tourist accommodation is its viability but also safety, security and privacy issues for both the tourist/visitors and neighbours. At the moment there is no delineation between the neighbours' boundary fences and the proposed internal fences. Tourists need to know where these boundaries are in order to stop them wandering on to neighbouring properties, especially since most neighbours have substantial dams and infrastructure which gives rise to safety concerns. We also expect our privacy, possessions and security to be respected.*

Our client is happy to provide a map to all visitors which will clearly mark out the boundaries of the property, providing clarity on where people are allowed to access and awareness of neighbouring property.

The yard of the proposed tourist accommodation is also fully fenced to prevent children from wandering off.

- b) *Also a concern regarding the suitability/sustainability/health of grazing 16 Waygu Beef cattle in native vegetation with little lush pastures that Waygu beef require to attain and maintain their best quality, if that is the aim, but we do like cattle.*

As referenced in the business plan, the rotation of cattle through paddocks provides the ability to rest and recuperate, aid in paddock recovery, supporting a sustainable farming approach.



The property has a mixture of native vegetation, orchard and pasture which provides a mixture of feed types for the cattle, from native grasses, seeded pasture, along with pears and apples. Supplement feed options to finish cattle will be utilised depending on the environmental factors of rainfall and temperature.

### **Item (2) New Dwelling**

(a) *Proposed site.*

*Without the professional knowledge of how to specifically relate the siting of the dwelling to a PO/DPF, the closest DPF of concern is PO/DPF 2.2 but others may be more relevant. Our concern is the new location/site of the proposed dwelling. It is not just adjacent to the dam, it is below the dam. The contoured site plans show the dwelling is sited less than 10m from the base of the 8m steep dam embankment. We are concerned for the integrity of this dam given all the recent earthworks at its base and allowance for further vegetation clearance near the embankment.*

*If the dam fails, besides the proposed dwelling being flooded, the lower part of our property will be also impacted/flooded. We are hopeful however that engineering has addressed this issue.*

The damn located adjacent to the proposed new dwelling was historically an open cut quartz mine. This was then converted into a damn to prevent further mining on the property. Water was historically pumped from the Para River via the pumps in the shed located at the entrance of the property and then gravity feed throughout the property. The slope of the catchment for this damn is insufficient to provide a substantial amount of water to ever bring the 'integrity' of the damn into question, despite a major component of the walls of the damn being solid rock and structurally sound. The infrastructure to gravity feed and pump to the damn was lost in the previous bushfire and there is no intention to obtain a water licence and re-commence pumping.

(b) *The Masterplan document suggest that the house will be built 35.5m from the neighbouring boundary. This is incorrect. Two of their plans show it is actually 33.5m (33.49m and 33.57m) away from the boundary. Therefore, the proposed dwelling is almost 7m closer to the neighbouring boundary than the Planning and Design Code DTS/DPF 5.2 allows (setback at least 40m not 33.5m). Masterplan report dismisses this as not significant, but it is significant to us and it does not meet the DTS/DPF 5.2 requirements. There is plenty of space to move the proposed dwelling a further 7m away from the boundary to avoid any future issues where the DTS/DPF setback requirement of 40m is critical. It also allows more room for landscaping (see below).*

We have conducted a review of setbacks of properties within the immediate vicinity of the proposed dwelling which clearly show a strong characteristic of boundary setbacks being less than the 40-metre guideline. Regarding the setback guideline, we note that PO 5.2 represents the relevant assessment test, which stipulates 'Dwellings are sited, designed and of a scale that maintains a pleasant natural and rural character and amenity'. In consideration of the contextual setting such as the scale of the dwelling in proportion to the size of the allotment and its significant separation from public roads and neighbouring dwellings, we consider that the intent of PO 5.2 will not be adversely impacted.



- (c) *We note that there is minimal landscaping around the proposed house/dwelling to minimise the visual impact on and from neighbouring properties in this setting. Four deciduous ornamental pears, (the only trees) do not make substantial landscaping. Since major earthworks have already been done, and with further allowance for even more removal of vegetation, the site, without intensive landscaping and revegetation, will not be visually sympathetic to the environment, particularly from our outlook to the previously wooded area and scrub that is the now proposed dwelling site. We cannot avoid seeing it.*

*Whether this comes under the Built form and Design D01 or some other DTS/DPF, we believe that current landscaping plan does not address this loss of vegetation in this setting and if the aim is to provide a pleasant, natural and rural character and amenity, then this has not been met.*

Should the Council Assessment Panel see it as necessary, our client will provide an updated landscaping plan where additional screening trees could be planted along our shared boundary.

**Closure**

Please advise of the Council Assessment Panel meeting date for which the application will be considered to enable our client or representative to attend.

Yours sincerely

Stewart Hocking  
MasterPlan SA Pty Ltd

# Referral Snapshot

**Development Application number:**  
23034790

**Consent:**  
Planning Consent

**Relevant authority:**  
Adelaide Hills Council

**Consent type for distribution:**

**Referral body:**  
Environment Protection Authority

**Response type:**  
Schedule 9 (3)(9) Activities of Environmental significance, or development in Mount Lofty Ranges, River Murray Flood Plain or Water Protection Areas

**Referral type:**  
Direction

**Response date:**  
10 Feb 2025

**Advice:**  
With comments, conditions and/or notes

## Condition 1

The on-site wastewater systems must be installed in accordance with the details and plans contained within the *Wastewater Calculation Package* prepared by Bentley Consulting, marked Job Number BC230630 (Rev C), dated 18 December 2024 and must include:

- a. the installation of two Fuji Clean Australia ACE 1200 systems
- b. the construction of a 250m<sup>2</sup> irrigation area, vegetated with shrubs and trees to service the proposed tourist accommodation, and the construction of a 500m<sup>2</sup> subsurface irrigation area, vegetated with lawn to service the dwelling. Both irrigation areas are to be located more than 50 metres from the nearest watercourse, dam or bore; more than 1.2 metres from the seasonal

groundwater table; on a slope less than 20%; and not in the 10% AEP flood zone

c. regular maintenance of the vegetation in the irrigation areas, including mowing and pruning with all clippings to be removed from site, and

d. bunding to direct surface runoff away from the irrigation areas and creating a bund downhill to prevent any runoff, from over-irrigation, moving off site.

#### **Advisory Note 1**

The applicant/owner/operator are reminded of its general environmental duty, as required by section 25 of the *Environment Protection Act 1993*, to take all reasonable and practicable measures to ensure that activities on the site and associated with the site (including during construction) do not pollute the environment in a way which causes or may cause environmental harm.

Reasonable and practicable measures may include (but not be limited to):

- o constructing the new dwelling in a manner that prevents erosion and soil transport to the nearby watercourses and dams, or off the property

- o minimising soil exposure and disturbance, and controlling and minimising surface runoff entering or leaving the disturbed areas. This may be achieved by installing and maintaining sediment and erosion control devices, appropriately managing any stockpiles and rehabilitating disturbed areas as soon as is practicable.

#### **Advisory Note 2**

More information about the Environment Protection Authority and the Environment Protection Act and policies can be found at: [www.epa.sa.gov.au](http://www.epa.sa.gov.au)



Environment Protection Authority  
 GPO Box 2607 Adelaide SA 5001  
 211 Victoria Square Adelaide SA 5000  
 T (08) 8204 2004  
 Country areas 1800 623 445

EPA Reference: PDI 776

10 February 2025

Adelaide Hills Council  
 63 Mount Barker Road  
 STIRLING SA 5152  
[dsamardzija@ahc.sa.gov.au](mailto:dsamardzija@ahc.sa.gov.au)

Dear Doug Samardzija

### EPA Development Application Referral Response

<b>Development Application Number</b>	<b>23034790</b>
<b>Applicant</b>	<b>Mr David Crawford c/- MasterPlan</b>
<b>Location</b>	<b>644 Paracombe Road, Paracombe SA 5132 (CT 5733/519)</b>
<b>Proposal</b>	<b>Construction of single storey detached dwelling &amp; associated landscaping and change of use of existing dwelling to tourist accommodation</b>

This development application ('DA') was referred to the Environment Protection Authority ('EPA') by the Assessment Panel at the Adelaide Hills Council in accordance with section 122 of the *Planning, Development and Infrastructure Act 2016*. The following response is provided in accordance with section 122(5)(b)(ii) of the *Planning, Development and Infrastructure Act*.

#### CONSIDERATION

The EPA assessment criteria are outlined in section 57 of the *Environment Protection Act 1993* and include the objects and general environmental duty, relevant environment protection policies, and the waste strategy for the State.

It should be noted that the referral trigger to the EPA for assessment is for certain classes of development that are not connected (or not proposed to be connected) to a community wastewater management system or sewerage infrastructure. As such, the EPA's assessment includes consideration of the potential impacts of on-site wastewater management and ensuring there would be a neutral or beneficial effect on water quality draining from the site.

The EPA has not undertaken an environmental assessment of stormwater management, which may have an impact on water quality but is outside the scope of the activity that triggered the referral to the EPA. As such, the relevant authority is advised to consider how stormwater would be managed during construction and on-going operations to ensure there would be a neutral or beneficial effect on water quality.

## PROPOSAL

The EPA notes that the proposal involves the construction of a new dwelling and the conversion of an existing dwelling which is to be used for tourist accommodation purposes. The proposed new dwelling would contain four bedrooms, while the existing dwelling (tourist accommodation) would contain three bedrooms.

## SITE

The site of the proposed development is 644 Paracombe Road, Paracombe, which is more particularly described as Block 577 in Certificate of Title Volume 5733/Folio 519, Hundred of Para Wirra.

The subject land comprises an irregularly shaped parcel of land with a narrow frontage to Paracombe Road and has a total site area of approximately 10.6 hectares. The subject site is developed with an existing dwelling and other buildings associated with an existing pear orchard and cattle grazing activities that operate on the land.

The site of the proposed development is located within:

- the Mount Lofty Ranges Watershed Protection Area ('MLR WPA'), as proclaimed under section 61A of the *Environment Protection Act 1993*
- the Mount Lofty Ranges Water Supply Catchment (Area 1) as designated in the *Planning and Design Code*
- Little Para River Catchment, and
- the Productive Rural Landscape Zone as designated in the *Planning and Design Code*.

The wider locality is characterised by a predominance of large allotments within the Productive Rural Landscape Zone that are used primarily for agricultural and horticultural purposes.

## ENVIRONMENTAL ASSESSMENT

The site has not been inspected during the EPA's consideration of this DA but has been viewed using mapping information available to the EPA, including recent aerial imagery, and considered according to existing knowledge of the site and locality.

### Water Quality

In water quality terms, unsewered residential development (such as detached dwellings and tourist accommodation) is considered one of the highest risk activities in a public water supply catchment due to historically poor management of on-site wastewater treatment systems. Potential pollutants from such activities include nutrients, microorganisms and pathogens from human effluent.

### Wastewater Management

Given that the site of the development is unable to be connected into a community wastewater management system or sewer due to its location, the EPA's assessment of this application has focused on the on-site treatment of wastewater and associated impacts on water quality. The EPA is concerned about the potential cumulative impact of nutrients contained in the treated wastewater draining into creeks and reservoirs.



In assessing the impacts to water quality from the proposed wastewater system, the following documents were assessed by the EPA:

- *Wastewater Calculation Package* prepared by Bentley Consulting, marked Job Number BC230630 (Rev C), dated 18 December 2024
- *Wastewater Key Plan* prepared by Bentley Consulting, marked Job Number BC230630 (Rev C), dated 18 December 2024, and
- *Wastewater Plan* (sheets 1 & 2) prepared by Bentley Consulting, marked Job Number BC230630 (Rev C), dated 18 December 2024.

As identified within the documentation identified above, separate aerobic on-site wastewater management systems (Fuji Clean ACE 1200) are proposed to manage wastewater from both the tourist accommodation and the new dwelling, with wastewater from these systems to be irrigated to separate areas.

The EPA notes that a 250 square metre irrigation area is proposed for the tourist accommodation (converted dwelling), which is to be vegetated with fully managed shrubs and trees, and a 500 square metre subsurface dripper irrigation area is proposed for the new dwelling, which will be vegetated with a well-maintained lawn.

A nutrient balance has been provided demonstrating that the proposed application areas are sufficient to demonstrate a neutral or beneficial environmental impact from this development. In addition, the EPA notes that the proposed irrigation areas are proposed to be well managed, with all clippings or prunings to be removed from site.

The EPA further notes that diversion trenches are proposed to direct surface runoff around the irrigation areas. This is satisfactory to the EPA.

A condition requiring that the wastewater systems for both the tourist accommodation and new dwelling are installed as proposed has been directed below.

## CONCLUSION

The above strategies will assist in minimising impacts from this development. The EPA recommends the objectives outlined above are included as conditions to ensure the final detailed design will achieve optimal environmental outcomes for the development.

## DIRECTION

**The relevant authority is directed to attach the following condition to any approval:**

1. The on-site wastewater systems must be installed in accordance with the details and plans contained within the *Wastewater Calculation Package* prepared by Bentley Consulting, marked Job Number BC230630 (Rev C), dated 18 December 2024 and must include:
  - a. the installation of two Fuji Clean Australia ACE 1200 systems
  - b. the construction of a 250m<sup>2</sup> irrigation area, vegetated with shrubs and trees to service the proposed tourist accommodation, and the construction of a 500m<sup>2</sup> subsurface irrigation area, vegetated with lawn to service the dwelling. Both irrigation areas are to be located more than 50 metres from the nearest watercourse, dam or bore; more than 1.2 metres from the seasonal groundwater table; on a slope less than 20%; and not in the 10% AEP flood zone
  - c. regular maintenance of the vegetation in the irrigation areas, including mowing and pruning with all clippings to be removed from site, and

- d. bunding to direct surface runoff away from the irrigation areas and creating a bund downhill to prevent any runoff, from over-irrigation, moving off site.

**The following notes provide important information in relation to the development and are requested to be included in any approval:**

- The applicant/owner/operator are reminded of its general environmental duty, as required by section 25 of the *Environment Protection Act 1993*, to take all reasonable and practicable measures to ensure that activities on the site and associated with the site (including during construction) do not pollute the environment in a way which causes or may cause environmental harm. Reasonable and practicable measures may include (but not be limited to):
  - constructing the new dwelling in a manner that prevents erosion and soil transport to the nearby watercourses and dams, or off the property
  - minimising soil exposure and disturbance, and controlling and minimising surface runoff entering or leaving the disturbed areas. This may be achieved by installing and maintaining sediment and erosion control devices, appropriately managing any stockpiles and rehabilitating disturbed areas as soon as is practicable.
- More information about the Environment Protection Authority and the Environment Protection Act and policies can be found at: [www.epa.sa.gov.au](http://www.epa.sa.gov.au).

If you have any questions about this response, please contact Stephen Both, Senior Environmental Planner, on (08) 8204 1112 or email [Stephen.Both@sa.gov.au](mailto:Stephen.Both@sa.gov.au)

Yours faithfully

Melissa Chrystal  
**ENVIRONMENT PROTECTION AUTHORITY**

# Referral Snapshot

**Development Application number:**

23034790

**Consent:**

Planning Consent

**Relevant authority:**

Adelaide Hills Council

**Consent type for distribution:**

**Referral body:**

South Australian Country Fire Service

**Response type:**

Schedule 9 (3)(2) Hazards (Bushfire - High Risk) Overlay

**Referral type:**

Direction

**Response date:**

6 Aug 2024

**Advice:**

With comments, conditions and/or notes

**Condition 1**

**SITING (ANCILLARY STRUCTURES)**

The 'Planning and Design Code' Hazards (Bushfire – High Risk) Overlay (Performance Outcome 3.2) details the mandatory requirements for extensions to buildings, outbuildings and other ancillary structures are sited and constructed using materials to minimise the threat of fire spread to residential and tourist accommodation (including boarding houses, hostels, dormitory style accommodation, student accommodation and workers' accommodation) in the event of bushfire.

- Outbuildings and other ancillary structures shall be sited no closer than 6m from the habitable buildings, unless built to relevant building

standards for associated structures in Bushfire Prone Areas. This includes future structures which may or may not require planning and/or building consent including (but not limited to) garden sheds, animal shelters and cubby houses.

## **Condition 2**

### **ACCESS TO HABITABLE BUILDING**

The 'Planning and Design Code' Hazards (Bushfire – High Risk) Overlay (Performance Outcome 6.2) details the mandatory requirements for 'Private' roads and driveways to facilitate safe and effective use, operation and evacuation for firefighting and emergency personnel and evacuation of residents, occupants and visitors where required. These requirements apply when the furthest point of the building is more than 60m from the nearest public road.

**SA CFS has no objection to the proposed access driveway as detailed on drawing named ENLARGEMENT 2- SITE PLAN dated at last revision JULY 2024, with the following conditions:**

- The driveway shall be connected to a formed, all-weather public road with the transition area between the road and driveway having a gradient of not more than 7 degrees (1-in-8).
- Access to each building site shall be of all-weather construction, with a minimum formed road surface width of 3 metres and must allow forward entry and exit for large fire-fighting vehicles, to within 60m of the furthest point of each building.
- Where the gradient of the driveway is steeper than 12 degrees (1-in-4.5) the minimum formed road surface shall be 4 metres.
- The all-weather road shall allow fire-fighting vehicles to safely enter and exit the allotment in a forward direction by incorporating either –
  1. A loop road around the building, OR
  2. A turning area with a minimum radius of 12.5 metres, OR
  3. A 'T' or 'Y' shaped turning area with a minimum formed length of 11 metres (for each 'leg') and minimum internal radii of 9.5 metres OR
  4. A 'U' shaped 'drive-through' option.
- Private access shall have minimum internal radii of 9.5 metres on all bends.
- Private access shall provide overhead clearances of not less than 4.0m horizontally and vertically between the driveway surface and overhanging branches or other obstructions, including buildings and/or structures.
- Vegetation to be established along the access road shall be carefully selected and designed in accordance with the following:
  1. No understorey vegetation shall be established either side of the access road (understorey is defined as plants and bushes up to 2 metres in height),
  2. Grasses shall be reduced to a maximum height of 10cm for a distance of 3 metres (or to the property boundary, whichever comes first).

3. Mature trees with a single stem habit, are permitted within this fuel reduced zone, providing they are maintained to achieve a minimum vehicular clearance of not less than 4 metres in width and a vertical height clearance of 4 metres.
- The all-weather road shall incorporate passing bays. The combined width of the passing bay and access track shall be 6 metres, and a minimum formed length of 17 metres. The passing bays should be constructed at 200 metre intervals along the road or driveway. Where it is necessary to provide adequate visibility, such as the nearest point to the public road or other passing bay, passing bays may be required at intervals of less than 200 metres.
  - The gradient of the access road shall not exceed 16 degrees (1-in-3.5) at any point along the driveway. In steep terrain exceeding 10 degrees (1-in-5.5) the surface should be sealed.
  - The cross fall of of the driveway shall be not more than 6 degrees (1-in-9.5) at any point along the driveway.
  - The all weather road is to be constructed such that it is protected from water erosion of the traffic surface. The road surface shall be profiled to manage storm water run off to appropriate drains, at one or both sides of the traffic surface. The accumulated volumes of water shall be directed via:
    1. open drains; or
    2. culverts and pipes under the traffic surface, and / or away from same, without causing further soil erosion, silting of adjacent areas or water courses or instability of any embankment or cutting.
  - Solid crossings over waterways shall be provided to withstand the weight of large bushfire appliances (GVM 21 tonnes).

### **Condition 3**

WATER SUPPLY & ACCESS (to dedicated water supply)

Ministerial Building Standard MBS008 "Designated bushfire prone areas - additional requirements" 2020, as published under the Planning, Development and Infrastructure Act 2016, provides the technical details of the dedicated water supply for bushfire fighting for the bushfire zone. The dedicated bushfire fighting water supply shall also incorporate the installation of a pumping system, pipe-work and fire-fighting hose(s) in accordance with MBS008.

*Please note that where the water supply is an above-ground water tank, the tank (including any support structure) should be constructed of non-combustible material, such as concrete or metal.*

The 'Planning and Design Code' Hazards (Bushfire – High Risk) Overlay (Performance Outcome 4.3) details the mandatory requirements for the site to provide a dedicated hardstand area in a location that allows fire fighting vehicles to safely access the dedicated water supply.

***Where a water storage facility is required to have a fire authority fitting, the following will apply:***

**SA CFS has no objection to the proposed locations for the dedicated water supply as detailed on drawing named ENLARGEMENT 2- SITE PLAN dated at last revision JULY 2024, providing each supply has an outlet is positioned to comply with the following conditions:**

- The water supply outlet shall be easily accessible and clearly identifiable from the access way and is no greater than 60m path of travel to the furthest point of the building, to enable fire services to reach all parts of the building with no more than two lengths of hose from the hardstand area.
- The dedicated water supply and its location should be identified with suitable signage (i.e. blue sign with white lettering "FIRE WATER").
- Access to the dedicated water supply shall be of all-weather construction, with a minimum formed road surface width of 3 metres.
- Provision shall be made adjacent the water supply for a nominally level hardstand area (capable of supporting fire-fighting vehicles with a gross vehicle mass (GVM) of 21 tonnes) that is a distance equal to or less than 6 metres from the water supply outlet.
- SA CFS appliance's inlet is rear mounted; therefore the outlet/water storage shall be positioned so that the SA CFS appliance can easily connect to it rear facing.
- A gravity fed water supply outlet may be remotely located from the above ground tank to provide adequate access.
- All non-metal water supply pipes for bushfire fighting purposes (other than flexible connections and hoses for fire-fighting) shall be buried below ground to a minimum depth of 300mm with no non-metal parts above ground level.
- All water supply pipes for draughting purposes shall be capable of withstanding the required pressure for draughting.
- The minimum water supply required may be combined with domestic use, providing the outlet for domestic use is located above the dedicated fire water supply (in order for it to remain as a dedicated supply).

#### **Condition 4**

##### **MAINTAIN AN ASSET PROTECTION ZONE (APZ) - VEGETATION MANAGEMENT**

The 'Planning and Design Code' Hazards (Bushfire – High Risk) Overlay (Performance Outcome 4.2) details the mandatory requirements to establish and maintain an asset protection zone. As such, landscaping shall include bushfire protection features that will prevent or inhibit the spread of bushfires and minimise the risk to life and/or damage to buildings and property and maintain a fuel reduced zone for safe movement of occupants and fire fighters.

**An APZ shall be implemented and maintained in line with the vegetation management conditions below:**

- Vegetation management shall be established and maintained within 20 metres of the habitable building (or to the property boundaries – whichever comes first) as follows:

1. The number of trees and understorey plants existing and to be established within the APZ shall be reduced and maintained such that when considered overall a maximum coverage of 30% is attained, and so that the leaf area of shrubs is not continuous. Careful selection of the vegetation will permit the 'clumping' of shrubs where desirable, for diversity, and privacy and yet achieve the 'overall maximum coverage of 30%'.
2. Reduction of vegetation shall be in accordance with SA Native Vegetation Act 1991 and SA Native Vegetation Regulations 2017.
3. Trees and shrubs shall not be planted closer to the building(s) than the distance equivalent to their mature height.
4. Trees and shrubs must not overhang the roofline of the building, touch walls, windows or other elements of the building.
5. Shrubs must not be planted under trees or must be separated by at least 1.5 times their mature height from the trees' lowest branches.
6. Grasses within the zone shall be reduced to a maximum height of 10cm during the Fire Danger Season.
7. No understorey vegetation shall be established within 2 metres of the habitable building (understorey is defined as plants and bushes up to 2 metres in height).
8. Flammable objects such as plants, mulches and fences must not be located adjacent to vulnerable parts of the building such as windows, decks and eaves
9. The APZ shall be maintained to be free of accumulated dead vegetation.

### **Advisory Note 1**

#### **BUILDING CONSIDERATIONS**

Ministerial Building Standard MBS008 "Designated bushfire prone areas - additional requirements" 2020, as published under the Planning, Development and Infrastructure Act 2016 applies to this site.

Please refer to the National Construction Code (NCC), relevant standards and state provisions for construction requirements and performance provisions.

A site Bushfire Attack Level (BAL) assessment was conducted in accordance with the NCC and Australian Standard™ 3959 (AS3959) "Construction of Buildings in Bushfire Prone Areas".

#### **NEW DWELLING**

Category of Bushfire Attack Level: **BAL 19**

This BAL rating is conditional upon the establishment and maintenance of a 20 metre Asset Protection Zone, in accordance with the Asset Protection Zone – Vegetation Management condition of consent placed on the planning consent with the same application reference.

#### **EXISTING DWELLING (PROPOSED TOURIST ACCOMMODATION)**

Category of Bushfire Attack Level: **BAL 29**

This BAL rating is conditional upon the establishment and maintenance of a 20 metre Asset Protection Zone, in accordance with the Asset Protection Zone – Vegetation Management condition of consent placed on the planning consent with the same application reference.

SA CFS acknowledges there are no proposed building works included in this application for this building. SACFS conducted an assessment of the BAL to inform consideration of PO 4.2 (tourist accommodation sited away from vegetated areas that pose an unacceptable bushfire risk).

This result is considered relevant at the date of assessment with respect to the elevations detailed on Planning Report Dwelling and Tourist Accommodation 644 Paracombe Road, Paracombe dated July 2024 and shall not be considered as SA CFS endorsement of any subsequent development.

### **Advisory Note 2**

#### **TOURIST ACCOMMODATION - BUSHFIRE SURVIVAL PLAN**

CFS further recommends:

- The applicants to prepare and display a BUSHFIRE SURVIVAL PLAN (BSP) designed specifically for the purpose of any guests that may be in residence during a bushfire event, especially during the Fire Danger Season. The BSP:
  1. should provide clear directions to persons that may be unfamiliar with the area/locality and unfamiliar with what protective actions they may need to take to protect their lives during a bushfire event, including when to take such protective actions; and
  2. should address the possibility that the owners may not be present at the time of the bushfire event; and
  3. should not expect guests to be involved in fire-fighting operations.

The SA CFS 'Bushfire Safety Guide For Business' document (refer to CFS website) should be utilised as a basis for information and the drafting of the (GUEST) BSP.

The applicant should consider reducing operating hours and restrictions on days of heightened bushfire danger and/or bushfire events and consider including any alterations to bookings and services offered due to actual or predicted conditions during the Fire Danger Season in any booking/refund policy.



# Referral Snapshot

**Development Application number:**

23034790

**Consent:**

Planning Consent

**Relevant authority:**

Adelaide Hills Council

**Consent type for distribution:**

Planning

**Referral body:**

Native Vegetation Council

**Response type:**

Schedule 9 (3)(11) Native Vegetation Overlay

**Referral type:**

Direction

**Response date:**

7 Aug 2024

**Advice:**

With comments, conditions and/or notes

**Condition 1**

Prior to any clearance of native vegetation, the Native Vegetation Council must provide written confirmation that the Significant Environmental Benefit requirements under the *Native Vegetation Act 1991* have been satisfied.

**Condition 2**

No clearance to occur until the full Development Application has been provided to the Native Vegetation Branch for Decision Notification that approves the clearance of native vegetation.

**Condition 3**

Clearance areas are to be defined with barriers, pegs, flags or temporary fencing to ensure that native vegetation outside the approved area is not damaged.

**Condition 4**

Native Vegetation and trees retained in close proximity to the construction activity zone are to be protected with barriers (i.e. fencing or flagging) in accordance with the Australian Standard for Protection of Trees on Development Sites AS 4970-2009.

**Condition 5**

Stockpiled materials, including cleared vegetation and excavated soil is not to be placed under native trees or on top of native understorey outside the approved area.

**Condition 6**

Construction vehicles, equipment or materials are not to be stored or placed on top of native vegetation outside the approved clearance area.

**Condition 7**

Construction vehicles, equipment or materials are not to be stored or placed within the Tree Protection Zone of retained trees.

**Condition 8**

Follow and comply all conditions set out in Decision Notification 2024/3173/473.

**Advisory Note 1**

Prior to any clearance of native vegetation occurring in relation to this development application, the applicant must submit an application to and gain the approval of the Native Vegetation Council under the *Native Vegetation Act 1991*. The application is to be submitted at the following site - <https://apps.environment.sa.gov.au/nvmu/> and must be accompanied by the report prepared by the Accredited Consultant provided with this development application.

**Advisory Note 2**

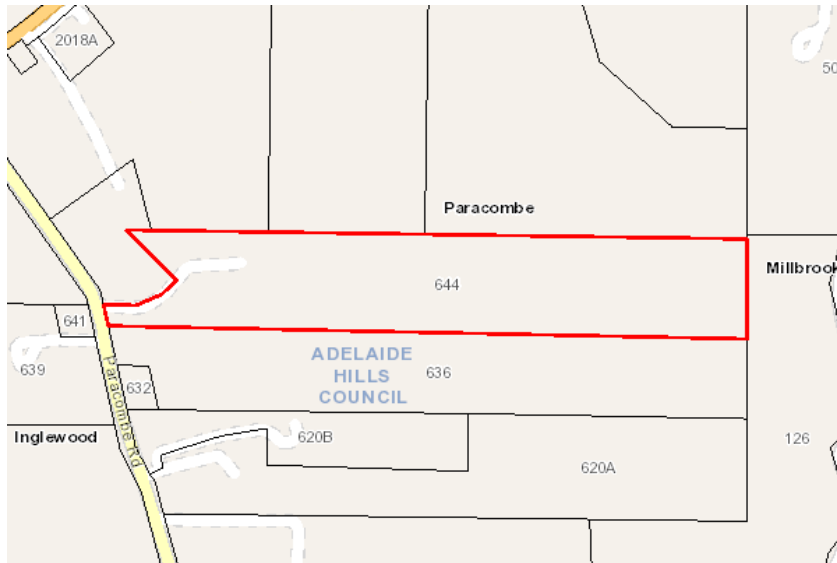
The clearance of native vegetation must be undertaken in accordance with the approval of the Native Vegetation Council under the *Native Vegetation Act 1991* as set out in Decision Notification 2024/3173/473.

644 PARACOMBE RD PARACOMBE SA 5132

Address:

Click to view a detailed interactive [SAILIS](#) in SAILIS

To view a detailed interactive property map in SAPPA click on the map below



### Property Zoning Details

- Zone: Productive Rural Landscape
- Overlay:
  - Environment and Food Production Area
  - Hazards (Bushfire - High Risk)
  - Hazards (Flooding - Evidence Required)
  - Limited Land Division
  - Mount Lofty Ranges Water Supply Catchment (Area 1)
  - Native Vegetation
  - Prescribed Water Resources Area
  - Water Resources

### Selected Development(s)

Detached dwelling

This development may be subject to multiple assessment pathways. Please review the document below to determine which pathway may be applicable based on the proposed development compliances to standards.  
 If no assessment pathway is shown this mean the proposed development will default to performance assessed. Please contact your local council in this instance. Refer to Part 1 - Rules of Interpretation - Determination of Classes of Development

## Detached dwelling - Code Assessed - Performance Assessed

### Part 2 - Zones and Sub Zones

#### Productive Rural Landscape Zone

#### Assessment Provisions (AP)

#### Desired Outcome (DO)

Desired Outcome	
DO 1	A diverse range of land uses at an appropriate scale and intensity that capitalise on the region's proximity to the metropolitan area and the tourist and lifestyle opportunities this presents while also conserving the natural and rural character, identity, biodiversity and sensitive environmental areas and scenic qualities of the landscape.

DO 2	A zone that promotes agriculture, horticulture, value adding opportunities, farm gate businesses, the sale and consumption of agricultural based products, tourist development and accommodation that expands the economic base and promotes its regional identity.
DO 3	Create local conditions that support new and continuing investment while seeking to promote co-existence with adjoining activities and mitigate land use conflicts.

Performance Outcomes (PO) and Deemed to Satisfy (DTS) / Designated Performance Feature (DPF) Criteria

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Land Use and Intensity	
<p><b>PO 1.1</b></p> <p>The productive value of rural land for a range of primary production and horticultural activities and associated value adding of primary produce (such as beverage production), retailing and tourism is supported, protected and maintained. The proliferation of land uses that may be sensitive to those activities is avoided.</p>	<p><b>DTS/DPF 1.1</b></p> <p>Development comprises one or more of the following:</p> <ul style="list-style-type: none"> <li>(a) Advertisement</li> <li>(b) Agricultural building</li> <li>(c) Brewery</li> <li>(d) Carport</li> <li>(e) Cidery</li> <li>(f) Commercial forestry</li> <li>(g) Distillery</li> <li>(h) Dwelling</li> <li>(i) Dwelling addition</li> <li>(j) Farming</li> <li>(k) Function venue</li> <li>(l) Horse keeping</li> <li>(m) Horticulture</li> <li>(n) Industry</li> <li>(o) Low intensity animal husbandry</li> <li>(p) Outbuilding</li> <li>(q) Shop</li> <li>(r) Small-scale ground mounted solar power facility</li> <li>(s) Tourist accommodation</li> <li>(t) Transport distribution</li> <li>(u) Verandah</li> <li>(v) Warehouse</li> <li>(w) Winery</li> <li>(x) Workers' accommodation</li> </ul>
Siting and Design	
<p><b>PO 2.1</b></p> <p>Development is provided with suitable vehicle access.</p>	<p><b>DTS/DPF 2.1</b></p> <p>Development is serviced by an all-weather trafficable public road.</p>
<p><b>PO 2.2</b></p> <p>Buildings are generally located on flat land to minimise cut and fill and the associated visual impacts.</p>	<p><b>DTS/DPF 2.2</b></p> <p>Buildings:</p> <ul style="list-style-type: none"> <li>(a) are located on a site with a slope not greater than 10% (1-in-10)</li> <li>(b) do not result excavation and/or filling of land that is greater than 1.5m from natural ground level.</li> </ul>
Dwellings	

<p><b>PO 5.1</b></p> <p>Dwellings provide a convenient base for landowners to conduct and manage commercial scale primary production and related value adding activities without compromising the use of the allotment, adjacent land or long term purpose of the zone for primary production or related tourism values due to a proliferation of dwellings.</p>	<p><b>DTS/DPF 5.1</b></p> <p>Dwellings:</p> <ul style="list-style-type: none"> <li>(a) are located on an allotment with an area not less than:</li> <li>(b) are located on an allotment used for and is ancillary to primary production and/or primary production related value-adding activities</li> <li>(c) will not result in more than one dwelling on an allotment.</li> </ul> <p>In relation to DTS/DPF 5.1, in instances where:</p> <ul style="list-style-type: none"> <li>(d) more than one value is returned, refer to the <i>Minimum Dwelling Allotment Size Technical and Numeric Variation</i> layer in the SA planning database to determine the applicable value relevant to the site of the proposed development</li> <li>(e) no value is returned for DTS/DPF 5.1(a) (ie there is a blank field), then there is no minimum dwelling allotment size applicable and DTS/DPF 5.1(a) is met.</li> </ul>
<p><b>PO 5.2</b></p> <p>Dwelling are sited, designed and of a scale that maintains a pleasant natural and rural character and amenity.</p>	<p><b>DTS/DPF 5.2</b></p> <p>Dwellings:</p> <ul style="list-style-type: none"> <li>(a) are setback from all allotment boundaries by at least 40m</li> <li>(b) do not exceed 2 building levels and 9m measured from the top of the footings</li> <li>(c) have a wall height no greater than 6m.</li> </ul>
<p><b>PO 5.3</b></p> <p>Development resulting in more than one dwelling on an allotment supports ageing in place for the owner of the allotment or multi-generational management of farms in a manner that minimises the potential loss of land available for primary production.</p>	<p><b>DTS/DPF 5.3</b></p> <p>Dwelling that will result in more than one dwelling on an allotment where all the following are satisfied:</p> <ul style="list-style-type: none"> <li>(a) it is located within 20m of an existing dwelling</li> <li>(b) share the same utilities of the existing dwelling</li> <li>(c) will use the same access point from a public road as the existing dwelling</li> <li>(d) it is located on an allotment not less than 40ha in area</li> <li>(e) will not result in more than two dwellings on an allotment.</li> </ul>
<p>Built Form and Character</p>	
<p><b>PO 11.1</b></p> <p>Large buildings designed and sited to reduce impacts on scenic and rural vistas by:</p> <ul style="list-style-type: none"> <li>(a) having substantial setbacks from boundaries and adjacent public roads</li> <li>(b) using low reflective materials and finishes that blend with the surrounding landscape</li> <li>(c) being located below ridgelines.</li> </ul>	<p><b>DTS/DPF 11.1</b></p> <p>None are applicable.</p>

Table 5 - Procedural Matters (PM) - Notification

The following table identifies, pursuant to section 107(6) of the *Planning, Development and Infrastructure Act 2016*, classes of performance assessed development that are excluded from notification. The table also identifies any exemptions to the placement of notices when notification is required.

#### Interpretation

Notification tables exclude the classes of development listed in Column A from notification provided that they do not fall within a corresponding exclusion prescribed in Column B.

Where a development or an element of a development falls within more than one class of development listed in Column A, it will be excluded from notification if it is excluded (in its entirety) under any of those classes of development. It need not be excluded under all applicable classes of development.

Where a development involves multiple performance assessed elements, all performance assessed elements will require notification (regardless of whether one or more elements are excluded in the applicable notification table) unless every performance assessed element of the application is excluded in the applicable notification table, in which case the application will not require notification.

A relevant authority may determine that a variation to 1 or more corresponding exclusions prescribed in Column B is minor in nature and does not require notification.

<b>Class of Development</b> <b>(Column A)</b>	<b>Exceptions</b> <b>(Column B)</b>
<p>1. Development which, in the opinion of the relevant authority, is of a minor nature only and will not unreasonably impact on the owners or occupiers of land in the locality of the site of the development.</p>	<p>None specified.</p>
<p>2. Any development involving any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> <li>(a) advertisement</li> <li>(b) agricultural building</li> <li>(c) air handling unit, air conditioning system or exhaust fan</li> <li>(d) ancillary accommodation</li> <li>(e) carport</li> <li>(f) deck</li> <li>(g) fence</li> <li>(h) dwelling</li> <li>(i) dwelling addition</li> <li>(j) farming</li> <li>(k) horse keeping</li> <li>(l) internal building work</li> <li>(m) land division</li> <li>(n) outbuilding</li> <li>(o) pergola</li> <li>(p) private bushfire shelter</li> <li>(q) protective tree netting structure</li> <li>(r) replacement building</li> <li>(s) retaining wall</li> <li>(t) solar photovoltaic panels (roof mounted)</li> <li>(u) shade sail</li> <li>(v) swimming pool or spa pool and associated swimming pool safety features</li> <li>(w) temporary accommodation in an area affected by bushfire</li> <li>(x) tree damaging activity</li> <li>(y) verandah</li> <li>(z) water tank.</li> </ul>	<p>None specified.</p>
<p>3. Any development involving any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> <li>(a) industry</li> <li>(b) store</li> <li>(c) warehouse.</li> </ul>	<p>Except development that does not satisfy any of the following:</p> <ul style="list-style-type: none"> <li>1. Productive Rural Landscape Zone DTS/DPF 4.1</li> <li>2. Productive Rural Landscape Zone DTS/DPF 4.3.</li> </ul>
<p>4. Demolition.</p>	<p>Except any of the following:</p> <ul style="list-style-type: none"> <li>1. the demolition (or partial demolition) of a State or Local Heritage Place (other than an excluded building)</li> <li>2. the demolition (or partial demolition) of a building in a Historic Area Overlay (other than an excluded building).</li> </ul>
<p>5. Function venue within The Cedars Subzone.</p>	<p>None specified.</p>

6. Function venue.	Except function venue that does not satisfy Productive Rural Landscape Zone DTS/DPF 6.6.
7. Horticulture.	Except horticulture that does not satisfy any of the following: <ol style="list-style-type: none"> <li>1. Productive Rural Landscape Zone DTS/DPF 3.1(d)</li> <li>2. Productive Rural Landscape Zone DTS/DPF 3.1(e).</li> </ol>
8. Railway line.	Except where located outside of a rail corridor or rail reserve.
9. Shop within The Cedars Subzone.	None specified.
10. Shop.	Except shop that does not satisfy any of the following: <ol style="list-style-type: none"> <li>1. Productive Rural Landscape Zone DTS/DPF 6.1</li> <li>2. Productive Rural Landscape Zone DTS/DPF 6.2.</li> </ol>
11. Tourist accommodation within The Cedars Subzone.	None specified.
12. Tourist accommodation.	Except tourist accommodation that does not to satisfy any of the following: <ol style="list-style-type: none"> <li>1. Productive Rural Landscape Zone DTS/DPF 6.3</li> <li>2. Productive Rural Landscape Zone DTS/DPF 6.4.</li> </ol>

#### Placement of Notices - Exemptions for Performance Assessed Development

Pursuant to regulation 47(6)(c) of the Planning, Development and Infrastructure (General) Regulations 2017, the requirement to place a notice on the relevant land under section 107(3)(a)(ii) of the *Planning, Development and Infrastructure Act 2016* does not apply in the Productive Rural Landscape Zone.

#### Placement of Notices - Exemptions for Restricted Development

Pursuant to regulation 47(6)(c) of the Planning, Development and Infrastructure (General) Regulations 2017, the requirement to place a notice on the relevant land under section 110(2)(a)(iv) of the *Planning, Development and Infrastructure Act 2016* does not apply in the Productive Rural Landscape Zone.

## Part 3 - Overlays

### Hazards (Bushfire - High Risk) Overlay

#### Assessment Provisions (AP)

#### Desired Outcome (DO)

Desired Outcome	
DO 1	<p>Development, including land division is sited and designed to minimise the threat and impact of bushfires on life and property with regard to the following risks:</p> <p>(a) potential for uncontrolled bushfire events taking into account the increased frequency and intensity of bushfires as a result of climate change</p>

	<ul style="list-style-type: none"> <li>(b) high levels and exposure to ember attack</li> <li>(c) impact from burning debris</li> <li>(d) radiant heat</li> <li>(e) likelihood and direct exposure to flames from a fire front.</li> </ul>
DO 2	Activities that increase the number of people living and working in the area or where evacuation would be difficult is sited away from areas of unacceptable bushfire risk.
DO 3	To facilitate access for emergency service vehicles to aid the protection of lives and assets from bushfire danger.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
<b>Land Use</b>	
<p><b>PO 1.1</b></p> <p>Development that significantly increases the potential for fire outbreak as a result of the spontaneous combustion of materials, spark generation or through the magnification and reflection of light is not located in areas of unacceptable bushfire risk.</p>	<p><b>DTS/DPF 1.1</b></p> <p>None are applicable.</p>
<b>Siting</b>	
<p><b>PO 2.1</b></p> <p>Buildings and structures are located away from areas that pose an unacceptable bushfire risk as a result of vegetation cover and type, and terrain.</p>	<p><b>DTS/DPF 2.1</b></p> <p>None are applicable.</p>
<b>Built Form</b>	
<p><b>PO 3.1</b></p> <p>Buildings and structures are designed and configured to reduce the impact of bushfire through using designs that reduce the potential for trapping burning debris against or underneath the building or structure, or between the ground and building floor level in the case of transportable buildings and buildings on stilts.</p>	<p><b>DTS/DPF 3.1</b></p> <p>None are applicable.</p>
<b>Habitable Buildings</b>	
<p><b>PO 4.1</b></p> <p>To minimise the threat, impact and potential exposure to bushfires on life and property, residential and tourist accommodation and habitable buildings for vulnerable communities (including boarding houses, hostels, dormitory style accommodation, student accommodation and workers' accommodation) is sited on the flatter portion of allotments away from steep slopes.</p>	<p><b>DTS/DPF 4.1</b></p> <p>None are applicable.</p>
<p><b>PO 4.2</b></p> <p>Residential and tourist accommodation and habitable buildings for</p>	<p><b>DTS/DPF 4.2</b></p> <p>Residential and tourist accommodation and habitable buildings for</p>



<p>vulnerable communities (including boarding houses, hostels, dormitory style accommodation, student accommodation and workers' accommodation) is sited away from vegetated areas that pose an unacceptable bushfire risk.</p>	<p>vulnerable communities are provided with asset protection zone(s) in accordance with (a) and (b):</p> <ul style="list-style-type: none"> <li>(a) the asset protection zone has a minimum width of at least:             <ul style="list-style-type: none"> <li>(i) 50 metres to unmanaged grasslands</li> <li>(ii) 100 metres to hazardous bushland vegetation</li> </ul> </li> <li>(b) the asset protection zone is contained wholly within the allotment of the development.</li> </ul>
<p><b>PO 4.3</b></p> <p>Residential and tourist accommodation and habitable buildings for vulnerable communities (including boarding houses, hostels, dormitory style accommodation, student accommodation and workers' accommodation) has a dedicated area available that:</p> <ul style="list-style-type: none"> <li>(a) is capable of accommodating a bushfire protection system comprising firefighting equipment and water supply in accordance with <i>Ministerial Building Standard MBS 008 - Designated bushfire prone areas - additional requirements</i></li> <li>(b) includes the provision of an all-weather hardstand area in a location that:             <ul style="list-style-type: none"> <li>(i) allows fire-fighting vehicles to safely access the dedicated water supply and exit the site in a forward direction</li> <li>(ii) is no further than 6 metres from the dedicated water supply outlet(s) where required.</li> </ul> </li> </ul>	<p><b>DTS/DPF 4.3</b></p> <p>None are applicable.</p>
<p>Vehicle Access –Roads, Driveways and Fire Tracks</p>	
<p><b>PO 6.2</b></p> <p>Access to habitable buildings is designed and constructed to facilitate the safe and effective:</p> <ul style="list-style-type: none"> <li>(a) use, operation and evacuation of fire-fighting and emergency personnel</li> <li>(b) evacuation of residents, occupants and visitors.</li> </ul>	<p><b>DTS/DPF 6.2</b></p> <p>Access is in accordance with (a) or (b):</p> <ul style="list-style-type: none"> <li>(a) a clear and unobstructed vehicle or pedestrian pathway of not greater than 60 metres in length is available between the most distant part of the habitable building and the nearest part of a formed public access road</li> <li>(b) driveways:             <ul style="list-style-type: none"> <li>(i) do not exceed 600m in length</li> <li>(ii) are constructed with a formed, all-weather surface</li> <li>(iii) are connected to a formed, all-weather public road with the transition area between the road and driveway having a gradient of not more than 7 degrees (1-in-8)</li> <li>(iv) have a gradient of not more than 16 degrees (1-in-3.5) at any point along the driveway</li> <li>(v) have a crossfall of not more than 6 degrees (1-in-9.5) at any point along the driveway</li> <li>(vi) have a minimum formed width of 3m (4m where the gradient of the driveway is steeper than 12 degrees (1-in-4.5)) plus 0.5 metres clearance either side of the driveway from overhanging branches or other obstructions, including buildings and/or structures (Figure 1)</li> <li>(vii) incorporate passing bays with a minimum width of 6m and length of 17m every 200m (Figure 5)</li> <li>(viii) provide overhead clearance of not less than 4.0m between the driveway surface and overhanging branches or other obstructions, including buildings and/or structures (Figure 1)</li> <li>(ix) allow fire-fighting services (personnel and vehicles) to travel in a continuous forward movement around driveway curves by constructing the curves with a minimum external radius of 12.5m (Figure 2)</li> <li>(x) allow fire-fighting vehicles to safely enter and exit an allotment in a forward direction by using a 'U' shaped drive through design or by incorporating at the end of the driveway either:                 <ul style="list-style-type: none"> <li>A. a loop road around the building or</li> <li>B. a turning area with a minimum radius of 12.5m (Figure 3) or</li> <li>C. a 'T' or 'Y' shaped turning area with a minimum formed length of 11m and minimum internal radii of 9.5m (Figure 4)</li> </ul> </li> <li>(xi) incorporate solid, all-weather crossings over any watercourse that support fire-fighting vehicles with a gross vehicle mass (GVM) of 21 tonnes.</li> </ul> </li> </ul>

<p><b>PO 6.3</b></p> <p>Development does not rely on fire tracks as means of evacuation or access for fire-fighting purposes unless there are no safe alternatives available.</p>	<p><b>DTS/DPF 6.3</b></p> <p>None are applicable.</p>
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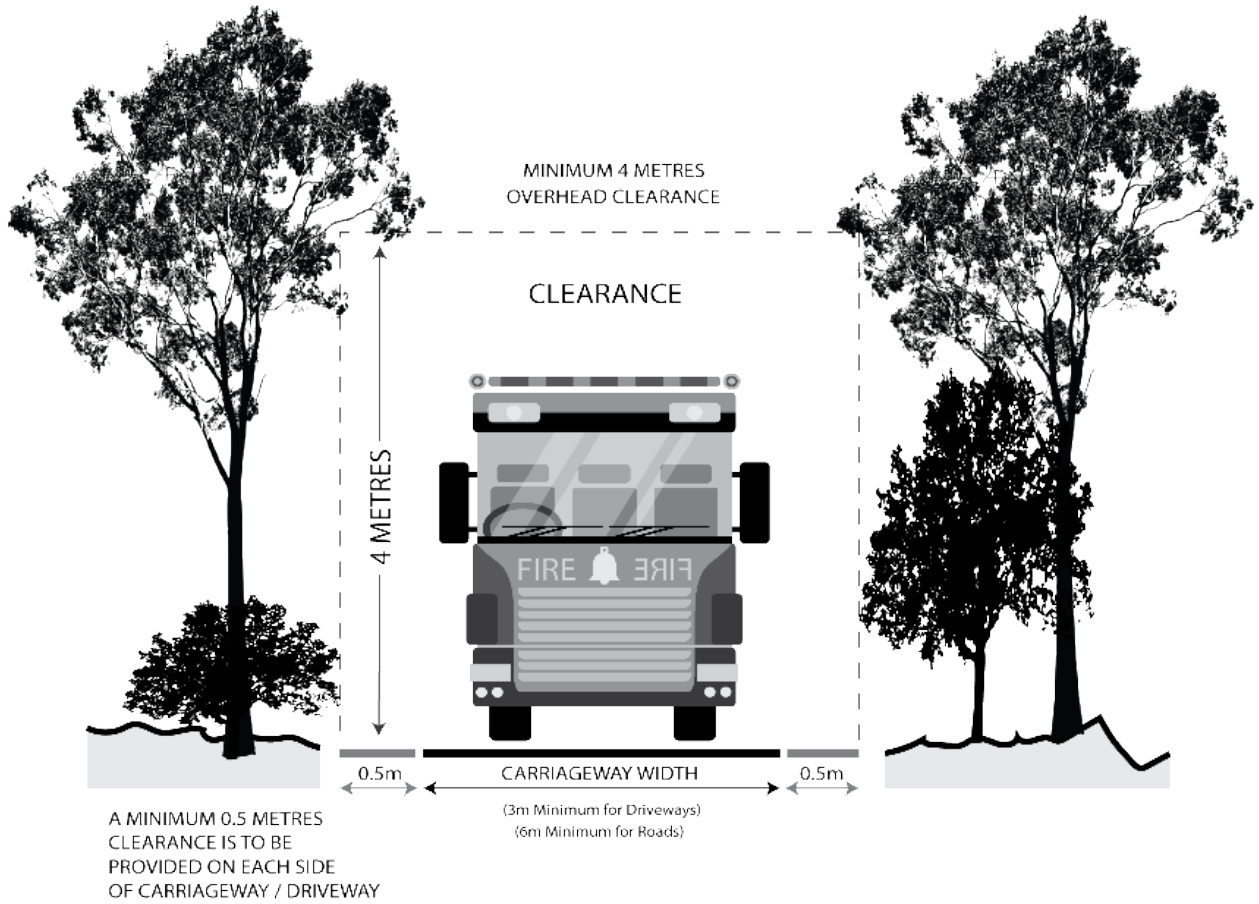
**Procedural Matters (PM) - Referrals**

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
<p>Except if a <b>relevant certificate</b> accompanies the application for planning consent in respect of the development, any of the following classes of development (including alterations and additions which increase the floor area of such buildings by 10% or more):</p> <ul style="list-style-type: none"> <li>(a) land division creating one or more additional allotments</li> <li>(b) dwelling</li> <li>(c) ancillary accommodation</li> <li>(d) residential flat building</li> <li>(e) tourist accommodation</li> <li>(f) boarding home</li> <li>(g) dormitory style accommodation</li> <li>(h) workers' accommodation</li> <li>(i) student accommodation</li> <li>(j) child care facility</li> <li>(k) educational facility</li> <li>(l) retirement village</li> <li>(m) supported accommodation</li> <li>(n) residential park</li> <li>(o) hospital</li> <li>(p) camp ground.</li> </ul>	<p>South Australian Country Fire Service.</p>	<p>To provide expert assessment and direction to the relevant authority on the potential impacts of bushfire on the development.</p>	<p>Development of a class to which Schedule 9 clause 3 item 2 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.</p>

**Figures and Diagrams**

<p><b>Fire Appliance Clearances</b></p>
<p>Figure 1 - Overhead and Side Clearances</p>



### Roads and Driveway Design

Figure 2 - Road and Driveway Curves

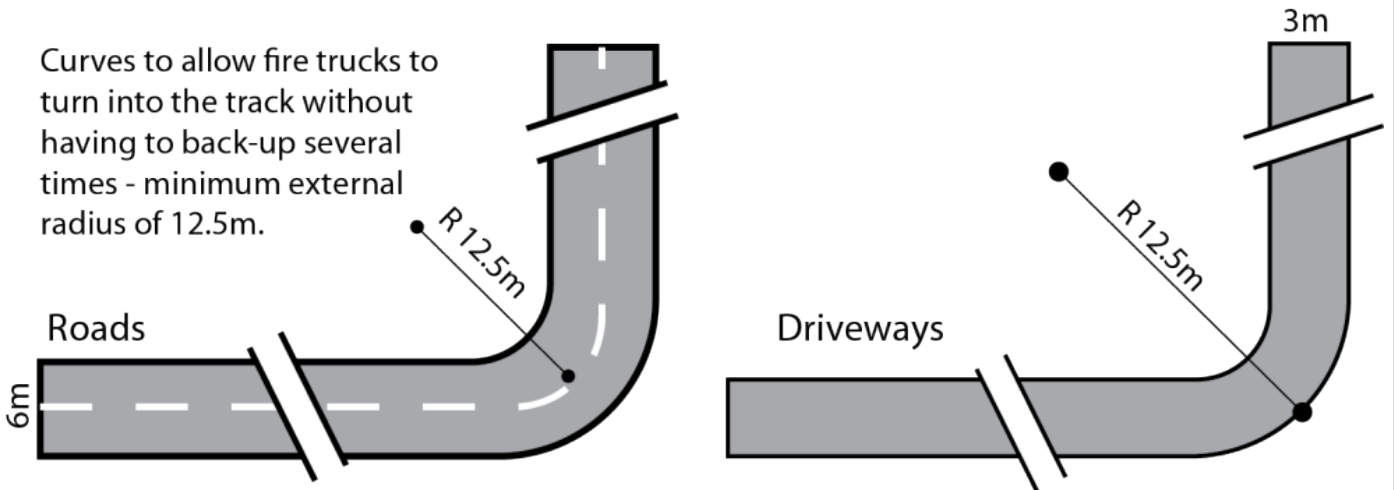


Figure 3 - Full Circle Turning Area

Fire truck turning area -  
minimum radius 12.5m

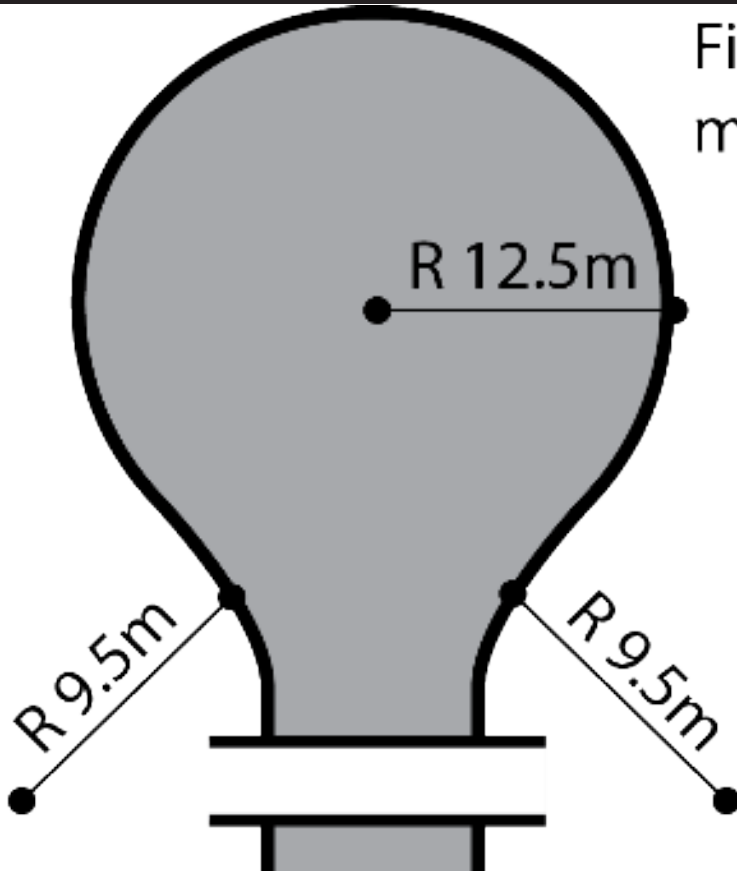
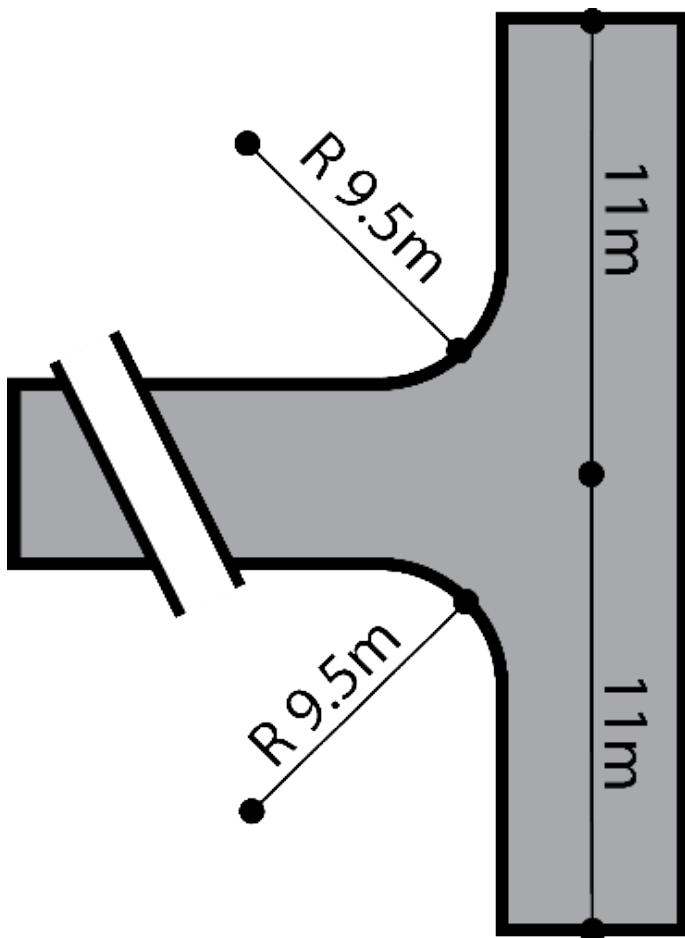


Figure 4 - 'T' or 'Y' Shaped Turning Head



"T" shaped turning area  
for fire trucks to reverse  
into so they can turn  
around  
- minimum length 11m.

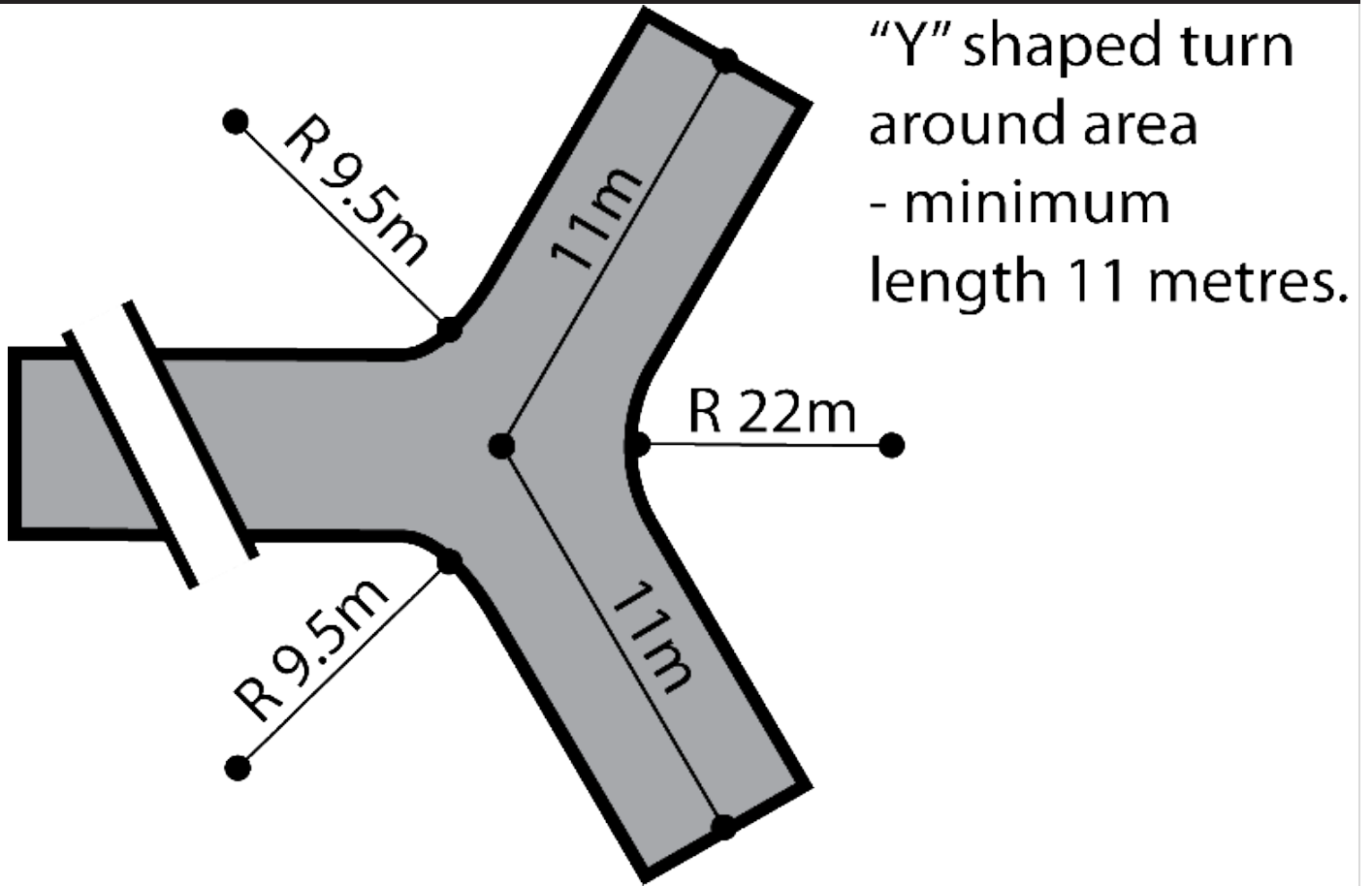
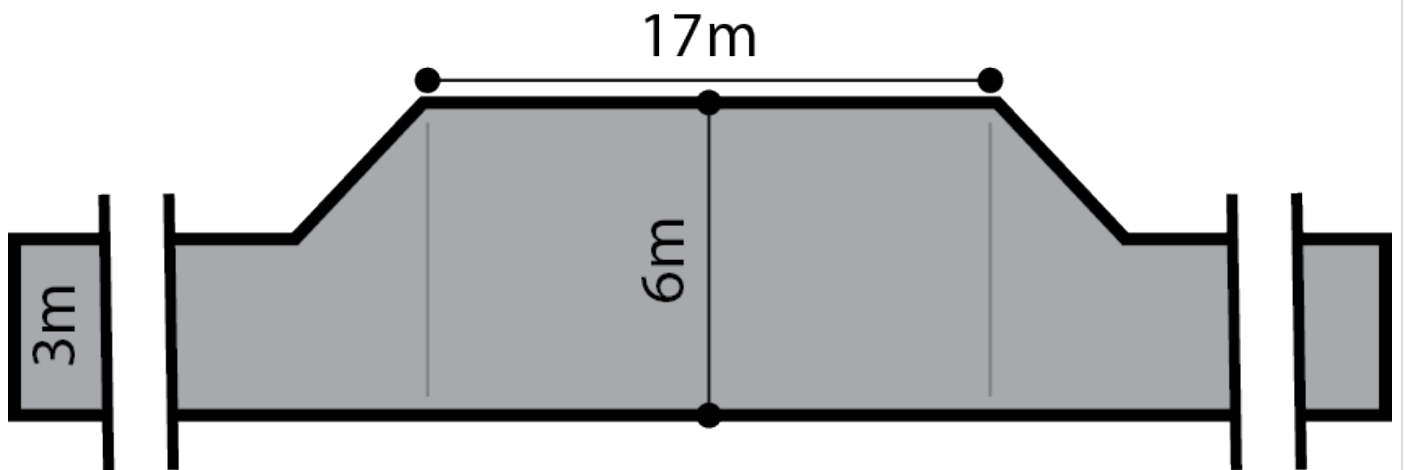


Figure 5 - Driveway Passing Bays

Passing bay for fire trucks - minimum width 6 metres, minimum length 17 metres.



### Hazards (Flooding - Evidence Required) Overlay

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Development adopts a precautionary approach to mitigate potential impacts on people, property, infrastructure and the environment from potential flood risk through the appropriate siting and design of development.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Flood Resilience	
<p><b>PO 1.1</b></p> <p>Development is sited, designed and constructed to minimise the risk of entry of potential floodwaters where the entry of flood waters is likely to result in undue damage to or compromise ongoing activities within buildings.</p>	<p><b>DTS/DPF 1.1</b></p> <p>Habitable buildings, commercial and industrial buildings, and buildings used for animal keeping incorporate a finished floor level at least 300mm above:</p> <ul style="list-style-type: none"> <li>(a) the highest point of top of kerb of the primary street</li> <li>or</li> <li>(b) the highest point of natural ground level at the primary street boundary where there is no kerb</li> </ul>

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

## Mount Lofty Ranges Water Supply Catchment (Area 1) Overlay

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Safeguard Greater Adelaide's public water supply by ensuring development has a neutral or beneficial effect on the quality of water harvested from primary reservoirs or diversion weir catchments from the Mount Lofty Ranges.

Performance Outcomes (PO) and Deemed to Satisfy (DTS) / Designated Performance Feature (DPF) Criteria

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Water Quality	
<p><b>PO 1.1</b></p>	<p><b>DTS/DPF 1.1</b></p>

<p>Development results in a neutral or beneficial effect on the quality of water draining from the site to maintain and enhance the role of the catchment as a water supply.</p>	<p>None are applicable.</p>
<p>Wastewater</p>	
<p><b>PO 2.2</b></p> <p>Development that generates human wastewater, including alterations and additions, are established at an intensity and in a manner to minimise potential adverse impact on water quality within primary reservoir and weir catchment areas.</p>	<p><b>DTS/DPF 2.2</b></p> <p>Development, including alterations and additions, in combination with existing built form and activities within an allotment:</p> <ul style="list-style-type: none"> <li>(a) does not generate a combined total of more than 900 litres of wastewater per day,</li> <li>and</li> <li>(b) will be connected to the same on-site wastewater system that is compliant with relevant South Australian standards</li> </ul> <p>or is otherwise connected to a sewerage or community wastewater management system.</p>
<p><b>PO 2.3</b></p> <p>Wastewater management systems result in a neutral or beneficial effect on the quality of water draining from the site.</p>	<p><b>DTS/DPF 2.3</b></p> <p>Development results in:</p> <ul style="list-style-type: none"> <li>(a) a building or land use that is currently connected to an existing on-site wastewater system that is non-compliant with relevant South Australian standards being connected to a new or upgraded system that complies with such standards</li> </ul> <p style="text-align: center;">or</p> <ul style="list-style-type: none"> <li>(a) an existing on-site wastewater system being decommissioned and wastewater being disposed of to a sewer or community wastewater management system that complies with relevant South Australian standards.</li> </ul>
<p><b>PO 2.4</b></p> <p>Surface and groundwater protected from wastewater discharge pollution.</p>	<p><b>DTS/DPF 2.4</b></p> <p>All components of an effluent disposal area are:</p> <ul style="list-style-type: none"> <li>(a) set back 50 metres or more from a watercourse</li> <li>(b) set back 100 metres or more from a public water supply reservoir</li> <li>(c) located on land with a slope no greater than 1-in-5 (20%)</li> <li>(d) located on land with 1.2m or more depth to bedrock or a seasonal or permanent water table</li> <li>(e) above the 10% AEP flood level.</li> </ul>
<p>Stormwater</p>	
<p><b>PO 3.1</b></p> <p>Post-development peak stormwater discharge quantities and rates do not exceed pre-development quantities and rates to maintain water quality leaving the site.</p>	<p><b>DTS/DPF 3.1</b></p> <p>None are applicable.</p>
<p><b>PO 3.2</b></p> <p>Stormwater run-off from areas not likely to be subject to pollution diverted away from areas that could cause pollution.</p>	<p><b>DTS/DPF 3.2</b></p> <p>None are applicable.</p>
<p><b>PO 3.3</b></p> <p>Polluted stormwater is treated prior to discharge from the site.</p>	<p><b>DTS/DPF 3.3</b></p> <p>None are applicable.</p>
<p><b>PO 3.9</b></p> <p>Stormwater from excavated and filled areas is managed to protect</p>	<p><b>DTS/DPF 3.9</b></p> <p>Excavation and/or filling satisfy all the following:</p>

<p>water quality.</p>	<ul style="list-style-type: none"> <li>(a) is located 50m or more from watercourses</li> <li>(b) is located 100m or more from public water supply reservoirs and diversion weirs</li> <li>(c) does not involve excavation exceeding a vertical height of 0.75m</li> <li>(d) does not involve filling exceeding a vertical height of 0.75m</li> <li>(e) does not involve a total combined excavation and filling vertical height of 1.5m.</li> </ul>
<p>Landscapes and Natural Features</p>	
<p><b>PO 4.1</b> Development minimises the need to modify landscapes and natural features.</p>	<p><b>DTS/DPF 4.1</b> None are applicable.</p>

Procedural Matters (PM)

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
<p>Any of the following classes of development that are not connected (or not proposed to be connected) to a community wastewater management system or sewerage infrastructure:</p> <ul style="list-style-type: none"> <li>(a) land division creating one or more additional allotments, either partly or wholly within the area of the overlay</li> <li>(b) function venue with more than 75 seats for customer dining purposes</li> <li>(c) restaurant with more than 40 seats for customer dining purposes</li> <li>(d) restaurant with more than 30 seats for customer dining purposes in association with a cellar door</li> <li>(e) dwelling where a habitable dwelling or tourist accommodation or workers' accommodation already exists on the same allotment (including where a valid planning authorisation exists to erect a dwelling or tourist accommodation or workers' accommodation on the same allotment), except where the existing habitable dwelling or tourist accommodation or workers' accommodation on the same allotment is proposed to be demolished and the existing on-site wastewater system is proposed to be decommissioned</li> <li>(f) tourist accommodation where a habitable dwelling or tourist accommodation or workers' accommodation already exists on the same allotment (including where a valid planning authorisation exists to erect a habitable dwelling or tourist accommodation or workers' accommodation on the same allotment), except where the existing habitable dwelling or tourist accommodation or workers' accommodation on the same allotment is proposed to be demolished and the existing on-site wastewater system is proposed to be decommissioned</li> <li>(g) workers' accommodation where a habitable dwelling or tourist accommodation or workers' accommodation already exists on the same allotment (including where a valid planning authorisation exists to erect a habitable dwelling or tourist accommodation or workers' accommodation on the same allotment), except where the existing habitable dwelling or tourist accommodation or workers' accommodation on the same allotment is proposed to be demolished and the existing on-site wastewater system is proposed to be decommissioned</li> <li>(h) any other development that generates human wastewater from a peak loading capacity of more than 40 persons (or more than 6,000 litres/day).</li> </ul>	<p>Environment Protection Authority.</p>	<p>To provide expert technical assessment and direction to the relevant authority on whether a proposed development will have a neutral or beneficial impact on water quality.</p>	<p>Development of a class to which Schedule 9 clause 3 item 9 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.</p>
<p>Composting works (excluding a prescribed approved activity) - being a depot, facility or works with the</p>			



capacity to treat, during a 12 month period more than 200 tonnes of organic waste or matter (EPA Licence)			
Wastewater treatment works - being sewage treatment works, a community wastewater management system, winery wastewater treatment works or any other wastewater treatment works with the capacity to treat, during a 12 month period more than 2.5 ML of wastewater (EPA Licence required at more than 5ML)			
Feedlots - being carrying on an operation for holding in confined yard or area and feeding principally by mechanical means or by hand not less than an average of 200 cattle (EPA Licence) or 1,600 sheep or goats per day over any period of 12 months, but excluding any such operation carried on at an abattoir, slaughterhouse or saleyard or for the purpose only of drought or other emergency feeding			
Piggeries - being the conduct of a piggery (being premises having confined or roofed structures for keeping pigs) with a capacity of 130 or more standard pig units (EPA Licence required at 650 or more standard pig units)			
Dairies - carrying on of a dairy with a total processing capacity exceeding 100 milking animals at any one time.			

## Native Vegetation Overlay

### Assessment Provisions (AP)

### Desired Outcome (DO)

Desired Outcome	
DO 1	Areas of native vegetation are protected, retained and restored in order to sustain biodiversity, threatened species and vegetation communities, fauna habitat, ecosystem services, carbon storage and amenity values.

### Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Environmental Protection	
<p><b>PO 1.1</b></p> <p>Development avoids, or where it cannot be practically avoided, minimises the clearance of native vegetation taking into account the</p>	<p><b>DTS/DPF 1.1</b></p> <p>An application is accompanied by:</p>

<p>siting of buildings, access points, bushfire protection measures and building maintenance.</p>	<p>(a) a declaration stating that the proposal will not, or would not, involve clearance of native vegetation under the Native Vegetation Act 1991, including any clearance that may occur:</p> <ul style="list-style-type: none"> <li>(i) in connection with a relevant access point and / or driveway</li> <li>(ii) within 10m of a building (other than a residential building or tourist accommodation)</li> <li>(iii) within 20m of a dwelling or addition to an existing dwelling for fire prevention and control</li> <li>(iv) within 50m of residential or tourist accommodation in connection with a requirement under a relevant overlay to establish an asset protection zone in a bushfire prone area</li> </ul> <p>or</p> <p>(b) a report prepared in accordance with Regulation 18(2)(a) of the Native Vegetation Regulations 2017 that establishes that the clearance is categorised as 'Level 1 clearance'.</p>
<p><b>PO 1.2</b></p> <p>Native vegetation clearance in association with development avoids the following:</p> <ul style="list-style-type: none"> <li>(a) significant wildlife habitat and movement corridors</li> <li>(b) rare, vulnerable or endangered plants species</li> <li>(c) native vegetation that is significant because it is located in an area which has been extensively cleared</li> <li>(d) native vegetation that is growing in, or in association with, a wetland environment.</li> </ul>	<p><b>DTS/DPF 1.2</b></p> <p>None are applicable.</p>
<p><b>PO 1.4</b></p> <p>Development restores and enhances biodiversity and habitat values through revegetation using locally indigenous plant species.</p>	<p><b>DTS/DPF 1.4</b></p> <p>None are applicable.</p>

### Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
<p>Development that is the subject of a report prepared in accordance with Regulation 18(2)(a) of the <i>Native Vegetation Regulations 2017</i> that categorises the clearance, or potential clearance, as 'Level 3 clearance' or 'Level 4 clearance'.</p>	<p>Native Vegetation Council</p>	<p>To provide expert assessment and direction to the relevant authority on the potential impacts of development on native vegetation.</p>	<p>Development of a class to which Schedule 9 clause 3 item 11 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.</p>

## Water Resources Overlay

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Protection of the quality of surface waters considering adverse water quality impacts associated with projected reductions in rainfall and warmer air temperatures as a result of climate change.
DO 2	Maintain the conveyance function and natural flow paths of watercourses to assist in the management of flood waters and stormwater runoff.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
<small>Water Catchment</small>	
<p><b>PO 1.1</b></p> <p>Watercourses and their beds, banks, wetlands and floodplains (1% AEP flood extent) are not damaged or modified and are retained in their natural state, except where modification is required for essential access or maintenance purposes.</p>	<p><b>DTS/DPF 1.1</b></p> <p>None are applicable.</p>
<p><b>PO 1.2</b></p> <p>Development avoids interfering with the existing hydrology or water regime of swamps and wetlands other than to improve the existing conditions to enhance environmental values.</p>	<p><b>DTS/DPF 1.2</b></p> <p>None are applicable.</p>
<p><b>PO 1.5</b></p> <p>Development that increases surface water run-off includes a suitably sized strip of vegetated land on each side of a watercourse to filter runoff to:</p> <ul style="list-style-type: none"> <li>(a) reduce the impacts on native aquatic ecosystems</li> <li>(b) minimise soil loss eroding into the watercourse.</li> </ul>	<p><b>DTS/DPF 1.5</b></p> <p>A strip of land 20m or more wide measured from the top of existing banks on each side of the watercourse is free from development, livestock use and revegetated with locally indigenous vegetation.</p>
<p><b>PO 1.6</b></p> <p>Development resulting in the depositing or placing of an object or solid material in a watercourse or lake occurs only where it involves any of the following:</p> <ul style="list-style-type: none"> <li>(a) the construction of an erosion control structure</li> <li>(b) devices or structures used to extract or regulate water flowing in a watercourse</li> <li>(c) devices used for scientific purposes</li> <li>(d) the rehabilitation of watercourses.</li> </ul>	<p><b>DTS/DPF 1.6</b></p> <p>None are applicable.</p>
<p><b>PO 1.7</b></p> <p>Watercourses, floodplains (1% AEP flood extent) and wetlands protected and enhanced by retaining and protecting existing native vegetation.</p>	<p><b>DTS/DPF 1.7</b></p> <p>None are applicable.</p>

<p><b>PO 1.8</b></p> <p>Watercourses, floodplains (1% AEP flood extent) and wetlands are protected and enhanced by stabilising watercourse banks and reducing sediments and nutrients entering the watercourse.</p>	<p><b>DTS/DPF 1.8</b></p> <p>None are applicable.</p>
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**Procedural Matters (PM) - Referrals**

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

## Part 4 - General Development Policies

### Clearance from Overhead Powerlines

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Protection of human health and safety when undertaking development in the vicinity of overhead transmission powerlines.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
<p><b>PO 1.1</b></p> <p>Buildings are adequately separated from aboveground powerlines to minimise potential hazard to people and property.</p>	<p><b>DTS/DPF 1.1</b></p> <p>One of the following is satisfied:</p> <ul style="list-style-type: none"> <li>(a) a declaration is provided by or on behalf of the applicant to the effect that the proposal would not be contrary to the regulations prescribed for the purposes of section 86 of the <i>Electricity Act 1996</i></li> <li>(b) there are no aboveground powerlines adjoining the site that are the subject of the proposed development.</li> </ul>

### Design

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	

	<p>Development is:</p> <ul style="list-style-type: none"> <li>(a) contextual - by considering, recognising and carefully responding to its natural surroundings or built environment and positively contributes to the character of the immediate area</li> <li>(b) durable - fit for purpose, adaptable and long lasting</li> <li>(c) inclusive - by integrating landscape design to optimise pedestrian and cyclist usability, privacy and equitable access, and promoting the provision of quality spaces integrated with the public realm that can be used for access and recreation and help optimise security and safety both internally and within the public realm, for occupants and visitors</li> <li>(d) sustainable - by integrating sustainable techniques into the design and siting of development and landscaping to improve community health, urban heat, water management, environmental performance, biodiversity and local amenity and to minimise energy consumption.</li> </ul>
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Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
All development	
On-site Waste Treatment Systems	
<p><b>PO 6.1</b></p> <p>Dedicated on-site effluent disposal areas do not include any areas to be used for, or could be reasonably foreseen to be used for, private open space, driveways or car parking.</p>	<p><b>DTS/DPF 6.1</b></p> <p>Effluent disposal drainage areas do not:</p> <ul style="list-style-type: none"> <li>(a) encroach within an area used as private open space or result in less private open space than that specified in Design Table 1 - Private Open Space</li> <li>(b) use an area also used as a driveway</li> <li>(c) encroach within an area used for on-site car parking or result in less on-site car parking than that specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas.</li> </ul>
Earthworks and sloping land	
<p><b>PO 8.1</b></p> <p>Development, including any associated driveways and access tracks, minimises the need for earthworks to limit disturbance to natural topography.</p>	<p><b>DTS/DPF 8.1</b></p> <p>Development does not involve any of the following:</p> <ul style="list-style-type: none"> <li>(a) excavation exceeding a vertical height of 1m</li> <li>(b) filling exceeding a vertical height of 1m</li> <li>(c) a total combined excavation and filling vertical height of 2m or more.</li> </ul>
<p><b>PO 8.2</b></p> <p>Driveways and access tracks are designed and constructed to allow safe and convenient access on sloping land (with a gradient exceeding 1 in 8).</p>	<p><b>DTS/DPF 8.2</b></p> <p>Driveways and access tracks on sloping land (with a gradient exceeding 1 in 8) satisfy (a) and (b):</p> <ul style="list-style-type: none"> <li>(a) do not have a gradient exceeding 25% (1-in-4) at any point along the driveway</li> <li>(b) are constructed with an all-weather trafficable surface.</li> </ul>
<p><b>PO 8.3</b></p> <p>Driveways and access tracks on sloping land (with a gradient exceeding 1 in 8):</p> <ul style="list-style-type: none"> <li>(a) do not contribute to the instability of embankments and cuttings</li> <li>(b) provide level transition areas for the safe movement of people and goods to and from the development</li> <li>(c) are designed to integrate with the natural topography of the land.</li> </ul>	<p><b>DTS/DPF 8.3</b></p> <p>None are applicable.</p>
<p><b>PO 8.4</b></p>	<p><b>DTS/DPF 8.4</b></p>

<p>Development on sloping land (with a gradient exceeding 1 in 8) avoids the alteration of natural drainage lines and includes on-site drainage systems to minimise erosion.</p>	<p>None are applicable.</p>
<p><b>PO 8.5</b> Development does not occur on land at risk of landslip nor increases the potential for landslip or land surface instability.</p>	<p><b>DTS/DPF 8.5</b> None are applicable.</p>
<p>Overlooking / Visual Privacy (in building 3 storeys or less)</p>	
<p><b>PO 10.1</b> Development mitigates direct overlooking from upper level windows to habitable rooms and private open spaces of adjoining residential uses.</p>	<p><b>DTS/DPF 10.1</b> Upper level windows facing side or rear boundaries shared with a residential allotment/site satisfy one of the following:</p> <ul style="list-style-type: none"> <li>(a) are permanently obscured to a height of 1.5m above finished floor level and are fixed or not capable of being opened more than 200mm</li> <li>(b) have sill heights greater than or equal to 1.5m above finished floor level</li> <li>(c) incorporate screening with a maximum of 25% openings, permanently fixed no more than 500mm from the window surface and sited adjacent to any part of the window less than 1.5 m above the finished floor level.</li> </ul>
<p><b>PO 10.2</b> Development mitigates direct overlooking from balconies, terraces and decks to habitable rooms and private open space of adjoining residential uses.</p>	<p><b>DTS/DPF 10.2</b> One of the following is satisfied:</p> <ul style="list-style-type: none"> <li>(a) the longest side of the balcony or terrace will face a public road, public road reserve or public reserve that is at least 15m wide in all places faced by the balcony or terrace</li> <li>or</li> <li>(b) all sides of balconies or terraces on upper building levels are permanently obscured by screening with a maximum 25% transparency/openings fixed to a minimum height of:                             <ul style="list-style-type: none"> <li>(i) 1.5m above finished floor level where the balcony is located at least 15 metres from the nearest habitable window of a dwelling on adjacent land</li> <li>or</li> <li>(ii) 1.7m above finished floor level in all other cases</li> </ul> </li> </ul>
<p>All Residential development</p>	
<p>Front elevations and passive surveillance</p>	
<p><b>PO 11.1</b> Dwellings incorporate windows along primary street frontages to encourage passive surveillance and make a positive contribution to the streetscape.</p>	<p><b>DTS/DPF 11.1</b> Each dwelling with a frontage to a public street:</p> <ul style="list-style-type: none"> <li>(a) includes at least one window facing the primary street from a habitable room that has a minimum internal room dimension of 2.4m</li> <li>(b) has an aggregate window area of at least 2m<sup>2</sup> facing the primary street.</li> </ul>
<p><b>PO 11.2</b> Dwellings incorporate entry doors within street frontages to address the street and provide a legible entry point for visitors.</p>	<p><b>DTS/DPF 11.2</b> Dwellings with a frontage to a public street have an entry door visible from the primary street boundary.</p>
<p>Outlook and amenity</p>	
<p><b>PO 12.1</b></p>	<p><b>DTS/DPF 12.1</b></p>

<p>Living rooms have an external outlook to provide a high standard of amenity for occupants.</p>	<p>A living room of a dwelling incorporates a window with an outlook towards the street frontage or private open space, public open space, or waterfront areas.</p>
<p>Garage appearance</p>	
<p><b>PO 14.1</b></p> <p>Garaging is designed to not detract from the streetscape or appearance of a dwelling.</p>	<p><b>DTS/DPF 14.1</b></p> <p>Garages and carports facing a street:</p> <ul style="list-style-type: none"> <li>(a) are situated so that no part of the garage or carport is in front of any part of the building line of the dwelling</li> <li>(b) are set back at least 5.5m from the boundary of the primary street</li> <li>(c) have a garage door / opening not exceeding 7m in width</li> <li>(d) have a garage door /opening width not exceeding 50% of the site frontage unless the dwelling has two or more building levels at the building line fronting the same public street.</li> </ul>
<p>Massing</p>	
<p><b>PO 15.1</b></p> <p>The visual mass of larger buildings is reduced when viewed from adjoining allotments or public streets.</p>	<p><b>DTS/DPF 15.1</b></p> <p>None are applicable</p>
<p>Private Open Space</p>	
<p><b>PO 17.1</b></p> <p>Dwellings are provided with suitable sized areas of usable private open space to meet the needs of occupants.</p>	<p><b>DTS/DPF 17.1</b></p> <p>Private open space is provided in accordance with Design Table 1 - Private Open Space.</p>
<p>Car parking, access and manoeuvrability</p>	
<p><b>PO 19.1</b></p> <p>Enclosed parking spaces are of a size and dimensions to be functional, accessible and convenient.</p>	<p><b>DTS/DPF 19.1</b></p> <p>Residential car parking spaces enclosed by fencing, walls or other structures have the following internal dimensions (separate from any waste storage area):</p> <ul style="list-style-type: none"> <li>(a) single width car parking spaces: <ul style="list-style-type: none"> <li>(i) a minimum length of 5.4m per space</li> <li>(ii) a minimum width of 3.0m</li> <li>(iii) a minimum garage door width of 2.4m</li> </ul> </li> <li>(b) double width car parking spaces (side by side): <ul style="list-style-type: none"> <li>(i) a minimum length of 5.4m</li> <li>(ii) a minimum width of 5.4m</li> <li>(iii) minimum garage door width of 2.4m per space.</li> </ul> </li> </ul>
<p><b>PO 19.2</b></p> <p>Uncovered parking spaces are of a size and dimensions to be functional, accessible and convenient.</p>	<p><b>DTS/DPF 19.2</b></p> <p>Uncovered car parking spaces have:</p> <ul style="list-style-type: none"> <li>(a) a minimum length of 5.4m</li> <li>(b) a minimum width of 2.4m</li> <li>(c) a minimum width between the centre line of the space and any fence, wall or other obstruction of 1.5m</li> </ul>
<p><b>PO 19.3</b></p>	<p><b>DTS/DPF 19.3</b></p>

<p>Driveways and access points are located and designed to facilitate safe access and egress while maximising land available for street tree planting, pedestrian movement, domestic waste collection, landscaped street frontages and on-street parking.</p>	<p>Driveways and access points on sites with a frontage to a public road of 10m or less have a width between 3.0 and 3.2 metres measured at the property boundary and are the only access point provided on the site.</p>
<p><b>PO 19.4</b></p> <p>Vehicle access is safe, convenient, minimises interruption to the operation of public roads and does not interfere with street infrastructure or street trees.</p>	<p><b>DTS/DPF 19.4</b></p> <p>Vehicle access to designated car parking spaces satisfy (a) or (b):</p> <ul style="list-style-type: none"> <li>(a) is provided via a lawfully existing or authorised access point or an access point for which consent has been granted as part of an application for the division of land</li> <li>(b) where newly proposed:             <ul style="list-style-type: none"> <li>(i) is set back 6m or more from the tangent point of an intersection of 2 or more roads</li> <li>(ii) is set back outside of the marked lines or infrastructure dedicating a pedestrian crossing</li> <li>(iii) does not involve the removal, relocation or damage to of mature street trees, street furniture or utility infrastructure services.</li> </ul> </li> </ul>
<p><b>PO 19.5</b></p> <p>Driveways are designed to enable safe and convenient vehicle movements from the public road to on-site parking spaces.</p>	<p><b>DTS/DPF 19.5</b></p> <p>Driveways are designed and sited so that:</p> <ul style="list-style-type: none"> <li>(a) the gradient of the driveway does not exceed a grade of 1 in 4 and includes transitions to ensure a maximum grade change of 12.5% (1 in 8) for summit changes, and 15% (1 in 6.7) for sag changes, in accordance with AS 2890.1:2004 to prevent vehicles bottoming or scraping</li> <li>(b) the centreline of the driveway has an angle of no less than 70 degrees and no more than 110 degrees from the street boundary to which it takes its access as shown in the following diagram:             <div data-bbox="917 1086 1492 1825" style="text-align: center;"> </div> </li> <li>(c) if located to provide access from an alley, lane or right of way - the alley, land or right or way is at least 6.2m wide along the boundary of the allotment / site</li> </ul>
<p><b>PO 19.6</b></p> <p>Driveways and access points are designed and distributed to optimise the provision of on-street visitor parking.</p>	<p><b>DTS/DPF 19.6</b></p> <p>Where on-street parking is available abutting the site's street frontage, on-street parking is retained in accordance with the following requirements:</p>



	<ul style="list-style-type: none"> <li>(a) minimum 0.33 on-street spaces per dwelling on the site (rounded up to the nearest whole number)</li> <li>(b) minimum car park length of 5.4m where a vehicle can enter or exit a space directly</li> <li>(c) minimum carpark length of 6m for an intermediate space located between two other parking spaces or to an end obstruction where the parking is indented.</li> </ul>
Waste storage	
<p><b>PO 20.1</b></p> <p>Provision is made for the adequate and convenient storage of waste bins in a location screened from public view.</p>	<p><b>DTS/DPF 20.1</b></p> <p>None are applicable.</p>
Design of Transportable Dwellings	
<p><b>PO 21.1</b></p> <p>The sub-floor space beneath transportable buildings is enclosed to give the appearance of a permanent structure.</p>	<p><b>DTS/DPF 21.1</b></p> <p>Buildings satisfy (a) or (b):</p> <ul style="list-style-type: none"> <li>(a) are not transportable or</li> <li>(b) the sub-floor space between the building and ground level is clad in a material and finish consistent with the building.</li> </ul>
Group dwelling, residential flat buildings and battle-axe development	
Amenity	
<p><b>PO 22.2</b></p> <p>The orientation and siting of buildings minimises impacts on the amenity, outlook and privacy of occupants and neighbours.</p>	<p><b>DTS/DPF 22.2</b></p> <p>None are applicable.</p>
<p><b>PO 22.3</b></p> <p>Development maximises the number of dwellings that face public open space and public streets and limits dwellings oriented towards adjoining properties.</p>	<p><b>DTS/DPF 22.3</b></p> <p>None are applicable.</p>
<p><b>PO 22.4</b></p> <p>Battle-axe development is appropriately sited and designed to respond to the existing neighbourhood context.</p>	<p><b>DTS/DPF 22.4</b></p> <p>Dwelling sites/allotments are not in the form of a battle-axe arrangement.</p>
Carparking, access and manoeuvrability	
<p><b>PO 24.4</b></p> <p>Residential driveways in a battle-axe configuration are designed to allow safe and convenient movement.</p>	<p><b>DTS/DPF 24.4</b></p> <p>Where in a battle-axe configuration, a driveway servicing one dwelling has a minimum width of 3m.</p>

Table 1 - Private Open Space

Dwelling Type	Minimum Rate
Dwelling (at ground level)	Total private open space area:

	<p>(a) Site area &lt;301m<sup>2</sup>: 24m<sup>2</sup> located behind the building line.</p> <p>(b) Site area ≥ 301m<sup>2</sup>: 60m<sup>2</sup> located behind the building line.</p> <p>Minimum directly accessible from a living room: 16m<sup>2</sup> / with a minimum dimension 3m.</p>
Dwelling (above ground level)	<p>Studio (no separate bedroom): 4m<sup>2</sup> with a minimum dimension 1.8m</p> <p>One bedroom: 8m<sup>2</sup> with a minimum dimension 2.1m</p> <p>Two bedroom dwelling: 11m<sup>2</sup> with a minimum dimension 2.4m</p> <p>Three + bedroom dwelling: 15m<sup>2</sup> with a minimum dimension 2.6m</p>
Cabin or caravan (permanently fixed to the ground) in a residential park or a caravan and tourist park	Total area: 16m <sup>2</sup> , which may be used as second car parking space, provided on each site intended for residential occupation.

## Infrastructure and Renewable Energy Facilities

### Assessment Provisions (AP)

### Desired Outcome (DO)

Desired Outcome	
DO 1	Efficient provision of infrastructure networks and services, renewable energy facilities and ancillary development in a manner that minimises hazard, is environmentally and culturally sensitive and manages adverse visual impacts on natural and rural landscapes and residential amenity.

### Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Water Supply	
<p><b>PO 11.2</b></p> <p>Dwellings are connected to a reticulated water scheme or mains water supply with the capacity to meet the requirements of the intended use. Where this is not available an appropriate rainwater tank or storage system for domestic use is provided.</p>	<p><b>DTS/DPF 11.2</b></p> <p>A dwelling is connected, or will be connected, to a reticulated water scheme or mains water supply with the capacity to meet the requirements of the development. Where this is not available it is serviced by a rainwater tank or tanks capable of holding at least 50,000 litres of water which is:</p> <p>(a) exclusively for domestic use</p> <p>(b) connected to the roof drainage system of the dwelling.</p>
Wastewater Services	
<p><b>PO 12.1</b></p> <p>Development is connected to an approved common wastewater</p>	<p><b>DTS/DPF 12.1</b></p> <p>Development is connected, or will be connected, to an approved</p>

<p>disposal service with the capacity to meet the requirements of the intended use. Where this is not available an appropriate on-site service is provided to meet the ongoing requirements of the intended use in accordance with the following:</p> <ul style="list-style-type: none"> <li>(a) it is wholly located and contained within the allotment of the development it will service</li> <li>(b) in areas where there is a high risk of contamination of surface, ground, or marine water resources from on-site disposal of liquid wastes, disposal systems are included to minimise the risk of pollution to those water resources</li> <li>(c) septic tank effluent drainage fields and other wastewater disposal areas are located away from watercourses and flood prone, sloping, saline or poorly drained land to minimise environmental harm.</li> </ul>	<p>common wastewater disposal service with the capacity to meet the requirements of the development. Where this is not available it is instead capable of being serviced by an on-site waste water treatment system in accordance with the following:</p> <ul style="list-style-type: none"> <li>(a) the system is wholly located and contained within the allotment of development it will service; and</li> <li>(b) the system will comply with the requirements of the South Australian Public Health Act 2011.</li> </ul>
<p><b>PO 12.2</b></p> <p>Effluent drainage fields and other wastewater disposal areas are maintained to ensure the effective operation of waste systems and minimise risks to human health and the environment.</p>	<p><b>DTS/DPF 12.2</b></p> <p>Development is not built on, or encroaches within, an area that is, or will be, required for a sewerage system or waste control system.</p>

## Interface between Land Uses

### Assessment Provisions (AP)

### Desired Outcome (DO)

Desired Outcome	
DO 1	Development is located and designed to mitigate adverse effects on or from neighbouring and proximate land uses.

### Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Overshadowing	
<p><b>PO 3.1</b></p> <p>Overshadowing of habitable room windows of adjacent residential land uses in:</p> <ul style="list-style-type: none"> <li>a. a neighbourhood-type zone is minimised to maintain access to direct winter sunlight</li> <li>b. other zones is managed to enable access to direct winter sunlight.</li> </ul>	<p><b>DTS/DPF 3.1</b></p> <p>North-facing windows of habitable rooms of adjacent residential land uses in a neighbourhood-type zone receive at least 3 hours of direct sunlight between 9.00am and 3.00pm on 21 June.</p>
<p><b>PO 3.2</b></p> <p>Overshadowing of the primary area of private open space or communal open space of adjacent residential land uses in:</p> <ul style="list-style-type: none"> <li>a. a neighbourhood type zone is minimised to maintain access to direct winter sunlight</li> <li>b. other zones is managed to enable access to direct winter sunlight.</li> </ul>	<p><b>DTS/DPF 3.2</b></p> <p>Development maintains 2 hours of direct sunlight between 9.00 am and 3.00 pm on 21 June to adjacent residential land uses in a neighbourhood-type zone in accordance with the following:</p> <ul style="list-style-type: none"> <li>a. for ground level private open space, the smaller of the following:                             <ul style="list-style-type: none"> <li>i. half the existing ground level open space</li> <li>or</li> <li>ii. 35m<sup>2</sup> of the existing ground level open space (with at least one of the area's dimensions measuring 2.5m)</li> </ul> </li> <li>b. for ground level communal open space, at least half of the existing</li> </ul>

	ground level open space.
<p><b>PO 3.3</b></p> <p>Development does not unduly reduce the generating capacity of adjacent rooftop solar energy facilities taking into account:</p> <ul style="list-style-type: none"> <li>(a) the form of development contemplated in the zone</li> <li>(b) the orientation of the solar energy facilities</li> <li>(c) the extent to which the solar energy facilities are already overshadowed.</li> </ul>	<p><b>DTS/DPF 3.3</b></p> <p>None are applicable.</p>
Interface with Rural Activities	
<p><b>PO 9.1</b></p> <p>Sensitive receivers are located and designed to mitigate impacts from lawfully existing horticultural and farming activities (or lawfully approved horticultural and farming activities), including spray drift and noise and do not prejudice the continued operation of these activities.</p>	<p><b>DTS/DPF 9.1</b></p> <p>None are applicable.</p>
<p><b>PO 9.2</b></p> <p>Sensitive receivers are located and designed to mitigate potential impacts from lawfully existing intensive animal husbandry activities and do not prejudice the continued operation of these activities.</p>	<p><b>DTS/DPF 9.2</b></p> <p>None are applicable.</p>
<p><b>PO 9.3</b></p> <p>Sensitive receivers are located and designed to mitigate potential impacts from lawfully existing land-based aquaculture activities and do not prejudice the continued operation of these activities.</p>	<p><b>DTS/DPF 9.3</b></p> <p>Sensitive receivers are located at least 200m from the boundary of a site used for land-based aquaculture and associated components in other ownership.</p>
<p><b>PO 9.4</b></p> <p>Sensitive receivers are located and designed to mitigate potential impacts from lawfully existing dairies including associated wastewater lagoons and liquid/solid waste storage and disposal facilities and do not prejudice the continued operation of these activities.</p>	<p><b>DTS/DPF 9.4</b></p> <p>Sensitive receivers are sited at least 500m from the boundary of a site used for a dairy and associated wastewater lagoon(s) and liquid/solid waste storage and disposal facilities in other ownership.</p>
<p><b>PO 9.5</b></p> <p>Sensitive receivers are located and designed to mitigate the potential impacts from lawfully existing facilities used for the handling, transportation and storage of bulk commodities (recognising the potential for extended hours of operation) and do not prejudice the continued operation of these activities.</p>	<p><b>DTS/DPF 9.5</b></p> <p>Sensitive receivers are located away from the boundary of a site used for the handling, transportation and/or storage of bulk commodities in other ownership in accordance with the following:</p> <ul style="list-style-type: none"> <li>(a) 300m or more, where it involves the handling of agricultural crop products, rock, ores, minerals, petroleum products or chemicals to or from any commercial storage facility</li> <li>(b) 300m or more, where it involves the handling of agricultural crop products, rock, ores, minerals, petroleum products or chemicals at a wharf or wharf side facility (including sea-port grain terminals) where the handling of these materials into or from vessels does not exceed 100 tonnes per day</li> <li>(c) 500m or more, where it involves the storage of bulk petroleum in individual containers with a capacity up to 200 litres and a total on-site storage capacity not exceeding 1000 cubic metres</li> <li>(d) 500m or more, where it involves the handling of coal with a capacity up to 1 tonne per day or a storage capacity up to 50 tonnes</li> <li>(e) 1000m or more, where it involves the handling of coal with a capacity exceeding 1 tonne per day but not exceeding 100 tonnes per day or a storage capacity exceeding 50 tonnes but not exceeding 5000 tonnes.</li> </ul>

<p><b>PO 9.6</b></p> <p>Setbacks and vegetation plantings along allotment boundaries should be incorporated to mitigate the potential impacts of spray drift and other impacts associated with agricultural and horticultural activities.</p>	<p><b>DTS/DPF 9.6</b></p> <p>None are applicable.</p>
<p><b>PO 9.7</b></p> <p>Urban development does not prejudice existing agricultural and horticultural activities through appropriate separation and design techniques.</p>	<p><b>DTS/DPF 9.7</b></p> <p>None are applicable.</p>

## Site Contamination

### Assessment Provisions (AP)

### Desired Outcome (DO)

<b>Desired Outcome</b>	
<b>DO 1</b>	Ensure land is suitable for the proposed use in circumstances where it is, or may have been, subject to site contamination.

### Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

<b>Performance Outcome</b>	<b>Deemed-to-Satisfy Criteria / Designated Performance Feature</b>
<p><b>PO 1.1</b></p> <p>Ensure land is suitable for use when land use changes to a more sensitive use.</p>	<p><b>DTS/DPF 1.1</b></p> <p>Development satisfies (a), (b), (c) or (d):</p> <ul style="list-style-type: none"> <li>(a) does not involve a change in the use of land</li> <li>(b) involves a change in the use of land that does not constitute a change to a more sensitive use</li> <li>(c) involves a change in the use of land to a more sensitive use on land at which site contamination is unlikely to exist (as demonstrated in a site contamination declaration form)</li> <li>(d) involves a change in the use of land to a more sensitive use on land at which site contamination exists, or may exist (as demonstrated in a site contamination declaration form), and satisfies both of the following:                             <ul style="list-style-type: none"> <li>(i) a site contamination audit report has been prepared under Part 10A of the <i>Environment Protection Act 1993</i> in relation to the land within the previous 5 years which states that-                                     <ul style="list-style-type: none"> <li>A. site contamination does not exist (or no longer exists) at the land</li> <li>or</li> <li>B. the land is suitable for the proposed use or range of uses (without the need for any further remediation)</li> <li>or</li> <li>C. where remediation is, or remains, necessary for the proposed use (or range of uses), remediation work has been carried out or will be carried out (and the applicant has provided a written undertaking that the remediation works will be implemented in association with the development)</li> </ul> </li> <li>and</li> <li>(ii) no other class 1 activity or class 2 activity has taken place at the land since the preparation of the site contamination audit report (as demonstrated in a site contamination declaration form).</li> </ul> </li> </ul>

## Transport, Access and Parking

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	A comprehensive, integrated and connected transport system that is safe, sustainable, efficient, convenient and accessible to all users.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)


Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Vehicle Parking Rates	
<p><b>PO 5.1</b></p> <p>Sufficient on-site vehicle parking and specifically marked accessible car parking places are provided to meet the needs of the development or land use having regard to factors that may support a reduced on-site rate such as:</p> <ul style="list-style-type: none"> <li>(a) availability of on-street car parking</li> <li>(b) shared use of other parking areas</li> <li>(c) in relation to a mixed-use development, where the hours of operation of commercial activities complement the residential use of the site, the provision of vehicle parking may be shared</li> <li>(d) the adaptive reuse of a State or Local Heritage Place.</li> </ul>	<p><b>DTS/DPF 5.1</b></p> <p>Development provides a number of car parking spaces on-site at a rate no less than the amount calculated using one of the following, whichever is relevant:</p> <ul style="list-style-type: none"> <li>(a) Transport, Access and Parking Table 2 - Off-Street Vehicle Parking Requirements in Designated Areas if the development is a class of development listed in Table 2 and the site is in a Designated Area</li> <li>(b) Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements where (a) does not apply</li> <li>(c) if located in an area where a lawfully established carparking fund operates, the number of spaces calculated under (a) or (b) less the number of spaces offset by contribution to the fund.</li> </ul>
Corner Cut-Offs	
<p><b>PO 10.1</b></p> <p>Development is located and designed to ensure drivers can safely turn into and out of public road junctions.</p>	<p><b>DTS/DPF 10.1</b></p> <p>Development does not involve building work, or building work is located wholly outside the land shown as Corner Cut-Off Area in the following diagram:</p> 

Table 1 - General Off-Street Car Parking Requirements

Class of Development	Car Parking Rate (unless varied by Table 2 onwards)
	<p><b>Where a development comprises more than one development type, then the overall car parking rate</b></p>

<b>will be taken to be the sum of the car parking rates for each development type.</b>	
Residential Development	
Detached Dwelling	Dwelling with 1 bedroom (including rooms capable of being used as a bedroom) - 1 space per dwelling.  Dwelling with 2 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.

Table 2 - Off-Street Car Parking Requirements in Designated Areas

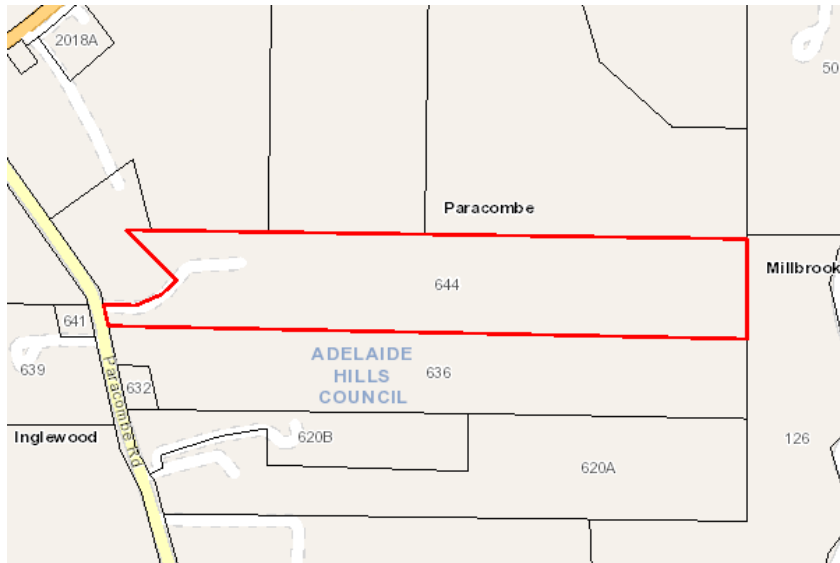
Class of Development	Car Parking Rate		Designated Areas
	Where a development comprises more than one development type, then the overall car parking rate will be taken to be the sum of the car parking rates for each development type.		
		Minimum number of spaces	Maximum number of spaces
Development generally			
All classes of development	No minimum.	No maximum except in the Primary Pedestrian Area identified in the Primary Pedestrian Area Concept Plan, where the maximum is:  1 space for each dwelling with a total floor area less than 75 square metres  2 spaces for each dwelling with a total floor area between 75 square metres and 150 square metres  3 spaces for each dwelling with a total floor area greater than 150 square metres.  Residential flat building or Residential component of a multi-storey building: 1 visitor space for each 6 dwellings.	Capital City Zone  City Main Street Zone  City Riverbank Zone  Adelaide Park Lands Zone  Business Neighbourhood Zone (within the City of Adelaide)  The St Andrews Hospital Precinct Subzone and Women's and Children's Hospital Precinct Subzone of the Community Facilities Zone

644 PARACOMBE RD PARACOMBE SA 5132

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### Property Zoning Details

- Zone: Productive Rural Landscape
- Overlay:
  - Environment and Food Production Area
  - Hazards (Bushfire - High Risk)
  - Hazards (Flooding - Evidence Required)
  - Limited Land Division
  - Mount Lofty Ranges Water Supply Catchment (Area 1)
  - Native Vegetation
  - Prescribed Water Resources Area
  - Water Resources

### Selected Development(s)

Tourist accommodation

This development may be subject to multiple assessment pathways. Please review the document below to determine which pathway may be applicable based on the proposed development compliances to standards.  
 If no assessment pathway is shown this mean the proposed development will default to performance assessed. Please contact your local council in this instance. Refer to Part 1 - Rules of Interpretation - Determination of Classes of Development

## Tourist accommodation - Code Assessed - Performance Assessed

### Part 2 - Zones and Sub Zones

#### Productive Rural Landscape Zone

#### Assessment Provisions (AP)

#### Desired Outcome (DO)

Desired Outcome	
DO 1	A diverse range of land uses at an appropriate scale and intensity that capitalise on the region's proximity to the metropolitan area and the tourist and lifestyle opportunities this presents while also conserving the natural and rural character, identity, biodiversity and sensitive environmental areas and scenic qualities of the landscape.



DO 2	A zone that promotes agriculture, horticulture, value adding opportunities, farm gate businesses, the sale and consumption of agricultural based products, tourist development and accommodation that expands the economic base and promotes its regional identity.
DO 3	Create local conditions that support new and continuing investment while seeking to promote co-existence with adjoining activities and mitigate land use conflicts.

Performance Outcomes (PO) and Deemed to Satisfy (DTS) / Designated Performance Feature (DPF) Criteria

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Land Use and Intensity	
<p><b>PO 1.1</b></p> <p>The productive value of rural land for a range of primary production and horticultural activities and associated value adding of primary produce (such as beverage production), retailing and tourism is supported, protected and maintained. The proliferation of land uses that may be sensitive to those activities is avoided.</p>	<p><b>DTS/DPF 1.1</b></p> <p>Development comprises one or more of the following:</p> <ul style="list-style-type: none"> <li>(a) Advertisement</li> <li>(b) Agricultural building</li> <li>(c) Brewery</li> <li>(d) Carport</li> <li>(e) Cidery</li> <li>(f) Commercial forestry</li> <li>(g) Distillery</li> <li>(h) Dwelling</li> <li>(i) Dwelling addition</li> <li>(j) Farming</li> <li>(k) Function venue</li> <li>(l) Horse keeping</li> <li>(m) Horticulture</li> <li>(n) Industry</li> <li>(o) Low intensity animal husbandry</li> <li>(p) Outbuilding</li> <li>(q) Shop</li> <li>(r) Small-scale ground mounted solar power facility</li> <li>(s) Tourist accommodation</li> <li>(t) Transport distribution</li> <li>(u) Verandah</li> <li>(v) Warehouse</li> <li>(w) Winery</li> <li>(x) Workers' accommodation</li> </ul>
Siting and Design	
<p><b>PO 2.1</b></p> <p>Development is provided with suitable vehicle access.</p>	<p><b>DTS/DPF 2.1</b></p> <p>Development is serviced by an all-weather trafficable public road.</p>
<p><b>PO 2.2</b></p> <p>Buildings are generally located on flat land to minimise cut and fill and the associated visual impacts.</p>	<p><b>DTS/DPF 2.2</b></p> <p>Buildings:</p> <ul style="list-style-type: none"> <li>(a) are located on a site with a slope not greater than 10% (1-in-10)</li> <li>(b) do not result excavation and/or filling of land that is greater than 1.5m from natural ground level.</li> </ul>
Shops, Tourism and Function Venues	

<p><b>PO 6.3</b></p> <p>Tourist accommodation is associated with the primary use of the land for primary production or primary production related value adding industry to enhance and provide authentic visitor experiences.</p>	<p><b>DTS/DPF 6.3</b></p> <p>Tourist accommodation, other than where located in The Cedars Subzone:</p> <ul style="list-style-type: none"> <li>(a) is ancillary to and located on the same allotment or an adjoining allotment used for primary production or primary production related value adding industry</li> <li>(b) in relation to the area used for accommodation: <ul style="list-style-type: none"> <li>(i) where in a new building, or buildings, does not exceed a cumulative total floor area of 100m<sup>2</sup></li> <li>or</li> <li>(ii) where in an existing building, does not exceed 150m<sup>2</sup> and</li> </ul> </li> <li>(c) does not result in more than one tourist accommodation facility being located on the same allotment.</li> </ul>
<p><b>PO 6.4</b></p> <p>Tourist accommodation proposed in a new building or buildings are sited, designed and of a scale that maintains a pleasant rural character and amenity.</p>	<p><b>DTS/DPF 6.4</b></p> <p>Tourist accommodation in new buildings:</p> <ul style="list-style-type: none"> <li>(a) is setback from all property boundaries by at least 40m</li> <li>(b) has a building height that does not exceed 7m above natural ground level.</li> </ul>
<p>Adaptive Reuse of Existing Buildings</p>	
<p><b>PO 8.1</b></p> <p>Adaptive reuse of existing buildings for small-scale shops, offices, tourist accommodation or ancillary rural activities.</p>	<p><b>DTS/DPF 8.1</b></p> <p>Development within an existing building is for any of the following:</p> <ul style="list-style-type: none"> <li>(a) a shop</li> <li>(b) office</li> <li>(c) tourist accommodation.</li> </ul>
<p>Built Form and Character</p>	
<p><b>PO 11.1</b></p> <p>Large buildings designed and sited to reduce impacts on scenic and rural vistas by:</p> <ul style="list-style-type: none"> <li>(a) having substantial setbacks from boundaries and adjacent public roads</li> <li>(b) using low reflective materials and finishes that blend with the surrounding landscape</li> <li>(c) being located below ridgelines.</li> </ul>	<p><b>DTS/DPF 11.1</b></p> <p>None are applicable.</p>

**Table 5 - Procedural Matters (PM) - Notification**

The following table identifies, pursuant to section 107(6) of the *Planning, Development and Infrastructure Act 2016*, classes of performance assessed development that are excluded from notification. The table also identifies any exemptions to the placement of notices when notification is required.

**Interpretation**

Notification tables exclude the classes of development listed in Column A from notification provided that they do not fall within a corresponding exclusion prescribed in Column B.

Where a development or an element of a development falls within more than one class of development listed in Column A, it will be excluded from notification if it is excluded (in its entirety) under any of those classes of development. It need not be excluded under all applicable classes of development.

Where a development involves multiple performance assessed elements, all performance assessed elements will require notification (regardless of whether one or more elements are excluded in the applicable notification table) unless every performance assessed element of the application is excluded in the applicable notification table, in which case the application will not require notification.

A relevant authority may determine that a variation to 1 or more corresponding exclusions prescribed in Column B is minor in nature and does not require notification.

Class of Development (Column A)	Exceptions (Column B)
1. Development which, in the opinion of the relevant authority, is of a minor nature only and will not unreasonably impact on the owners or occupiers of land in the locality of the site of the development.	None specified.
2. Any development involving any of the following (or of any combination of any of the following): <ul style="list-style-type: none"> <li>(a) advertisement</li> <li>(b) agricultural building</li> <li>(c) air handling unit, air conditioning system or exhaust fan</li> <li>(d) ancillary accommodation</li> <li>(e) carport</li> <li>(f) deck</li> <li>(g) fence</li> <li>(h) dwelling</li> <li>(i) dwelling addition</li> <li>(j) farming</li> <li>(k) horse keeping</li> <li>(l) internal building work</li> <li>(m) land division</li> <li>(n) outbuilding</li> <li>(o) pergola</li> <li>(p) private bushfire shelter</li> <li>(q) protective tree netting structure</li> <li>(r) replacement building</li> <li>(s) retaining wall</li> <li>(t) solar photovoltaic panels (roof mounted)</li> <li>(u) shade sail</li> <li>(v) swimming pool or spa pool and associated swimming pool safety features</li> <li>(w) temporary accommodation in an area affected by bushfire</li> <li>(x) tree damaging activity</li> <li>(y) verandah</li> <li>(z) water tank.</li> </ul>	None specified.
3. Any development involving any of the following (or of any combination of any of the following): <ul style="list-style-type: none"> <li>(a) industry</li> <li>(b) store</li> <li>(c) warehouse.</li> </ul>	Except development that does not satisfy any of the following: <ol style="list-style-type: none"> <li>1. Productive Rural Landscape Zone DTS/DPF 4.1</li> <li>2. Productive Rural Landscape Zone DTS/DPF 4.3.</li> </ol>
4. Demolition.	Except any of the following: <ol style="list-style-type: none"> <li>1. the demolition (or partial demolition) of a State or Local Heritage Place (other than an excluded building)</li> <li>2. the demolition (or partial demolition) of a building in a Historic Area Overlay (other than an excluded building).</li> </ol>
5. Function venue within The Cedars Subzone.	None specified.
6. Function venue.	Except function venue that does not satisfy Productive Rural Landscape Zone DTS/DPF 6.6.
7. Horticulture.	Except horticulture that does not satisfy any of the following:

	<ol style="list-style-type: none"> <li>1. Productive Rural Landscape Zone DTS/DPF 3.1(d)</li> <li>2. Productive Rural Landscape Zone DTS/DPF 3.1(e).</li> </ol>
8. Railway line.	Except where located outside of a rail corridor or rail reserve.
9. Shop within The Cedars Subzone.	None specified.
10. Shop.	<p>Except shop that does not satisfy any of the following:</p> <ol style="list-style-type: none"> <li>1. Productive Rural Landscape Zone DTS/DPF 6.1</li> <li>2. Productive Rural Landscape Zone DTS/DPF 6.2.</li> </ol>
11. Tourist accommodation within The Cedars Subzone.	None specified.
12. Tourist accommodation.	<p>Except tourist accommodation that does not to satisfy any of the following:</p> <ol style="list-style-type: none"> <li>1. Productive Rural Landscape Zone DTS/DPF 6.3</li> <li>2. Productive Rural Landscape Zone DTS/DPF 6.4.</li> </ol>

#### Placement of Notices - Exemptions for Performance Assessed Development

Pursuant to regulation 47(6)(c) of the Planning, Development and Infrastructure (General) Regulations 2017, the requirement to place a notice on the relevant land under section 107(3)(a)(ii) of the *Planning, Development and Infrastructure Act 2016* does not apply in the Productive Rural Landscape Zone.

#### Placement of Notices - Exemptions for Restricted Development

Pursuant to regulation 47(6)(c) of the Planning, Development and Infrastructure (General) Regulations 2017, the requirement to place a notice on the relevant land under section 110(2)(a)(iv) of the *Planning, Development and Infrastructure Act 2016* does not apply in the Productive Rural Landscape Zone.

## Part 3 - Overlays

### Hazards (Bushfire - High Risk) Overlay

#### Assessment Provisions (AP)

#### Desired Outcome (DO)

Desired Outcome	
DO 1	<p>Development, including land division is sited and designed to minimise the threat and impact of bushfires on life and property with regard to the following risks:</p> <ol style="list-style-type: none"> <li>(a) potential for uncontrolled bushfire events taking into account the increased frequency and intensity of bushfires as a result of climate change</li> <li>(b) high levels and exposure to ember attack</li> <li>(c) impact from burning debris</li> <li>(d) radiant heat</li> <li>(e) likelihood and direct exposure to flames from a fire front.</li> </ol>
DO 2	<p>Activities that increase the number of people living and working in the area or where evacuation would be difficult is sited away from areas of unacceptable bushfire risk.</p>

DO 3	To facilitate access for emergency service vehicles to aid the protection of lives and assets from bushfire danger.
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## Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Land Use	
<p><b>PO 1.1</b></p> <p>Development that significantly increases the potential for fire outbreak as a result of the spontaneous combustion of materials, spark generation or through the magnification and reflection of light is not located in areas of unacceptable bushfire risk.</p>	<p><b>DTS/DPF 1.1</b></p> <p>None are applicable.</p>
<p><b>PO 1.2</b></p> <p>Child care facilities, educational facilities, hospitals, retirement and supported accommodation are sited away from areas of unacceptable bushfire risk and locations that:</p> <p>(a) are remote from or require extended periods of travel to reach safer locations (b) don't have a safe path of travel to safer locations.</p>	<p><b>DTS/DPF 1.2</b></p> <p>None are applicable.</p>
Siting	
<p><b>PO 2.1</b></p> <p>Buildings and structures are located away from areas that pose an unacceptable bushfire risk as a result of vegetation cover and type, and terrain.</p>	<p><b>DTS/DPF 2.1</b></p> <p>None are applicable.</p>
Built Form	
<p><b>PO 3.1</b></p> <p>Buildings and structures are designed and configured to reduce the impact of bushfire through using designs that reduce the potential for trapping burning debris against or underneath the building or structure, or between the ground and building floor level in the case of transportable buildings and buildings on stilts.</p>	<p><b>DTS/DPF 3.1</b></p> <p>None are applicable.</p>
<p><b>PO 3.2</b></p> <p>Extensions to buildings, outbuildings and other ancillary structures are sited and constructed using materials to minimise the threat of fire spread to residential and tourist accommodation (including boarding houses, hostels, dormitory style accommodation, student accommodation and Workers' accommodation) in the event of bushfire.</p>	<p><b>DTS/DPF 3.2</b></p> <p>Outbuildings and other ancillary structures are sited no closer than 6m from the habitable building.</p>
Habitable Buildings	
<p><b>PO 4.1</b></p>	<p><b>DTS/DPF 4.1</b></p>

<p>To minimise the threat, impact and potential exposure to bushfires on life and property, residential and tourist accommodation and habitable buildings for vulnerable communities (including boarding houses, hostels, dormitory style accommodation, student accommodation and workers' accommodation) is sited on the flatter portion of allotments away from steep slopes.</p>	<p>None are applicable.</p>
<p><b>PO 4.2</b></p> <p>Residential and tourist accommodation and habitable buildings for vulnerable communities (including boarding houses, hostels, dormitory style accommodation, student accommodation and workers' accommodation) is sited away from vegetated areas that pose an unacceptable bushfire risk.</p>	<p><b>DTS/DPF 4.2</b></p> <p>Residential and tourist accommodation and habitable buildings for vulnerable communities are provided with asset protection zone(s) in accordance with (a) and (b):</p> <ul style="list-style-type: none"> <li>(a) the asset protection zone has a minimum width of at least:             <ul style="list-style-type: none"> <li>(i) 50 metres to unmanaged grasslands</li> <li>(ii) 100 metres to hazardous bushland vegetation</li> </ul> </li> <li>(b) the asset protection zone is contained wholly within the allotment of the development.</li> </ul>
<p><b>PO 4.3</b></p> <p>Residential and tourist accommodation and habitable buildings for vulnerable communities (including boarding houses, hostels, dormitory style accommodation, student accommodation and workers' accommodation) has a dedicated area available that:</p> <ul style="list-style-type: none"> <li>(a) is capable of accommodating a bushfire protection system comprising firefighting equipment and water supply in accordance with <i>Ministerial Building Standard MBS 008 - Designated bushfire prone areas - additional requirements</i></li> <li>(b) includes the provision of an all-weather hardstand area in a location that:             <ul style="list-style-type: none"> <li>(i) allows fire-fighting vehicles to safely access the dedicated water supply and exit the site in a forward direction</li> <li>(ii) is no further than 6 metres from the dedicated water supply outlet(s) where required.</li> </ul> </li> </ul>	<p><b>DTS/DPF 4.3</b></p> <p>None are applicable.</p>
<p>Vehicle Access –Roads, Driveways and Fire Tracks</p>	
<p><b>PO 6.1</b></p> <p>Roads are designed and constructed to facilitate the safe and effective:</p> <ul style="list-style-type: none"> <li>(a) access, operation and evacuation of fire-fighting vehicles and emergency personnel</li> <li>(b) evacuation of residents, occupants and visitors.</li> </ul>	<p><b>DTS/DPF 6.1</b></p> <p>Roads:</p> <ul style="list-style-type: none"> <li>(a) are constructed with a formed, all-weather surface</li> <li>(b) have a gradient of not more than 16 degrees (1-in-3.5) at any point along the road</li> <li>(c) have a cross fall of not more than 6 degrees (1-in-9.5) at any point along the road</li> <li>(d) have a minimum formed road width of 6m</li> <li>(e) provide overhead clearance of not less than 4.0m between the road surface and overhanging branches or other obstructions including buildings and/or structures (Figure 1)</li> <li>(f) allow fire-fighting services (personnel and vehicles) to travel in a continuous forward movement around road curves by constructing the curves with a minimum external radius of 12.5m (Figure 2)</li> <li>(g) incorporating cul-de-sac endings or dead end roads are provided within an alternative evacuation route and do not exceed 200m in length and the end of the road has either:             <ul style="list-style-type: none"> <li>(i) a turning area with a minimum formed surface radius of 12.5m (Figure 3)</li> <li>or</li> <li>(ii) a 'T' or 'Y' shaped turning area with a minimum formed surface length of 11m and minimum internal radii of 9.5m (Figure 4)</li> </ul> </li> <li>(h) incorporate solid, all-weather crossings over any watercourse that support fire-fighting vehicles with a gross vehicle mass (GVM) of 21 tonnes.</li> </ul>
<p><b>PO 6.2</b></p>	<p><b>DTS/DPF 6.2</b></p>

<p>Access to habitable buildings is designed and constructed to facilitate the safe and effective:</p> <p>(a) use, operation and evacuation of fire-fighting and emergency personnel</p> <p>(b) evacuation of residents, occupants and visitors.</p>	<p>Access is in accordance with (a) or (b):</p> <p>(a) a clear and unobstructed vehicle or pedestrian pathway of not greater than 60 metres in length is available between the most distant part of the habitable building and the nearest part of a formed public access road</p> <p>(b) driveways:</p> <p>(i) do not exceed 600m in length</p> <p>(ii) are constructed with a formed, all-weather surface</p> <p>(iii) are connected to a formed, all-weather public road with the transition area between the road and driveway having a gradient of not more than 7 degrees (1-in-8)</p> <p>(iv) have a gradient of not more than 16 degrees (1-in-3.5) at any point along the driveway</p> <p>(v) have a crossfall of not more than 6 degrees (1-in-9.5) at any point along the driveway</p> <p>(vi) have a minimum formed width of 3m (4m where the gradient of the driveway is steeper than 12 degrees (1-in-4.5)) plus 0.5 metres clearance either side of the driveway from overhanging branches or other obstructions, including buildings and/or structures (Figure 1)</p> <p>(vii) incorporate passing bays with a minimum width of 6m and length of 17m every 200m (Figure 5)</p> <p>(viii) provide overhead clearance of not less than 4.0m between the driveway surface and overhanging branches or other obstructions, including buildings and/or structures (Figure 1)</p> <p>(ix) allow fire-fighting services (personnel and vehicles) to travel in a continuous forward movement around driveway curves by constructing the curves with a minimum external radius of 12.5m (Figure 2)</p> <p>(x) allow fire-fighting vehicles to safely enter and exit an allotment in a forward direction by using a 'U' shaped drive through design or by incorporating at the end of the driveway either:</p> <p>A. a loop road around the building or</p> <p>B. a turning area with a minimum radius of 12.5m (Figure 3) or</p> <p>C. a 'T' or 'Y' shaped turning area with a minimum formed length of 11m and minimum internal radii of 9.5m (Figure 4)</p> <p>(xi) incorporate solid, all-weather crossings over any watercourse that support fire-fighting vehicles with a gross vehicle mass (GVM) of 21 tonnes.</p>
<p><b>PO 6.3</b></p> <p>Development does not rely on fire tracks as means of evacuation or access for fire-fighting purposes unless there are no safe alternatives available.</p>	<p><b>DTS/DPF 6.3</b></p> <p>None are applicable.</p>

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
<p>Except if a <b>relevant certificate</b> accompanies the application for planning consent in respect of the development, any of the following classes of development (including alterations and additions which increase the floor area of such buildings by 10% or more):</p> <p>(a) land division creating one or more additional allotments</p> <p>(b) dwelling</p> <p>(c) ancillary accommodation</p> <p>(d) residential flat building</p> <p>(e) tourist accommodation</p> <p>(f) boarding home</p> <p>(g) dormitory style accommodation</p> <p>(h) workers' accommodation</p> <p>(i) student accommodation</p> <p>(j) child care facility</p>	<p>South Australian Country Fire Service.</p>	<p>To provide expert assessment and direction to the relevant authority on the potential impacts of bushfire on the development.</p>	<p>Development of a class to which Schedule 9 clause 3 item 2 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.</p>

(k)	educational facility			
(l)	retirement village			
(m)	supported accommodation			
(n)	residential park			
(o)	hospital			
(p)	camp ground.			

Figures and Diagrams

### Fire Appliance Clearances

Figure 1 - Overhead and Side Clearances

MINIMUM 4 METRES OVERHEAD CLEARANCE

CLEARANCE

4 METRES

0.5m

CARRIAGEWAY WIDTH

0.5m

A MINIMUM 0.5 METRES CLEARANCE IS TO BE PROVIDED ON EACH SIDE OF CARRIAGEWAY / DRIVEWAY

(3m Minimum for Driveways)  
(6m Minimum for Roads)

### Roads and Driveway Design

Figure 2 - Road and Driveway Curves



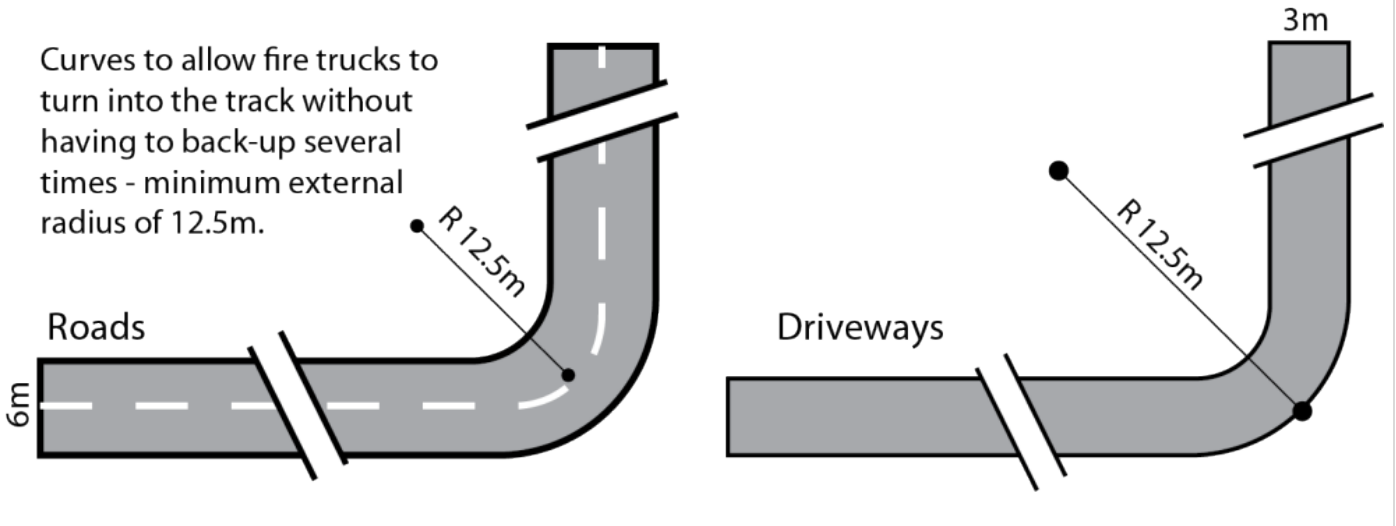


Figure 3 - Full Circle Turning Area

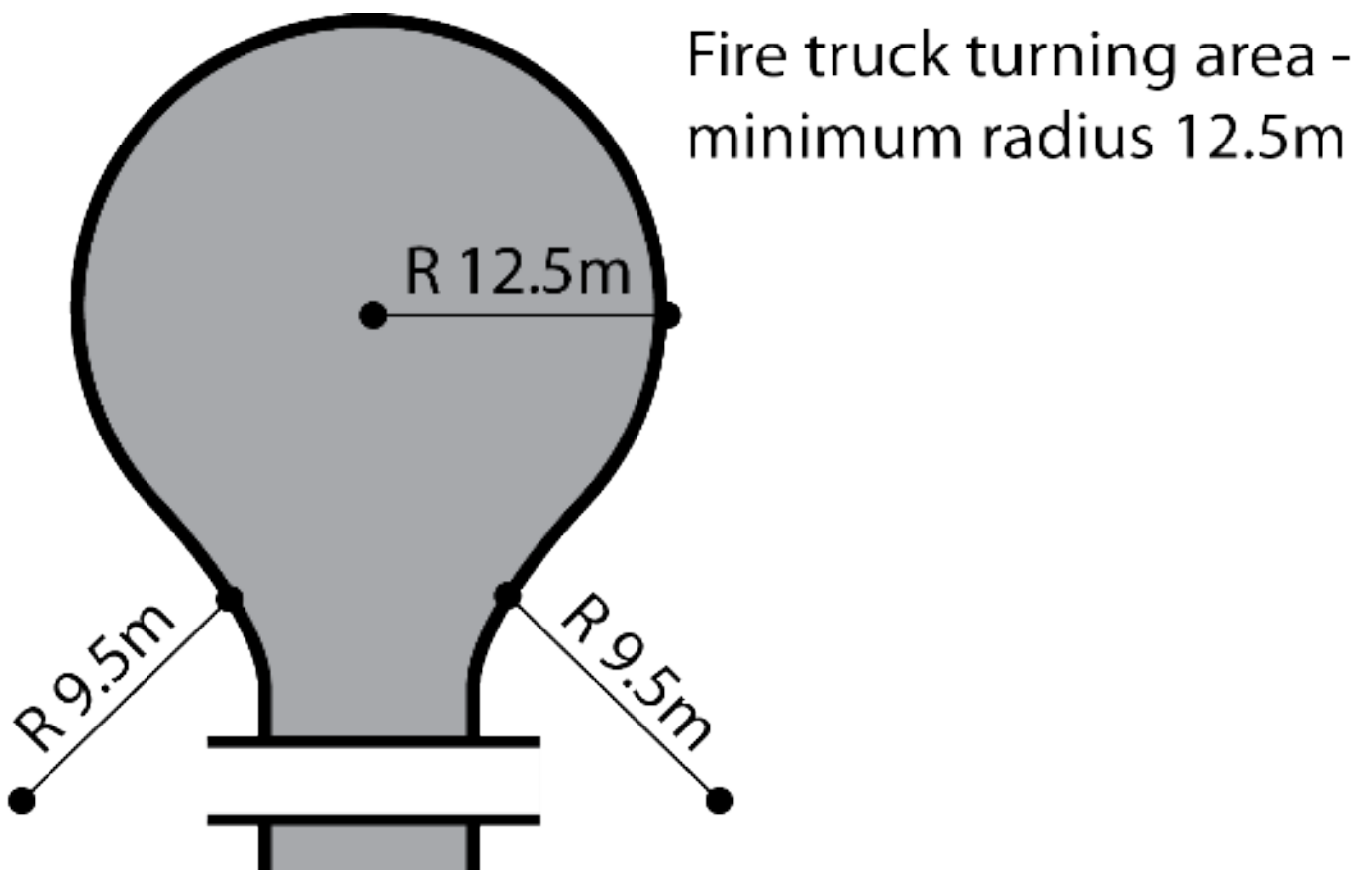
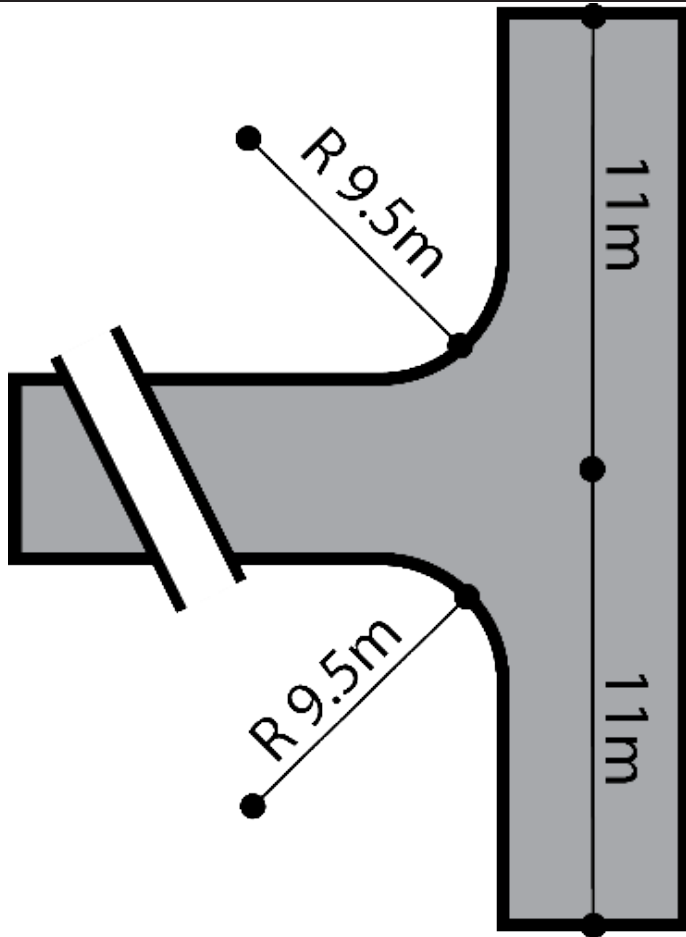
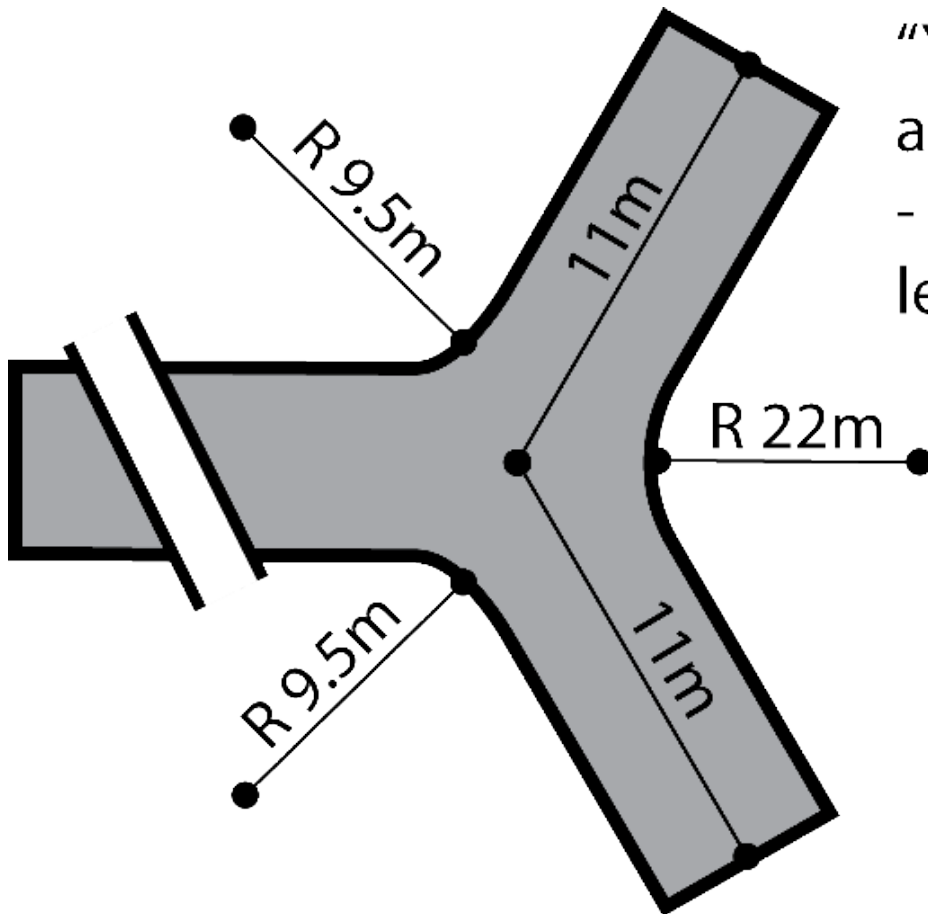


Figure 4 - 'T' or 'Y' Shaped Turning Head



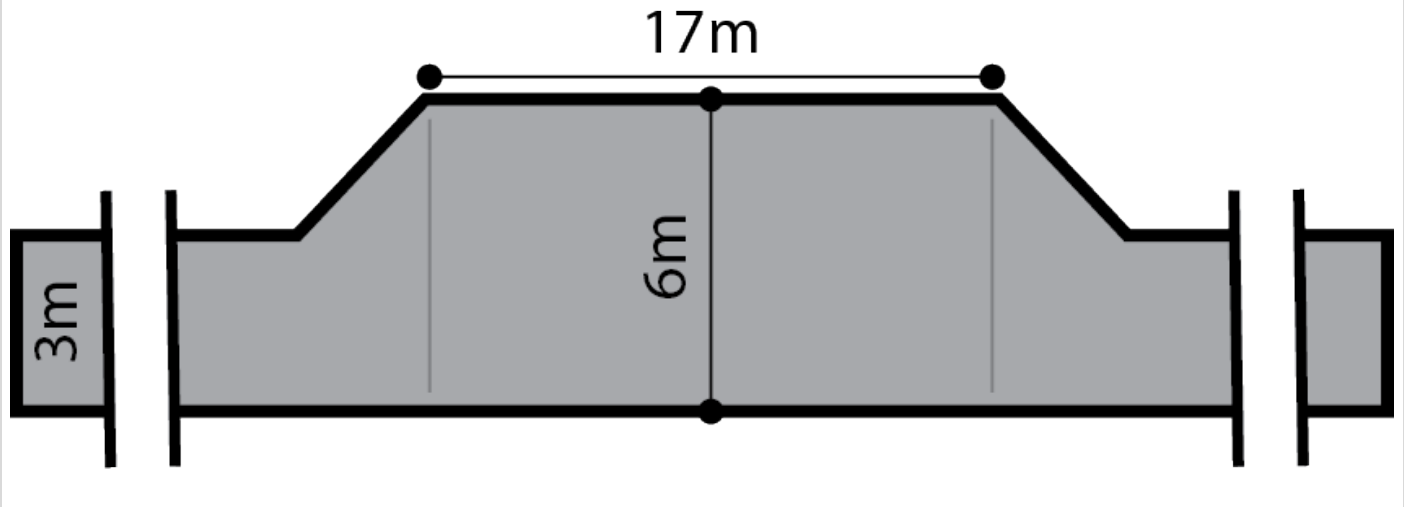
“T” shaped turning area for fire trucks to reverse into so they can turn around - minimum length 11 m.



“Y” shaped turn around area - minimum length 11 metres.

Figure 5 - Driveway Passing Bays

# Passing bay for fire trucks - minimum width 6 metres, minimum length 17 metres.



## Hazards (Flooding - Evidence Required) Overlay

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Development adopts a precautionary approach to mitigate potential impacts on people, property, infrastructure and the environment from potential flood risk through the appropriate siting and design of development.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Flood Resilience	
<p><b>PO 1.1</b></p> <p>Development is sited, designed and constructed to minimise the risk of entry of potential floodwaters where the entry of flood waters is likely to result in undue damage to or compromise ongoing activities within buildings.</p>	<p><b>DTS/DPF 1.1</b></p> <p>Habitable buildings, commercial and industrial buildings, and buildings used for animal keeping incorporate a finished floor level at least 300mm above:</p> <ul style="list-style-type: none"> <li>(a) the highest point of top of kerb of the primary street or</li> <li>(b) the highest point of natural ground level at the primary street boundary where there is no kerb</li> </ul>

## Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory
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			Reference
None	None	None	None

## Mount Lofty Ranges Water Supply Catchment (Area 1) Overlay

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Safeguard Greater Adelaide's public water supply by ensuring development has a neutral or beneficial effect on the quality of water harvested from primary reservoirs or diversion weir catchments from the Mount Lofty Ranges.

Performance Outcomes (PO) and Deemed to Satisfy (DTS) / Designated Performance Feature (DPF) Criteria

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Water Quality	
<p><b>PO 1.1</b></p> <p>Development results in a neutral or beneficial effect on the quality of water draining from the site to maintain and enhance the role of the catchment as a water supply.</p>	<p><b>DTS/DPF 1.1</b></p> <p>None are applicable.</p>
Wastewater	
<p><b>PO 2.3</b></p> <p>Wastewater management systems result in a neutral or beneficial effect on the quality of water draining from the site.</p>	<p><b>DTS/DPF 2.3</b></p> <p>Development results in:</p> <ul style="list-style-type: none"> <li>(a) a building or land use that is currently connected to an existing on-site wastewater system that is non-compliant with relevant South Australian standards being connected to a new or upgraded system that complies with such standards</li> </ul> <p style="text-align: center;">or</p> <ul style="list-style-type: none"> <li>(a) an existing on-site wastewater system being decommissioned and wastewater being disposed of to a sewer or community wastewater management system that complies with relevant South Australian standards.</li> </ul>
<p><b>PO 2.4</b></p> <p>Surface and groundwater protected from wastewater discharge pollution.</p>	<p><b>DTS/DPF 2.4</b></p> <p>All components of an effluent disposal area are:</p> <ul style="list-style-type: none"> <li>(a) set back 50 metres or more from a watercourse</li> <li>(b) set back 100 metres or more from a public water supply reservoir</li> <li>(c) located on land with a slope no greater than 1-in-5 (20%)</li> <li>(d) located on land with 1.2m or more depth to bedrock or a seasonal or permanent water table</li> <li>(e) above the 10% AEP flood level.</li> </ul>
Stormwater	

<p><b>PO 3.1</b></p> <p>Post-development peak stormwater discharge quantities and rates do not exceed pre-development quantities and rates to maintain water quality leaving the site.</p>	<p><b>DTS/DPF 3.1</b></p> <p>None are applicable.</p>
<p><b>PO 3.2</b></p> <p>Stormwater run-off from areas not likely to be subject to pollution diverted away from areas that could cause pollution.</p>	<p><b>DTS/DPF 3.2</b></p> <p>None are applicable.</p>
<p><b>PO 3.3</b></p> <p>Polluted stormwater is treated prior to discharge from the site.</p>	<p><b>DTS/DPF 3.3</b></p> <p>None are applicable.</p>
<p><b>PO 3.4</b></p> <p>Stormwater from carports, verandahs, outbuildings and agricultural buildings captured to protect water quality.</p>	<p><b>DTS/DPF 3.4</b></p> <p>Development includes:</p> <ul style="list-style-type: none"> <li>(a) rainwater tanks with a minimum capacity of 1,000L connected to carports, verandahs and outbuildings or</li> <li>(b) rainwater tanks with a minimum capacity of 4,500L connected to agricultural buildings exceeding 100m<sup>2</sup>.</li> </ul>
<p><b>PO 3.9</b></p> <p>Stormwater from excavated and filled areas is managed to protect water quality.</p>	<p><b>DTS/DPF 3.9</b></p> <p>Excavation and/or filling satisfy all the following:</p> <ul style="list-style-type: none"> <li>(a) is located 50m or more from watercourses</li> <li>(b) is located 100m or more from public water supply reservoirs and diversion weirs</li> <li>(c) does not involve excavation exceeding a vertical height of 0.75m</li> <li>(d) does not involve filling exceeding a vertical height of 0.75m</li> <li>(e) does not involve a total combined excavation and filling vertical height of 1.5m.</li> </ul>
Landscapes and Natural Features	
<p><b>PO 4.1</b></p> <p>Development minimises the need to modify landscapes and natural features.</p>	<p><b>DTS/DPF 4.1</b></p> <p>None are applicable.</p>

### Procedural Matters (PM)

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
Any of the following classes of development that are not connected (or not proposed to be connected) to a community wastewater management system or sewerage infrastructure:	Environment Protection Authority.	To provide expert technical assessment and direction to the relevant authority on whether a proposed development will have a neutral or beneficial impact on	Development of a class to which Schedule 9 clause 3 item

<ul style="list-style-type: none"> <li>(a) land division creating one or more additional allotments, either partly or wholly within the area of the overlay</li> <li>(b) function venue with more than 75 seats for customer dining purposes</li> <li>(c) restaurant with more than 40 seats for customer dining purposes</li> <li>(d) restaurant with more than 30 seats for customer dining purposes in association with a cellar door</li> <li>(e) dwelling where a habitable dwelling or tourist accommodation or workers' accommodation already exists on the same allotment (including where a valid planning authorisation exists to erect a dwelling or tourist accommodation or workers' accommodation on the same allotment), except where the existing habitable dwelling or tourist accommodation or workers' accommodation on the same allotment is proposed to be demolished and the existing on-site wastewater system is proposed to be decommissioned</li> <li>(f) tourist accommodation where a habitable dwelling or tourist accommodation or workers' accommodation already exists on the same allotment (including where a valid planning authorisation exists to erect a habitable dwelling or tourist accommodation or workers' accommodation on the same allotment), except where the existing habitable dwelling or tourist accommodation or workers' accommodation on the same allotment is proposed to be demolished and the existing on-site wastewater system is proposed to be decommissioned</li> <li>(g) workers' accommodation where a habitable dwelling or tourist accommodation or workers' accommodation already exists on the same allotment (including where a valid planning authorisation exists to erect a habitable dwelling or tourist accommodation or workers' accommodation on the same allotment), except where the existing habitable dwelling or tourist accommodation or workers' accommodation on the same allotment is proposed to be demolished and the existing on-site wastewater system is proposed to be decommissioned</li> <li>(h) any other development that generates human wastewater from a peak loading capacity of more than 40 persons (or more than 6,000 litres/day).</li> </ul>		<p>water quality.</p>	<p>9 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.</p>
<p>Composting works (excluding a prescribed approved activity) - being a depot, facility or works with the capacity to treat, during a 12 month period more than 200 tonnes of organic waste or matter (EPA Licence)</p>			
<p>Wastewater treatment works - being sewage treatment works, a community wastewater management system, winery wastewater treatment works or any other wastewater treatment works with the capacity to treat, during a 12 month period more than 2.5 ML of wastewater (EPA Licence required at more than 5ML)</p>			
<p>Feedlots - being carrying on an operation for holding in confined yard or area and feeding principally by mechanical means or by hand not less than an average of 200 cattle (EPA Licence) or 1,600 sheep or goats per day over any period of 12 months, but excluding any such operation carried on at an abattoir, slaughterhouse or saleyard or for the purpose only of drought or other emergency feeding</p>			
<p>Piggeries - being the conduct of a piggery (being premises having confined or roofed structures for keeping pigs) with a capacity of 130 or more standard pig units (EPA Licence required at 650 or more standard pig units)</p>			
<p>Dairies - carrying on of a dairy with a total processing capacity exceeding 100 milking animals at any one time.</p>			

# Native Vegetation Overlay

## Assessment Provisions (AP)

### Desired Outcome (DO)

Desired Outcome	
DO 1	Areas of native vegetation are protected, retained and restored in order to sustain biodiversity, threatened species and vegetation communities, fauna habitat, ecosystem services, carbon storage and amenity values.

### Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Environmental Protection	
<p><b>PO 1.1</b></p> <p>Development avoids, or where it cannot be practically avoided, minimises the clearance of native vegetation taking into account the siting of buildings, access points, bushfire protection measures and building maintenance.</p>	<p><b>DTS/DPF 1.1</b></p> <p>An application is accompanied by:</p> <ul style="list-style-type: none"> <li>(a) a declaration stating that the proposal will not, or would not, involve clearance of native vegetation under the Native Vegetation Act 1991, including any clearance that may occur:                             <ul style="list-style-type: none"> <li>(i) in connection with a relevant access point and / or driveway</li> <li>(ii) within 10m of a building (other than a residential building or tourist accommodation)</li> <li>(iii) within 20m of a dwelling or addition to an existing dwelling for fire prevention and control</li> <li>(iv) within 50m of residential or tourist accommodation in connection with a requirement under a relevant overlay to establish an asset protection zone in a bushfire prone area</li> </ul> </li> <li style="text-align: center; padding: 5px 0;">or</li> <li>(b) a report prepared in accordance with Regulation 18(2)(a) of the Native Vegetation Regulations 2017 that establishes that the clearance is categorised as 'Level 1 clearance'.</li> </ul>
<p><b>PO 1.2</b></p> <p>Native vegetation clearance in association with development avoids the following:</p> <ul style="list-style-type: none"> <li>(a) significant wildlife habitat and movement corridors</li> <li>(b) rare, vulnerable or endangered plants species</li> <li>(c) native vegetation that is significant because it is located in an area which has been extensively cleared</li> <li>(d) native vegetation that is growing in, or in association with, a wetland environment.</li> </ul>	<p><b>DTS/DPF 1.2</b></p> <p>None are applicable.</p>
<p><b>PO 1.3</b></p> <p>Intensive animal husbandry, commercial forestry and agricultural activities are sited, set back and designed to minimise impacts on native vegetation, including impacts on native vegetation in an adjacent</p>	<p><b>DTS/DPF 1.3</b></p> <p>Development within 500 metres of a boundary of a State Significant Native Vegetation Area does not involve any of the following:</p>

<p>State Significant Native Vegetation Area, from:</p> <ul style="list-style-type: none"> <li>(a) in the case of commercial forestry, the spread of fires from a plantation</li> <li>(b) the spread of pest plants and phytophthora</li> <li>(c) the spread of non-indigenous plants species</li> <li>(d) excessive nutrient loading of the soil or loading arising from surface water runoff</li> <li>(e) soil compaction</li> <li>(f) chemical spray drift.</li> </ul>	<ul style="list-style-type: none"> <li>(a) horticulture</li> <li>(b) intensive animal husbandry</li> <li>(c) dairy</li> <li>(d) commercial forestry</li> <li>(e) aquaculture.</li> </ul>
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**Procedural Matters (PM) - Referrals**

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
Development that is the subject of a report prepared in accordance with Regulation 18(2)(a) of the <i>Native Vegetation Regulations 2017</i> that categorises the clearance, or potential clearance, as 'Level 3 clearance' or 'Level 4 clearance'.	Native Vegetation Council	To provide expert assessment and direction to the relevant authority on the potential impacts of development on native vegetation.	Development of a class to which Schedule 9 clause 3 item 11 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.

**Water Resources Overlay**

**Assessment Provisions (AP)**

**Desired Outcome (DO)**

Desired Outcome	
DO 1	Protection of the quality of surface waters considering adverse water quality impacts associated with projected reductions in rainfall and warmer air temperatures as a result of climate change.
DO 2	Maintain the conveyance function and natural flow paths of watercourses to assist in the management of flood waters and stormwater runoff.

**Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)**

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Water Catchment	



<p><b>PO 1.1</b></p> <p>Watercourses and their beds, banks, wetlands and floodplains (1% AEP flood extent) are not damaged or modified and are retained in their natural state, except where modification is required for essential access or maintenance purposes.</p>	<p><b>DTS/DPF 1.1</b></p> <p>None are applicable.</p>
<p><b>PO 1.2</b></p> <p>Development avoids interfering with the existing hydrology or water regime of swamps and wetlands other than to improve the existing conditions to enhance environmental values.</p>	<p><b>DTS/DPF 1.2</b></p> <p>None are applicable.</p>
<p><b>PO 1.3</b></p> <p>Wetlands and low-lying areas providing habitat for native flora and fauna are not drained, except temporarily for essential management purposes to enhance environmental values.</p>	<p><b>DTS/DPF 1.3</b></p> <p>None are applicable.</p>
<p><b>PO 1.4</b></p> <p>Watercourses, areas of remnant native vegetation, or areas prone to erosion that are capable of natural regeneration are fenced off to limit stock access.</p>	<p><b>DTS/DPF 1.4</b></p> <p>None are applicable.</p>
<p><b>PO 1.5</b></p> <p>Development that increases surface water run-off includes a suitably sized strip of vegetated land on each side of a watercourse to filter runoff to:</p> <p>(a) reduce the impacts on native aquatic ecosystems (b) minimise soil loss eroding into the watercourse.</p>	<p><b>DTS/DPF 1.5</b></p> <p>A strip of land 20m or more wide measured from the top of existing banks on each side of the watercourse is free from development, livestock use and revegetated with locally indigenous vegetation.</p>
<p><b>PO 1.6</b></p> <p>Development resulting in the depositing or placing of an object or solid material in a watercourse or lake occurs only where it involves any of the following:</p> <p>(a) the construction of an erosion control structure (b) devices or structures used to extract or regulate water flowing in a watercourse (c) devices used for scientific purposes (d) the rehabilitation of watercourses.</p>	<p><b>DTS/DPF 1.6</b></p> <p>None are applicable.</p>
<p><b>PO 1.7</b></p> <p>Watercourses, floodplains (1% AEP flood extent) and wetlands protected and enhanced by retaining and protecting existing native vegetation.</p>	<p><b>DTS/DPF 1.7</b></p> <p>None are applicable.</p>
<p><b>PO 1.8</b></p> <p>Watercourses, floodplains (1% AEP flood extent) and wetlands are protected and enhanced by stabilising watercourse banks and reducing sediments and nutrients entering the watercourse.</p>	<p><b>DTS/DPF 1.8</b></p> <p>None are applicable.</p>

## Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

## Part 4 - General Development Policies

### Clearance from Overhead Powerlines

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Protection of human health and safety when undertaking development in the vicinity of overhead transmission powerlines.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
<p><b>PO 1.1</b></p> <p>Buildings are adequately separated from aboveground powerlines to minimise potential hazard to people and property.</p>	<p><b>DTS/DPF 1.1</b></p> <p>One of the following is satisfied:</p> <ul style="list-style-type: none"> <li>(a) a declaration is provided by or on behalf of the applicant to the effect that the proposal would not be contrary to the regulations prescribed for the purposes of section 86 of the <i>Electricity Act 1996</i></li> <li>(b) there are no aboveground powerlines adjoining the site that are the subject of the proposed development.</li> </ul>

### Design

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	<p>Development is:</p> <ul style="list-style-type: none"> <li>(a) contextual - by considering, recognising and carefully responding to its natural surroundings or built environment and positively contributes to the character of the immediate area</li> <li>(b) durable - fit for purpose, adaptable and long lasting</li> <li>(c) inclusive - by integrating landscape design to optimise pedestrian and cyclist usability, privacy and equitable access, and promoting the provision of quality spaces integrated with the public realm that can be used for access and recreation and help optimise security and safety both internally and within the public realm, for occupants and visitors</li> <li>(d) sustainable - by integrating sustainable techniques into the design and siting of development and landscaping to improve community health, urban heat, water management, environmental performance, biodiversity and local amenity and to minimise energy consumption.</li> </ul>

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
All development	
External Appearance	
<p><b>PO 1.4</b></p> <p>Plant, exhaust and intake vents and other technical equipment is integrated into the building design to minimise visibility from the public realm and negative impacts on residential amenity by:</p> <ul style="list-style-type: none"> <li>(a) positioning plant and equipment in unobtrusive locations viewed from public roads and spaces</li> <li>(b) screening rooftop plant and equipment from view</li> <li>(c) when located on the roof of non-residential development, locating the plant and equipment as far as practicable from adjacent sensitive land uses.</li> </ul>	<p><b>DTS/DPF 1.4</b></p> <p>Development does not incorporate any structures that protrude beyond the roofline.</p>
On-site Waste Treatment Systems	
<p><b>PO 6.1</b></p> <p>Dedicated on-site effluent disposal areas do not include any areas to be used for, or could be reasonably foreseen to be used for, private open space, driveways or car parking.</p>	<p><b>DTS/DPF 6.1</b></p> <p>Effluent disposal drainage areas do not:</p> <ul style="list-style-type: none"> <li>(a) encroach within an area used as private open space or result in less private open space than that specified in Design Table 1 - Private Open Space</li> <li>(b) use an area also used as a driveway</li> <li>(c) encroach within an area used for on-site car parking or result in less on-site car parking than that specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas.</li> </ul>
Carparking Appearance	
<p><b>PO 7.4</b></p> <p>Street level vehicle parking areas incorporate tree planting to provide shade and reduce solar heat absorption and reflection.</p>	<p><b>DTS/DPF 7.4</b></p> <p>None are applicable.</p>
<p><b>PO 7.5</b></p> <p>Street level parking areas incorporate soft landscaping to improve visual appearance when viewed from within the site and from public places.</p>	<p><b>DTS/DPF 7.5</b></p> <p>None are applicable.</p>
Earthworks and sloping land	
<p><b>PO 8.1</b></p> <p>Development, including any associated driveways and access tracks, minimises the need for earthworks to limit disturbance to natural topography.</p>	<p><b>DTS/DPF 8.1</b></p> <p>Development does not involve any of the following:</p> <ul style="list-style-type: none"> <li>(a) excavation exceeding a vertical height of 1m</li> <li>(b) filling exceeding a vertical height of 1m</li> <li>(c) a total combined excavation and filling vertical height of 2m or more.</li> </ul>

# Infrastructure and Renewable Energy Facilities

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Efficient provision of infrastructure networks and services, renewable energy facilities and ancillary development in a manner that minimises hazard, is environmentally and culturally sensitive and manages adverse visual impacts on natural and rural landscapes and residential amenity.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Water Supply	
<p><b>PO 11.1</b></p> <p>Development is connected to an appropriate water supply to meet the ongoing requirements of the intended use.</p>	<p><b>DTS/DPF 11.1</b></p> <p>Development is connected, or will be connected, to a reticulated water scheme or mains water supply with the capacity to meet the on-going requirements of the development.</p>
Wastewater Services	
<p><b>PO 12.1</b></p> <p>Development is connected to an approved common wastewater disposal service with the capacity to meet the requirements of the intended use. Where this is not available an appropriate on-site service is provided to meet the ongoing requirements of the intended use in accordance with the following:</p> <ul style="list-style-type: none"> <li>(a) it is wholly located and contained within the allotment of the development it will service</li> <li>(b) in areas where there is a high risk of contamination of surface, ground, or marine water resources from on-site disposal of liquid wastes, disposal systems are included to minimise the risk of pollution to those water resources</li> <li>(c) septic tank effluent drainage fields and other wastewater disposal areas are located away from watercourses and flood prone, sloping, saline or poorly drained land to minimise environmental harm.</li> </ul>	<p><b>DTS/DPF 12.1</b></p> <p>Development is connected, or will be connected, to an approved common wastewater disposal service with the capacity to meet the requirements of the development. Where this is not available it is instead capable of being serviced by an on-site waste water treatment system in accordance with the following:</p> <ul style="list-style-type: none"> <li>(a) the system is wholly located and contained within the allotment of development it will service; and</li> <li>(b) the system will comply with the requirements of the South Australian Public Health Act 2011.</li> </ul>
<p><b>PO 12.2</b></p> <p>Effluent drainage fields and other wastewater disposal areas are maintained to ensure the effective operation of waste systems and minimise risks to human health and the environment.</p>	<p><b>DTS/DPF 12.2</b></p> <p>Development is not built on, or encroaches within, an area that is, or will be, required for a sewerage system or waste control system.</p>

## Interface between Land Uses

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Development is located and designed to mitigate adverse effects on or from neighbouring and proximate land uses.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Interface with Rural Activities	
<p><b>PO 9.3</b></p> <p>Sensitive receivers are located and designed to mitigate potential impacts from lawfully existing land-based aquaculture activities and do not prejudice the continued operation of these activities.</p>	<p><b>DTS/DPF 9.3</b></p> <p>Sensitive receivers are located at least 200m from the boundary of a site used for land-based aquaculture and associated components in other ownership.</p>
<p><b>PO 9.4</b></p> <p>Sensitive receivers are located and designed to mitigate potential impacts from lawfully existing dairies including associated wastewater lagoons and liquid/solid waste storage and disposal facilities and do not prejudice the continued operation of these activities.</p>	<p><b>DTS/DPF 9.4</b></p> <p>Sensitive receivers are sited at least 500m from the boundary of a site used for a dairy and associated wastewater lagoon(s) and liquid/solid waste storage and disposal facilities in other ownership.</p>
<p><b>PO 9.5</b></p> <p>Sensitive receivers are located and designed to mitigate the potential impacts from lawfully existing facilities used for the handling, transportation and storage of bulk commodities (recognising the potential for extended hours of operation) and do not prejudice the continued operation of these activities.</p>	<p><b>DTS/DPF 9.5</b></p> <p>Sensitive receivers are located away from the boundary of a site used for the handling, transportation and/or storage of bulk commodities in other ownership in accordance with the following:</p> <ul style="list-style-type: none"> <li>(a) 300m or more, where it involves the handling of agricultural crop products, rock, ores, minerals, petroleum products or chemicals to or from any commercial storage facility</li> <li>(b) 300m or more, where it involves the handling of agricultural crop products, rock, ores, minerals, petroleum products or chemicals at a wharf or wharf side facility (including sea-port grain terminals) where the handling of these materials into or from vessels does not exceed 100 tonnes per day</li> <li>(c) 500m or more, where it involves the storage of bulk petroleum in individual containers with a capacity up to 200 litres and a total on-site storage capacity not exceeding 1000 cubic metres</li> <li>(d) 500m or more, where it involves the handling of coal with a capacity up to 1 tonne per day or a storage capacity up to 50 tonnes</li> <li>(e) 1000m or more, where it involves the handling of coal with a capacity exceeding 1 tonne per day but not exceeding 100 tonnes per day or a storage capacity exceeding 50 tonnes but not exceeding 5000 tonnes.</li> </ul>
Interface with Mines and Quarries (Rural and Remote Areas)	
<p><b>PO 10.1</b></p> <p>Sensitive receivers are separated from existing mines to minimise the adverse impacts from noise, dust and vibration.</p>	<p><b>DTS/DPF 10.1</b></p> <p>Sensitive receivers are located no closer than 500m from the boundary of a Mining Production Tenement under the <i>Mining Act 1971</i>.</p>

## Site Contamination

### Assessment Provisions (AP)

### Desired Outcome (DO)

Desired Outcome	
DO 1	Ensure land is suitable for the proposed use in circumstances where it is, or may have been, subject to site contamination.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
<p><b>PO 1.1</b></p> <p>Ensure land is suitable for use when land use changes to a more sensitive use.</p>	<p><b>DTS/DPF 1.1</b></p> <p>Development satisfies (a), (b), (c) or (d):</p> <ul style="list-style-type: none"> <li>(a) does not involve a change in the use of land</li> <li>(b) involves a change in the use of land that does not constitute a change to a more sensitive use</li> <li>(c) involves a change in the use of land to a more sensitive use on land at which site contamination is unlikely to exist (as demonstrated in a site contamination declaration form)</li> <li>(d) involves a change in the use of land to a more sensitive use on land at which site contamination exists, or may exist (as demonstrated in a site contamination declaration form), and satisfies both of the following:                             <ul style="list-style-type: none"> <li>(i) a site contamination audit report has been prepared under Part 10A of the <i>Environment Protection Act 1993</i> in relation to the land within the previous 5 years which states that-                                     <ul style="list-style-type: none"> <li>A. site contamination does not exist (or no longer exists) at the land</li> <li>or</li> <li>B. the land is suitable for the proposed use or range of uses (without the need for any further remediation)</li> <li>or</li> <li>C. where remediation is, or remains, necessary for the proposed use (or range of uses), remediation work has been carried out or will be carried out (and the applicant has provided a written undertaking that the remediation works will be implemented in association with the development)</li> </ul> </li> <li>and</li> <li>(ii) no other class 1 activity or class 2 activity has taken place at the land since the preparation of the site contamination audit report (as demonstrated in a site contamination declaration form).</li> </ul> </li> </ul>

## Tourism Development

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Tourism development is built in locations that cater to the needs of visitors and positively contributes to South Australia's visitor economy.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
General	
<b>PO 1.1</b>	<b>DTS/DPF 1.1</b>

<p>Tourism development complements and contributes to local, natural, cultural or historical context where:</p> <p>(a) it supports immersive natural experiences  (b) it showcases South Australia's landscapes and produce  (c) its events and functions are connected to local food, wine and nature.</p>	None are applicable.
<p><b>PO 1.2</b></p> <p>Tourism development comprising multiple accommodation units (including any facilities and activities for use by guests and visitors) is clustered to minimise environmental and contextual impact.</p>	<p><b>DTS/DPF 1.2</b></p> <p>None are applicable.</p>
Caravan and Tourist Parks	
<p><b>PO 2.1</b></p> <p>Potential conflicts between long-term residents and short-term tourists are minimised through suitable siting and design measures.</p>	<p><b>DTS/DPF 2.1</b></p> <p>None are applicable.</p>
<p><b>PO 2.2</b></p> <p>Occupants are provided privacy and amenity through landscaping and fencing.</p>	<p><b>DTS/DPF 2.2</b></p> <p>None are applicable.</p>
<p><b>PO 2.3</b></p> <p>Communal open space and centrally located recreation facilities are provided for guests and visitors.</p>	<p><b>DTS/DPF 2.3</b></p> <p>12.5% or more of a caravan park comprises clearly defined communal open space, landscaped areas and areas for recreation.</p>
<p><b>PO 2.4</b></p> <p>Perimeter landscaping is used to enhance the amenity of the locality.</p>	<p><b>DTS/DPF 2.4</b></p> <p>None are applicable.</p>
<p><b>PO 2.5</b></p> <p>Amenity blocks (showers, toilets, laundry and kitchen facilities) are sufficient to serve the full occupancy of the development.</p>	<p><b>DTS/DPF 2.5</b></p> <p>None are applicable.</p>
<p><b>PO 2.6</b></p> <p>Long-term occupation does not displace tourist accommodation, particularly in important tourist destinations such as coastal and riverine locations.</p>	<p><b>DTS/DPF 2.6</b></p> <p>None are applicable.</p>
Tourist accommodation in areas constituted under the National Parks and Wildlife Act 1972	
<p><b>PO 3.1</b></p> <p>Tourist accommodation avoids delicate or environmentally sensitive areas such as sand dunes, cliff tops, estuaries, wetlands or substantially intact strata of native vegetation (including regenerated areas of native vegetation lost through bushfire).</p>	<p><b>DTS/DPF 3.1</b></p> <p>None are applicable.</p>
<p><b>PO 3.2</b></p>	<p><b>DTS/DPF 3.2</b></p>

<p>Tourist accommodation is sited and designed in a manner that is subservient to the natural environment and where adverse impacts on natural features, landscapes, habitats and cultural assets are avoided.</p>	<p>None are applicable.</p>
<p><b>PO 3.3</b></p> <p>Tourist accommodation and recreational facilities, including associated access ways and ancillary structures, are located on cleared (other than where cleared as a result of bushfire) or degraded areas or where environmental improvements can be achieved.</p>	<p><b>DTS/DPF 3.3</b></p> <p>None are applicable.</p>
<p><b>PO 3.4</b></p> <p>Tourist accommodation is designed to prevent conversion to private dwellings through:</p> <ul style="list-style-type: none"> <li>(a) comprising a minimum of 10 accommodation units</li> <li>(b) clustering separated individual accommodation units</li> <li>(c) being of a size unsuitable for a private dwelling</li> <li>(d) ensuring functional areas that are generally associated with a private dwelling such as kitchens and laundries are excluded from, or physically separated from individual accommodation units, or are of a size unsuitable for a private dwelling.</li> </ul>	<p><b>DTS/DPF 3.4</b></p> <p>None are applicable.</p>

## Transport, Access and Parking

### Assessment Provisions (AP)

### Desired Outcome (DO)

Desired Outcome	
<p>DO 1</p>	<p>A comprehensive, integrated and connected transport system that is safe, sustainable, efficient, convenient and accessible to all users.</p>

### Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
<p>Movement Systems</p>	
<p><b>PO 1.4</b></p> <p>Development is sited and designed so that loading, unloading and turning of all traffic avoids interrupting the operation of and queuing on public roads and pedestrian paths.</p>	<p><b>DTS/DPF 1.4</b></p> <p>All vehicle manoeuvring occurs onsite.</p>
<p>Vehicle Access</p>	
<p><b>PO 3.1</b></p> <p>Safe and convenient access minimises impact or interruption on the operation of public roads.</p>	<p><b>DTS/DPF 3.1</b></p> <p>The access is:</p> <ul style="list-style-type: none"> <li>(a) provided via a lawfully existing or authorised driveway or access point or an access point for which consent has been granted as part of an application for the division of land or</li> </ul>



	<p>(b) not located within 6m of an intersection of 2 or more roads or a pedestrian activated crossing.</p>
<p><b>PO 3.5</b></p> <p>Access points are located so as not to interfere with street trees, existing street furniture (including directional signs, lighting, seating and weather shelters) or infrastructure services to maintain the appearance of the streetscape, preserve local amenity and minimise disruption to utility infrastructure assets.</p>	<p><b>DTS/DPF 3.5</b></p> <p>Vehicle access to designated car parking spaces satisfy (a) or (b):</p> <p>(a) is provided via a lawfully existing or authorised access point or an access point for which consent has been granted as part of an application for the division of land</p> <p>(b) where newly proposed, is set back:</p> <ul style="list-style-type: none"> <li>(i) 0.5m or more from any street furniture, street pole, infrastructure services pit, or other stormwater or utility infrastructure unless consent is provided from the asset owner</li> <li>(ii) 2m or more from the base of the trunk of a street tree unless consent is provided from the tree owner for a lesser distance</li> <li>(iii) 6m or more from the tangent point of an intersection of 2 or more roads</li> <li>(iv) outside of the marked lines or infrastructure dedicating a pedestrian crossing.</li> </ul>
<p>Access for People with Disabilities</p>	
<p><b>PO 4.1</b></p> <p>Development is sited and designed to provide safe, dignified and convenient access for people with a disability.</p>	<p><b>DTS/DPF 4.1</b></p> <p>None are applicable.</p>
<p>Vehicle Parking Rates</p>	
<p><b>PO 5.1</b></p> <p>Sufficient on-site vehicle parking and specifically marked accessible car parking places are provided to meet the needs of the development or land use having regard to factors that may support a reduced on-site rate such as:</p> <ul style="list-style-type: none"> <li>(a) availability of on-street car parking</li> <li>(b) shared use of other parking areas</li> <li>(c) in relation to a mixed-use development, where the hours of operation of commercial activities complement the residential use of the site, the provision of vehicle parking may be shared</li> <li>(d) the adaptive reuse of a State or Local Heritage Place.</li> </ul>	<p><b>DTS/DPF 5.1</b></p> <p>Development provides a number of car parking spaces on-site at a rate no less than the amount calculated using one of the following, whichever is relevant:</p> <ul style="list-style-type: none"> <li>(a) Transport, Access and Parking Table 2 - Off-Street Vehicle Parking Requirements in Designated Areas if the development is a class of development listed in Table 2 and the site is in a Designated Area</li> <li>(b) Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements where (a) does not apply</li> <li>(c) if located in an area where a lawfully established carparking fund operates, the number of spaces calculated under (a) or (b) less the number of spaces offset by contribution to the fund.</li> </ul>
<p>Vehicle Parking Areas</p>	
<p><b>PO 6.1</b></p> <p>Vehicle parking areas are sited and designed to minimise impact on the operation of public roads by avoiding the use of public roads when moving from one part of a parking area to another.</p>	<p><b>DTS/DPF 6.1</b></p> <p>Movement between vehicle parking areas within the site can occur without the need to use a public road.</p>
<p><b>PO 6.2</b></p> <p>Vehicle parking areas are appropriately located, designed and constructed to minimise impacts on adjacent sensitive receivers through measures such as ensuring they are attractively developed and landscaped, screen fenced, and the like.</p>	<p><b>DTS/DPF 6.2</b></p> <p>None are applicable.</p>
<p><b>PO 6.6</b></p> <p>Loading areas and designated parking spaces for service vehicles are provided within the boundary of the site.</p>	<p><b>DTS/DPF 6.6</b></p> <p>Loading areas and designated parking spaces are wholly located within the site.</p>

Table 1 - General Off-Street Car Parking Requirements

Class of Development	Car Parking Rate (unless varied by Table 2 onwards)
<p><b>Where a development comprises more than one development type, then the overall car parking rate will be taken to be the sum of the car parking rates for each development type.</b></p>	
Tourist	
Tourist accommodation other than a caravan and tourist park	1 car parking space per accommodation unit / guest room.

Table 2 - Off-Street Car Parking Requirements in Designated Areas

Class of Development	Car Parking Rate		Designated Areas
	Minimum number of spaces	Maximum number of spaces	
<p><b>Where a development comprises more than one development type, then the overall car parking rate will be taken to be the sum of the car parking rates for each development type.</b></p>			
Non-residential development			
Tourist accommodation	1 space for every 4 bedrooms up to 100 bedrooms plus 1 space for every 5 bedrooms over 100 bedrooms	1 space per 2 bedrooms up to 100 bedrooms and 1 space per 4 bedrooms over 100 bedrooms	City Living Zone  Urban Activity Centre Zone when the site is also in a high frequency public transit area  Urban Corridor (Boulevard) Zone  Urban Corridor (Business) Zone  Urban Corridor (Living) Zone  Urban Corridor (Main Street) Zone  Urban Neighbourhood Zone (except for Bowden)